

SITE PLAN & ARCHITECTURAL COMMISSION AGENDA MARCH 20, 2015



Commission Members

Jeff Bender, Chair

Jim Quinn, Vice Chair

Daniel Ames

Jim Catt

Bill Chmelir

Mark Dew

Bob Neathamer

Alec Schwimmer

City Council Liaison - Dick Gordon

City Council Liaison Alt. - Eli Matthews

Regular Commission meetings are held on
the first and third Fridays of every month

Beginning at 12:00 Noon

City of Medford

Council Chambers,

Third Floor, City Hall

411 W. 8th Street

Medford, OR 97501

(541) 774-2380



SITE PLAN AND ARCHITECTURAL COMMISSION

AGENDA
March 20, 2015
12:00 p.m.

Council Chambers, Third Floor, City Hall
411 W. 8th St, Medford OR

10. **Roll Call.**
20. **Consent Calendar.**
- 20.1 AC-15-002/E-15-003 Final Order for consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62) approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel within the C-R/F (Regional Commercial/Freeway Overlay) zone district. In-N-Out Burger, Applicant (Jim Lockington, Agent).
30. **Minutes.**
- 30.1 Approval of minutes for the March 6, 2015, meeting.
40. **Oral Requests and Communications.**
50. **Public Hearings.**
- New Business.**
- 50.1 AC-15-005 Consideration of plans to construct a 972 square foot addition to an existing 1,200 square foot shop building, situated at the northwest corner of a 2.09 acre lot, located on the west side of Crater Lake Highway between Commerce Drive and Coker Butte Road, within the I-G (General Industrial) zoning district. Mike Zoller, Applicant/Agent.
60. **Written Communications.** None.
70. **Unfinished Business.** None.
80. **New Business.**
90. **Report from the Planning Department.**
100. **Messages and Papers from the Chair.**
110. **Propositions and Remarks from the Commission.**
120. **City Council Comments.**
130. **Adjournment.**

BEFORE THE MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

STATE OF OREGON, CITY OF MEDFORD

IN THE MATTER OF SITE PLAN AND ARCHITECTURAL COMMISSION)
FILE AC-15-002 APPLICATION FOR PROJECT REVIEW SUBMITTED) ORDER
BY IN-N-OUT BURGER)

AN ORDER granting approval for consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62), approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel, within the C-R/F (Regional Commercial/Freeway Overlay) zone district, as provided for in the Medford Land Development Code.

WHEREAS:

1. The Site Plan and Architectural Commission has duly accepted the application filed in accordance with the Land Development Code, Section 10.285.
2. The Site Plan and Architectural Commission has duly held a public hearing on the matter of an application for consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62), approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel, within the C-R/F (Regional Commercial/Freeway Overlay) zone district, with a public hearing a matter of record of the Site Plan and Architectural Commission on March 6, 2015.
3. At the public hearing on said application, evidence and recommendations were received and presented by the Planning Department staff; and
4. At the conclusion of said public hearing, after consideration and discussion, the Site Plan and Architectural Commission, upon a motion duly seconded, granted approval and directed staff to prepare a final order with all conditions and findings set forth for the granting of approval.

THEREFORE LET IT BE HEREBY ORDERED that the application of In-N-Out Burger stands approved subject to compliance with the conditions stated in the Commission Report dated March 6, 2015.

AND LET IT FURTHER BE OF RECORD that the action of the Site Plan and Architectural Commission approving this application is hereafter supported by the following findings:

- (a) That the proposed development, with the conditions of approval, complies with the applicable provisions of all city ordinances as determined by the staff review.
- (b) That the proposed development is compatible with uses and development that exist on adjacent land, based upon information provided in the Applicant's Questionnaire and presented at the public hearing.

FINAL ORDER AC-15-002

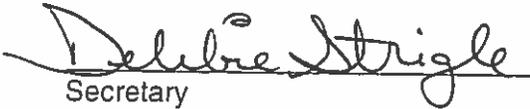
BASED UPON THE ABOVE, it is the finding of the Medford Site Plan and Architectural Commission that the project is in compliance with the criteria of Section 10.290 of the Land Development Code.

Accepted and approved this 20th day of March, 2015.

MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

Site Plan and Architectural Commission Chair

ATTEST:


Secretary

BEFORE THE SITE PLAN AND ARCHITECTURAL COMMISSION
STATE OF OREGON, CITY OF MEDFORD

IN THE MATTER OF APPROVAL OF AN EXCEPTION FOR)
IN-N-OUT BURGER) **ORDER**
[E-15-003]

ORDER granting approval of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62), approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel, within the C-R/F (Regional Commercial/Freeway Overlay) zone district.

WHEREAS:

1. The Site Plan and Architectural Commission has duly accepted the application filed in accordance with the Medford Land Development Code, Sections 10.211 and 10.252; and
2. The Site Plan and Architectural Commission has duly held a public hearing on the request for consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62), approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel, within the C-R/F (Regional Commercial/Freeway Overlay) zone district, with the public hearing a matter of record of the Site Plan and Architectural Commission on March 6, 2015.
3. At the public hearing on said exception, evidence and recommendations were received and presented by the Planning Department Staff; and
4. At the conclusion of said hearing, after consideration and discussion, the Site Plan and Architectural Commission, upon a motion duly seconded granted exception approval and directed staff to prepare a final order with all conditions and findings set forth for the granting of the exception approval.

THEREFORE LET IT BE HEREBY ORDERED that the exception of In-N-Out Burger stands approved per the Commission Report dated March 6, 2015, and subject to compliance with all conditions contained therein.

AND LET IT FURTHER BE OF RECORD, that the action of the Site Plan and Architectural Commission in approving this request for exception approval is hereafter supported by the findings referenced in the Commission Report dated March 6, 2015.

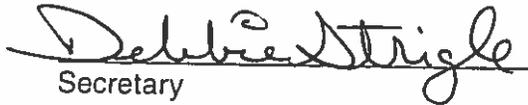
BASED UPON THE ABOVE, the Site Plan and Architectural Commission determined that the exception is in conformity with the provisions of law and Section 10.253 criteria for an exception of the Land Development Code of the City of Medford.

Accepted and approved this 20th day of March, 2015.

MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

Site Plan and Architectural Commission Chair

ATTEST:


Secretary



CITY OF MEDFORD

PLANNING DEPARTMENT

COMMISSION REPORT

Date: March 6, 2015

Subject: In-N-Out Burger Site Plan & Exception Request (AC-15-002 / E-15-003)
In-N-Out Burger, Applicant (Jim Lockington, Agent)

BACKGROUND

Proposal

Consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62), approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel, within the C-R/F (Regional Commercial/Freeway Overlay) zone district.

