

PLANNING COMMISSION AGENDA SEPTEMBER 24, 2015



Commission Members

Tim D'Alessandro
David Culbertson
Norman Fincher
Joe Foley
Bill Mansfield
David McFadden
Mark McKechnie
Patrick Miranda
Jared Pulver

Regular Planning Commission meetings
are held on the second and fourth
Thursdays of every month
Meetings begin at 5:30 PM

City of Medford

City Council Chambers
411 W. Eighth Street, Third Floor
Medford, OR 97501
541-774-2380



Planning Commission

Agenda

Public Hearing

September 24, 2015

5:30 PM

Council Chambers, City Hall, Room 300
411 West Eighth Street, Medford, Oregon

-
10. Roll Call
 20. Consent Calendar/Written Communications (voice vote)
 - 20.1 LDP-15-092 Final Order of a request for a partition to create two parcels from 1.82 gross acres located approximately 250 feet north of O'Hare Parkway between Heathrow Way and Biddle Road, within the I-L/PD (Light Industrial/Planned Unit Development) zoning district. Mandell Landing LLC, Applicant; (Hoffbuhr & Associates, Inc., Agent)
 - 20.2 LDS-15-073 / E-15-099 Final Order of a request for tentative plat approval for Spring Creek Subdivision, a 9-lot residential subdivision located on the southwest corner of North Ross Lane and Finley Lane and an Exception to the required right-of-way dedication for a 1.99 acre property zoned SFR-6 (Single Family Residential – 6 dwelling units per gross acre). Tony and Tory Nieto, Applicant; (Farber Surveying, Agent).
 30. Minutes
 - 30.1 Consideration for approval of minutes of the September 10, 2015, hearing.
 40. Oral and Written Requests and Communications
 50. Public Hearings
 - New Business
 - 50.2 LDS-15-095 Consideration of a request for tentative plat approval for Merlot Valley Subdivision, a 23-lot residential subdivision on 3.75 acres located on the west side of Kings Highway, approximately 200 feet south of Diamond Street, within the SFR-10 (Single Family Residential, 10 dwelling units per gross acre) zoning district. Mark McAlister, Applicant; (Richard Stevens & Associates, Inc., Agent).
 60. Reports
 - 60.1 Site Plan and Architectural Commission
 - 60.2 Joint Transportation Subcommittee
 - 60.3 Planning Department
 70. Messages and Papers from the Chair

- 80. Remarks from the City Attorney**
- 90. Propositions and Remarks from the Commission**
- 100. Adjournment**

BEFORE THE MEDFORD PLANNING COMMISSION

STATE OF OREGON, CITY OF MEDFORD

IN THE MATTER OF TENTATIVE PLAT APPROVAL OF)
)
) ORDER
MANDELL LANDING LLC [LDP-15-092])

ORDER granting approval of a request for tentative plat approval of File No. LDP-15-092.

WHEREAS:

1. The Planning Commission has duly accepted the application filed in accordance with the Medford Land Development Code, Sections 10.265 through 10.267; and
2. The Medford Planning Commission has duly held a public hearing on the request for consideration of tentative plat approval to create two parcels from 1.82 gross acres located approximately 250 feet north of O'Hare Parkway, between Heathrow Way and Biddle Road, within the I-L/PD (Light Industrial/Planned Unit Development) zoning district, with a public hearing a matter of record of the Planning Commission on September 10, 2015; and
3. At the public hearing on said tentative plat, evidence and recommendations were received and presented by the developer and Planning Department Staff; and
4. At the conclusion of said hearing, after consideration and discussion, the Medford Planning Commission, upon a motion duly seconded granted tentative plat approval and directed staff to prepare a final order with all conditions and findings set forth for the granting of the tentative plat approval.

THEREFORE LET IT BE HEREBY ORDERED that the tentative plat for Mandell Landing LLC, stands approved per the Staff Report dated August 18, 2015, and subject to compliance with all conditions contained therein.

AND LET IT FURTHER BE OF RECORD, that the action of the Planning Commission in approving this request for tentative plat approval is hereafter supported by the findings referenced in the Staff Report dated August 18, 2015.

BASED UPON THE ABOVE, the Planning Commission determined that the tentative plat is in conformity with the provisions of law and Section 10.270 Land Division Criteria of the Land Development Code of the City of Medford.

Accepted and approved this 24th day of September 2015.

CITY OF MEDFORD PLANNING COMMISSION

Planning Commission Chair

ATTEST:

Planning Department Representative

BEFORE THE MEDFORD PLANNING COMMISSION

STATE OF OREGON, CITY OF MEDFORD

IN THE MATTER OF TENTATIVE PLAT APPROVAL OF)
)
SPRING CREEK SUBDIVISION [LDS-15-073]) ORDER

ORDER granting approval of a request for tentative plat approval of Spring Creek Subdivision.

WHEREAS:

1. The Planning Commission has duly accepted the application filed in accordance with the Medford Land Development Code, Sections 10.265 through 10.267; and
2. The Medford Planning Commission has duly held a public hearing on the request for consideration of a request for tentative plat approval for Spring Creek Subdivision, a 9-lot residential subdivision located on the southwest corner of North Ross Lane and Finley Lane and an Exception to the required right-of-way dedication for a 1.99 acre property zoned SFR-6 (Single Family Residential – 6 dwelling units per gross acre), with a public hearing a matter of record of the Planning Commission on September 10, 2015.
3. At the public hearing on said tentative plat, evidence and recommendations were received and presented by the developer and Planning Department Staff; and
4. At the conclusion of said hearing, after consideration and discussion, the Medford Planning Commission, upon a motion duly seconded granted tentative plat approval and directed staff to prepare a final order with all conditions and findings set forth for the granting of the tentative plat approval.

THEREFORE LET IT BE HEREBY ORDERED that the tentative plat for Spring Creek Subdivision stands approved per the Planning Commission Report dated September 10, 2015, and subject to compliance with all conditions contained therein.

AND LET IT FURTHER BE OF RECORD, that the action of the Planning Commission in approving this request for tentative plat approval is hereafter supported by the findings referenced in the Planning Commission Report dated September 10, 2015.

BASED UPON THE ABOVE, the Planning Commission determined that the tentative plat is in conformity with the provisions of law and Section 10.270 Land Division Criteria of the Land Development Code of the City of Medford.

Accepted and approved this 24th day of September, 2015.

CITY OF MEDFORD PLANNING COMMISSION

Planning Commission Chair

ATTEST:

Planning Department Representative

**BEFORE THE MEDFORD PLANNING COMMISSION
STATE OF OREGON, CITY OF MEDFORD**

IN THE MATTER OF APPROVAL OF AN EXCEPTION FOR)
)
SPRING CREEK SUBDIVISION) **ORDER**
) [E-15-099]

ORDER granting approval of a request for tentative plat approval for Spring Creek Subdivision, a 9-lot residential subdivision located on the southwest corner of North Ross Lane and Finley Lane and an Exception to the required right-of-way dedication for a 1.99 acre property zoned SFR-6 (Single Family Residential – 6 dwelling units per gross acre). (Tony and Tory Nieto, Applicant; Farber Surveying, Agent).

WHEREAS:

1. The Planning Commission has duly accepted the application filed in accordance with the Medford Land Development Code, Sections 10.251 and 10.252; and

2. The Medford Planning Commission has duly held a public hearing on the request for tentative plat approval for Spring Creek Subdivision, a 9-lot residential subdivision located on the southwest corner of North Ross Lane and Finley Lane and an Exception to the required right-of-way dedication for a 1.99 acre property zoned SFR-6 (Single Family Residential – 6 dwelling units per gross acre), with a public hearing a matter of record of the Planning Commission on September 10, 2015.

3. At the public hearing on said exception, evidence and recommendations were received and presented by the developer and Planning Department Staff; and

4. At the conclusion of said hearing, after consideration and discussion, the Medford Planning Commission, upon a motion duly seconded granted exception approval and directed staff to prepare a final order with all conditions and findings set forth for the granting of the exception approval.

THEREFORE LET IT BE HEREBY ORDERED that the exception for Tony and Tory Nieto stands approved per the Planning Commission Report dated September 10, 2015, and subject to compliance with all conditions contained therein.

AND LET IT FURTHER BE OF RECORD, that the action of the Planning Commission in approving this request for exception approval is hereafter supported by the findings referenced in the Planning Commission Report dated September 10, 2015.

BASED UPON THE ABOVE, the Planning Commission determined that the exception is in conformity with the provisions of law and Section 10.253 criteria for an exception of the Land Development Code of the City of Medford.

Accepted and approved this 24th day of September, 2015.

CITY OF MEDFORD PLANNING COMMISSION

Planning Commission Chair

ATTEST:

Planning Department Representative



PLANNING COMMISSION REPORT

for a type-C quasi-judicial decision: Land Division / Exception

PROJECT Spring Creek Subdivision
Applicant: Tony & Tory Nieto; Agent: Farber Surveying
FILE NO. LDS-15-073/E-15-099
DATE September 10, 2015

BACKGROUND

Proposal

Request for a tentative plat approval for Spring Creek Subdivision, a 9-lot residential subdivision located on the southwest corner of North Ross Lane and Finley Lane and an Exception to the required right-of-way dedication for a 1.99 acre property zoned SFR-6 (Single Family Residential – 6 dwelling units per gross acre).

Subject Site Characteristics

Zoning SFR-6 (Single Family Residential – 6 dwelling units per gross acre)
GLUP UR (Urban Residential)
Use Single Family Home

Surrounding Site Characteristics

North

Zoning: SFR-10 (Single Family Residential – 10 dwelling units per gross acre)
Use: Multi-Family Housing

South

Zoning: SFR-00 (Single Family Residential – 1 dwelling unit per lot)
Use: Single Family Homes

East

Zoning: SFR-00
Use: Single Family Homes

West

Zoning: SR-2.5 (Suburban Residential – 2.5 acre minimum)
Outside the City Limits & Within Urban Growth Boundary
Use: Single Family Homes

Related Projects

- A-08-031 Annexation
- ZC-08-032 Zone Change (to SFR-00)
- ZC-08-126 Zone Change (to SFR-6)
- PA-10-054 Pre-Application for Subdivision

Applicable Criteria

Medford Land Development Code §10.270, Land Division Criteria

The approving authority (Planning Commission) shall not approve any tentative plat unless it first finds that, the proposed land division together with the provisions for its design and improvement:

- (1) Is consistent with the Comprehensive Plan, any other applicable specific plans thereto, including Neighborhood Circulation Plans, and all applicable design standards set forth in Article IV and V;
- (2) Will not prevent development of the remainder of the property under the same ownership, if any, or of adjoining land or of access thereto, in accordance with this chapter;
- (3) Bears a name that has been approved by the approving authority and does not use a word which is the same as, similar to, or pronounced the same as a word in the name of any other subdivision in the City of Medford; except for the words "town", "city", "place", "court", "addition", or similar words; unless the land platted is contiguous to and platted by the same applicant that platted the land division bearing that name; or unless the applicant files and records the consent of the party who platted the land division bearing that name and the block numbers continue those of the plat of the same name last filed;
- (4) If it includes the creation of streets or alleys, that such streets or alleys are laid out to be consistent with existing and planned streets and alleys and with the plats of land divisions already approved for adjoining property unless the approving authority determines it is in the public interest to modify the street pattern;
- (5) If it has streets or alleys that are proposed to be held for private use, that they are distinguished from the public streets or alleys on the tentative plat, and reservations or restrictions relating to the private streets or alleys are set forth;
- (6) Will not cause an unmitigated land use conflict between the land division and adjoining agricultural lands within the EFU (Exclusive Farm Use) zoning district.

Medford Land Development Code §10.253, Exception Criteria

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority (Planning Commission/Site Plan and Architectural Commission) having jurisdiction over the plan authorization unless it finds that all of the following criteria and standards are satisfied. The power to authorize an exception from the terms of this code shall be sparingly exercised. Findings must indicate that:

- (1) The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The Planning Commission/Site Plan and Architectural Commission shall have the authority to impose conditions to assure that this criterion is met.
- (2) The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.
- (3) There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.
- (4) The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.

ISSUES AND ANALYSIS

Project Summary

The tentative plat submitted consists of a two-phase development with 9 single family lots (Exhibit B). In addition, the applicant has submitted an Exception to the required right-of-way dedication for a portion of Finley Lane.

All proposed lots conform to the standards of the Medford Land Development Code for length, width, square footage, lot frontage, and access.

Density

The standard density calculation for the SFR-6 zone is between 4.0 and 6.0 dwelling units per acre. The permitted density range for the subject subdivision is between 9 to 13 dwelling units. The applicant is proposing 9 lots which meet the minimum and does not exceed the maximum number of units.

Street Circulation

The subject property fronts upon two existing streets: Finley Lane and North Ross Lane. The tentative plat does not include the creation of new streets, as only two minimum access easements are shown (Exhibit B). Lots 1-3 have frontage on North Ross Lane but will obtain vehicular access from a minimum access easement off of Finley Lane. Lots 4-6 front upon and take access off of the second proposed minimum access easement, also off of Finley Lane. Lots 7-9 front upon and will take direct vehicular access off of Finley Lane.

Medford Land Development Code Section 10.450 states minimum access easements shall only be permitted when the approving authority finds that any of the following conditions exist: excess slope, presence of a wetland or other body of water which cannot be bridged or crossed, existing development on adjacent property, or the presence of a freeway or railroad. It also allows the approving authority to allow minimum access easements when it is not possible to create a street pattern which meets the design requirements for streets. In this case, the creation of a new street does not seem practical due to the two existing streets that front upon the proposed subdivision in relation to the small size of the property. Also, the minimum access easement behind Lots 1-3 is being created for the sole purpose of vehicular access. Although those lots front upon North Ross Lane, Medford Land Development Code Section 10.550 restricts direct access on higher order streets when a lower order street is abutting.

Exception

The applicant submitted an Exception to the right-of-way dedication required on a portion of Finley Lane around the existing dwelling. The existing dwelling is not proposed for removal as part of the subdivision, but instead would be retained on Lot 1. Around the existing home, a 7.5 foot dedication is proposed, instead of the required 15.5 foot amount. According to the Public Works Report, this will still provide adequate right-of-way for all the components of a Minor Residential Street, with the exception of a planter strip (Exhibit H).

The Applicant's Findings explain that the home on the property originally met setbacks. However, right-of-way acquisitions have reduced the setbacks to the dwelling (Exhibit

G). If the full dedication is required, the home would be located within the right-of-way.

The Public Works Department – Engineering Division report expressed concern with the potential impact the reduced right-of-way might have on the construction of improvements around the existing home. In response, the applicant submitted a sidewalk grading diagram (Exhibit E). At the time of this report, the Public Works Department was reviewing this additional information in order to provide a revised report. Planning staff is in support of the Exception with a favorable recommendation from the Public Works Department.

Phasing

Medford Land Development Code Section 10.269 allows the Commission to grant additional time for tentative plat approvals for phased projects. Since the project is divided into phases, staff is recommending the Commission allow the maximum time allowable for phased project of five years.

FINDINGS AND CONCLUSIONS

Staff has reviewed the Applicant's Findings (Exhibit F & G) and recommends the Commission adopt the findings as presented.

ACTION TAKEN

Directed staff to prepare a Final Order of Approval per the Staff Report dated September 3, 2015, including Exhibits A through S, and correcting the date of Exhibit H.

EXHIBITS

- A-1 Conditions of Approval dated September 3, 2015
- B Tentative Plat received August 18, 2015
- C Conceptual Grading & Drainage Plan received May 14, 2015
- D Conceptual Sewer & Water Plan received May 14, 2015
- E Sidewalk & Grading Diagram received August 18, 2015
- F Applicant's Findings of Fact (Land Division) received August 18, 2015
- G Applicant's Findings of Fact (Exception) received August 18, 2015
- H Public Works Report received **September 2, 2015**
- I Medford Fire Department Report received August 5, 2015
- J Medford Building Department memo received August 5, 2015
- K Address Technician memo received August 5, 2015
- L Medford Water Commission memo received August 10, 2015
- M Rogue Valley Sewer Services letter received July 23, 2015
- N Jackson County Roads letter received July 31, 2015

- O Oregon Department of Transportation email received August 18, 2015
- P Wetland Land Use Notification Response from Department of State Lands received July 30, 2015
- Q Aerial Photograph
- R Site Photos received July 13, 2015
- S Jackson County Assessor's Map received July 13, 2015
Vicinity map

MEDFORD PLANNING COMMISSION

David McFadden, Chair

PLANNING COMMISSION AGENDA:

**SEPTEMBER 10, 2015
SEPTEMBER 24, 2015**

EXHIBIT A-1

Spring Creek Subdivision
LDS-15-073/E-15-099
Conditions of Approval
September 10, 2015

DISCRETIONARY CONDITIONS

1. The Commission authorizes a 5-year approval period allowed for phased projects as per Medford Land Development Code Section 10.269(2).

CODE CONDITIONS

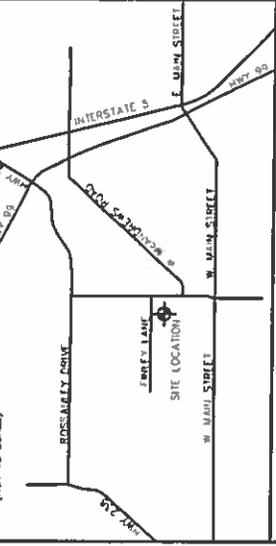
2. Prior to Final Plat approval of each phase, the applicant shall:
 - a. Comply with the Public Works Department Report received September 2, 2015 (Exhibit H);
 - b. Comply with the Fire Department Report received August 5, 2015 (Exhibit i);
 - c. Comply with the Address Technician Memo received August 5, 2015 (Exhibit K);
 - d. Comply with the Medford Water Commission Memo received August 10, 2015 (Exhibit L);
 - e. Comply with the Rogue Valley Sewer Services Memo received July 23, 2015;
 - f. Comply with the Department of State Lands Wetland Land Use Notification Response Form received July 30, 2015.