Subject Site Zoning, GLUP Designation and Existing Uses

Zoning: C-R (Regional Commercial)
GLUP Designation: CM (Commercial)
Existing Use: Shell Fueling Station

Surrounding Property Zoning and Existing Uses

North	C-R (Regional Commercial), C-C (Community Commercial) MFR-20 (Multi-Family Residential, 20 units per gross acre) Target, Highway 62, Multi-family residential
South	C-R Rogue Valley Mall Parking Lot
East	C-R Rogue Valley Mall
West	C-H (Heavy Commercial), C-C, C-R C-S/P (Commercial – Service/Professional Office) Mini Storage, Auto Repair, Highway 62, Vacant, Northgate Center

"Working with the Community to Shape a Vibrant and Exceptional City"

Applicable Criteria

10.290 SITE PLAN AND ARCHITECTURAL REVIEW APPROVAL CRITERIA

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) *The proposed development is compatible with uses and development that exist on adjacent land; and*
- (2) *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

10.253 CRITERIA FOR EXCEPTION

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority (Planning Commission/Site Plan and Architectural Commission) having jurisdiction over the plan authorization unless it finds that all of the following criteria and standards are satisfied. The power to authorize an exception from the terms of this code shall be sparingly exercised. Findings must indicate that:

- (1) *The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The Planning Commission/Site Plan and Architectural Commission shall have the authority to impose conditions to assure that this criterion is met.*
- (2) *The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.*
- (3) *There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.*
- (4) *The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.*

ISSUES/ANALYSIS

The proposed 3,750 square foot In-N-Out restaurant is to be constructed on the site of Shell fueling station and car wash that is proposed to be demolished. The site is located on the west side of the north Rogue Valley Mall entrance off of Highway 62. The existing Shell fueling facility consists of approximately 1,916 square feet of building area, having a convenience store of approximately 1,094 square feet and a car wash of 822 square feet. The fueling canopy, which spans over a majority of the small convenience store, covers approximately 4,366 square feet of the site, which is 1.04 acres in size.

Site Plan (Exhibit G)

Proposed access to the site will substantially change from the existing fueling station use. There will be no ingress/egress provided to the driveway that provides access from Highway 62. The fueling station currently has two points of access from the interior driveway that encircles the Rogue Valley Mall. The applicant proposes to relocate the access point which is currently located near the intersection of the mall entry drive and the interior ring road. The site plan demonstrates that this drive entrance will be relocated approximately 185 feet southwest of the current location to align with a two-way access lane associated with the mall circulation. Moving this access point will help relieve congestion at the intersection, thus providing better circulation for both the Rogue Valley Mall and the subject development. Only one point of access will remain generally the same, which is the ingress/egress at the far southwest corner of the site.

The 3,750 square foot restaurant is situated on the northeast side of the site near the Highway 62 access drive to the mall. The drive-through window portico is set back over 10 feet from the mall entry drive. A five foot landscape buffer is proposed along the south side of the side separating the restaurant drive-through lane from the mall property and access lane. While the building meets required setback requirements of the zone district, the applicant has requested relief from front yard setback standards pertaining to encroachment of parking spaces into the front setback area on the north side of the site along Highway 62. The proposed encroachment will be addressed further in the discussion pertaining to the exception request.

All internal drive aisles allow for two-way vehicle maneuverability throughout the site. The site plan demonstrates that 90 degree parking is utilized throughout the parking field. Handicap parking and vanpooling spaces are located at the front of the building. The drive-through window is located on the rear of the building, facing the mall entry road. The site plan shows a long drive-through queuing lane, which can stack up to 15 vehicles behind the pickup window. The drive-through queuing lane begins at about the middle of the site along the south property line, wraps around the rear of the building, and exits into the parking area at the northwest corner of the building. The building is generally orientated westward toward the parking area. The service side of the building is located on south side toward the mall and interior access road.

Several outdoor seating tables are located on the north side of the building on a wide concrete pathway and on the front of the building within small patio area. Wide areas of landscaping

area separate the site from adjoining private drive aisles and public streets to the north and east.

Parking / Circulation

Per Section 10.743 of the MLDC, a minimum of 43 parking spaces are required for the proposed development and a maximum of 53 parking spaces is permitted based on the square footage of the restaurant. The applicant has proposed a total of 54 parking spaces, which is one space more than the maximum permitted by the MLDC. Therefore, staff has included a condition of approval requiring the site plan submitted for building permit to eliminate one parking space from the proposed development.

As noted above all parking is proposed with a 90 degree angle configuration to the adjoining two way drive aisle. As required by Code, landscaped parking islands and landscaping projections have been included to provide visual relief and shade in the parking area. All parking spaces shown on the site plan are proposed to be 9 feet wide by 19 feet in length. No compact spaces have been proposed on the site plan. However, some compact spaces may need to be created as to address a condition of approval included by staff, which will be addressed further below in the exception request discussion.

As noted above, the drive-through queuing lane provides stacking for up to 15 vehicles which exceeds Development Code requirements for a drive-through window. The site plan identifies one pedestrian access to the building from the sidewalk along Highway 62 to the patio area adjacent to the building and which extends over the drive-through lane on the north side of the building. Staff notes it is anticipated that the business will likely see a significant level of pedestrian traffic to and from the Rogue Valley Mall. While there is no code provision requiring a pedestrian pathway to cross the landscape area and drive through lane on the south side, similar to the pedestrian pathway adjoining the site to the sidewalk on Highway 62, Staff is recommending that the Commission include a discretionary condition of approval requiring a pedestrian crossing over the drive through lane on the south side, consistent with Section 10.775 of the MLDC, and that such path extend to the mall access drive curb south of the property.

Decision: In their motion for approval, the Site Plan and Architectural Commission included the discretionary condition and further conditioned the subject pathway grade be elevated above the drive-through aisle surface to clearly demark the crossing.

Bicycle Parking

Six bicycle parking spaces are required for this site, and six spaces have been proposed located on the front side at the northwest corner of the building. The style of bike rack is not identified on the site plan. Staff has included a discretionary condition of approval requiring that the six bicycle spaces be the inverted-U style of bicycle rack, consistent with the standard recommended by the City of Medford Bicycle and Pedestrian Advisory Committee. With this condition, the Commission can find that the applicant meets the standards for bicycle parking

required by the MLDC and the recommendations of the Bicycle and Pedestrian Advisory Committee.

Elevations (Exhibits N, O)

The proposed restaurant is well-articulated and may be described as having contemporary, mission-style architecture. The elevations demonstrate the building will have a smooth stucco exterior wall finish, scoring joints and red accent band toward the base. The building possesses many traditional mission style elements. The primary color is a paint that can be characterized as having an off-white hue. The building is accentuated with three tower elements of varying height providing a roof architecture having a dynamic cadence. The tower features are capped with beveled cornice and terracotta colored tile roof material. The tower elements, which are included at the main entrance, side entrance, and the drive-through windows, break up the overall mass of the building as do the red canopies over the window features.

The drive-through lane window area is covered by portico, which is partially enclosed by the supporting columns. The structure has a large pane window adjacent to the drive-through stacking lane, revealing on-going and feverish activity associated with the potato slicing station. As described in the Applicant's Questionnaire (Exhibit B) the architecture proposed is a classic style, color, material and signage that is associated with In-N-Out Burger. The building is compatible with and smaller in scale than existing buildings in the adjoining context. Staff recommends the Commission approve the building elevations as submitted.

Right-of-Way Dedication

This project fronts Highway 62, which is under the Oregon Department of Transportation (ODOT) jurisdiction. ODOT has submitted correspondence (Exhibit AA) noting that this proposal does not significantly affect state transportation facilities under the State Transportation Planning Rule (OAR 660-012-0060) or State Access Management Rule (OAR 734-051-000). No additional right-of-way is required for the subject development.

Improvements

Highway 62 is currently improved with pavement, curb and gutter, landscaping, and detached sidewalk. No further street improvement is being requested at this time. The developer has agreed to create a 2-phase pedestrian crossing across Highway 62 at the north drive entrance to the Rogue Valley Mall. The applicant may provide public improvement plans and construct the improvement or make payment in the amount of \$34,000.00 for completion of the improvement by the City. This improvement is noted in the Public Works Staff Report dated February 11, 2015 (Exhibit V-1). A condition of approval has been included requiring the applicant to comply with the Public Works report.

Trash Enclosure

The site plan demonstrates the enclosure to be constructed of block approximately 6 feet in height. A detail of the enclosure or note is not included on the site plan. Section 10.781 requires doors shall be made of solid wood or metal and that the enclosure be constructed for material which is compatible with other structures on the site. A condition of approval has been included requiring the building plan set to include detail of the enclosure which demonstrates compliance with section 10.781 of the MLDC.

Landscape Plan (Exhibit Q)

Per the proposed landscape plan, proposed development will significantly enhance the street frontage along Highway 62. A densely populated cover of vegetative ground cover as well as street trees in accordance with the ratio provided by the MLDC will be employed along the highway, which will augment the existing street trees already within the ODOT right-of-way. Additionally, new street trees will be placed upon the south property line between the drive through lane and mall access road. The landscape islands internal to the parking area contain medium sized shade trees.

The site contains 18,947 square feet of landscape area, or approximately 22% of the site. A total of 5,665 square feet of turf landscape area will be employed in the project, located at the north east and southwest corners of the site. This constitutes 29.9 % of the landscape area; thus, providing just under the 30 % high water landscaping usage as permitted under the MLDC. Approximately 3,495 square feet of planter bays are located internal to the parking area which is almost three times the amount required by Code. Four large mature pine trees are currently located at the northeast corner of the site. The applicant's findings and landscape plan note these trees have been incorporated into the proposed development and will be preserved.

The Parks and Recreation Department has reviewed the landscape plan and recommends a change to one of the trees utilized in the plan. The Parks Department notes the Red Maple suffers from sun scald and structural defects and recommends an alternative such as an Elm, Beech or Turkish Filbert be used in substitution. As Condition of Approval, staff has required that the applicant provide a revised landscape plan with the building permit construction set in conformance with recommendations provided by the Parks Department (Exhibit Y).

Decision: In their motion for approval, the Site Plan and Architectural Commission included a condition of approval requiring the extension of a landscape island projection into the parking row that is nearest to Highway 62. The projection shall be placed approximately in the center, between the north and south extent of the parking row.

Signs (Exhibit S)

The applicant has submitted signage details (Exhibit S) with the application which has been forward for informational purposes. However, signage is not a consideration of the Site Plan and Architectural Commission in review of an application. A condition is included in this report

that requires the applicant to obtain approved sign permits prior to the installation of any signs on the site.

Committee Comments

No comments were received from any committees, such as BPAC.

EXCEPTION REQUEST

The applicant has requested approval of an exception request, particularly pertaining to the parking lot encroachment into the front yard setback. Section 10.746(9) requires where parking, vehicle maneuvering or loading areas abut a public street, a 10-foot wide landscape buffer be implemented. Likewise, Section 10,746(10) requires that parking and loading spaces and maneuvering areas be located outside of a required yard area except under particular circumstances. Those circumstances are not applicable to this site.

Specifically the site plan demonstrates the drive-through lane being placed 5.25 feet away from the north property line, thus the paving area encroaches into the required 10 foot setback by 4.75 feet. In the mid-portion of the site, several parking stalls are located 1 foot away from the north property line, thus the parking stalls extend 9 feet into the required setback. In the southwest corner of the property the parking stalls are shown to be 3 feet from the north property line, thus the paving area extends 7 feet into the required setback.

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority (Planning Commission/Site Plan and Architectural Commission) having jurisdiction over the plan authorization unless it finds that each of the following criteria are satisfied. The applicant has provided findings pertaining the request for exception (Exhibit D) and recommends that the Commission adopt the findings prepared by the applicant with along with the of findings made by Staff below:

- (1) *The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The Planning Commission/Site Plan and Architectural Commission shall have the authority to impose conditions to assure that this criterion is met.*

Staff concurs with the applicant's findings that the general purpose and intent of the regulation is to ensure that there is a well landscaped and aesthetically pleasing frontage along public streets within the City of Medford. The encroachment into the typical 10 foot setback & landscape buffer will not be injurious to the general area or detrimental to health, safety or welfare or adjacent natural resources based on the following:

The subject site is located adjacent to Highway 62. In its current location, the closest point of the Highway 62 curb is located 35 feet north of the north property line of the subject site and has a 6 foot wide sidewalk running through the area. The sidewalk, at its closest point is 15 feet away from the curb.

Typically, it is not desirable to consider the landscaping area within a right-of-way to be a sufficient buffer as to meet the frontage landscape needs for a development. The primary reason is that if additional capacity in the right-of-way is sought by the addition of travel lanes, the landscaping within the right-of-way would need to be removed, thus vegetation between the street and site would be absent.

While staff does not anticipate widening of Highway 62 anytime in the near future next to this particular site, the existing setback from curb is so substantial that even if one lane was added to Highway 62 south of center line, the existing sidewalk would remain in its current location. If two lanes were added the sidewalk would likely need to move but there would still be a minimum of 10 feet between the sidewalk and the paved area of the development.

The six foot sidewalk within the right of way is at its closest point on the site plan is 8 feet away from the paved area. Along many street frontages within the City the property line is located near the back of sidewalk, thus the absolute minimum landscape area one would observe behind the sidewalk in such circumstance is the 10 foot landscape buffer required by Code on the property along the street side. It is for this reason staff has included a condition of approval requiring that the distance from any portion of the parking lot or maneuvering areas be a minimum of 10 feet from the existing sidewalk as to provide 10 feet of landscape buffer between the parking lot and sidewalk. Even if lane capacity is added on Highway 62, with this discretionary condition included, the landscape buffer will appear as it does generally anywhere else in the City.

The area of the parking lot in the south portion of the site can be revised through either reducing drive aside width, as 25 feet is provided and only 24 feet is required by the MLDC. Or, the several parking spaces along the south portion of the site can be converted into compact spaces. With either one of these revisions, or combination of both, the 8 foot buffer can be extended to 10 feet. Staff has added a condition of approval requiring the revised site plan submitted for the building permit reflect a 10 foot buffer between the parking lot or vehicle maneuvering area and the Highway 62 sidewalk.

Furthermore, if approved, the resulting design as shown by the site plan is preferable when considering design options should the exception not be approved. Since this site and the mall site are both within a C-R zone district, there is no required landscape buffer or setback between the properties along the south property line. Therefore, the turning radius into the drive-through queuing lane would need to be reduced and the drive-through lane placed at the property line, significantly limiting the landscaping along

the mall access drive. Additionally, the drive aisles would need to be reduced along with other modifications to the parking area. Because it is extremely unlikely that the existing sidewalk location on the north side would ever be moved due to the addition of two lanes south of center line, the proposed site plan, subject to conditions of approval is actually preferable from both a circulation standpoint and aesthetic standpoint. Thus, the Commission can find that the proposed design, subject to conditions of approval, fully complies with all provisions of Criterion 1.

- (2) *The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.*

Approval of the exception does not establish a use that is not otherwise permitted in the underlying zoning district. The Commission can find that the request complies with Criterion 2.