TENTATIVE SUBDIVISION PLAT
SPRING CREEK

located in the
NORTHEAST QUARTER OF SECTION 26,
TOWNSHIP 37 SOUTH, RANGE 2 WEST,
WILLAMETTE MERIDIAN, IN THE CITY OF MEDFORD,
JACKSON COUNTY, OREGON

for
TONY AND TORY NIETO
34, Foothills
MEDFORD, OREGON 97504

VICINITY MAP:
(NOT TO SCALE)



- = FIRE HYDRANT
- ⊗ = WATER VALVE
- = GAS VALVE
- ⊙ = SANITARY SEWER MANHOLE
- ⊕ = MANHOLE STORM DRAIN
- ⊠ = POWER METER & UTILITY BOX
- ⊖ = POWER POLE (PP&L)
- ← = GUY WIRE
- ⊡ = WATER METER
- ⊖ = AIR RELIEF VALVE
- = STORM DRAIN CI
- ⊖ = POWER LUIE (PP&L)
- SS-- = SANITARY SEWER LINE

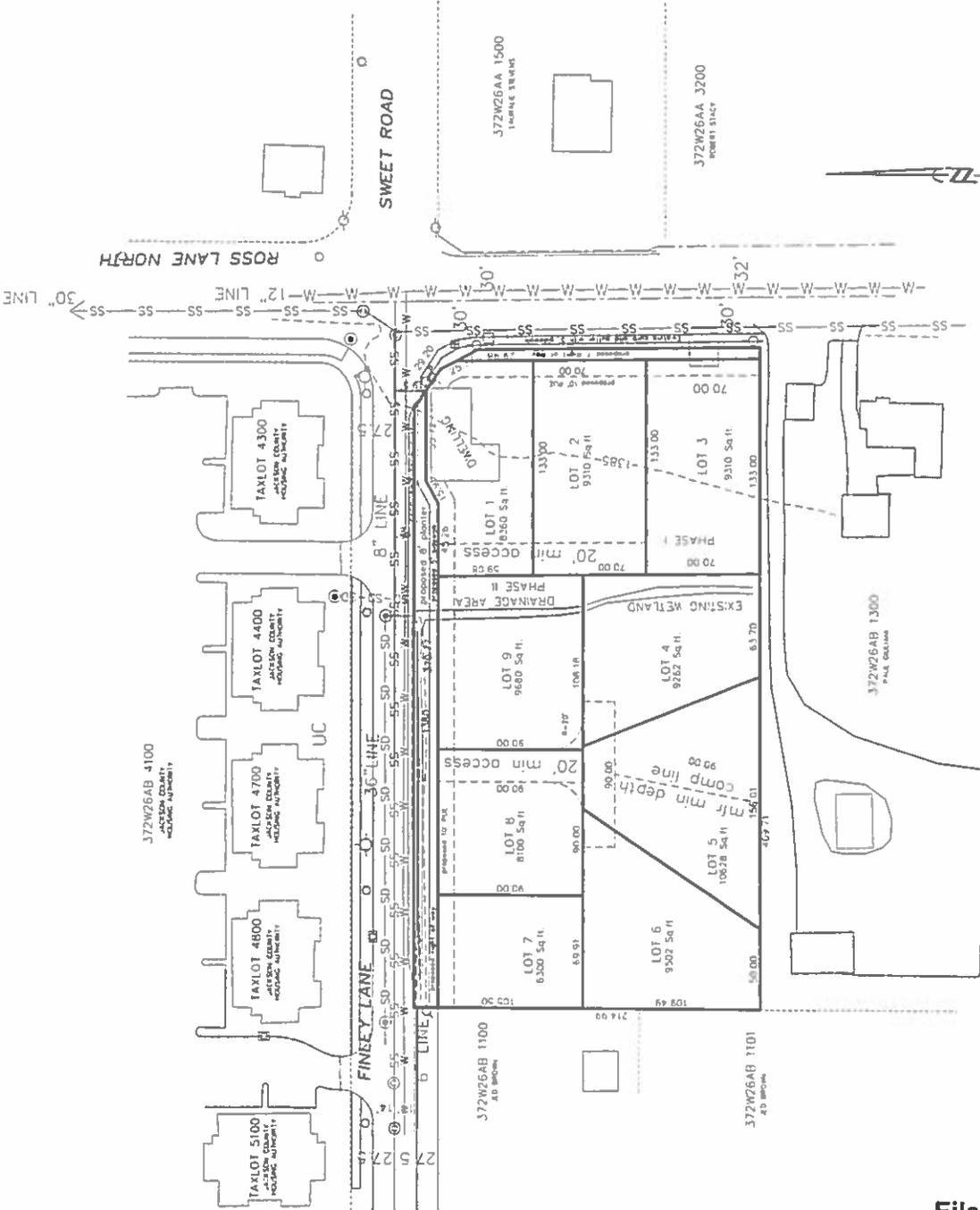
NOTE: UTILITIES LOCATED FROM ASBUILT DWG'S

Surveyed by:
FARBER & SONS,



PO BOX 1
431 OAK S
CENTRAL POINT, O
(541) 664-
DATE MAY 11
JOB NO 1230-11
MR NEWROSS-FINLEY

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BASIS OF BEARING IS TRUE NORTH, AS DERIVED BY GLOBAL POSITIONING SYSTEM OBSERVATIONS.



NOTES

- Zoning = SFR-6
- Net Area = 1.99 acres
- Gross Area = 2.28 acres
- Medford School District 549C
- Medford Fire District
- Medford Irrigation District
- Rogue River Valley Sanitary Sewer Service
- The existing shed located adjacent to the drainage and overlaps the phase line on what would be Lots 3 and 9 will be removed prior to final plat.

REGISTERED PROFESSIONAL SURVEYOR
FARBER & SONS, INC.
ORREGON
EMERY A. FARBER
2185
WAL DATE 12-31-15

CITY OF MEDFORD
EXHIBIT #B
File #LDS-15-073/E-15-099

RECEIVED

AUG 18 2015

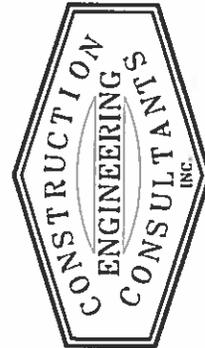
PLANNING DEPT.

SHEET 1 OF 1

CONSTRUCTION ENGINEERING CONSULTANTS, INC.

SPRING CREEK SUBDIVISION

SIDEWALK GRADING EXHIBIT



P.O. BOX 1724 • MEDFORD, OREGON 97501
PH. (541) 779-5286 • FAX (541) 779-3139



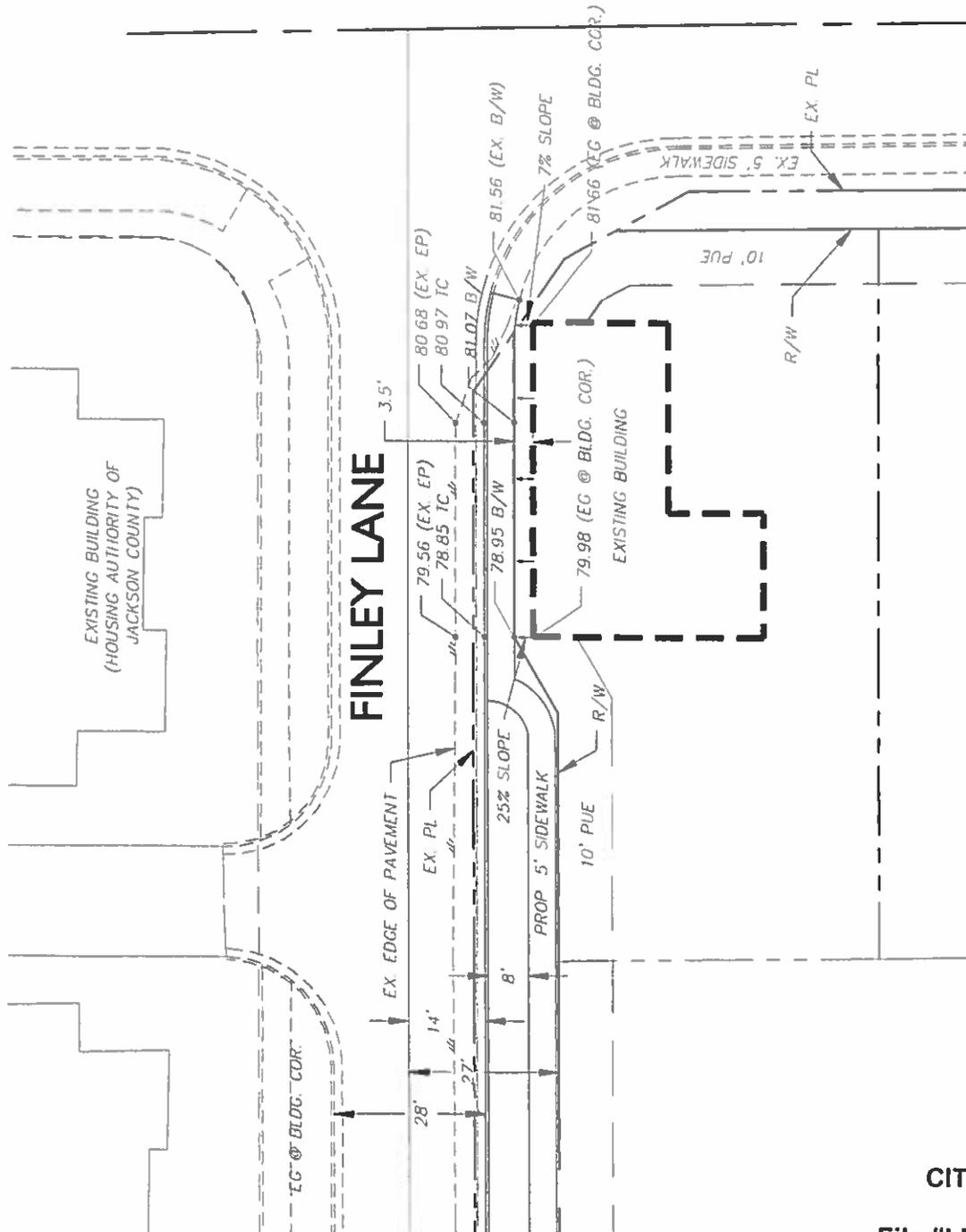
SCALE: 1"=30'

CITY OF MEDFORD
EXHIBIT #E

File #LDS-15-073/E-15-099

ROSS LANE

FINLEY LANE



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Findings of Fact

for
SPRING CREEK a subdivision of
Taxlot 1200, Assessor's map no. 37 2W 26AB

A LAND DIVISION APPLICATION IN THE
CITY OF MEDFORD, OREGON

ADDRESSING THE CRITERIA OF MLDC §10.270

May14, 2015

8-18-15

PREPARED BY:
FARBER SURVEYING
431 Oak Street
Central Point, OR 97502

- *Text bulleted and italicized represents the findings per § 10.270*

10.270 Land Division Criteria

The approving authority (Planning Commission) shall not approve any tentative plat unless it first finds that, the proposed land division together with the provisions for its design and improvement:

(1) Is consistent with the Comprehensive Plan, any other applicable specific plans thereto, including Neighborhood Circulation Plans, and all applicable design standards set forth in Article IV and V;

- *Yes; the conceptual plan is to connect to existing street stubs and design such improvements to City of Medford Standards with the exception requested by separate findings.*

(2) Will not prevent development of the remainder of the property under the same ownership, if any, or of adjoining land or of access thereto, in accordance with this chapter;

- *No, the intention of this subdivision is to re-configure the existing land and improvements to be consistent with the abutting properties that are already developed.*

(3) Bears a name that has been approved by the approving authority and does not use a word which is the same as, similar to, or pronounced the same as a word in the name of any other subdivision in the City of Medford; except for the words "town", "city", "place", "court", "addition", or similar words; unless the land platted is contiguous to and platted by the same applicant that platted the land division bearing that name; or unless the applicant files and records the consent of the party who platted the land division bearing that name and the block numbers continue those of the plat of the same name last filed;

- *Name approval has been applied for to the County Surveyor's office.*

(4) If it includes the creation of streets or alleys, that such streets or alleys are laid out to be consistent with existing and planned streets and alleys and with the plats of land divisions already approved for adjoining property unless the approving authority determines it is in the public interest to modify the street pattern;

- *N/A; no change to existing street pattern are planned.*

(5) If it has streets or alleys that are proposed to be held for private use, that they are distinguished from the public streets or alleys on the tentative plat, and reservations or restrictions relating to the private streets or alleys are set forth;

- *N/A, there are no public streets or alleys being created in this application. The minimum access streets will be owned and maintained by the property owners.*

(6) Contains streets, if applicable, and lots which are oriented to make maximum effective use of passive solar energy; exceptions to this provision may be granted whenever it is impractical to comply due to: (a) The configuration or orientation of the property; (b) The nature of surrounding circulation patterns, or other existing physical features of the site such as topography;

- *N/A; No streets are being created in this application.*

(7) Will not cause an unmitigated land use conflict between the land division and adjoining agricultural lands within the EFU (Exclusive Farm Use) zoning district.

- *N/A; all adjoining are zoned for residential.*

[Amd. Sec. 4, Ord. No. 2004-259, Dec. 16, 2004.]

Respectfully submitted,



Herbert A Farber

Farber & Sons Inc
Dba., Farber Surveying
431 Oak Street
Central Point Oregon 97502

Phone: 541 664-5599

Email: herb@farbersurveying.com

August 18, 2015

Findings of Fact

for
Tax lot 1200, Assessor's Map No. 37 2W 26AB
AN EXCEPTION APPLICATION IN THE
CITY OF MEDFORD, OREGON

ADDRESSING THE CRITERIA OF MLDC §10.253

- ***Text bulleted and italicized represents the findings per § 10.251 & 10.253***

10.251 Application, Exception

The purpose of Sections 10.251 to 10.253 is to empower the approving authority to vary or adapt the strict application of the public improvement and site development standards as contained in Article III, Sections 10.349 through 10.361, and 10.370 through 10.385, as well as Articles IV and V of this chapter. Exceptions may be appropriate for reasons of exceptional narrowness or shape of a parcel; for reasons of exceptional topographic conditions, extraordinary and exceptional building restrictions on a piece of property; or if strict applications of the public improvement or site development standards in the above-referenced Articles would result in peculiar, exceptional, and undue hardship on the owner.

- ***This exception application is for a variation on Chapter 10.430 and 4.30(B) for the full street right of way and street section requirements. Meeting these standards due to the location of the existing dwelling as shown on the accompanying plot plan is not practical.***

10.253 Criteria for an Exception

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority having jurisdiction over the plan authorization unless it finds that all of the following criteria and standards are satisfied. The power to authorize an exception from the terms of this code shall be sparingly exercised. Findings must indicate that:

(1) The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general

welfare or adjacent natural resources. The approving authority shall have the authority to impose conditions to assure that this criterion is met. (Effective Dec. 1, 2013).

- ***The intent of Chapter 10.430 and 4.30(B) is to provide vehicle and pedestrian right of way for ingress and egress along the Finley Lane right of way. This will be accomplished with a 14 foot half street centerline to curb line consistent with the existing street cross section and a 5 foot sidewalk as shown. The deviation will be excepting out the 8 foot planter in the area of conflict. There will also be a limited area for a PUE due to the location of the dwelling.***

(2) The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.

- ***The approval of this exception will not allow any use that is not already allowed.***

(3) There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.

- ***This dwelling existed on the property at the time it was purchased by the applicants, Tony and Tori Nieto. At the time the home was constructed in the 1940's it complied with the standards in effect then. The property has been subsequently annexed into the City of Medford and road improvements and right of way acquisitions have reduced the setbacks to the dwelling. While this is an older home it still has value and the applicants plan on keeping it as is.***

(4) The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.

- ***Granting of this exception will not result in any illegal outcome. The resulting lot will be in compliance with all applicable standards. The granting of this exception will not result in a gain by the applicants; the number of proposed lots remains the same.***

Respectfully submitted,



Herbert A Farber

Farber & Sons Inc
Dba., Farber Surveying
431 Oak Street
Central Point Oregon 97502

Phone: 541 664-5599
Email: herb@farbersurveying.com

August 18, 2015



Continuous Improvement Customer Service

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PLANNING DEPT.

CITY OF MEDFORD

Revised Date: 9/2/2015
File Numbers: LDS-15-073/E-15-099

**PUBLIC WORKS DEPARTMENT STAFF REPORT
SPRING CREEK SUBDIVISION**

Project: Request for a tentative plat approval for Spring Creek Subdivision, a 9-lot residential subdivision and an Exception to the required right-of-way dedication.

Location: Southwest corner of North Ross Lane and Finley Lane on a 1.99 acre property.

Applicant: Tony & Tory Nieto, Applicants (Farber Surveying, Agent). Sarah Sousa, Planner.

NOTE: **Items A - D Shall be Completed and Accepted Prior to Approval of the Final Plat.**

A. STREETS

1. Dedications

North Ross Lane is classified as a major collector street within the Medford Land Development Code (MLDC), Section 10.428. The developer shall dedicate for public right-of-way, sufficient width of land along the North Ross Lane frontage of this proposed subdivision to comply with the half width of right-of-way for a major collector street, which is 37-feet. Based on County records, it appears there is 30 feet of right-of-way existing west of centerline. **The amount of additional right-of-way needed appears to be 7 feet. (MLDC 10.451).**

The developer will receive S.S.D.C. (Street System Development Charge) credits for the public right-of-way dedication on North Ross Lane, per the methodology established by the MLDC 3.815. **Should the developer elect to have the value of the land be determined by an appraisal, a letter to that effect must be submitted to the City Engineer within sixty (60) calendar days of the date of the Final Order of the Planning Commission. The City will then select an appraiser, and a cash deposit will be required as stated in Section 3.815.**

Finley Lane is proposed as a Minor Residential Street with right-of-way width of 55-feet, consistent with the standard prescribed by MLDC 10.430. The developer shall dedicate a sufficient width of land for a public right-of-way along the Finley Lane frontage of this proposed

subdivision to comply with the half width of right-of-way for a minor residential street, which is 27.5 feet. Based on County records, it appears there is 12 feet of right-of-way existing south of centerline. **The amount of additional right-of-way needed appears to be 15.5-feet. (MLDC 10.451).**

An exception request has been submitted for the Planning Commissions consideration for a reduction of the required right-of-way dedication from approximately 15.5-feet to approximately 8-feet, which will provide a total right-of-way width of approximately 47-feet. This will provide adequate right-of-way for all the components of a Minor Residential Street with the exception of a planter strip on the south side. If the exception request is denied the Developer shall dedicate 55-feet of right-of-way per MLDC 10.430.

The **minimum access drives** shall be private and constructed in accordance with MLDC Section 10.430A(1) and have a minimum width of 20-feet.

A **15 foot corner radius** shall be provided at the right-of-way lines of all intersecting streets. (MLDC 10.445).

Public Utility Easements, 10-feet in width, shall be dedicated along the street frontage of all the Lots within this development. (MLDC 10.471) **The PUE adjacent to lot 9 will be greatly impacted if the exception is approved. The Developer shall provide written concurrence from all the utilities benefitting from the PUE that a reduction is acceptable.**

The right-of-way and easement dedication shall be submitted directly to the Engineering Division of the Public Works Department. The submittal shall include: the right-of-way and easement dedication; a copy of a current Lot Book Report, Preliminary Title Report, or Title Policy; a mathematical closure report (if applicable), and the Planning Department File Number; for review and City Engineer acceptance signature prior to recordation by the applicant. Releases of interest shall be obtained by holders of trust deeds or mortgages on the right-of-way and PUE area.

2. Public Improvements

a. Public Streets

North Ross Lane along the frontage of this proposed development is already improved in close conformance to Major Collector Street Standards with a 44-foot wide curb-to-curb striped paved section, complete with curbs, gutters, street lights, and 5-foot sidewalks. Street lights were not included with the previous street improvements constructed by Jackson County.

Finley Lane, located along the north side of this development, shall be improved to minor residential street standards in accordance with MLDC Section 10.430. The developer shall improve the remaining southerly portion of Finley Lane, including AC paving, curb and gutter, 8-foot wide planter strip and 5-foot wide sidewalk. The developer shall cut one foot into the existing pavement, and construct the remaining portion of Finley along the frontage of this project.

b. Minimum Access Drive

The minimum access drives shall be improved to a minimum width of 18 feet with AC pavement. The minimum TI for the structural section shall be 3.5, the minimum AC section shall be 3" thick, and the base aggregate shall extend one foot beyond the edge of pavement. The minimum access drive shall be designed by a civil engineer licensed in the State of Oregon and plans submitted to the Public Works-Engineering Division for approval. A drainage system shall be incorporated into the paved access design to capture stormwater and direct it to the storm drain system.

c. Street Lights and Signing

All street lights for public streets shall be installed to City of Medford specifications. The following street lighting installations will be required:

Street Lighting - Developer Provided & Installed
2 – 250 watt HPS street lights with BMC

The street lights shall be operating and turned on at the time of the final "walk-through" inspection by the Public Works Department.