- (3) *There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.*

As noted in the applicants findings, there are unique circumstances that do apply to this property that typically do not apply elsewhere in the City. With exception of the six-foot wide public sidewalk that bifurcates the landscape area, there is minimum distance of 35 feet between the north property line and the Highway 62 curb. At its widest, the landscape area is approximately 85 feet in width. This is a very unusual amount of landscaped right-of-way to adjacent to the property. Strict application of the Code standard would result in an undesirable design predicament as the 10 feet of landscaping serves no general public purpose given the near excessive landscaping area already present on the north side while devaluing aesthetic appeal and functionality of the site on the south side. Strict application of the standard as provided in the Code would cause an undue hardship that results in a less favorable design and less favorable circulation without returning a public benefit, whatsoever. Based on the findings presented by the applicant and within the staff report, the Commission can find that the exception request complies with all provisions of Criterion 3.

- (4) *The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.*

No greater profit would result by approving this exception request. The need for exception suffered is suffered directly by the particular property in question. Commission can find that the exception request complies with all provisions of Criterion 4.

SITE PLAN FINDINGS/QUESTIONNAIRE

Staff has reviewed the applicant's Site Plan Questionnaire (Exhibit B), which addresses compatibility and compliance with relevant Development Code requirements. The Commission can find that the proposed development is compatible with surrounding uses and development, and the project complies with the applicable provisions of all city ordinances.

ACTION TAKEN

The Site Plan and Architectural Commission directed staff to prepare a Final Order for the approval of AC-15-002/E-15-003 per the Staff Report dated February 27, 2015 including Exhibits A through AA.

EXHIBITS

- A-1 Conditions of Approval dated March 6, 2015**
- B Applicant's Narrative & Questionnaire, received January 6, 2015**
- C Applicant's Demonstration of Compliance, received January 6, 2015**
- D Applicant's Exception Request Findings of Fact and Conclusions of Law seeking relief to provisions of Section 10.746(9) and Section 10,746(10), received January 6, 2015**
- E Site Plan cover sheet, received January 6, 2015**
- F A.L.T.A. Survey of existing conditions, received January 6, 2015**
- G Site Plan, received January 6, 2015**
- H Conceptual Grading Plan, received January 6, 2015**
- I Conceptual Storm Plan, received January 6, 2015**
- J Conceptual Utility Plan, received January 6, 2015**
- K Site Lighting Photometric Plan, received January 6, 2015**
- L Floor Plan, received January 6, 2015**
- M Roof Plan, received January 6, 2015**
- N Elevations, received January 6, 2015**
- O Colored elevations, received January 6, 2015**
- P Colors and Materials, received January 6, 2015**
- Q Landscape Plan, received January 6, 2015**
- R Preliminary Stormwater Management Analysis, received January 6, 2015**
- S Conceptual sign package, received January 6, 2015**
- T Aerial Photo, received January 6, 2015**
- U City of Medford Zoning Map**
- V-1 Report from Public Works Department, dated February 11, 2015, received March 6, 2015**
- W Memorandum from Medford Water Commission, dated February 5, 2015**
- X Report from Medford Fire Department, prepared February 2, 2014**
- Y Memorandum from Parks and Recreation Department, dated February 5, 2015**
- Z Memorandum from the Medford Building Department Dated February 9, 2015**
- AA Letter from Oregon Department of Transportation, received February 12, 2015
Vicinity Map**

SITE PLAN AND ARCHITECTURAL COMMISSION

Jeff Bender, Chair

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:

March 6, 2015

March 20, 2015

EXHIBIT A-1

**In-N-Out Burger Restaurant
AC-15-002/ E-15-003
Conditions of Approval
March 6, 2015**

DISCRETIONARY CONDITIONS

1. The applicant shall provide a revised landscape plan with building permit submittal that complies with the recommendations regarding alternative plant materials in the Parks Department Memo dated February 5, 2015 (Exhibit Y).
2. The applicant shall provide a revised site plan with building permit submittal that demonstrates a minimum landscaped buffer of ten (10) feet between the Highway 62 public sidewalk and any on-site paved surface.
3. The applicant shall provide a trash enclosure detail with building permit architectural plans that demonstrate compliance with Section 10.781 of the MLDC.
4. The applicant shall provide a bicycle rack detail on the building permit submittal demonstrating the "inverted-U" style of bicycle rack, consistent with the recommended standard of the City of Medford Bicycle and Pedestrian Advisory Committee.
5. The applicant shall provide a pedestrian path that extends across the drive through on the south side of the building, extending to the curb of the mall access road. Said pathway shall be elevated in grade above the drive through lane aisle and consideration given to its placement based on the physical conditions and landscape areas in the mall parking lot on the south side.

CODE CONDITIONS

6. The applicant shall:
 - a. Comply with the Public Works Staff Report dated February 11, 2015, received March 6, 2014 (Exhibit V-1);
 - b. Comply with the Medford Water Commission Staff Memo dated February 5, 2015(Exhibit W).
7. The applicant shall remove one parking space from the site plan on the site plan submitted for building permit. With the removal of the one space from the plan, the applicant shall extend a landscape island projection into the parking row that is nearest to Highway 62. The projection shall be placed approximately in the center, between the north and south extent of the parking row.

CITY OF MEDFORD
EXHIBIT # A-1
File # AC-15-002 / E-15-003

13502 Hamburger Lane
Baldwin Park, Ca 91706-5885
626-813-8200



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SPAC APPLICANTS QUESTIONNAIRE SECTION I - NARRATIVE

PROPOSED IN-N-OUT BURGER RESTAURANT 1968 CRATER LAKE HIGHWAY

In 1948, Harry and Esther Snyder opened the first In-N-Out Burger in Baldwin Park California. They served the freshest burgers, coolest shakes and the hottest fries in a friendly, sparkling clean atmosphere. And times have not changed at In-N-Out. The menu is still the same basic menu our guests have enjoyed since 1948. And, we've been serving everything up the same exact way: fresh, made to order, and with only the freshest ingredients.

In-N-Out Burger is proposing to redevelop the existing Shell gas station property located at 1968 Crater Lake Highway with the very first In-N-Out Burger restaurant (with drive-through) in the State of Oregon.

The proposed restaurant will be 3,750 square feet with indoor seating for 77 guests and outdoor seating for 40 guests. The site will be well landscaped and will include a 440 square foot covered trash building, a drive-through with a minimum 15-car queue, and onsite parking for 53 guest cars. The architecture, materials, colors, and signage will be classic In-N-Out, evoking the unique archetype that has become a compelling part of the In-N-Out experience.

**SPAC APPLICANTS QUESTIONNAIRE SECTION II
PROPOSED IN-N-OUT BURGER RESTAURANT
1968 CRATER LAKE HIGHWAY**

JAN 06 2015
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- A. List existing uses and development adjacent to your project site. Along with this list, describe the architecture (materials, colors, etc.), age, and condition of the adjacent buildings (you may use photographs to supplement this information).

The existing use of the site is a Shell gas station with convenience mart. Adjacent development includes the Rogue Valley Mall to the East, a Target store to the North, Crater Lake Hwy to the West, and the intersection of Crater Lake Hwy (I-62) and N. Pacific Hwy (I-99) to the South. The adjacent mall and Target buildings are all relatively non-descript, neutral-color, big-box architecture, and all are in good condition.

- B. Describe the building architecture and exterior treatments in your proposal, and how they fit with and complement adjacent buildings and development.

In-N-Out Burger is proposing our classic restaurant architecture and archetypal exterior materials, colors, and signage at this location. These forms and colors are certain to evoke strong positive emotions and fond memories in the many people already familiar with the In-N-Out experience. The In-N-Out building will be entirely compatible with, and is considerably smaller in scale than, the existing buildings in the adjacent built environment.

- C. Describe the proposed architecture and exterior treatments that break up large facades and give relief to the building mass. The *Site Plan and Architectural Commission Design Guidelines* are a helpful reference, and can be found on the City's website, and at the Planning Department.

At 3,750 square feet, the proposed In-N-Out restaurant is not a large building; nonetheless, it is well-articulated and detailed to provide visual interest and to eliminate any large expanses of unbroken façade. This is accomplished with ample exterior windows, glass entry doors, decorative awnings, both functional and decorative column elements, corbelled stucco eaves at the roof parapets and tower rooftops, and decorative terracotta roof tiles at the raised tower elements. All rooftop equipment is effectively screened with the roof perimeter parapet wall.

- D. Describe how the placement and orientation of the proposed building(s) relate(s) to the street facilities, and how this orientation promotes a more pedestrian-friendly site design.

The placement of the building and drive-thru queue on site minimizes potential impact to the mall entrance off Crater Lake Highway by locating the drive-thru entrance a substantial distance from the 3-way intersection of the mall entrance and circulation road. This placement also allows a convenient pedestrian entrance near the NW corner of the site, connecting the restaurant to the existing public pedestrian path in the Crater Lake Highway right-of-way.

- a. If the site lies within 600-feet of an existing or planned transit stop, as designated by the Transportation System Plan (TSP), describe compliance with the standards of Section 10.808, *New Commercial and Institutional Development*.

Not applicable.

- E. Describe the pedestrian facilities and amenities on your site (useable outdoor space, benches, etc), and how they will function for pedestrians.

There is an existing public pedestrian path that parallels the West property line along Crater Lake Hwy. Pedestrian ingress is provided by a connection to this path near the Northwest corner of the site. In addition, the restaurant provides areas of architecturally enhanced concrete outdoor dining space for approximately 20 guests, with several umbrella covered tables at both the East and West ends of the restaurant.

- F. Describe vehicle and pedestrian access to the site, and how it relates internally on the site, and to adjacent sites.

Primary vehicle access to the site is provided from the North entrance driveway to the Rogue Valley Mall off Crater Lake Hwy (I-62). The main entrance into the In-N-Out restaurant has been set back from the Mall entry/exit driveway to avoid entry/exit conflicts. Secondary vehicle access is provided from the South entrance to the Rogue Valley Mall off of N. Riverside Avenue (Hwy I-99). The restaurant site is easily accessible to pedestrians from both the public pedestrian walkway along Crater Lake Hwy as well as to foot traffic from adjacent mall shops and mall parking.

- G. Describe if and how the proposed plan is sensitive to retaining any existing trees or significant native vegetation on the site. Should existing trees be preserved, a Tree Protection Plan shall also be included in this application.

There are 4 large, mature, existing Pine trees at the NE corner of the site that will be preserved. Tree protection notes have been incorporated into the proposed Project Landscape Plan. In-N-Out will be landscaping the restaurant property well above the minimum standards adopted by the City of Medford. In addition, the Project Landscape Plan proposes to improve and maintain areas of existing landscape area outside of the In-N-Out property to ensure seamless integration of the new landscape improvements into the existing environment.

- H. Describe stormwater detention facilities on the site (underground storage, surface pond, etc.). If these facilities will be landscaped areas, describe how the proposed landscaping will be integrated with other landscaping on the site.

Stormwater detention is proposed by way of underground storage (StormTECH chambers, or similar) at the northern end of the site, integrated within (below) proposed landscape areas.

- I. Describe how your proposed landscaping design will enhance the building and other functions on the site.

"B"
3 of 5

The proposed landscape plan has been coordinated with In-N-Out Burger's in-house Landscape Architect and the State of Oregon licensed Landscape Architect of record for this Project. In-N-Out Burger maintains very high standards in quality through all aspects of a proposed development, with a strong emphasis on the landscaping. In-N-Out Burger elects to install additional shrubs where other developments may elect to have ground cover. The resulting layered look of landscape has been integrated into the development to enhance the building and site. In addition, the legal property boundaries of the property do not fall in line with sensible demarcation points for terminating the new landscaping. Thus, In-N-Out is proposing to, at its sole expense, install and maintain landscaping outside of its boundaries to sensible stopping points, such as to the existing curbs of the adjacent shopping center access roadways, and to the East edge of the existing public pedestrian path that lies to the West of the property along Crater Lake Hwy.

- J. Describe how your exterior lighting illuminates the site, and explain how the design of fixtures does not diminish a view of the night sky, or produce glare on adjacent properties, consistent with the standards of Section 10.764.

The exterior lighting plan for the In-N-Out site has been designed to be both environmentally friendly, using high-efficiency LED lighting, and to provide a safe well-lit environment for our guests and our restaurant associates. The proposed design is consistent with the standards of Section 10.764.

- K. Describe any proposed signage, and how it will identify the location of the occupant and serve as an attractive complement to the site.

The signage proposed for the In-N-Out restaurant is our classic signage and is designed to comply with all applicable city standards. A proposed signage plan and renderings are included in the materials provided for SPAC review. Similar to the balance of the exterior materials and colors, the signage is warm and inviting and instantly recognizable as part of the In-N-Out experience.

- L. Explain any proposed fencing, including its purpose, and how you have incorporated it as a functional, attractive component of your development. (See Sections 10.731-10.733).

There is no perimeter fencing proposed on the site.

- M. Explain how any potential noise generated by future occupants will be mitigated on the proposed site, consistent with the standards of Sections 10.752-10.761.

All of the property surrounding the proposed restaurant is either commercial or State Highway transportation-corridor. There are no adjacent sensitive receptors, and any noise that might be generated by the restaurant or its guests will be less than the noise produced by the ambient environment.

- N. Explain anything else about your project that adds to the compatibility of the project with adjacent development and uses.

- O. List and explain any exceptions or modifications requested and provide reasons for such.

13"
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In-N-Out's Site Plan proposes parking spaces and the exit end of the drive-thru lane to be located within the (10) foot wide front yard (Crater Lake Highway) setback. Specifically, we are requesting relief from MLDC 10.746(9) which requires a minimum (10) foot wide front yard landscaping buffer, and MLDC 10.746(10) which prohibits parking spaces and maneuvering areas within a front yard setback. The limited width of the site will simply not allow development of an adequately parked and landscaped In-N-Out restaurant without this relief.

The City owned property along the Crater Lake Highway frontage, however, includes a wide landscaped buffer and existing pedestrian path. In part to mitigate the requested relief, In-N-Out proposes to, at its sole expense, landscape and maintain the strip of land between our West property line and the East edge of the pedestrian path.

- P. Section 10.780(C)(2) - List any petition for relief of landscaping standards (i.e., request an increase in turf area at a facility for active recreation; eliminate requirement for root barriers when trees are planted in structural soils). Provide rationale for requested deviation from standard.