The existing overhead power lines along the frontage of this site on North Ross Lane may prevent the installation of the street light on the west side of North Ross Lane without relocating power poles. The Developer shall pay for PP&L to install new distribution poles to raise the overhead power lines to accommodate a 10 foot clearance from 2 – 250 watt HPS (35' mounting height) or as an option the Developer may Install 2 – 250 watt HPS on the east side, accessing power from the existing BMC north of Sweet Rd (road crossing already installed). Developer to ensure that there is sufficient right-of-way to for conduit and foundations. Also, the Developer's engineer shall verify that the existing circuits can handle the load of the new lights or modify the existing BMC to add additional circuits.

d. Pavement Moratoriums

There is a pavement cutting moratorium currently in effect along this frontage of North Ross Lane until 10/28/2016.

e. Soil Testing

The Developer's engineer shall obtain soil testing data to determine if there is shrink-swell potential in the underlying soils in this development. If they are present, they shall be accounted for in the roadway and sidewalk design within this Development.

f. Access to Public Street System

In accordance with MMC 10.430A(1), lots 4, 5 and 6 as well as Lots 1, 2 and 3 shall take access via 20-foot wide minimum access easements. The tentative plat shows two minimum access

easements providing access from Finley Lane. The Developer shall record shared access maintenance agreements for the mutual benefit and responsibility of all the respective parcels, including the maintenance of stormwater run-off from the asphalt.

A note shall be placed on the final plat stating that direct vehicular access to any lot from North Ross Lane is prohibited.

g. Easements

An easement shall be shown on the final plat for the drainage channel that crosses this site. The easement shall be centered on the channel and shall be 25-feet in width. This easement shall be for the purpose of access and maintenance for the City of Medford. The Developer shall install riparian plantings on the upper bank of the channel.

Easements shall be shown on the final plat for all sanitary sewer and storm drain mains or laterals, which cross lots, including any common area, other than those being served by said lateral.

3. Section 10.668 Analysis

To support a condition of development that an applicant dedicate land for public use or provide a public improvement, the Medford Code requires a nexus and rough proportionality analysis which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

10.668 Limitation of Exactions

Notwithstanding any other provisions of this Chapter 10, an applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless:

(1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose and that there is a rough proportionality between the burden of the exaction on the developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or

(2) a mechanism exists and funds are available to fairly compensate the applicant for the excess burden of the exaction to the extent that it would be a taking.

Nexus to a legitimate government purpose

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, emergency services and pedestrians. Further, these rights-of-way are used to

provide essential services such as sanitary sewer, domestic water and storm drains to serve the developed parcels. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

Rough proportionality between the dedications and improvements, and the impacts of development.

No mathematical formula is required to support the rough proportionality analysis. Furthermore, benefits to the development resulting from the dedication and improvements when determining “rough proportionality” have been considered, including but not limited to: increased property values, intensification of use, as well as connections to municipal services and the transportation network.

As set forth below, the dedications and improvements recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development.

Finley Lane: In determining rough proportionality, the City averaged the lineal footage of roadway per dwelling unit for road improvements and averaged square foot of right-of-way per dwelling unit for dedications. The proposed development has 9 dwelling units and will improve approximately 385 lineal feet of roadway which equates to 43 lineal feet per dwelling unit. Also the development will dedicate approximately 6242 square feet of right-of-way which equates to approximately 694 square feet per dwelling unit.

To determine proportionality a neighborhood with similar characteristics was used. The development used was Spring Meadows Subdivision Phase 1-5 located between Griffin Creek Road and Orchard Home Drive and Sunset Drive and South Stage Road and consisting of 66 dwelling units. The previous development improved approximately 3,048 lineal feet of roadway and dedicated approximately 151,756 square feet of right-of-way (GIS data used to calculate, approximations only). This equates to approximately 46 lineal feet of road per dwelling unit and approximately 2,299 square feet of right-of-way per dwelling unit.

- a. Dedication will ensure that new development and density intensification provides the current level of urban services. This development will create an additional 9 Lots within the City of Medford and increase vehicular traffic by approximately 86 average daily trips. The proposed street improvements will provide a safe environment of all modes of travel (vehicular, bicycles, & pedestrians) to and from this development.
- b. Dedication will ensure adequate street circulation is maintained. The street layout and connectivity proposed in this development will provide alternate route choices for the residents that will live in this neighborhood. This will decrease emergency vehicle response times and will decrease overall vehicle miles traveled.
- c. Dedication will provide access and transportation connections at urban level of service standards for this development. Each Lot in this development will have direct access to a public street with facilities that will allow for safe travel for vehicles, bicycles and pedestrians. There is also sufficient space for on-street parking. The connections

proposed in this development will enhance the connectivity for all modes of transportation and reduce trip lengths. As trip lengths are reduced, it increases the potential for other modes of travel including walking and cycling.

- d. Dedication of PUE will benefit development by providing public utility services, which are out of the roadway and more readily available to each Lot being served.

The additional traffic of all modes of travel generated by this proposed development supports the dedication and improvements for all modes of travel and utilities. As indicated above, the area required to be dedicated and improved for this development is necessary and roughly proportional to that required in previous developments in the vicinity to provide a transportation system that meets the needs for urban level services.

B. SANITARY SEWERS

This site lies within the Rogue Valley Sanitary Sewer (RVSS) service area. Contact RVSS for availability and connection. A sanitary sewer lateral shall be constructed to each lot prior to approval of the Final Plat.

C. STORM DRAINAGE

1. Hydrology

The Design Engineer shall provide an investigative report of the off-site drainage on the subdivision perimeter, a distance not less than 100 feet in all directions. All off-site drainage affecting the subdivision shall be addressed on the subdivision drainage plan. A hydrology map depicting the amount of area the subdivision will be draining shall be submitted with hydrology and hydraulic calculations. The opening of each curb inlet shall be sized in accordance with ODOT design standards. These calculations and maps shall be submitted with the public improvement plans for approval by the Engineering Division.

For the main drainage channel running through the development, a drainage and hydrology study must be prepared by a licensed civil engineer. The study must establish the 10, 25, and 100-year flood plain boundaries and the 100-year base flood elevations. No fill shall be allowed within the floodplain without a Flood Plain Permit from the Building Department. The drainage channel must be shown to, or improved to, convey the 10 year storm with 1-foot of freeboard.

2. Stormwater Detention and Water Quality Treatment

This development shall provide stormwater detention in accordance with MLDC, Section 10.486, and water quality treatment in accordance with the Rogue Valley Stormwater Quality Manual per MLDC, Section 10.481.

Upon completion of the project, the developer's design engineer shall provide written certification to the Engineering Division that the construction of the controlled storm water

release drainage system was constructed per plan. This letter shall be received by the City of Medford Public Works Engineering Department prior to certificate of occupancy of the new building.

3. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed subdivision will be submitted with the public improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

4. Mains and Laterals

The Developer shall show all existing and proposed Storm Drain mains, channels, culverts, outfalls and easements on the Conceptual Grading and Drainage Plan and the final Construction Plans.

In the event the lot drainage should drain to the back of the lot, the developer shall be responsible for constructing a private drain line, including a tee at the low point of each lot to provide a storm drain connection. All roof drains and foundation drains shall be connected directly to a storm drain system.

A storm drain lateral shall be constructed to each tax lot prior to approval of the Final Plat. Easements shall be shown on the Final Plat for storm drain laterals crossing lots other than the one being served by the lateral.

All public storm drain mains shall be located in paved public streets or within easements. All manholes shall be accessible by paved, all-weather roads. All easements shall be shown on the Final Plat and the public improvement plans.

5. Wetlands

The Developer shall contact the Division of State Lands for the approval and/or clearance of the subject property with regards to wetlands and/or waterways, as they are present on the site.

6. Erosion Control

Subdivisions of one acre and greater require a run-off and erosion control permit from DEQ. The approved permit must be submitted to the Engineering Division prior to public improvement plan approval. The erosion prevention and sediment control plan shall be included as part of the plan set. All disturbed areas shall have vegetation cover prior to final inspection/"walk-through" for this subdivision.

D. SURVEY MONUMENTATION

All survey monumentation shall be in place, field-checked, and approved by the City Surveyor

prior to the final "walk-through" inspection of the public improvements by City staff.

E. GENERAL CONDITIONS

1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the Public Works Engineering office.

2. Construction Plans

Construction drawings for any public improvements for this project shall be prepared by a professional engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets, minimum access drives, sanitary sewers, storm drains, and street lights as required by the Planning Commission's Final Order, together with all pertinent details and calculations. The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

In order to properly maintain an updated infrastructure data base, the Surveyor of Record shall submit an as-built survey prior to the Final Inspection and, the Engineer of Record shall submit mylar "as-constructed" drawings to the Engineering Division within sixty (60) calendar days of the Final Inspection (walk through). Also, the engineer shall coordinate with the utility companies, and show all final utility locations on the "as built" drawings.

3. Phasing

The Tentative Plat shows 2 phases.

4. Draft of Final Plat

The developer shall submit 2 copies of the preliminary draft of the final plat at the same time the public improvement plans (3 copies) are submitted. Neither lot number nor lot line changes shall be allowed on the plat after that time, unless approved by the City and all utility companies.

5. Permits

Building Permit applications shall not be accepted by the Building Department until the Final Plat has been recorded, and a "walk through" inspection has been conducted and approval of all public improvements as required by the Planning Commission has been obtained for this development.

Concrete or block walls built within a P.U.E., or within sanitary sewer or storm drain easements require review and approval from the Engineering Division of Public Works. Walls shall require a separate permit from the Building Department and may also require certification by a professional engineer.

The Developer shall address all floodway, floodplain and riparian area issues with the proper Agencies and acquire all necessary permits for work within the floodway, floodplain or riparian areas.

6. System Development Charges

Buildings in this development are subject to sewer treatment and street systems development charges. These SDC fees shall be paid at the time individual building permits are taken out.

This development is also subject to storm drain system development charges, the Developer is eligible for storm drain system development charge credits for the installation of storm drain pipe which is 24 inches in diameter or larger and is not used for storm drain detention in accordance with Medford Municipal Code (MMC), Section 3.891. The storm drain system development charge shall be collected at the time of the approval of the final plat

7. Pavement Moratoriums

The developer shall be responsible for notifying by certified letter all utility companies, as well as all current property owners of parcels which are adjacent to any public street being constructed or paved as part of this project. The letter shall inform the utility companies and property owners of the City's street moratorium policy with respect to pavement cutting for future utility services. The utility companies and property owners shall be given the opportunity to install utility services within the right-of-way prior to paving and the subsequent moratorium. Notifications shall be mailed by the Developer at least 6 months before a street is resurfaced or rebuilt per Medford Municipal Code (MMC), Section 3.070. Copies of the certifications shall be submitted to the City Engineer with the submittal of the preliminary construction drawings.

8. Construction and Inspection

Contractors proposing to do work on public streets, sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings, that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit to perform from the County.

For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and storm drain mains be inspected by video camera prior to acceptance of these systems by the City.

The developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

Prepared by: Doug Burroughs

**SUMMARY CONDITIONS OF APPROVAL
SPRING CREEK SUBDIVISION
LDS-15-073/E-15-099**

A. Streets

1. Street Dedications to the Public:

- Dedicate approximately 7-feet of additional right-of-way on North Ross Lane.
- Dedicate approximately 15.5-feet of additional right-of-way on Finley Lane unless otherwise approved through an exception.
- Dedicate Minimum Access Drive easements.
- Dedicate 10 foot public utility easements (PUE) unless otherwise approved through an exception.

2. Improvements:

- a. Public Streets
 - Construct southerly portion of Finley Lane to Minor Residential standards.
 - Construct Minimum Access Drives to standards.
- b. Lighting and Signing
 - Developer supplies and installs all street lights at own expense.
 - City installs traffic signs and devices at Developer's expense.
- c. Provide soil testing.
- d. No direct access to North Ross Lane.
- e. Provide easement for drainage channel and riparian plantings.

B. Sanitary Sewer:

A private lateral shall be constructed to each lot prior to Final Plat. RVSS District.

C. Storm Drainage:

- Provide an investigative drainage report.
- Provide a 100 year flood study.
- The site requires water quality and detention facilities.
- A comprehensive grading plan is required for the project and made part of the public improvement plans.
- A storm drain lateral shall be constructed to each tax lot. In the event lots drain to the back, a private system will be required.
- The developer shall contact Division of State Lands for approval and/or clearance of the development with regards to wetlands.

- Erosion Control Permit from DEQ required for this project prior to public improvement plan approval.

D. Survey Monumentation

All survey monuments shall be in place, field checked and approved by the City Surveyor prior to final walk-through of public improvements.

E. General Conditions

Provide public improvement plans and drafts of the final plat.

Provide outside Agency approvals for all work within the floodway, floodplain and riparian areas.

Provide pavement moratorium letters.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

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PLANNING DEPT.

LAND DEVELOPMENT REPORT - PLANNING

To: Sarah Sousa

LD Meeting Date: 08/05/2015

From: Greg Kleinberg

Report Prepared: 07/30/2015

Applicant: Tony & Tory Nieto, Applicants (Farber Surveying, Agent)

File #: LDS - 15 - 73

Associated File #'s: E - 15 - 99

Site Name/Description: Spring Creek Subdivision

Request for a tentative plat approval for Spring Creek Subdivision, a 9-lot residential subdivision located on the southwest corner of North Ross Lane and Finley Lane and an Exception to the required right-of-way dedication for a 1.99 acre property zoned SFR-6 (Single Family Residential - 6 dwelling units per gross acre). Tony & Tory Nieto, Applicants (Farber Surveying, Agent). Sarah Sousa, Planner.

DESCRIPTION OF CORRECTIONS	REFERENCE
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Requirement "NO PARKING-FIRE LANE" SIGNS REQUIRED

OFC

503.3

Parking shall be posted as prohibited along the minimum access driveway.

Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).

Where parking is prohibited for fire department vehicle access purposes, NO PARKING-FIRE LANE signs shall be spaced at 50' intervals along the fire lane and at fire department designated turn-around's. The signs shall have red letters on a white background stating "NO PARKING FIRE LANE TOW AWAY ZONE ORS 98.810 to 98.812" (See handout).

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths (20' wide) and clearances (13' 6" vertical) shall be maintained at all times (OFC 503.4; ORS 98.810-12).

This restriction shall be recorded on the property deed as a requirement for future construction.

Requirement MINIMUM ACCESS ADDRESS SIGN

OFC

505

The developer must provide a minimum access address sign for lots #4-6. See attached minimum access street address sign installation sheet for the proper installation information. A pre-approved address sign can also be utilized.

Requirement MEDFORD CODE STREET DESIGN OPTIONS

MEDFORD

10.430

Section 10.430 of the Medford Code states the following:

In order to ensure that there is at least twenty (20) feet of unobstructed clearance for fire apparatus, the developer shall choose from one of the following design options:

(a) Clustered, offset (staggered) driveways (see example) (design approved by Fire Department), and fire hydrants located at intersections with the maximum fire hydrant spacing along the street of 250'



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Sarah Sousa

LD Meeting Date: 08/05/2015

From: Greg Kleinberg

Report Prepared: 07/30/2015

Applicant: Tony & Tory Nieto, Applicants (Farber Surveying, Agent)

File #: LDS - 15 - 73

Associated File #'s: E - 15 - 99

Site Name/Description: Spring Creek Subdivision

(b) All dwellings that front and take access from minor residential streets to be equipped with a residential (NFPA 13D) fire sprinkler system, and fire hydrants located at intersection with the maximum fire hydrant spacing along the street of 500-feet.

(c) Total paved width of 33-feet with five-and-a-half (5 ½) foot planter strips.

When the clustered-offset driveway option is chosen, a note indicating driveway locations shall be included on the final plat.

The Oregon Fire Code requires; "Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches" (OFC 503.2.1). "The required width of a fire apparatus access road shall not be obstructed in any manner, including parking of vehicles. Minimum required widths and clearances established in Section 503.2.1, shall be maintained at all times." (OFC 503.4).

Minor residential streets have a 28 foot paved surface. When vehicles are parked on both sides of the street there is 14 feet for fire department access, which is considerably less than the 20 foot requirement. Fire department pumpers are approximately 9 feet wide, this leaves approximately 2.5 feet on each side to remove equipment, drag hose, etc. We normally dispatch 3 fire engines and the ladder truck to all reported structure fires. The 14 feet becomes so congested that fire engines and or ambulances are required to back-up to leave the fire scene. Sometimes the on scene equipment is dispatched to another alarm. This backing up slows response times. The citizens of the City of Medford have certain expectations that when they require our assistance we will arrive in a timely manner. With a 20 foot clear and unobstructed width engines are able to pass on the side when necessary to respond to another incident or clear to return to their assigned area.

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.



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Memo

To: Sarah Sousa, Planning Department
From: Mary Montague, Building Department
CC: Tony & Tory Nieto, Applicant
Date: August 4, 2015
Re: File No. LDS-15-073/E-15-099

Building Department Requirements:

Please note; This is not a plan review. These are general notes based on the general information provided. Plans need to be submitted and will be reviewed by a residential plans examiner to determine if there are any other requirements for this occupancy type

Please contact the front counter for fees.

1. For list of applicable Building Codes, please visit the City of Medford website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Design Criteria" on left side of screen and select the appropriate design criteria.
2. All plans are to be submitted electronically. Information on the website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Electronic Plan Review (ePlans)" for information.
3. A Demolition Permit is required for any buildings being removed.
4. A Site Excavation Permit is required for development of subdivision.
5. A minimum access sign is required as per fire department and addressing.
6. This property is located in the 100 year flood plain. The north end of the property appears to have a LOMR on file. Provide a copy showing this area has been revised. Any structures on the south end of the property would require a Flood Elevation Certificate prior to construction, during construction and at final construction phases. If this property is not included in the LOMR then all lots would require a Flood Elevation Certificate.
7. A Floodplain permit is required for all properties located in the Floodplain.
8. The areas located in the wetlands is per planning and engineering departments.

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STAFF MEMO

To: Sarah Sousa
From: Jennifer Ingram, Address Technician
Date: 8/26/2015
Subject: LDS-15-073

1. Lots 4, 5, and 6 will require a minimum access drive address sign to be placed at the entrance of the minimum access drive.



Minimum Access Address Signs



SIGN:

Two sign faces (each minimum 0.080" thick aluminum) of engineering grade reflectivity, sandwiching the post facing perpendicular to the direction of traffic. The sign face shall have a white rounded border $\frac{1}{2}$ " wide centered $\frac{3}{4}$ " from the sign edge.

NUMBERS:

Numbers shall be white on green; numbers shall be four inches (4") as specified by the Federal Highway Administration (HTO-20). The message shall be centered on a 12" x 24" sign blank and shall be oriented with the long axis vertical. There shall be a maximum of four (4) digits horizontally. Multiple addresses shall be placed vertically on the sign.

BOLTS:

Mounting holes shall be $\frac{3}{8}$ " diameter located along the vertical axis, and centered $1\frac{1}{2}$ " from the top and bottom edge. Bolts shall be $\frac{3}{8}$ " diameter with sufficient length to properly secure signs to the posts. Properly sized steel rivets may be substituted for bolts.