Other than MLDC 10.746(9) noted in item O above, no relief of landscaping standards is being requested.

Prepared by In-N-Out Burger

Name/Title: Jim Lockington, Project Manager

Signature: _____

Date: _____

12-30-14

"B"
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SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION

Section II – Code Compliance: Criterion No. 2

PROJECT SITE		
	PROPOSED	REQUIRED
• Zoning District	CR	
• Overlay District(s)	Freeway	
• Proposed Use	Restaurant/Drive Thru	
• Project Site Acreage	1.038	
• Site Acreage (+ right-of-way)	1.038	
• Proposed Density (10.708)	N/A	
• # Dwelling Units	N/A	
• # Employees	10	

STRUCTURES		
	EXISTING	PROPOSED
• # Structures	2	2 (restaurant plus trade enclosure)
• Structure Square Footage (10.710-10.721)	1916 sf	3750 + 325 = 4,075

SITE DESIGN STANDARDS		
	PROPOSED	REQUIRED
• Front Yard Setback (10.710-721)	27.8' (to bldg)	10
• Side Yard Setback (10.710-721)	27.6' (to bldg)	7 1/2
• Side Yard Setback (10.710-721)	209.4 (to bldg)	7 1/2
• Rear Yard Setback (10.710-721)	31.2 (to bldg)	7 1/2
• Lot Coverage (10.710-721)	9%	40% max

PARKING		
	PROPOSED	REQUIRED
• Regular Vehicular Spaces (10.743)	49	41
• Disable Person Vehicular Spaces (10.746[8])	3	3
• Carpool/Vanpool Spaces (10.809)	2	1
• Total Spaces (10.743)	54	45
• Bicycle Spaces (10.748)	6	6
• Loading Berths (10.742)	N/A	N/A

le

SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION

LANDSCAPING

	PROPOSED	REQUIRED
• Total Landscape Area (square feet)	18,947 (total proposed to landscape)	
• Total Landscape Area in High Water Use Landscaping (square feet)	5,665 (of total proposed)	
• Total Landscape Area in High Water Use Landscaping (percentage)	29.9% (of total proposed)	
• Total % Landscape Coverage	22% (of on-site landscape)	
• Required Organic Content (cu.yd.)		
• Frontage Landscaping (10.797)		
• Street:	Crater Lake Highway	-
• Feet:	355'	-
• # Trees:	15	15
• # Shrubs:	89	89
• Street:	-	-
• Feet:	-	-
• # Trees:	-	-
• # Shrubs:	-	-
• Bufferyard Landscaping (10.790)		
• Type:	N/A	
• Distance (ft):	N/A	
• # Canopy Trees:	N/A	
• # Shrubs:	N/A	
• Fence/Wall:	N/A	
• Parking Area Planter Bays (10.746)		
• Type:	Islands/Projections	-
• # Bays:	12	-
• Area:	3,495	1,125
• # Trees:	10	7
• # Shrubs:	59	14

STRUCTURE

PROPOSED

• Materials	Please see elevations and color/material Board
• Colors	Please see elevations and color/material Board

Please remember that the information you provide in response to the questionnaire must be included with your SPAR application submittal. Remember to sign and date your written response.

11C
20FZ

JAN 06 2015

PLANNING DEPT.

PROPOSED IN-N-OUT BURGER RESTAURANT AT 1968 CRATER LAKE HWY

**FINDINGS OF FACT FOR APPROVAL OF
REQUESTED EXCEPTIONS TO MLDC 10.746(9), 10.746(10)**

Section 10.251 Application, Exception.

The purpose of Sections 10.251 to 10.253 is to empower the approving authority to vary or adapt the strict application of the public improvement and site development standards as contained in Article III, Sections 10.349 through 10.361, and 10.370 through 10.385, as well as Articles IV and V of this chapter. Exceptions may be appropriate for reasons of exceptional narrowness or shape of a parcel; for reasons of exceptional topographic conditions, extraordinary and exceptional building restrictions on a piece of property; or if strict applications of the public improvement or site development standards in the above referenced Articles would result in peculiar, exceptional, and undue hardship on the owner.

In-N-Out Burgers has worked closely with the City of Medford in developing its current proposed site plan. In fact, the originally proposed site plan was substantially modified after City of Medford Engineering and Traffic Departments as well as Oregon Department of Transportation expressed several specific concerns during the pre-application review process. In-N-Out believes the current proposed site plan not only addresses and resolves these concerns, but is an improvement over the original plan in many ways.

The In-N-Out site plan provides well-designed parking and drive aisles which meet or exceed City of Medford standards, and provides a well-placed and functional drive-thru aisle, however, it does so by locating portions of approximately 22 parking spaces, and approximately 90 lineal feet of the drive-thru exit lane within A) the 10 foot wide front yard landscaping buffer required by 10.746(9), and B) the 10 foot front yard "parking and maneuvering prohibited area" established by 10.746(10). These code sections specifically state:

MLDC 10.746(9) Screening. Where parking vehicle maneuvering, or loading areas abut a public street, there shall be provided a minimum ten (10) foot wide landscaping buffer.

MODC 10.746(10) Parking, Required Yard. Parking and loading spaces and their maneuvering area shall not be located in a required yard, except as follows:

- (a) In a SFR or MFR zone, parking lots with more than three (3) spaces that do not back directly into the street may encroach to within ten (10) feet of a street right-of-way.*
- (b) When creating a common driveway with an adjacent parcel.*
- (c) At a single-family residence in a SFR zone, paving may be located within a required side or rear yard.*

CITY OF MEDFORD,
EXHIBIT # "D"
File # AR-15-002/E-15-003
1 of 3

10.253 Criteria for an Exception

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority having jurisdiction over the plan authorization unless it finds that all of the following criteria and standards are satisfied. The power to authorize an exception from the terms of this code shall be sparingly exercised. Findings must indicate that:

(1) The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The approving authority shall have the authority to impose conditions to assure that this criterion is met. (Effective Dec. 1, 2013).

The general purpose and intent of 10.746(9) and (10) appears to be the development of attractive front yards and creation of landscaped buffers along properties that front a City Street.

Due to site width constraints, In-N-Out Burger is proposing to place portions of 22 parking stalls and approximately 90 lineal feet of the drive-thru exit within the 10 foot front yard setback/landscape buffer along Crater Lake Hwy. The existing conditions at this location, however, are unique and we believe the intent of the code can still be achieved while granting the requested exceptions. The existing conditions between Crater Lake Hwy and the In-N-Out West property include a landscaped buffer that varies in width between 35 and 75 feet. Within this buffer is an existing pedestrian pathway that parallels the In-N-Out West property line; the East edge of this path averages about 12 feet from the In-N-Out West property line. To ensure that the intent of 10.746(9) and (10) are met, In-N-Out proposes to further improve, and maintain (at In-N-Out sole expense) the strip of property between its West property line and the East edge of the existing pedestrian path. The proposed In-N-Out landscape plan shows these improvements which include a significant quantity of shrubs and groundcover that do not currently exist.

In fact it is worth noting that the existing condition of the property along the Crater Lake Hwy frontage provides for an average width of 5 feet of landscape area between the western property line and existing asphalt parking improvements. And, the existing condition between the edge of the current asphalt parking lot and the edge of the existing pedestrian path is improved with only 3 trees and turf. In contrast, the In-N-Out landscape plan proposes a total of 15 new trees, approximately 100 new shrubs, and a large percentage of the existing turf to be replaced with low-water-use groundcovers. The landscape improvements proposed by In-N-Out along Crater Lake Highway clearly implement the intent of the excepted code sections, even with granting of the requested exceptions.

"D"
2083

(2) The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.

The use proposed by In-N-Out is an allowed use, thus, the granting of the requested exceptions will not permit the establishment of a use which is not already permitted.

(3) There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.

As noted in (1) above, the existing conditions along the In-N-Out West property line are unique and offer an opportunity for In-N-Out to improve and maintain, at its sole expense, property outside of its boundary that will implement the intent of the excepted codes. Also in this case, strict application of 10.746(9) and (10) along the In-N-Out West property line would result in unacceptable reductions in parking and other operational and code-required site features, and thus would simply rule out development of this property with an otherwise highly functional and code compliant In-N-Out Burger restaurant.

(4) The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.

The need for the requested exceptions is not the result of an illegal act, and granting of the requested exceptions is consistent with the provisions of this chapter.

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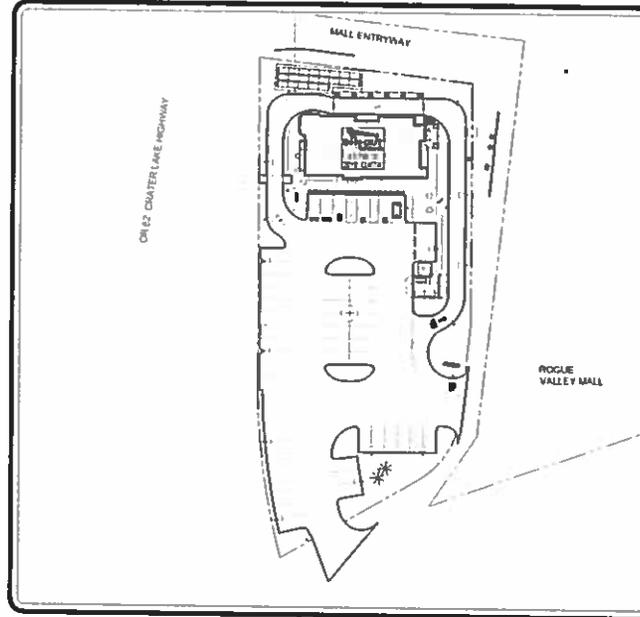
IN-N-OUT BURGER

SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION

PREPARED FOR:
IN-N-OUT BURGER
MEDFORD, OREGON



VICINITY MAP
SCALE 1"=100'



SITE MAP
SCALE 1"=100'

INDEX OF SHEETS

- C0.0 COVER SHEET
- C1.0 EXISTING CONDITIONS PLAN
- C2.0 SITE PLAN
- C3.0 GRADING PLAN
- C4.0 STORM PLAN
- C5.0 UTILITY PLAN
- E1.0 SITE LIGHTING PHOTOMETRIC PLAN

CITY OF MEDFORD

EXHIBIT # 11-E
File # AC-15-002/E-15-003
1061



COVER SHEET
IN-N-OUT BURGER
IN-N-OUT BURGER
MEDFORD, OREGON



PROJECT NO.	14688786
DATE	10/15/14
DESIGNED BY	ELS
DRAWN BY	HLG
CHECKED BY	SCS

COVER SHEET

C0.0

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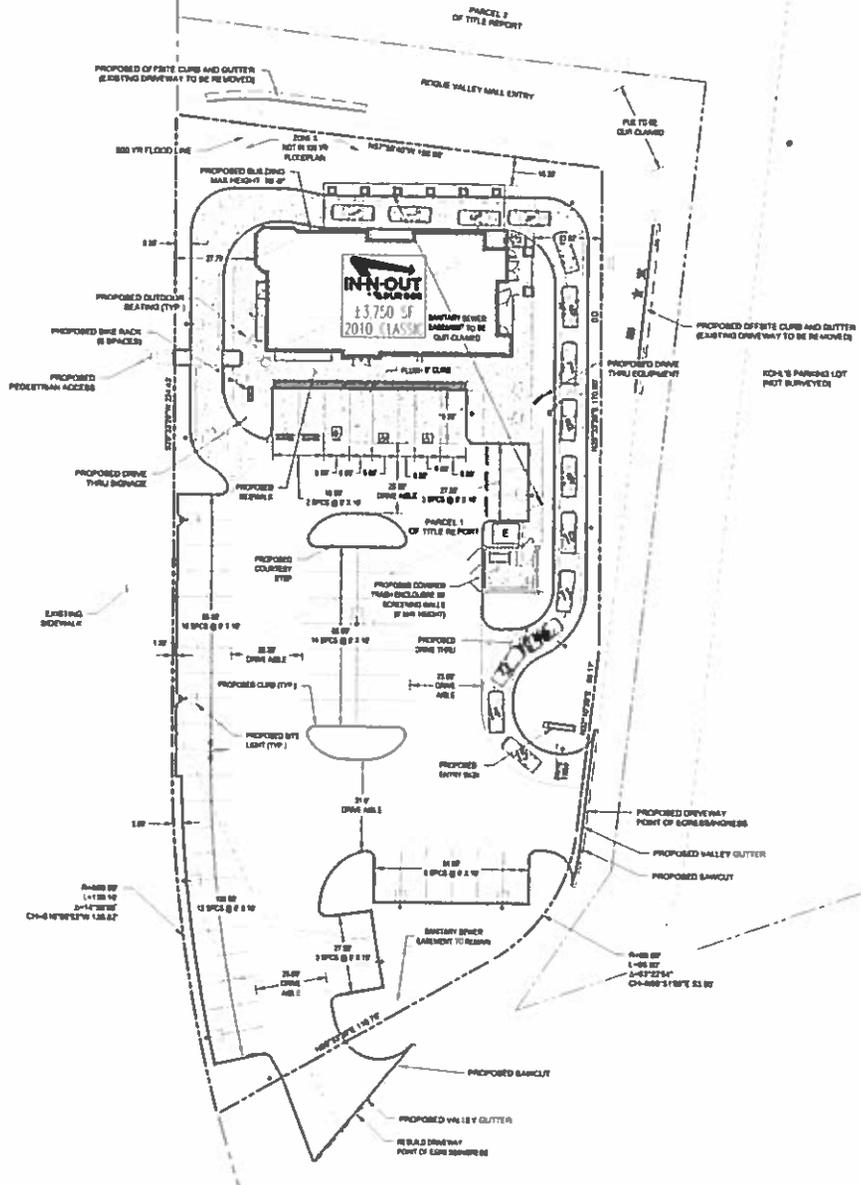
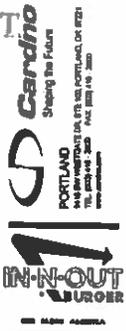
OREGON UTILITY NOTIFICATION CENTER
1-800-332-2344



CITY OF MEDFORD

EXHIBIT # _____
File # AC-15-002/E-15-003

5



LEGEND table with symbols for existing and proposed features like drive-thru, parking, and signage.

SITE INFORMATION table with fields for Total Lot Area, Building Area, and Building Height.

SITE PARKING STATISTICS table detailing ADA Accessible, Compact, and Total Stalls and Spaces.