LOCATION of SIGN:

- Install sign at the junction of the provider street and the minimum access street/driveway.
- Locate sign at the back of sidewalk (as much as is practical) and outside the right of way if sidewalk does not exist.
- Sign shall be installed to the City of Medford Operations Division standards, and utility companies shall be notified 48 hours before digging by calling Rogue Basin Utilities at: 1-800-332-2344.

POST:

Galvanized steel square post, pre-punched, 2" square by 10'0" long.

SLEEVE:

Square 2 $\frac{1}{8}$ " by 30" long galvanized steel square, pre-punched with $\frac{3}{8}$ " holes on 1" centers, anchor inserted into a 2 $\frac{1}{4}$ " by 18" long square, pre-punched, galvanized steel sleeve forming a two piece anchor. The sleeve and the breakaway anchor are driven into the ground so that only 1-2" of the top is sticking out of the ground. The sleeve and breakaway anchor are then driven into the ground with a sledgexhammer. A $\frac{3}{8}$ " bolt is used to secure post to sleeve.

min. 7' 0"

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AUG 10 2015

PLANNING DEPT.



BOARD OF WATER COMMISSIONERS
Staff Memo

TO: Planning Department, City of Medford
FROM: Rodney Grehn P.E., Water Commission Staff Engineer
SUBJECT: LDS-15-073 & E-15-099
PARCEL ID: 372W26AB TL 1200
PROJECT: Request for a tentative plat approval for Spring Creek Subdivision, a 9-lot residential subdivision located on the southwest corner of North Ross Lane and Finley Lane and an Exception to the required right-of-way dedication for a 1.99 acre property zoned SFR-6 (Single Family Residential – 6 dwelling units per gross acre); Tony & Tory Nieto, Applicants (Farber Surveying, Agent). Sarah Sousa, Planner.
DATE: August 10, 2015

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. The existing water meter located along N Ross Lane near the northeast corner of proposed Lot 9 within proposed Phase II, is required to be abandoned.
4. Proposed Phase I requires the installation of six (6) water meters along Finley Lane. These water meters shall serve proposed Lots 1-6. Coordinate with MWC engineering staff for location of proposed water meters.
5. Proposed Phase II requires the installation of one (1) water meter along Finley Lane for proposed Lot 9; and the installation of two (2) water meters along N Ross Lane for proposed Lots 7-8. Coordinate with MWC engineering staff for location of proposed water meters.

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is not required.

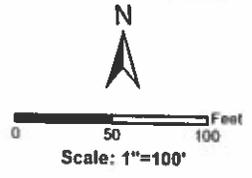
Continued to next page



BOARD OF WATER COMMISSIONERS
Staff Memo

Continued from previous page

3. MWC-metered water service does exist to this property. There is one (1) ¾" water meter that serves the existing home at 471 N Ross Lane. (See Condition 3 above)
4. Access to MWC water lines is available. There is a 6-inch water line in Finley Lane, and a 12-inch water line in N Ross Lane.



**Water Facility Map
for
Spring Creek Subdivision
LDS-15-073 & E-15-099**

Legend

- Air Valve
- Sample Station
- Fire Service
- Hydrant
- ▲ Reducer
- Blow Off
- ◆ Plugs-Caps
- Water Meters:**
 - Active Meter
 - On Well
 - Unknown
 - Vacant
- Water Valves:**
 - Butterfly Valve
 - Gate Valve
 - Tapping Valve
- Water Mains:**
 - Active Main
 - - - Abandoned Main
 - Reservoir Drain Pipe
 - Pressure Zone Line
- Boundaries:**
 - ▭ Urban Growth Boundary
 - ▭ City Limits
 - ▭ Tax Lots
- MWC Facilities:**
 - C** Control Station
 - P** Pump Station
 - R** Reservoir



RECEIVED

JUL 23 2015

PLANNING DEPT



ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 97502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

July 23, 2015

City of Medford Planning Department
411 West 8th Street
Medford, Oregon 97501

Re: LDS-15-073/E-15-099, Spring Creek Subdivision, Ref PA 10-054, REF ZC-08-126,
(372W26AB - 1200)

ATTN: Sarah,

There is an 8 inch sewer main on Finley Lane and a 30 inch sewer main on Ross Lane. The existing house is currently connected to the 8 inch sewer main on Finley Lane.

Sewer service to lots 1, 2, and 3 will require service taps into the 8 inch sewer main on Finley Lane. Permits for the taps will be issued by RVSS upon payment of related development fees.

Sewer service to lots 4, 5, and 6 will require a main line extension along the proposed minimum access road. This main line extension must be designed and constructed in accordance with RVSS standards.

Sewer service to lots 7 and 8 will require service taps into the 30 inch sewer main on Ross Lane. Permits for the taps will be issued by RVSS upon payment of related development fees.

The existing house on Lot 9 is currently served. The proposed development will not affect this service.

Rogue Valley Sewer Services requests that approval of this development be subject to the following conditions:

1. Applicant must obtain permits from Rogue Valley Sewer Services to tap existing main lines and extend services to Lots 1, 2, 3, 7, and 8.
2. Applicant must install a new sewer main in accordance with RVSS standards to serve lots 4, 5, and 6.

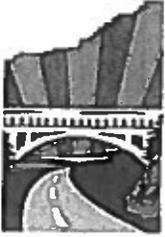
Sincerely,

Carl Tappert

Carl Tappert P.E.
Manager

K:\DATA\AGENCIES\MEDFORD\PLANNING\LAND SUB\2015\LDS-15-073_SPRING CREEK.DOC

CITY OF MEDFORD
EXHIBIT #M



JACKSON COUNTY

Roads

RECEIVED

JUL 31 2015

Roads
Engineering **PLANNING DEPT.**

Kevin Christiansen
Construction Manager

200 Antelope Road
White City, OR 97503
Phone: (541) 774-6255
Fax: (541) 774-6295
christike@jacksoncounty.org

www.jacksoncounty.org

July 27, 2015

Attention: Sarah Sousa
Planning Department
City of Medford
200 South Ivy Street, Lausmann Annex, Room 240
Medford, OR 97501

RE: Subdivision off Ross Lane North and Finley Lane – city maintained roads.
Planning File: LDS-15-073 & E-15-099

Dear Sarah:

Thank you for the opportunity to comment on the consideration of a 9-lot residential subdivision located on 1.99 acres within a SRF-6 (Single Family Residential – 6 dwelling units per gross acre) Zone District and an Exception to the required right-of-way dedication. This subdivision is located on the southwest corner of Ross Lane North and Finley Lane, both city maintained roads. Jackson County has no comments.

If you have any questions or need further information feel free to call me at 774-6255.

Sincerely,

Kevin Christiansen
Construction Manager

CITY OF MEDFORD

EXHIBIT #N

File #LDS-15-073/E-15-099

Sarah K. Sousa

From: MOREHOUSE Donald <Donald.MOREHOUSE@odot.state.or.us>
Sent: Tuesday, August 18, 2015 11:13 AM
To: Sarah K. Sousa
Subject: LDS-15-073/ E-15-099

RECEIVED

AUG 18 2015

PLANNING DEPT.

Sarah,

Thank you for sending agency notice of a consideration of a request for a tentative plat approval for Spring Creek Subdivision, a 9-lot residential subdivision located on the southwest corner of North Ross Lane and Finley Lane and an Exception to the required right-of-way dedication for a 1.99 acre property zoned SFR-6 (Single Family Residential – 6 dwelling units per gross acre). We reviewed this and determined that it would not significantly affect state transportation facilities under the State Transportation Planning Rule (OAR 660-012-0060) or State Access Management Rule (OAR 734-051-000). We have no further comments at this time.

Don Morehouse
Senior Transportation Planner
ODOT Region 3, District 8 (Rogue Valley Tech Center)
Ph: (541) 774-6399
Fax: (541) 774-6349
Donald.Morehouse@odot.state.or.us

CITY OF MEDFORD
EXHIBIT #0
File #LDS-15-073/E-15-099

RECEIVED

JUL 30 2015

WETLAND LAND USE NOTIFICATION RESPONSE

OREGON DEPARTMENT OF STATE LANDS PLANNING DEPT.

775 Summer Street NE, Suite 100, Salem, OR 97301-1279

Phone (503) 986-5200

www.oregonstatelands.us



DSL File Number: WN2015-0226

Cities and counties have a responsibility to notify the Department of State Lands (DSL) of certain activities proposed within wetlands mapped on the Statewide Wetlands Inventory. Sarah Sousa from city of Medford submitted a WLUN pertaining to local case file #: LDS-15-073/E-15-099.

Activity location:

township: 37S range: 02W section: 26 quarter-quarter section:

tax lot(s): 1200

street address: 471 N Ross Lane, Medford

city: Medford county: Jackson

latitude: 42.329458 longitude: -122.90014

Mapped wetland/waterway features:

- The local wetlands inventory shows a wetland on the property.
- The county soil survey shows hydric (wet) soils on the property. Hydric soils indicate that there may be wetlands.

Oregon Removal-Fill requirement (s):

- A state permit is required for 50 cubic yards or more of removal and/or fill in wetlands, below ordinary high water of streams, within other waters of the state, or below highest measured tide where applicable.

Your activity:

- It appears that the proposed project may impact wetland and may require a wetland delineation.
- An onsite inspection by a qualified wetland consultant is recommended prior to site development to determine if the proposed project may impact wetlands or waters. If wetlands are present, a wetland delineation is needed to determine precise wetland boundaries. The wetland delineation report should be submitted to DSL for review and approval.

Contacts:

- For permit information and requirements contact DSL Resource Coordinator (see website for current list) http://www.oregonstatelands.us/DSL/contact_us_directory.shtml#Wetlands_Waterways

- For wetland delineation report requirements and information contact DSL Wetlands Specialist (see website for current list)

http://www.oregonstateiands.us/DSL/contact_us_directory.shtml#Wetlands_Waterways

- For removal-fill permit and/or wetland delineation report fees go to

http://www.oregon.gov/DSL/PERMITS/docs/rf_fees.pdf

- A permit may be required by the U.S. Army Corps of Engineers (503-808-4373).

CITY OF MEDFORD
EXHIBIT #P
File #LDS-15-073/E-15-099

Related wetland delineations/determinations:

WD #	Status
WD2015-0186	Approved

This is a preliminary jurisdictional determination and is advisory only.

Comments: There is an approved delineation for this property--WD2015-0186, so no additional delineation is required at this time. The delineation is valid for 5 years.

Response by:  date: 07/28/2015

Aerial Photograph

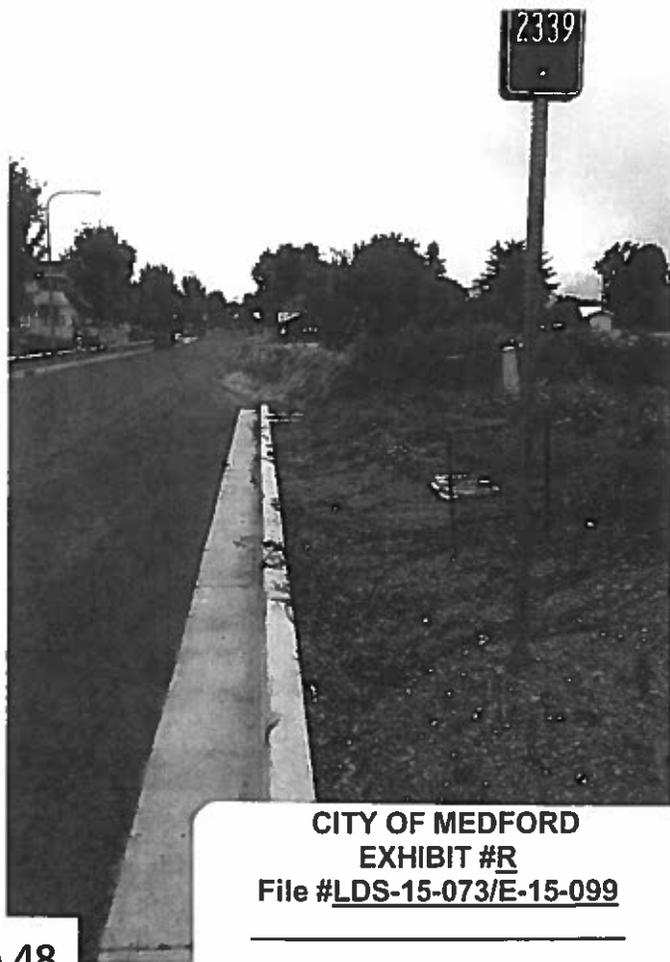
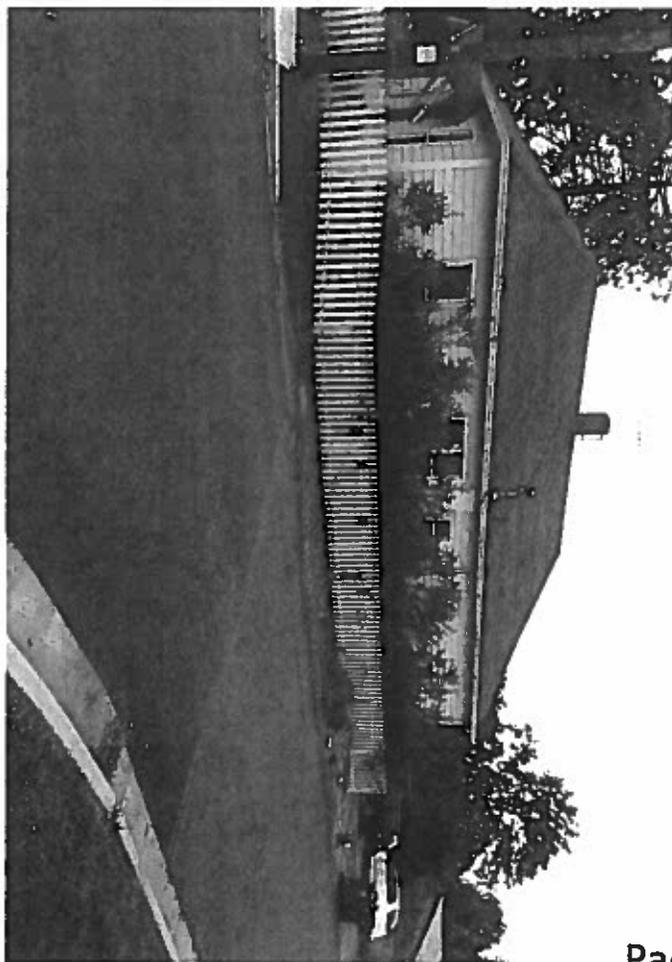


CITY OF MEDFORD
EXHIBIT #Q
File #LDS-15-073/E-15-099

RECEIVED

JUL 18 2015

PLA

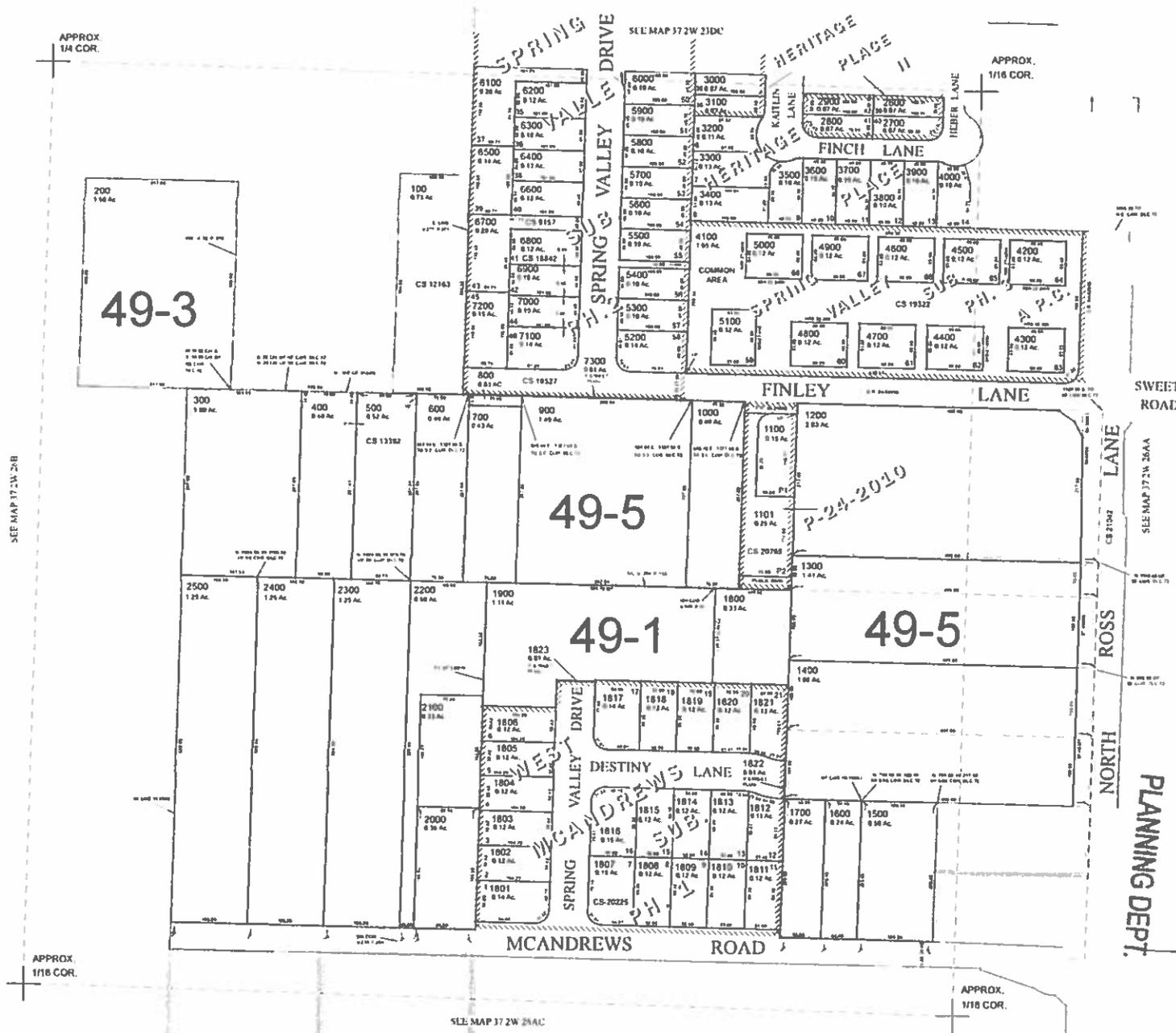


CITY OF MEDFORD
EXHIBIT #R
File #LDS-15-073/E-15-099

FOR ASSESSMENT AND TAXATION ONLY

N. W. 1/4, N. E. 1/4, SEC. 26, T. 37 S., R. 2 W., W. M.
JACKSON COUNTY
1" = 100'

37 2W 26AB
MEDFORD



CANCELLED TAX
LOT NUMBERS
1961 KILLED INTO 1961

CITY OF MEDFORD
EXHIBIT #S
File #LDS-15-073/E-15-099

RECEIVED
JUL 13 2015
PLANNING DEPT.

37 2W 26AB
MEDFORD
NEW MAP FEBRUARY 16, 2010
REV. MARCH 02, 2010

Vicinity Map

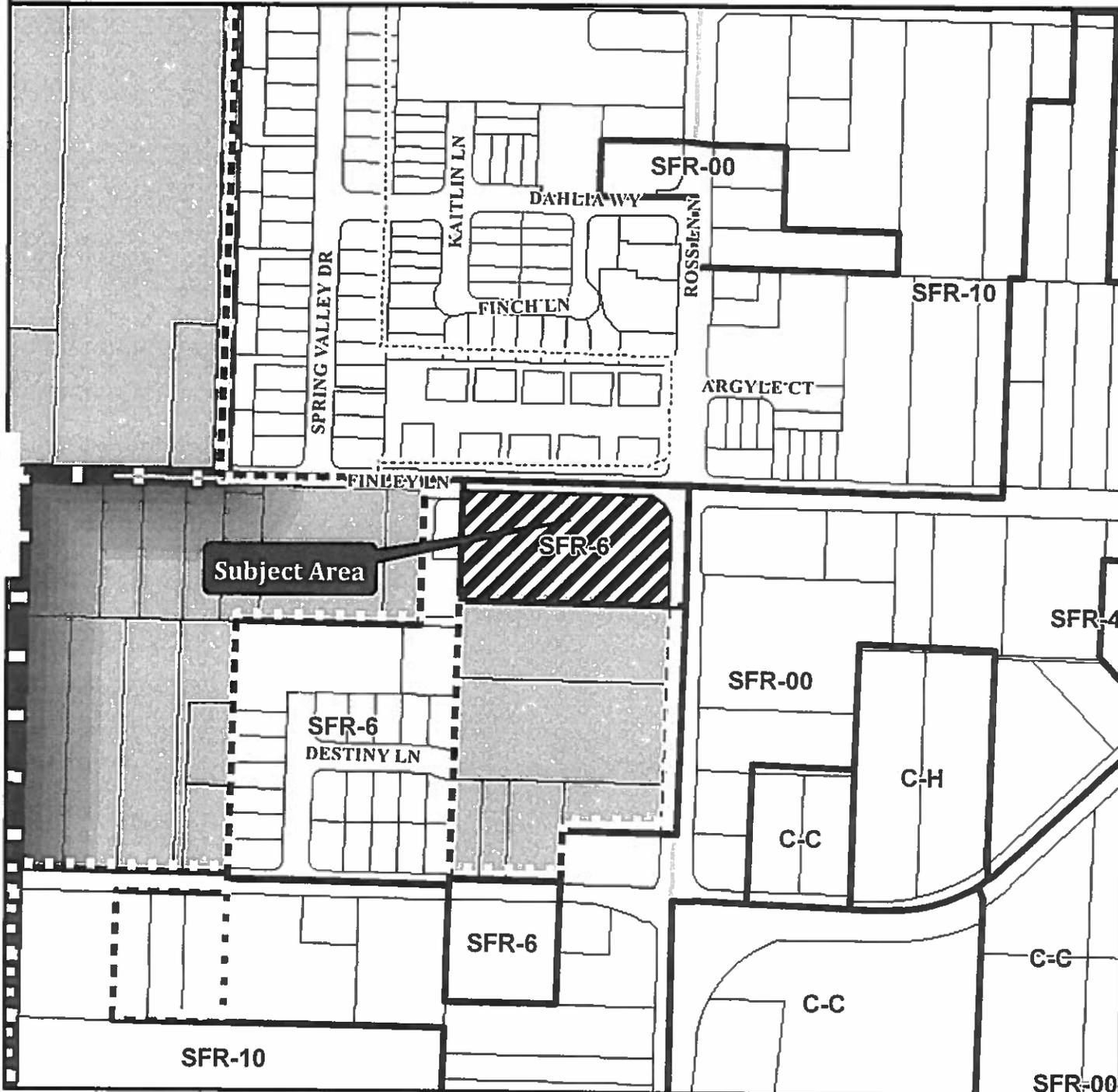
Application Name/Description:
Spring Creek Subdivision

Proposal:
9 lot subdivision

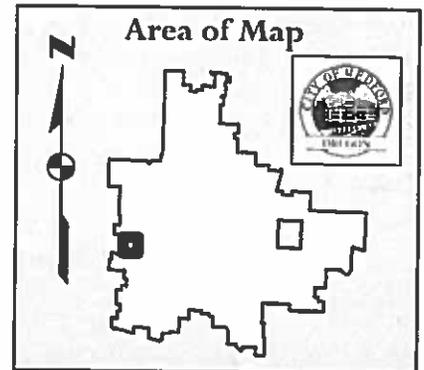
File Numbers:
LDS-15-073

Applicant:
Tony and Tory Nieto

Map/Taxlot:
372W26AB TL 1200



	Subject Area
	Medford Zoning
	UGB
	Tax Lots
	City Limits
	PUD



05/18/2015



Planning Department

Working with the community to shape a vibrant and exceptional city

STAFF REPORT

for a Type-C quasi-judicial decision: **Land Division (Subdivision)**

Project Merlot Valley Subdivision
 Applicant: Mark McAlister; Agent: Richard Stevens & Associates, Inc.

File no. LDS-15-095

To Planning Commission *for 9/24/2015 hearing*

From Aaron Harris, Planner II

Reviewer Kelly Akin, Principal Planner *KA*

Date September 18, 2015

BACKGROUND

Proposal

Proposed tentative plat for a two-phase, 23-lot residential subdivision on a 3.75 acre parcel located on the west side of Kings Highway, approximately 200 feet south of Diamond Street within the SFR-10 (single-family residential, 10 dwelling units per gross acre) zoning district.

Subject Site Characteristics

Zoning	SFR-10	Single-family residential – 10 dwelling units per gross acre
GLUP	UR	Urban Residential
Use		Single-family homes

Surrounding Site Characteristics

North	SFR-10	Single-family homes
South	SFR-00	Single-family residential – 1 dwelling unit per existing lot
	SFR-4	Single-family residential – 4 dwelling units per gross acre
	SFR-10	Single-family homes
East	SFR-6	Single-family residential – 6 dwelling units per gross acre
West	SFR-00	Single-family homes
	SFR-10	Vacant land

Related Projects

LDS-07-062 Pear Valley Subdivision (approved/expired)

Applicable Criteria

Medford Municipal Code Section 10.270, Land Division Criteria

The approving authority (Planning Commission) shall not approve any tentative plat unless it first finds that, the proposed land division together with the provisions for its design and improvement:

- (1) Is consistent with the Comprehensive Plan, any other applicable specific plans thereto, including Neighborhood Circulation Plans, and all applicable design standards set forth in Article IV and V;
- (2) Will not prevent development of the remainder of the property under the same ownership, if any, or of adjoining land or of access thereto, in accordance with this chapter;
- (3) Bears a name that has been approved by the approving authority and does not use a word which is the same as, similar to, or pronounced the same as a word in the name of any other subdivision in the City of Medford; except for the words "town", "city", "place", "court", "addition", or similar words; unless the land platted is contiguous to and platted by the same applicant that platted the land division bearing that name; or unless the applicant files and records the consent of the party who platted the land division bearing that name and the block numbers continue those of the plat of the same name last filed;
- (4) If it includes the creation of streets or alleys, that such streets or alleys are laid out to be consistent with existing and planned streets and alleys and with the plats of land divisions already approved for adjoining property unless the approving authority determines it is in the public interest to modify the street pattern;
- (5) If it has streets or alleys that are proposed to be held for private use, that they are distinguished from the public streets or alleys on the tentative plat, and reservations or restrictions relating to the private streets or alleys are set forth;
- (6) Will not cause an unmitigated land use conflict between the land division and adjoining agricultural lands within the EFU (Exclusive Farm Use) zoning district.

ISSUES AND ANALYSIS

Background and Prior Approvals

The subject properties were part of the Pear View Subdivision, approved by the Planning Commission in June of 2007 (LDS-07-062). The approval has since expired. Pear View Subdivision included an additional, adjacent tax lot to the west of the current proposal. It was designed to contain 28 lots on 4.41 gross acres. Tax Lot 300 contained a dwelling that was removed in 2008 following the subdivision approval.

Project Phasing

The applicant proposes to divide the project into two phases. Phase 1 includes Lots 1–10 and Phase 2 includes Lots 11–23.

Site Development Standards

All proposed lots conform to the standards of the Medford Land Development Code (MLDC) for length, width, square footage, lot frontage, and access.

Density

The allowable density for the 3.75 acre parcel is 23–37 units. The project is proposed with 23 lots, which is within the allowable range.

Streets

Circulation Plan

The proposed subdivision lies within the adopted Southwest Medford Circulation Plan. The Circulation Plan identifies Kings Highway as a minor arterial and Diamond Street as a major collector. The Circulation Plan shows Lillian Street built to residential street standards from Diamond Street to the City's southern boundary located south of Sieber Lane. The Circulation Plan also shows an east–west street built to residential street standards that is consistent with the location of Nobility Drive to the east, but it does not show this street with an east–west connection to Kings Highway or to Hart Street. The applicant proposes to build Tannin Drive, the subdivision's east–west street, as a minor residential street.

The proposed subdivision complies with the Circulation Plan by providing the portion of Lillian Street that runs through the subject property. It is designed to accommodate future connections to the north and south. The applicant has designed Lillian Street as a minor residential street in conformance with MLDC 10.430.

Intersection Spacing

The applicant is unable to position Tannin Drive in such a way that it would meet the standards set forth at MLDC 10.426(D). The applicant does not own the property directly opposite of Nobility Drive, and therefore could not extend Nobility Drive west of Kings Highway. Further, Tannin Drive would be located too close to Nobility Drive if it were placed on the southern portion of the property.

The distance between the proposed intersection of Tannin Drive and Kings Highway and Nobility Drive and Kings Highway is 192.98 feet. This proposed location is 7.02 feet short of the 200-foot standard set forth at MLDC 10.426(D) for offset intersections. MLDC 10.426(D) allows the approval authority to grant relief from the 200-foot standard without the applicant filing for an exception if it finds that utilizing an offset of less than 200 feet is necessary to economically develop the property with the use for which it is zoned. Staff has determined that the proposal meets the criteria to permit the approval authority to grant relief from the 200-foot standard.

An additional factor in the proposed placement of Tannin Drive is a required 10-foot street side setback for the existing property to the north.

Block Lengths

Block perimeter lengths are consistent with the standards set forth at Table 10.426-1. The block length of Tannin Drive from Lillian Street to Kings Highway is 708 feet, exceeding block length standards by 48 feet. The block length of Diamond Street from Lillian Street to Kings Highway is 687 feet, exceeding block length standards by 27 feet. All other proposed block lengths comply with the standards set forth at Table 10.426-1.

MLDC 10.426(C)(3) permits block lengths to exceed the maximum by up to 20% where the maximum block or perimeter standards would require one or more additional street connections in order to comply with both the block length or perimeter standards while satisfying the street and block layout requirements of 10.426 A, B or D. Diamond Street from Lillian Street to Kings Highway exceeds the maximum block length at Table 10.426-1 by 4%. Tannin Drive from Lillian Street to Kings Highway exceeds the maximum block length at Table 10.426-1 by 7%. Staff has determined that the proposal satisfies street connectivity and formation of blocks provisions at 10.426 (A) and (B).

Access

Lots 1–6, 8, 10, 11, 13, 14, and 16–23 will take vehicular access off of Tannin Drive and Lillian Street. Lots 7, 9, 12, and 15 will take vehicular access from a minimum access easement that will connect to Tannin Drive.

The proposed street circulation is designed to ensure that there will be no direct access onto a collector or arterial street. The Public Works Department staff report stipulates

that a note shall be placed on the final plat stating that no lot shall have direct vehicular access to Kings Highway, an arterial street (Exhibit F).

Staff finds that the proposal's street circulation design and connectivity pattern meets the standards set forth at MLDC 10.426.

Wetlands

The Medford Local Wetland Inventory Map and Land Information System indicate there are no locally significant wetlands on the property.

Committee Comments

No committee comments have been received with regard to the proposal as of September 15, 2015.

Agency Comments

Agency comments are included at Exhibits F–M. There are adequate facilities to serve the development according to agency comments.

The Public Works Department staff report states that the project developer will be required to improve the portion of Kings Highway adjacent to the development. Required improvements include the west half plus 12 feet east of the centerline, or to the far edge of the existing pavement, whichever is greater, along the frontage of this development (Exhibit F).

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit D) and recommends the Commission adopt the findings as presented.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare a Final Order for approval of LDS-15-095 per the staff report dated September 18, 2015, including Exhibits A through L.

EXHIBITS

- A Conditions of Approval
- B Tentative Plat received September 1, 2015
- C Conceptual Grading & Storm Drainage Plan received September 1, 2015
- D Block Length Plan received September 1, 2015
- E Applicant's Findings of Fact received September 2, 2015
- F Public Works Department staff report received September 3, 2015

- G Medford Building Department comments received August 28, 2015
- H Medford Fire Department report received September 3, 2015
- I Memo from Address Technician received August 28, 2015
- J Rogue Valley Sewer Services comments received September 11, 2015
- K ODOT comments received August 27, 2015
- L Water Commission comments received September 15, 2015
- M Jackson County comments received September 8, 2015
- N Southwest Medford Circulation Map received July 8, 2015
Vicinity map

PLANNING COMMISSION AGENDA:

SEPTEMBER 24, 2015

EXHIBIT A

Merlot Valley Subdivision
LDS-15-095
Conditions of Approval
September 15, 2015

DISCRETIONARY CONDITIONS

1. The Commission authorizes a 5-year approval period allowed for phased projects as per Medford Land Development Code Section 10.269(2).

CODE CONDITIONS

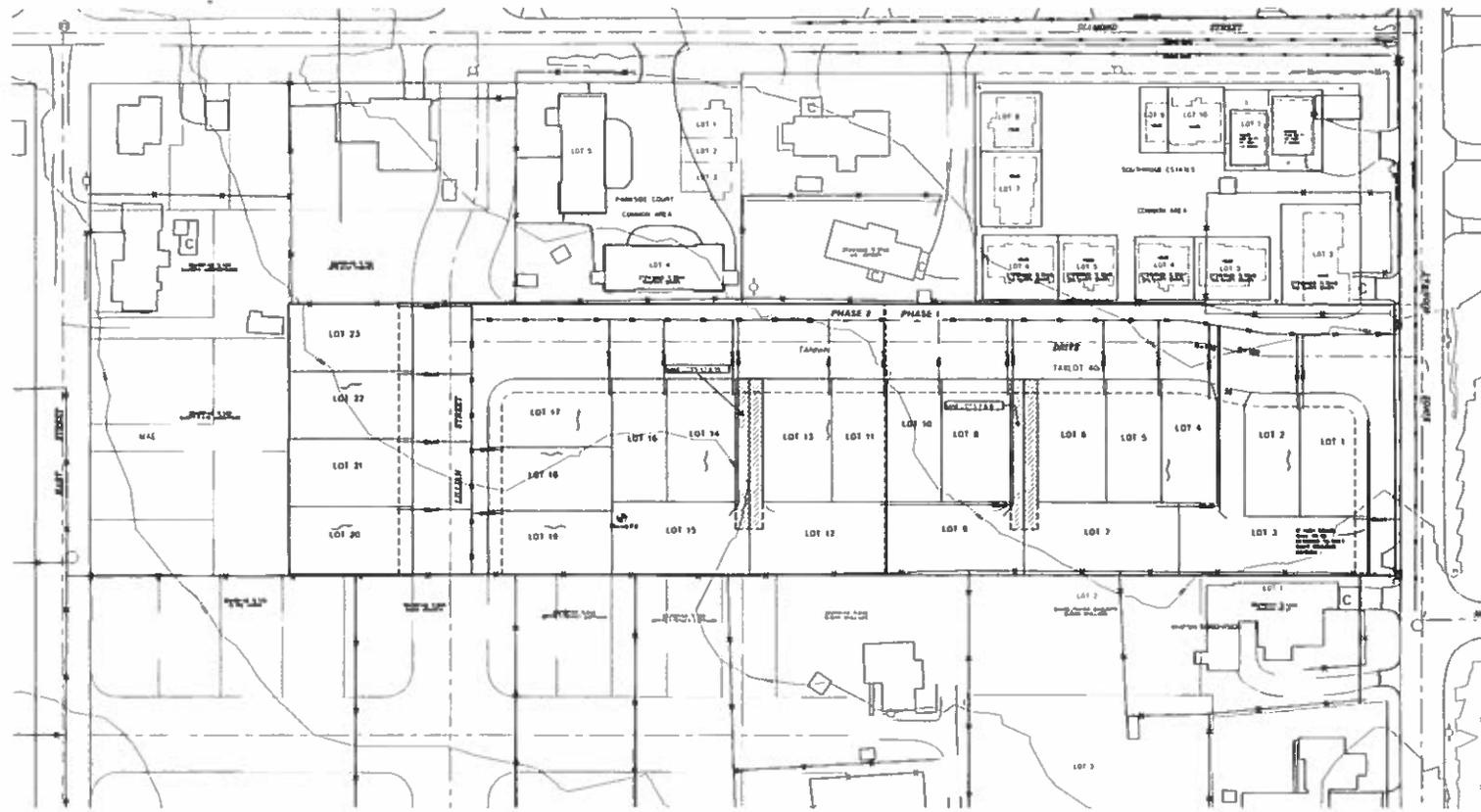
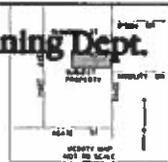
2. Prior to Final Plat approval of each phase, the applicant shall:
 - a. Comply with the Public Works Department Report received September 3, 2015 (Exhibit F);
 - b. Comply with the Fire Department Report received September 3, 2015 (Exhibit H);
 - c. Comply with the Address Technician Memo received August 28, 2015 (Exhibit I);
 - d. Comply with the Rogue Valley Sewer Services Memo received August 13, 2015 (Exhibit J);
 - e. Comply with the Medford Water Commission Memo received September 3, 2015 (Exhibit L);

RECEIVED

SEP 01 2015

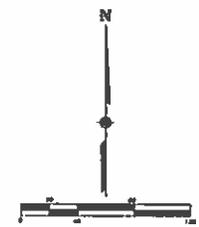
Planning Dept.

MERLOT VALLEY SUBDIVISION
Located in the NE 1/4 of Sec. 1, T.30S, R.2W, W.M
A in the City of Medford Jackson County, Oregon

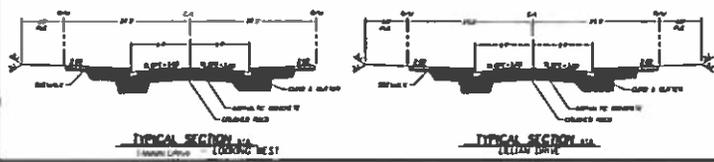


Sheet **A**
DATE: _____
PREPARED BY: _____
CHECKED BY: _____
DATE: _____

GENERAL NOTES
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE STREET UNLESS OTHERWISE NOTED.



Page 59



DRAINAGE NOTES
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE STREET UNLESS OTHERWISE NOTED.

REDWOOD PROFESSIONAL LAND SURVEYOR <i>James P. Hottle</i> J.P. Hottle 1000 S. 10th St. Medford, OR 97504 408.842.1111	CONCEPTUAL GRADING & DRAINAGE PLAN	DATE: _____
	PROJECT: _____	SCALE: _____
DESIGNED BY: _____		CHECKED BY: _____
DATE: _____		DATE: _____
PROJECT NO.: _____		SHEET NO.: _____
TOTAL SHEETS: _____		OF _____

CITY OF MEDFORD
EXHIBIT # C
File # AE 15-095
LOS-15-095

RECEIVED

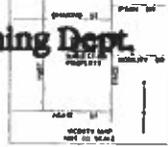
SEP 01 2015

Planning Dept.

MERLOT VALLEY SUBDIVISION
Located in the NE 1/4 of Sec. 1, T.28S, R.27E, W.M.
& in the City of Medford Jackson County, Oregon

BLOCK PERIMETER = 1613'

BLOCK PERIMETER = 1656'

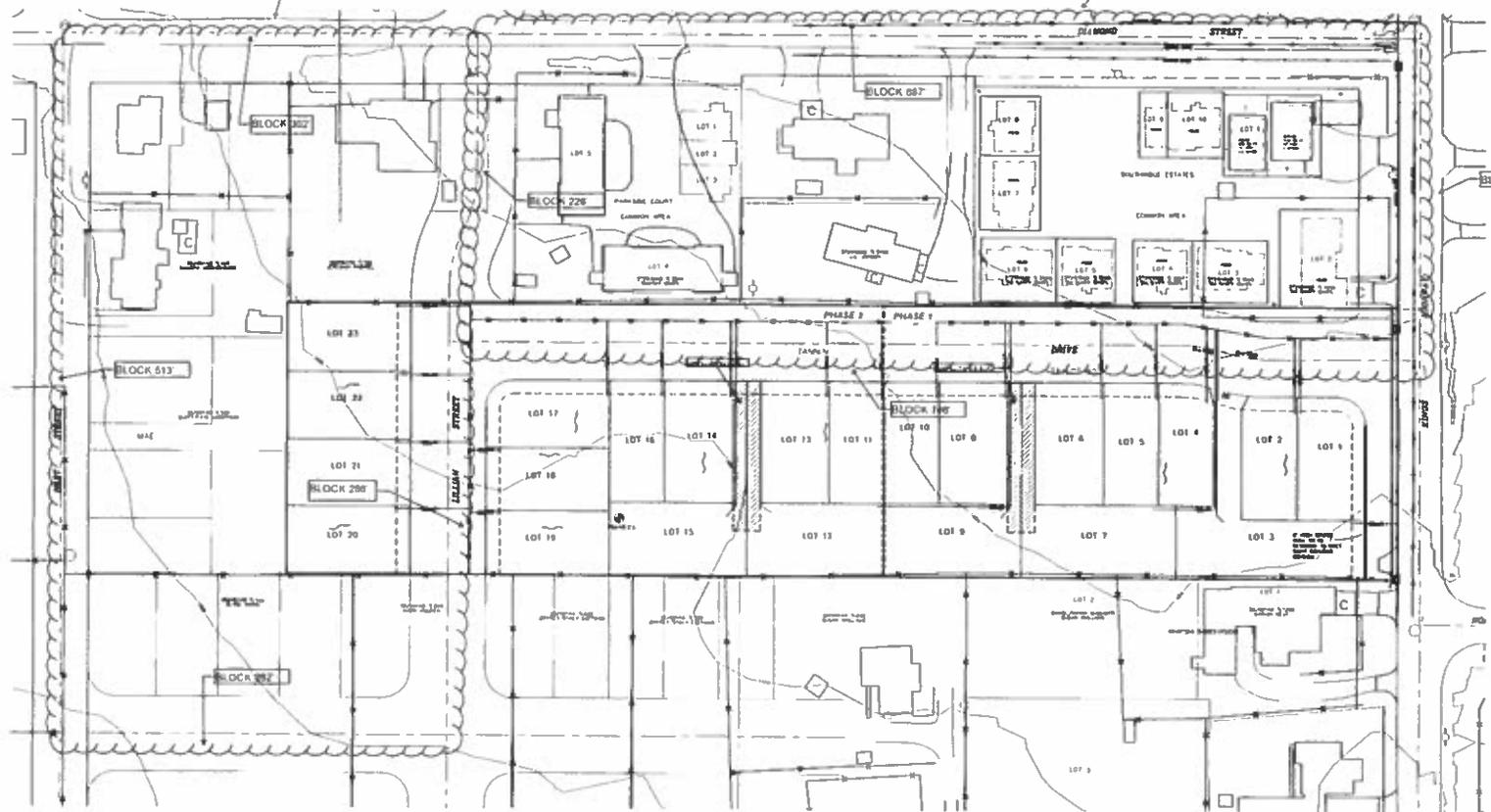
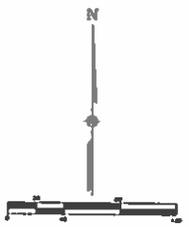


BLOCK 235'

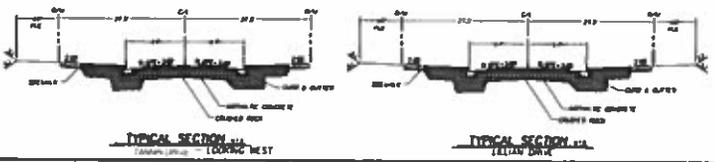
SCALE: 1" = 40'

PREP BY: _____ DATE: _____
 APPROVED: _____
 DRAWN BY: _____
 NO. OF LOTS: 33 LOTS
 DATE: _____
 PREP BY: _____ DATE: _____
 APPROVED BY: _____ DATE: _____

GENERAL NOTES
 1. EXISTING UTILITIES SHOWN AS PER RECORD DRAWINGS.
 2. ALL UTILITIES TO BE DELETED OR RELOCATED AS SHOWN ON THIS PLAN.
 3. ALL UTILITIES TO BE RELOCATED TO BE SHOWN ON THIS PLAN.
 4. ALL UTILITIES TO BE RELOCATED TO BE SHOWN ON THIS PLAN.
 5. ALL UTILITIES TO BE RELOCATED TO BE SHOWN ON THIS PLAN.



Page 60



REVIEWED PREP BY: JAMES H. HOLT DATE: 08/11/15 080 W. 3RD ST., 2ND FL. MEDFORD, OR 97501	BLOCK 235 WITH PLAN PREP BY: JAMES H. HOLT DATE: 08/11/15 080 W. 3RD ST., 2ND FL. MEDFORD, OR 97501	PREP BY: JAMES H. HOLT DATE: 08/11/15 080 W. 3RD ST., 2ND FL. MEDFORD, OR 97501
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CITY OF MEDFORD
 EXHIBIT # **D**
 File # **16-15-095**
105-15-095

BEFORE THE PLANNING COMMISSION
CITY OF MEDFORD, OREGON

RECEIVED

SEP 02 2015

Planning Dept.

IN THE MATTER OF AN APPLICATION)
FOR A SUBDIVISION TENTATIVE PLAT)
ON PROPERTIES DESCRIBED AS MAP NO.)
T.38S-R.2W-SECTION 01AB TAX LOT 600 &)
T.38S-R.2W-SECTION 01AA TAX LOTS 500,)
400, 300 & 200; MARK McALISTER,)
APPLICANT)

REVISED
FINDINGS OF FACT

I. BACKGROUND INFORMATION:

Property Owner: Mark McAlister
5966 Dark Hollow Road
Medford, OR 97501

Agent: Richard Stevens & Assoc., Inc.
PO Box 4368
Medford, OR 97501
(541) 773-2646

Surveyor: L.J. Friar and Associates, PC.
PO Box 1947
Phoenix, OR 97535
(541) 772-2782

Property Description: T.38S-R.2W-Section 01AB, Tax Lot 600
T.38S-R.2W-Section 01AA, Tax Lots 500, 400,
300 & 200

Comp. Plan: Urban Residential (UR)

Zoning: SFR-10

Acreage: 3.66 net acres
3.75 gross acres

Proposed Lots: 22 Lots

Type of Development: Subdivision (Merlot Valley Subdivision)



II. PROPOSED DEVELOPMENT

The development proposal is for a Phased Subdivision to create 23 new residential lots for future detached single family residential development. The first phase is proposed for Lots 1-10 and the second phase will be for Lots 11-23. The subject properties are currently vacant of a dwelling. Tax Lot 300 contained a dwelling at one time; however, it was removed in 2008 after a subdivision was approved for these properties in 2007, which has since expired. The revised Tentative Plat Map (Exhibit A) submitted with this application provides the information needed to meet the requirements of Section 10.267, MLDC. All other necessary documentation for the exhibits was provided with the first set of findings. Only the additional or changed documentation is provided with these revised findings.

The streets have been designed to the City of Medford specifications. Based on the Medford Transportation System Plan (TSP) and adopted Southwest Medford Circulation Plan (Exhibit B-previously submitted), the proposed Tannin Drive is designated as a Residential Street as is the extension of Lillian which is incorporated into this Subdivision. The proposed street circulation will connect to Kings Highway, which is a Minor Arterial street, to Lillian designated to be a residential street. Eventually, with future build out, the potential exists for there to be a connection from Lillian to Hart, also a residential street as demonstrated on the tentative plat. These street classifications and alignments were designed to be as consistent as possible with the Southwest Medford Street Circulation Plan. The water, sanitary sewer and storm drains will also be designed to City of Medford specifications.

A subdivision was previous approved on this parcel in 2007 through File No.LDS-07-062 as the Pear Valley Subdivision. The difference between this proposal and the previously approved subdivision is that the applicant was only able to purchase five parcels, not the six parcels the previously approved subdivision was designed out of. For this reason, the layout of this application is slightly different and unfortunately Pear Valley was no longer available, thus the name change to Merlot Valley Subdivision.

III. FINDINGS OF FACT

Section 10.270, MLDC, establishes the approval criteria for land divisions. The following findings address each subsection of Section 10.270, MLDC.

Section 10.270(1) *"Is consistent with the Comprehensive Plan, any other applicable specific plans thereto, including Neighborhood Circulation Plans, and all applicable design standards set forth in Article IV and V."*

FINDING



The property is designated on the Medford Comprehensive Plan as Urban Residential (UR). The zoning on the subject property is SFR-10, which is consistent with the Comprehensive Plan designation.

The design of the new lots within Merlot Valley Subdivision has been designed to serve the needs of the future residents and surrounding area. Access to the new Lots will be from Tannin Drive and Lillian Street. Lots 1, 2, 3 (flag pole lot), 4, 5, 6, 8, 10, 11, 13, 14, and 16 will have frontage on Tannin Drive, a residential street. Lot's 7, 9, 12 and 13 take access via a minimum access easement that will also connect with Tannin Drive. Access for Lots 17-23 will take access off of Lillian Street, also a minimum access street. This street circulation plan will ensure that there will be no direct access onto a collector street or an arterial street.

The street alignments and circulation in the vicinity are dictated by the previous dedications for streets consistent with the Southwest Street Circulation Plan to meet the requirements of Articles IV and V, MLDC.

Section 10.426(A) Street Arrangement Suitability.

The approving authority shall approve or disapprove street arrangement. In determining the suitability of the proposed street arrangement, the approving authority shall take into consideration:

- 1. Adopted neighborhood circulation plans where provided; and*
- 2. Safe, logical and convenient access to adjoining property consistent with existing and planned land uses; and*
- 3. Efficient, safe and convenient vehicular and pedestrian circulation along parallel and connecting streets; and*
- 4. Compatibility with existing natural features such as topography and trees; and City or state access management standards applicable to the site.*

FINDING

The street arrangement for this project relied heavily on trying to comply with the adopted Southwest Medford Circulation Plan. Lillian Street is planned to extend from Diamond Street to Agate Street and continue further south. We have included Lillian, for the applicant's portion of the street, to accommodate the future connections to the north and south consistent with the Southwest Medford Circulation Plan. The plan does not show an east west connection, however, in an attempt to continue the grid design of streets for this area; this design shows that an east west connection is feasible.

The streets were designed for safe, logical, and convenient access that will allow connectivity to adjoining properties that is consistent with planned land uses for this area. Both the vehicular and pedestrian circulation is efficient and safe for connectivity to connecting streets, to



Kings Highway and Lillian Street. These parcels are all relatively flat and the design is compatible with the existing natural features.

Section 10.426(B) Street Connectivity and Formation of Blocks Required.

1. *Block layouts shall substantially conform to adopted neighborhood circulation plans for the project area if applicable. Street arrangement and location may depart from the adopted plan if the project will result in a comparable level of overall connectivity. Projects that depart from the neighborhood circulation plan shall conform to planned higher order streets adopted in the City of Medford Transportation System Plan.*
2. *Proposed streets, alleys and accessways shall connect to other streets within a development and to existing and planned streets outside the development, when not precluded by factors in Section 10.426 C.2 below. When a development proposes a cul-de-sac, minimum access easement or flag lot to address such factors, the provisions of Section 10.450 apply.*
3. *Proposed streets or street extensions shall be located to provide direct access to existing or planned transit stops and other neighborhood activity centers such as schools, office parks, shopping areas, and parks.*
4. *Streets shall be constructed or extended in projections that maintain their function, provide accessibility, and continue an orderly pattern of streets and blocks.*

FINDING

The street connectivity and formation of the blocks are laid out to substantially conform to the adopted Southwest Medford Circulation Plan and the development of Lillian Street. The adopted plan shows an east west street that is consistent with the location of Nobility to the east, yet it does not show this street with an east west connection for Kings Highway to Hart Street. The applicant could not place the street to the subdivision on the southern portion of the property, because it would be too close to Nobility Street and it would make it so this design would not be in compliance with Section 10.426(D) in terms of distances between intersections. Therefore, this plan slightly varies from the Southwest Medford Circulation Plan to accommodate this standard to the greatest extent.

There are two proposed accessways as private minimum access easements for Lots 7, 9, 12 and 15, and a flag lot for Lot 3, all of which will connect to Tannin Drive. Connection of the flag lot and the minimum access easements to other streets outside this development is not practicable, as they could not meet the standards for the street



improvements necessary to bring them up to residential street standards. No cul-de-sacs are proposed for this application.

The layout and design of the streets and their connections within this subdivision will allow for direct access to existing and planned transit stops and other neighborhood activity centers. The proposed extended connections to other streets show an orderly grid pattern can be achieved.

Section 10.426(C) Maximum Block Length and Block Perimeter Length.

1. *Block lengths and block perimeter lengths shall not exceed the following dimensions...*

FINDING

The block perimeter length is consistent with the standards of 10.426(C)(1), Table 10.426-1, none of the potential new blocks will exceed 2,100 feet, see the attached map in Exhibit B. However, the block length of Tannin Drive from Kings Highway to the Lillian connection is 708 feet, and to the north along Diamond, Lillian to Kings Highway is 687 feet, both of which exceed the block length of 660 feet. Tannin Drive is over the maximum block length by 48 feet and Diamond is over by 27 feet. Though this proposal does slightly exceed the block lengths, the provisions provided in subsection (3) of this section provides the means to be over the block length, but not to exceed it by 20%. The provided block lengths do not exceed the maximum block length by 20% as discussed below.

2. *The approving authority may find that proposed blocks that exceed the maximum block and or perimeter standard are acceptable when it is demonstrated by the findings that one or more of the constraints, conditions or uses listed below exist on, or adjacent to the site:...*

After review of this section, none of the listed constraints affect the property. There are no topographic or environmental constraints, the area is not needed for a Large Industrial Site, proximity to state highways is not an issue, the property is not zoned SFR-2, no future development on adjoining property or reserve acreage is known nor does it exist, the use is not for a public or private school or convention center or a public community service facility, and lastly, this proposal meets all the other provisions of the MLDC and there are not conflicts with other sections of the code.

3. *Block lengths are permitted to exceed the maximum by up to 20% where the maximum block or perimeter standards would require one or more additional street connections in order to comply with both the block length or perimeter standards while*



satisfying the street and block layout requirements of 10.426 A or B or D.”

As seen in the discussion above, this plan attempts to satisfy the street and block layout requirements of Sections 10.426 A and B to the greatest extent. This section of the code allows for the excess block lengths to be permitted if they do not exceed the maximum by up to 20%. The maximum block length is 660 feet and 20% of that is 132 feet. The block length of Tannin Drive from Kings Highway to the Lillian connection is 708 feet which is over the maximum by 48 feet; and to the north along Diamond, Lillian to Kings Highway is 687 feet which is over the maximum by 27 feet. It can be seen that neither block length exceeds 132 feet to be in compliance with this section. In fact, the two block lengths that are in excess of 660 feet, combined total 75 feet over the standard which is still less than 20 % of the maximum. This proposal is also in substantial conformance with the southwest street circulation plan as it connects to Lillian Street a planned thought street to be in conformance with 10.426(A).

4. *When Block perimeters exceed the standards in accordance with the 10.426(C)(2) above, or due to City or State access management plans, the land division plat or site plan shall provide blocks divided by one or more public accessways, in conformance with Sections 10.464 through 10.466.*

Though the block lengths exceed the maximum, this proposal does not fall under the provisions of subsection (C)(2) above. There is a street circulation plan for this area, however, neither the City nor the State has an access management plan for this area.

Subsection (C)(3) of this section allows for the block length to exceed the maximum block length by 20% and does not require additional street connections, while satisfying the street and block layout requirements of 10.4.26(A) to comply with the southwest street circulation plan. We only exceed the block lengths by 4% and 7%; therefore, this subsection doesn't apply.

Section 10.426(D) Minimum Distance Between Intersections.

Streets intersecting other streets shall be directly opposite each other, or offset by at least 200 feet, except when the approving authority finds that utilizing an offset of less than 200 feet is necessary to economically develop the property with the use for which it is zoned, or an existing offset of less than 200 feet is not practical to correct.



FINDING

The distance between the proposed intersection of Tannin Drive and Kings Highway and the intersection of Nobility Way and Kings Highway is 192.98 feet. Tannin Drive is designed in order to accommodate an imposed 10 foot street side setback for the existing structure on the property to the north. For this reason and the fact the applicant doesn't own other adjacent land, this offset of less than 200 feet is not practical to correct and would not allow the property to be developed for the use in which it is zoned. Therefore, the applicant is proposing to meet this distance to the greatest extent with the current design of the land division.

Section 10.450 Cul-de-sacs, Minimum Access Easements, and Flag Lots. (as applicable)

- 1) *Cul-de-sacs, minimum access easements and flag lots shall only be permitted when the approving authority finds that any of the following conditions exist...*
 - b) *It is not possible to create a street pattern which meets the design requirements for streets...*
- 3) *If a flag lot is necessary, then the following standards shall apply:*
 - a) *The access drive, or flag pole, shall have a minimum width of twenty (20) feet.*
 - b) *The minimum lot frontage for a flag lot shall be twenty (20) feet.*
 - c) *The required front yard setback shall be measured from the lot frontage property line.*
 - d) *The minimum driveway throat width shall be determined as per Section 10.550.*

FINDING

Conversations with Public Works indicated the current location of Tannin Drive was the best location for the road. Due to the placement of the access is it's not possible to create a street pattern which meets the design requirements for streets for this project, therefore, subsection b) above applies.

The flag lot is designed to meet the standards outlined above. It has a 30 foot driveway throat and frontage and provides for the 20-foot requirements flag lot widths above.

The two minimum access easement accessways are consistent with Sections 10.464 through 10.466. The proposed accessways for this project are necessary due to the fact alternative street connections are infeasible in order to meet our density requirements. These accessways provide a direct connection between pedestrian destinations as there are



only 2 of them and the distance is 20 feet each. They are designed to meet the requirements of Section 10.466 for right-of-way width and they are only 143 feet long which makes them as short as possible to meet lot dimensions and density. The applicant agrees to light them consistent with the Medford Land Development Code (MLDC).

Section 10.270(2) *"Will not prevent development of the remainder of the property under the same ownership, if any, or of adjoining land or of access thereto, in accordance with this chapter."*

FINDING

The proposed land division encompasses the entire tract in the ownership of the applicant; therefore, there is no remaining property in the same ownership to be developed in the future. No other land in common ownership is abutting the site.

The proposed subdivision will not prevent development of neighboring lands as seen by the tentative plat, which demonstrates the potential street design of adjacent lands.

The development of the subject properties will not prevent access or appropriate development to adjoining properties.

Section 10.270(3) *"Bears a name that has been approved by the approving authority..."*

FINDING

The name of the project "Merlot Valley Subdivision" has been reviewed and approved by the Jackson County Surveyor's office as seen on the attached County document. The street name has also been approved as seen in Exhibit E (previously submitted).

Section 10.270(4) *"If it includes the creation of streets or alleys, that such streets or alleys are laid out to be consistent with existing and planned streets and alleys and with the plats of land divisions already approved..."*

FINDING

As noted on the Tentative Plat the existing street system lay out is as consistent with the Southwest Medford Street Circulation Plan and the Medford TSP to the greatest extent.



Section 10.270(5) *"If it has streets or alleys that are proposed to be held for private use, that they are distinguished from the public streets or alleys on the tentative plat..."*

FINDING

The proposed minimum access easements are identified on the plat with hash marks to distinguish them from the public street. The applicant agrees to necessary reservations or restrictions relating to the private streets.

Section 10.270(6) *"Contains streets, if applicable, and lots which are oriented to make maximum effective use of passive solar energy..."*

FINDING

The street alignments and location of the lots are dictated by the existing approved street right of ways, alignments and the Southwest Medford Street Circulation Plan. The proposed lots are oriented to the east/west and north/south axis to the greatest extent possible.

Section 10.270(7) *"Will not cause an unmitigated land use conflict between the land division and adjoining agricultural lands within the EFU zoning district."*

FINDING

Not Applicable. Upon review of the Medford Zoning Map, there are no abutting EFU zoned lands.



IV. CONCLUSION

Based upon the above findings and the Subdivision Tentative Plat map for "Merlot Valley Subdivision", submitted for review, the City of Medford concludes that the proposed Subdivision meets the minimum requirements for a Land Division application to the greatest extent. The City may conclude that the few variations from the minimum standards are consistent with the allowances in the code for those variations. The City of Medford concludes that this application is consistent with the requirements of the City and complies with the Medford Land Development Code. The applicant requests that the City of Medford apply the 2 year expiration from the date of the Final Order with this application, consistent with the City of Medford policies.

Respectfully Submitted,



RICHARD STEVENS & ASSOCIATES, INC.
Megan LaNier Wattier - *Principal*





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SEP 03 2015

Planning Dept,

CITY OF MEDFORD

Revised Date: 9/3/2015
File Numbers: LDS-15-095

**PUBLIC WORKS DEPARTMENT STAFF REPORT
MERLOT VALLEY SUBDIVISION**

- Project:** Proposed tentative plat for a 23-lot residential subdivision located.
- Location:** Approximately 200 feet south of Diamond Street between Hart Street and Kings Highway on a 3.75 acre parcel.
- Applicant:** Mark McAlister, Applicant (Richard Stevens & Associates, Inc., Agent). Aaron Harris, Planner.

NOTE: Items A - D Shall be Completed and Accepted Prior to Approval of the Final Plat.

A. STREETS

1. Dedications

Kings Highway is classified as a Minor Arterial Street within the Medford Land Development Code (MLDC), Section 10.428. The developer shall dedicate for public right-of-way, sufficient width of land along the frontage of this proposed subdivision to comply with the half width of right-of-way, which is 39-feet. Based on County records, it appears there is 20 feet of right-of-way existing west of centerline. **The amount of additional right-of-way needed appears to be 19-feet. (MLDC 10.451).** The Developers surveyor shall verify the amount of additional right-of-way required.

The developer will receive S.S.D.C. (Street System Development Charge) credits for the public right-of-way dedication on Kings Highway, per the methodology established by the MLDC 3.815. **Should the developer elect to have the value of the land be determined by an appraisal, a letter to that effect must be submitted to the City Engineer within sixty (60) calendar days of the date of the Final Order of the Planning Commission. The City will then select an appraiser, and a cash deposit will be required as stated in Section 3.815.**

Merlot Valley Drive and Lillian Street are proposed as a Minor Residential Streets with right-

of-way width of 55-feet, consistent with the standard prescribed by MLDC 10.430. The developer shall dedicate a sufficient width of land for public right-of-way along the Merlot Valley Drive and Lillian Street frontage of this proposed subdivision to comply with the full width of right-of-way as shown on the tentative plat.

The **minimum access drives** shall be private and constructed in accordance with MLDC Section 10.430A(1) and have a minimum width of 20-feet.

A **15 foot corner radius** shall be provided at the right-of-way lines of all intersecting streets. (MLDC 10.445).

Public Utility Easements, 10-feet in width, shall be dedicated along the street frontage of all the Lots within this development. (MLDC 10.471)

The right-of-way and easement dedications shall be submitted directly to the Engineering Division of the Public Works Department. The submittal shall include: the right-of-way and easement dedication; a copy of a current Lot Book Report, Preliminary Title Report, or Title Policy; a mathematical closure report (if applicable), and the Planning Department File Number; for review and City Engineer acceptance signature prior to recordation by the applicant. Releases of interest shall be obtained by holders of trust deeds or mortgages on the right-of-way and PUE area.

2. Public Improvements

a. Public Streets

Kings Highway shall be improved to Minor Arterial Street standards which includes a 78-foot wide paved sections, complete with curbs, gutters, 8-foot wide park strips, 5-foot wide sidewalks and street lights in accordance with MLDC 10.430 (1). **The Developer shall improve the west half plus 12 feet east of the centerline, or to the far edge of the existing pavement, whichever is greater, along the frontage of this development.**

Merlot Valley Drive and Lillian Street shall be improved to Minor Residential Street standards with 28-foot wide paved sections, complete with curbs, gutters, 8-foot wide park strips, 5-foot wide sidewalks and street lights in accordance with MLDC 10.430 (1). The Developer shall improve the full width along the frontage of this development.

b. Minimum Access Drive

The minimum access drives shall be improved to a minimum width of 18 feet with AC pavement. The minimum TI for the structural section shall be 3.5, the minimum AC section shall be 3" thick, and the base aggregate shall extend one foot beyond the edge of pavement. The minimum access drive shall be designed by a civil engineer licensed in the State of Oregon and plans submitted to the Public Works-Engineering Division for approval. A drainage system shall be incorporated into the paved access design to capture stormwater and direct it to the storm drain system.

c. Street Lights and Signing

All street lights and signing for public streets shall be installed to City of Medford specifications.

The following street lighting and signing installations will be required:

Street Lighting - Developer Provided & Installed

- A. 6 – 100W HPS street light

Traffic Signs and Devices - City Installed, paid by the Developer

- A. 2 – street name signs
- B. 1 – Dead end barricades
- C. 1 – Dead End Sign
- D. 1 – Stop Sign

All street lights shall be operating and turned on at the time of the final “walk through” inspection by the Public Works Department.

d. Pavement Moratoriums

There is no pavement cutting moratorium currently in effect along this frontage.

e. Soil Testing

The Developer’s engineer shall obtain soil testing data to determine if there is shrink-swell potential in the underlying soils in this development. If they are present, they shall be accounted for in the roadway and sidewalk design within this Development.

f. Access to Public Street System

In accordance with MMC 10.430A(1), lots 6 and 9 as well as lots 12 and 15 shall take access via two separate 20-foot wide minimum access easements. The tentative plat shows both minimum access easements situated along the south boundary, and providing access from Merlot Valley Drive. The Developer shall record a shared access maintenance agreement for the mutual benefit and responsibility of all the respective parcels, including the maintenance of stormwater run-off from the asphalt.

A note shall be placed on the final plat stating that no lot shall have direct vehicular access to Kings Highway, in accordance with MC Section 10.550.

3. Section 10.668 Analysis

To support a condition of development that an applicant dedicate land for public use or provide a public improvement, the Medford Code requires a nexus and rough proportionality analysis

which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

10.668 Limitation of Exactions

Notwithstanding any other provisions of this Chapter 10, an applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless:

(1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose and that there is a rough proportionality between the burden of the exaction on the developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or

(2) a mechanism exists and funds are available to fairly compensate the applicant for the excess burden of the exaction to the extent that it would be a taking.

Nexus to a legitimate government purpose

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, emergency services and pedestrians. Further, these rights-of-way are used to provide essential services such as sanitary sewer, domestic water and storm drains to serve the developed parcels. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

Rough proportionality between the dedications and improvements, and the impacts of development.

No mathematical formula is required to support the rough proportionality analysis. Furthermore, benefits to the development resulting from the dedication and improvements when determining "rough proportionality" have been considered, including but not limited to: increased property values, intensification of use, as well as connections to municipal services and the transportation network.

As set forth below, the dedications and improvements recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development.

Merlot Valley Drive and Lillian Street: In determining rough proportionality, the City averaged the lineal footage of roadway per dwelling unit for road improvements and averaged square foot of right-of-way per dwelling unit for dedications. The proposed development has 23 dwelling units and will improve approximately 835 lineal feet of roadway which equates to 36 lineal feet per dwelling unit. Also the development will dedicate approximately 45,928 square feet of right-of-way which equates to approximately 1,997 square feet per dwelling unit.

To determine proportionality a neighborhood with similar characteristics was used. The development used was Spring Meadows Subdivision Phase 1-5 located between Griffin Creek Road and Orchard Home Drive and Sunset Drive and South Stage Road and consisting of 66 dwelling units. The previous development improved approximately 3,048 lineal feet of roadway and dedicated approximately 151,756 square feet of right-of-way (GIS data used to calculate, approximations only). This equates to approximately 46 lineal feet of road per dwelling unit and approximately 2,299 square feet of right-of-way per dwelling unit.

- a. Dedication will ensure that new development and density intensification provides the current level of urban services. This development will create an additional 23 Lots within the City of Medford and increase vehicular traffic by approximately 220 average daily trips. The proposed street improvements will provide a safe environment of all modes of travel (vehicular, bicycles, & pedestrians) to and from this development.
- b. Dedication will ensure adequate street circulation is maintained. The street layout and connectivity proposed in this development will provide alternate route choices for the residents that will live in this neighborhood. This will decrease emergency vehicle response times and will decrease overall vehicle miles traveled.
- c. Dedication will provide access and transportation connections at urban level of service standards for this development. Each Lot in this development will have direct access to a public street with facilities that will allow for safe travel for vehicles, bicycles and pedestrians. There is also sufficient space for on-street parking. The connections proposed in this development will enhance the connectivity for all modes of transportation and reduce trip lengths. As trip lengths are reduced, it increases the potential for other modes of travel including walking and cycling.
- d. Dedication of PUE will benefit development by providing public utility services, which are out of the roadway and more readily available to each Lot being served.

The additional traffic of all modes of travel generated by this proposed development supports the dedication and improvements for all modes of travel and utilities. As indicated above, the area required to be dedicated and improved for this development is necessary and roughly proportional to that required in previous developments in the vicinity to provide a transportation system that meets the needs for urban level services.

B. SANITARY SEWERS

This site lies within the Rogue Valley Sanitary Sewer (RVSS) service area. Contact RVSS for availability and connection. A sanitary sewer lateral shall be constructed to each lot prior to approval of the Final Plat.

C. STORM DRAINAGE

1. Hydrology

The Design Engineer shall provide an investigative report of the off-site drainage on the subdivision perimeter, a distance not less than 100 feet in all directions. All off-site drainage affecting the subdivision shall be addressed on the subdivision drainage plan. A hydrology map depicting the amount of area the subdivision will be draining shall be submitted with hydrology and hydraulic calculations. The opening of each curb inlet shall be sized in accordance with ODOT design standards. These calculations and maps shall be submitted with the public improvement plans for approval by the Engineering Division.

2. Stormwater Detention and Water Quality Treatment

This development shall provide stormwater detention in accordance with MLDC, Section 10.486, and water quality treatment in accordance with the Rogue Valley Stormwater Quality Manual per MLDC, Section 10.481.

Upon completion of the project, the developer's design engineer shall provide written certification to the Engineering Division that the construction of the controlled storm water release drainage system was constructed per plan. This letter shall be received by the City of Medford Public Works Engineering Department prior to certificate of occupancy of the new building.

3. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed subdivision will be submitted with the public improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

4. Mains and Laterals

The Developer shall show all existing and proposed Storm Drain mains, channels, culverts, outfalls and easements on the Conceptual Grading and Drainage Plan and the final Construction Plans.

In the event the lot drainage should drain to the back of the lot, the developer shall be responsible for constructing a private drain line, including a tee at the low point of each lot to provide a storm drain connection. All roof drains and foundation drains shall be connected directly to a storm drain system.

A storm drain lateral shall be constructed to each tax lot prior to approval of the Final Plat. Easements shall be shown on the Final Plat for storm drain laterals crossing lots other than the one being served by the lateral.

All public storm drain mains shall be located in paved public streets or within easements. All manholes shall be accessible by paved, all-weather roads. All easements shall be shown on the Final Plat and the public improvement plans.

5. Wetlands

The Developer shall contact the Division of State Lands for the approval and/or clearance of the subject property with regards to wetlands and/or waterways.

6. Erosion Control

Subdivisions of one acre and greater require a run-off and erosion control permit from DEQ. The approved permit must be submitted to the Engineering Division prior to public improvement plan approval. The erosion prevention and sediment control plan shall be included as part of the plan set. All disturbed areas shall have vegetation cover prior to final inspection/"walk-through" for this subdivision.

D. SURVEY MONUMENTATION

All survey monumentation shall be in place, field-checked, and approved by the City Surveyor prior to the final "walk-through" inspection of the public improvements by City staff.

E. GENERAL CONDITIONS

1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the Public Works Engineering office.

2. Construction Plans

Construction drawings for any public improvements for this project shall be prepared by a professional engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets, minimum access drives, sanitary sewers, storm drains, and street lights as required by the Planning Commission's Final Order, together with all pertinent details and calculations. The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

In order to properly maintain an updated infrastructure data base, the Surveyor of Record shall submit an as-built survey prior to the Final Inspection and, the Engineer of Record shall submit mylar "as-constructed" drawings to the Engineering Division within sixty (60) calendar days of the Final Inspection (walk through). Also, the engineer shall coordinate with the utility companies, and show all final utility locations on the "as built" drawings.

3. Phasing

The Tentative Plat shows two phases.

4. Draft of Final Plat

The developer shall submit 2 copies of the preliminary draft of the final plat at the same time the public improvement plans (3 copies) are submitted. Neither lot number nor lot line changes shall be allowed on the plat after that time, unless approved by the City and all utility companies.

5. Permits

Building Permit applications shall not be accepted by the Building Department until the Final Plat has been recorded, and a "walk through" inspection has been conducted and approval of all public improvements as required by the Planning Commission has been obtained for this development.

Concrete or block walls built within a P.U.E., or within sanitary sewer or storm drain easements require review and approval from the Engineering Division of Public Works. Walls shall require a separate permit from the Building Department and may also require certification by a professional engineer.

Where applicable, the Developer shall address all floodway, floodplain and riparian area issues with the proper Agencies and acquire all necessary permits for work within the floodway, floodplain or riparian areas.

6. System Development Charges

Buildings in this development are subject to sewer treatment and street systems development charges. These SDC fees shall be paid at the time individual building permits are taken out.

This development is also subject to storm drain system development charges, the Developer is eligible for storm drain system development charge credits for the installation of storm drain pipe which is 24 inches in diameter or larger and is not used for storm drain detention in accordance with Medford Municipal Code (MMC), Section 3.891. The storm drain system development charge shall be collected at the time of the approval of the final plat

7. Pavement Moratoriums

The developer shall be responsible for notifying by certified letter all utility companies, as well as all current property owners of parcels which are adjacent to any public street being constructed or paved as part of this project. The letter shall inform the utility companies and property owners of the City's street moratorium policy with respect to pavement cutting for future utility services. The utility companies and property owners shall be given the opportunity to install utility services within the right-of-way prior to paving and the subsequent moratorium. Notifications shall be mailed by the Developer at least 6 months before a street is resurfaced or rebuilt per Medford Municipal Code (MMC), Section 3.070. Copies of the certifications shall be

submitted to the City Engineer with the submittal of the preliminary construction drawings.

8. Construction and Inspection

Contractors proposing to do work on public streets, sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings, that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit to perform from the County.

For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and storm drain mains be inspected by video camera prior to acceptance of these systems by the City.

Where applicable, the developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

Prepared by: Doug Burroughs

**SUMMARY CONDITIONS OF APPROVAL
MERLOT VALLEY SUBDIVISION
LDS-15-095**

A. Streets

1. Street Dedications to the Public:

- Dedicate approximately 19-feet of additional right-of-way on Kings Highway
- Dedicate full right-of-way for Merlot Valley Drive and Lillian Street.
- Dedicate Minimum Access Drive easements.
- Dedicate 10 foot public utility easements (PUE) unless otherwise approved through an exception.

2. Improvements:

a. Public Streets

- Construct ½ plus 12' or greater of the west side of Kings Highway.
- Construct full width of Merlot Valley Drive and Lillian Street to Minor Residential standards.
- Construct Minimum Access Drives to standards.

b. Lighting and Signing

- Developer supplies and installs all street lights at own expense.
- City installs traffic signs and devices at Developer's expense.

c. Provide soil testing.

d. No direct access to Kings Highway.

e. Provide easement for drainage channel and riparian plantings.

B. Sanitary Sewer:

A private lateral shall be constructed to each lot prior to Final Plat. RVSS District.

C. Storm Drainage:

- Provide an investigative drainage report.
- The site requires water quality and detention facilities.
- A comprehensive grading plan is required for the project and made part of the public improvement plans.
- A storm drain lateral shall be constructed to each tax lot. In the event lots drain to the back, a private system will be required.
- The developer shall contact Division of State Lands for approval and/or clearance of the development with regards to wetlands.

- Erosion Control Permit from DEQ required for this project prior to public improvement plan approval.

D. Survey Monumentation

All survey monuments shall be in place, field checked and approved by the City Surveyor prior to final walk-through of public improvements.

E. General Conditions

Provide public improvement plans and drafts of the final plat.

Provide pavement moratorium letters.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.



RECEIVED
AUG 28 2015
Planning Dept.

Memo

To: Aaron Harris, Planning Department
From: Mary Montague, Building Department
CC: Mark McAlister; Richard Stevens & Associates, Inc., Agent
Date: 08/25/2015
Re: LDS-15-095, Merlot Valley Subdivision

Building Department:

Please Note: This is not a plan review. These are general notes based on general information provided. Plans need to be submitted and will be reviewed by a residential plans examiner to determine if there are any other requirements for this occupancy type. Please contact the front counter for fees.

1. Applicable Building Codes are 2014 ORSC with additional Oregon amendments to the 2011 ORSC; 2014 OPSC; and 2014 OMSC. For list of applicable Building Codes, please visit the City of Medford website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Design Criteria" on left side of screen and select the appropriate design criteria.
2. All plans are to be submitted electronically. Information on the website: www.ci.medford.or.us Go to "City Departments" at top of screen; click on "Building"; click on "ELECTRONIC PLAN REVIEW (ePlans)" for information.
3. Site Excavation permit required to develop, install utilities.
4. Permit is required for the sound wall.
5. Minimum access signs for lots per addressing and fire department.



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

RECEIVED

SEP 03 2015

Planning Dept,

LAND DEVELOPMENT REPORT - PLANNING

To: City of Medford Public Works

LD Meeting Date: 08/26/2015

From: Greg Kleinberg

Report Prepared: 08/19/2015

Applicant: Richard Stevens & Associates, Inc., Agent

File #: LDS - 15 - 95

Site Name/Description:

Proposed tentative plat for a 23-lot residential subdivision on a 3.75 acre parcel located approximately 200 feet south of Diamond Street between Hart Street and Kings Highway; Mark McAlister, Applicant (Richard Stevens & Associates, Inc., Agent). Aaron Harris, Planner.

DESCRIPTION OF CORRECTIONS	REFERENCE
----------------------------	-----------

Requirement MINIMUM ACCESS ADDRESS SIGN

OFC

505

For lot #'s 3, 7, 9, 12, and 15:

The developer must provide a minimum access address sign. See attached minimum access street address sign installation sheet for the proper installation information. A pre-approved address sign can also be utilized.

Requirement FIRE HYDRANTS

OFC

508.5

Fire hydrants with reflectors will be required for this project.

Hydrant locations shall be as follows: Two (2) fire hydrants are required: one on Merlot Valley Drive in front of lot# 8 and one on the corner of Merlot Valley Drive and Lillian Street in front of lot #17.

Additional hydrants may be required to comply with the requirement of proximity to fire department connections (for fire sprinkler and standpipe systems, the fire department connection shall be located at an approved location away from the building and within 75' of a fire hydrant. The fire department connection shall be located on the same side as the fire department access route.).

The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Plans and specifications for fire hydrant system shall be submitted to Medford Fire Department for review and approval prior to construction. Submittal shall include a copy of this review (OFC 501.3).

Requirement FIRE DEPARTMENT TURN-AROUND

OFC

503.2.5

A fire department turn-around will be required on Lillian Street. Fire sprinklers may be proposed for lot #'s 18, 19, 20, and 21 in lieu of the required fire department turn around.

Dead-end Fire Apparatus access roads in excess of 150 feet in length shall be provided with approved provisions for the turning around of fire apparatus.

CITY OF MEDFORD

EXHIBIT # H

File # LDS-15-095

Page 1



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: City of Medford Public Works

LD Meeting Date: 08/26/2015

From: Greg Kleinberg

Report Prepared: 08/19/2015

Applicant: Richard Stevens & Associates, Inc., Agent

File #: LDS - 15 - 95

Site Name/Description:

The Fire department turn-around area must be posted with "NO PARKING-FIRE LANE" signs. These signs shall be spaced at 50' intervals along the fire lane and at fire department designated turn-around's.

Requirement "NO PARKING-FIRE LANE" SIGNS REQUIRED

OFC

503.3

Parking shall be posted as prohibited on the North side of Merlot Valley Drive.

Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).

Where parking is prohibited for fire department vehicle access purposes, NO PARKING-FIRE LANE signs shall be spaced at 50' intervals along the fire lane and at fire department designated turn-around's. The signs shall have red letters on a white background stating "NO PARKING FIRE LANE TOW AWAY ZONE ORS 98.810 to 98.812" (See handout).

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths (20' wide) and clearances (13' 6" vertical) shall be maintained at all times (OFC 503.4; ORS 98.810-12).

This restriction shall be recorded on the property deed as a requirement for future construction.

Requirement MEDFORD CODE STREET DESIGN OPTIONS

MEDFORD

10.430

Section 10.430 of the Medford Code states the following:

In order to ensure that there is at least twenty (20) feet of unobstructed clearance for fire apparatus, the developer shall choose from one of the following design options:

(a) Clustered, offset (staggered) driveways (see example) (design approved by Fire Department), and fire hydrants located at intersections with the maximum fire hydrant spacing along the street of 250-feet.

(b) All dwellings that front and take access from minor residential streets to be equipped with a residential (NFPA 13D) fire sprinkler system, and fire hydrants located at intersection with the maximum fire hydrant spacing along the street of 500-feet.

(c) Total paved width of 33-feet with five-and-a-half (5 ½) foot planter strips.



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: City of Medford Public Works

LD Meeting Date: 08/26/2015

From: Greg Kleinberg

Report Prepared: 08/19/2015

Applicant: Richard Stevens & Associates, Inc., Agent

File #: LDS - 15 - 95

Site Name/Description:

When the clustered-offset driveway option is chosen, a note indicating driveway locations shall be included on the final plat.

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.

RECEIVED
AUG 28 2015
Planning Dept.

STAFF MEMO

To: Aaron Harris
From: Jennifer Ingram, Address Technician
Date: 8/28/2015
Subject: Revised comments for LDS-15-~~062~~ 095

1. The proposed street name **Merlot Valley Drive** needs to be changed, as there is already a street named Merlot Court in Medford and/or Jackson County. The new proposed name **Tannin Drive** is acceptable.
2. For the most recent configuration, lots 3, 7, 9, 12, and 15 will need to have a sign displaying their address placed at the entrance to their respective lots.



RECEIVED

SEP 11 2015

ROGUE VALLEY SEWER SERVICES
Planning Dept.

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 97502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

September 11, 2015

City of Medford Planning Department
411 West 8th Street
Medford, Oregon 97501

Re: LDS-15-095, Merlot Valley Subdivision (382W01AA – 200-500, 382w01AB - 600)

ATTN: Aaron,

There is an 8 inch sewer main on Kings Highway. The houses at 1950 and 1984 Kings Highway are served by connections to this main line.

Both of these services must be abandoned when the buildings are removed. One of the services may later be extended to serve Lot 1.

Sewer service to Lots 2-23 will require internal sewer main extensions from Kings Highway.

Rogue Valley Sewer Services requests that approval of this development be subject to the following conditions:

1. Applicant must abandon the two existing sewer service laterals within 5 feet of the property line when the buildings are removed.
2. Applicant must install new sewer main in accordance with RVSS standards to serve Lots 2-23.

Sincerely,

Carl Tappert

Carl Tappert P.E.
Manager

K:\DATA\AGENCIES\MEDFORD\PLANNING\LAND SUB\2015\LDS-15-095_MERLOT VALLEY_2.DOC

CITY OF MEDFORD
EXHIBIT # J
File # LDS-15-095

RECEIVED

AUG 27 2015

Planning Dept.

Aaron J. Harris

From: Jennifer M. Jones
Sent: Thursday, August 27, 2015 1:25 PM
To: Aaron J. Harris
Subject: FW: LDS-15-095

From: MOREHOUSE Donald [mailto:Donald.MOREHOUSE@odot.state.or.us]
Sent: Thursday, August 27, 2015 12:59 PM
To: Jennifer M. Jones
Subject: LDS-15-095

Jennifer,

Can you forward this on to Aaron Harris? I couldn't find his email address, thanks!

Aaron,

Thank you for sending agency notice of a proposed tentative plat for a 22-lot residential subdivision on a 3.75 acre parcel located approximately 200 feet south of Diamond Street between Hart Street and Kings Highway. We reviewed this and determined that it would not significantly affect state transportation facilities under the State Transportation Planning Rule (OAR 660-012-0060) or State Access Management Rule (OAR 734-051-000). We have no further comments at this time.

Don Morehouse
Senior Transportation Planner
ODOT Region 3, District 8 (Rogue Valley Tech Center)
Ph: (541) 774-6399
Fax: (541) 774-6349
Donald.Morehouse@odot.state.or.us

CITY OF MEDFORD
EXHIBIT # K
File # ~~AC 15-095~~
LDS-15-095

RECEIVED

SEP 15 2015

Planning Dept,



BOARD OF WATER COMMISSIONERS

Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: LDS-15-095 (REVISED)

PARCEL ID: 382W01AA TL's 200-500, and 382W01AB TL 600

PROJECT: Proposed tentative plat for a 23-lot residential subdivision on a 3.75 acre parcel located approximately 200 feet south of Diamond Street between Hart Street and Kings Highway; Mark McAlister, Applicant (Richard Stevens & Associates, Inc., Agent). Aaron Harris, Planner.

DATE: ~~August 24, 2015~~ September 15, 2015

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. The two (2) existing water meters located along Kings Hwy are required to be abandoned.
4. Proposed Lots 3, 7, 9, 12 and 15 are required to have their proposed water meters installed in the Tannin Drive right-of-way, and the "private" water service line from the water meter shall extend onto private property via a proposed Driveway or Minimum Access Easement. Applicants' civil engineer shall coordinate water meter locations with MWC engineering department staff.
5. Installation of a new 8-inch water line is required in proposed Tannin Drive, and also in the short section of Lillian Street to the north and south property lines of the parent parcel. Applicants' civil engineer is required to coordinate with WMC engineering staff for water facility layout.
6. Applicants' civil engineer shall coordinate with Medford Fire Department for required fire hydrant locations.

COMMENTS

1. Off-site water line installation is not required.

Continued to next page



Continued from previous page

2. On-site water facility construction is required. (See Condition 5 above)
3. MWC-metered water service does exist to this property. There are two (2) "vacant" ¾-inch water meters serve the existing lots that front Kings Hwy (TL's 200 & 300). (See Condition 3 above)
4. Access to MWC water lines is available. There is a 6-inch water line located on west side of Kings Highway





JACKSON COUNTY

Roads

RECEIVED

Roads Engineering SEP 08 2015

Kevin Christiansen Planning Dept.
Construction Manager

200 Antelope Road
White City, OR 97503
Phone: (541) 774-6255
Fax: (541) 774-6295
chriske@jacksoncounty.org

www.jacksoncounty.org

July 20, 2015

Attention: Aaron Harris
Planning Department
City of Medford
200 South Ivy Street, Lausmann Annex, Room 240
Medford, OR 97501

RE: 22-lot residential Subdivision located off Kings Highway – a city maintained road.
Planning File: LDS-15-095.

Dear Desmond:

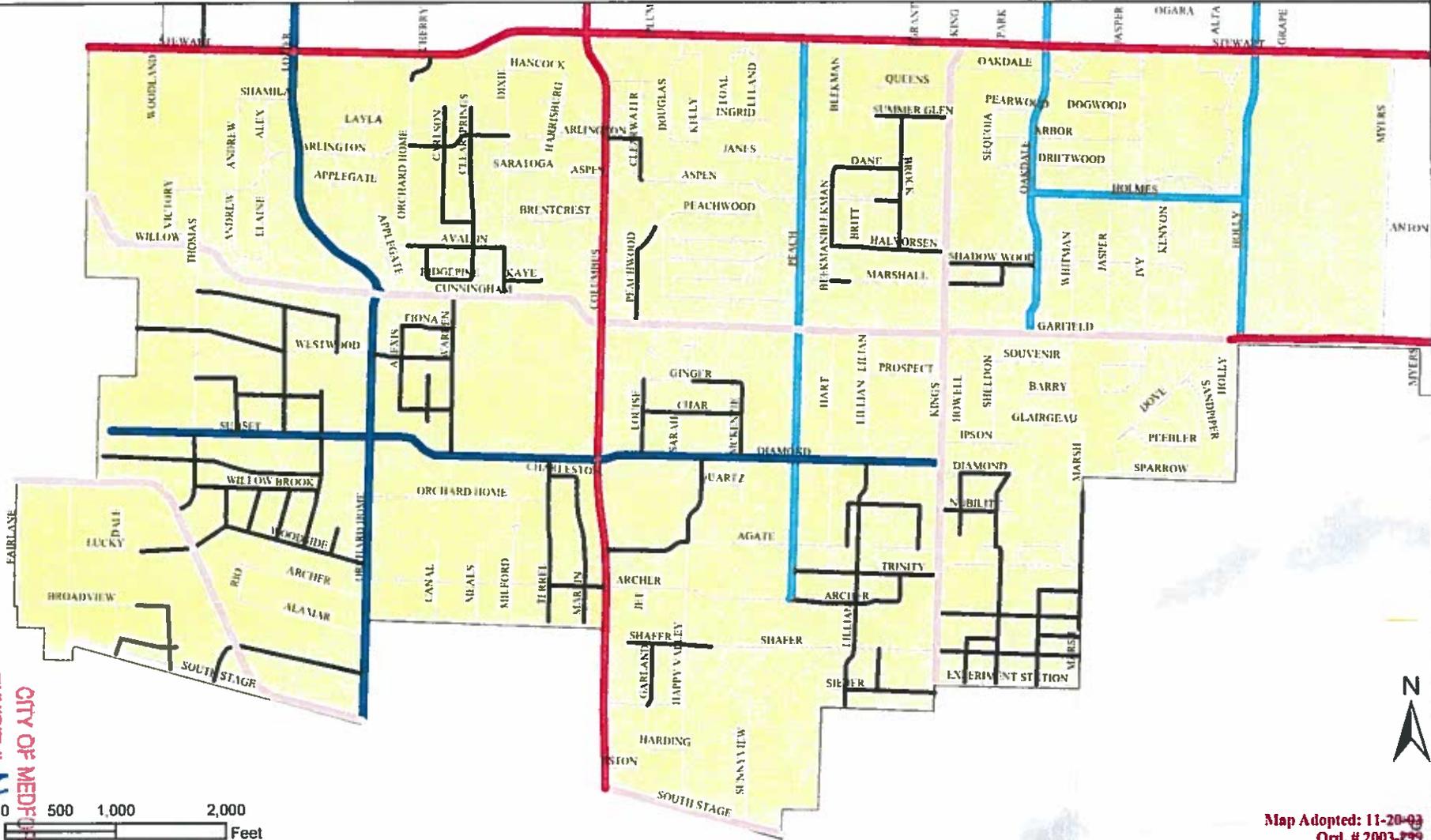
Thank you for the opportunity to comment on the request for a proposed tentative plat for a 22-lot subdivision on a 3.75 acre parcel located approximately 200 feet south of Diamond Street between Hart Street and Kings Highway on multiple parcels 38-2W-01AA tax lots 200, 300, 400, 500 and 38-2W-01AB tax lot 600. Jackson County Roads has no comments.

If you have any questions or need further information feel free to call me at 774-6255.

Sincerely,

Kevin Christiansen
Construction Manager

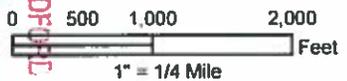
Adopted Southwest Medford Circulation Plan



Page 93

File # LOS-15-095
EXHIBIT # 2

CITY OF MEDFORD



Street Classifications

- Major Arterial
- Major Collector
- Residential
- Minor Arterial
- Minor Collector
- Other Streets

- UGB
- Adopted Circulation Plan Area



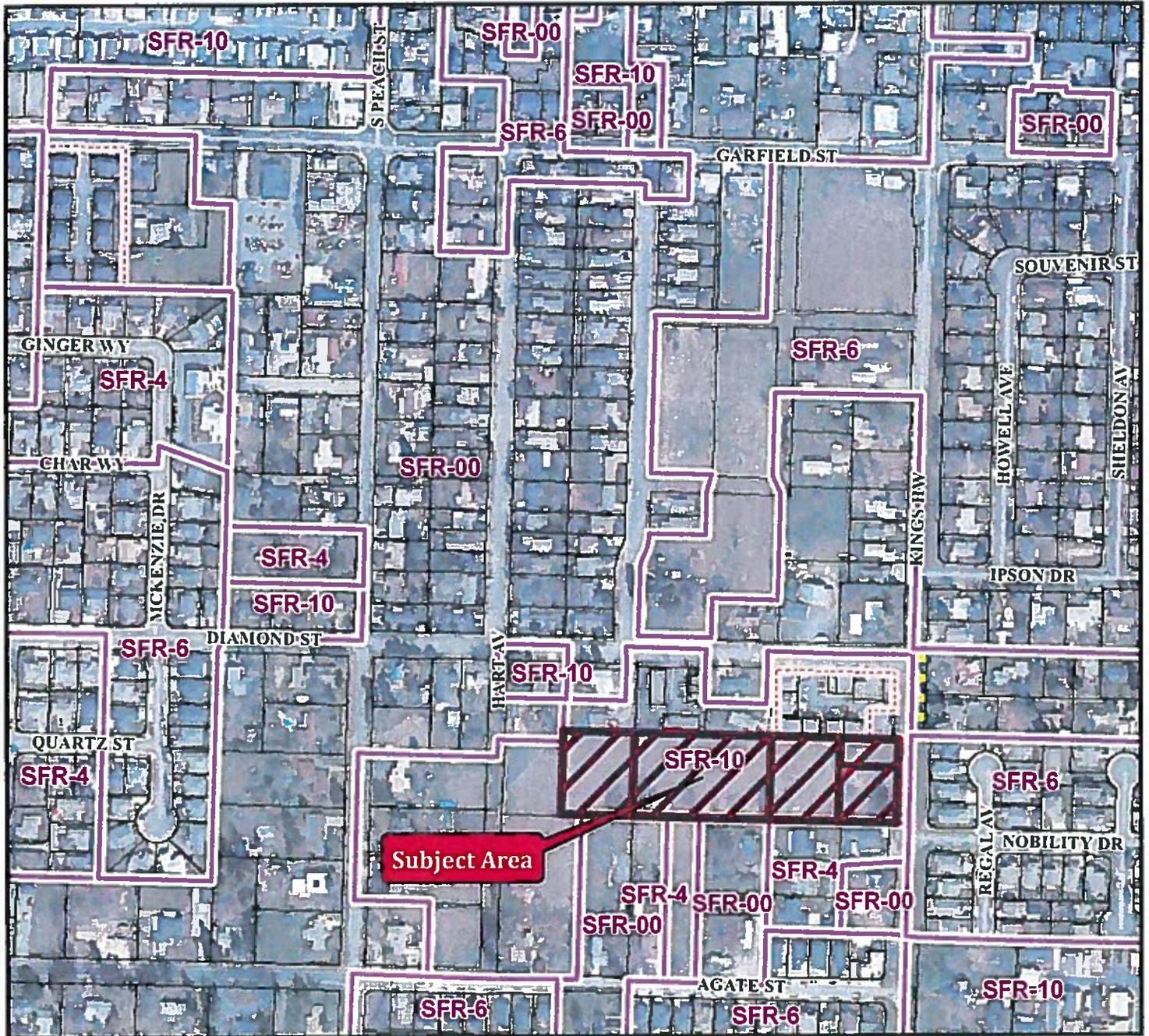
The Geographic Information Systems (GIS) data made available on this map was developed and maintained by the City of Medford and Jackson County. It is not the official representation of any of the information included. The map data are made available to the public solely for informational purposes.

THERE MAY BE ERRORS IN THE MAPS OR DATA. THE MAPS OR DATA MAY BE OUTDATED, INACCURATE, AND MAY OMIT IMPORTANT INFORMATION. THE MAPS OR DATA MAY NOT BE SUITABLE FOR YOUR PARTICULAR USE. THIS INFORMATION IS BEING PROVIDED "AS IS" OR "WITH ALL FAULTS." THE ENTIRE RISK AS TO THE QUALITY OR PERFORMANCE IS WITH THE BUYER AND IF INFORMATION IS DEFECTIVE, THE BUYER ASSUMES THE ENTIRE COST OF ANY NECESSARY CORRECTIONS OR SERVICES.

Map Adopted: 11-20-03
Ord. # 2003-299
Map Printed: 1-29-04



RECEIVED
JUL 08 2015



Project Name:
**Merlot Valley Subdivision
(23 Lots)**

Map/Taxlot:
**382W01AA TL's 200-500
382W01AB TL 600**



09/01/2015

-  Subject Area
-  Medford Zoning
-  UGB
-  Tax Lots
-  PUD
-  City Limits