- NOTES: 1. REFER TO SHEET C11 FOR EXISTING BUILDINGS... 2. REFER TO SHEET C11 FOR SITE LIGHTING... 3. NO SITE ELEVATIONS OR CHANGES... 4. REFER TO SHEET C14 FOR DRAINAGE... 5. REFER TO SHEET C13 FOR UTILITY POINTS... 6. ALL EXISTING CHANGES... TO BE SCREENED ON THE ROOF OF THE PROPOSED BUILDING.

LEGAL DESCRIPTION PARCEL 1: COMMENCE AT THE NORTHEAST CORNER OF SECTION 14 AND 1/4 IN TOWNSHIP 37 SOUTH RANGE 2 WEST OF THE WILLAMETTE MERIDIAN... PARCEL 2: A NOW EXCLUSIVE ACCESS AGREEMENT... COMMENCE AT THE NORTHEAST CORNER OF SECTION 14 AND 1/4 IN TOWNSHIP 37 SOUTH RANGE 2 WEST OF THE WILLAMETTE MERIDIAN...



SCALE: 1"=20'

CITY OF MEDFORD

EXHIBIT # 15G

File # AR-15-002/E-15-003

SITE PLAN

C2.0

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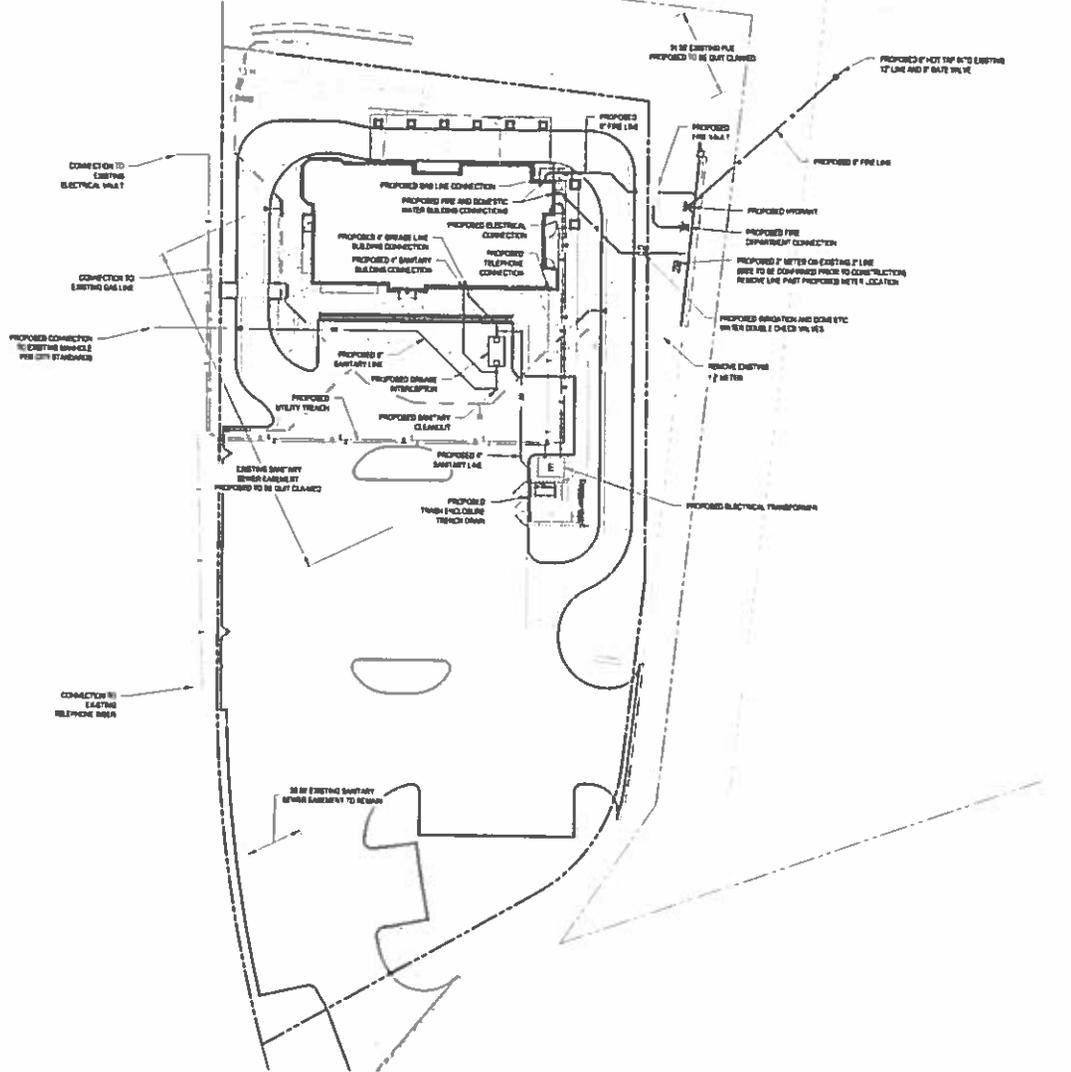
JAN 06 2015

PLANNING DEPT.



LEGEND

---	EXISTING ROW LINE
---	EXISTING LOT LINE
---	EXISTING CENTERLINE
---	PROPOSED SANICULT LINE
---	EXISTING STORM LINE
---	ASSUMED EXISTING STORM LINE
---	EXISTING SANITARY LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED GAS LINE
---	PROPOSED TELEPHONE LINE
---	PROPOSED ELECTRICAL LINE
---	EXISTING CATCH BASIN
---	EXISTING STORM CATCHMENT
---	EXISTING FIRE HYDRANT
---	EXISTING SANITARY MANHOLE
---	PROPOSED SANITARY CLEANOUT
---	PROPOSED STORM CLEANOUT
---	PROPOSED ARIE DRAIN
---	PROPOSED GREASE TRAP/RECEPT
---	PROPOSED FET
---	PROPOSED WATER METER
---	PROPOSED WATER VALVE
---	PROPOSED FIRE HYDRANT



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OREGON UTILITY NOTIFICATION CENTER
1.800.332.2744



PROJECT NO: 11-001001
DATE: 12/20/14
DESIGNED BY: DJS
DRAWN BY: ALC
CHECKED BY: BCC

UTILITY PLAN

C5.0

EXHIBIT # 3
File # 12-15-002/E-15-003

10/1

20

Per 2011, 12/20/14 @ 11:14 AM, New Order Workflow
by: 10/15/2014 10:14 AM, 10/15/2014 10:14 AM, 10/15/2014 10:14 AM



Architecture / Development

14000 Quorum Drive
Suite 3000
Oakton, VA 22124
Tel: (703) 444-0000
Fax: (703) 444-0001

OWNER RECORD
DATE: 1/06/2015
BY: G. G. G. G.

OWNER RECORD

PROFESSIONAL SEAL

LITTONIA LIGHTING
10000 Quorum Drive
Suite 3000
Oakton, VA 22124
Tel: (703) 444-0000
Fax: (703) 444-0001

IN-N-OUT
BURGER

MEDFORD
OREGON

MEDFORD, OR

IN-N-OUT
BURGER
GOD BLESS AMERICA

PROFESSIONAL SEAL

SHEET TITLE

SITE LIGHTING
PHOTOMETRIC PLAN

SHEET NUMBER

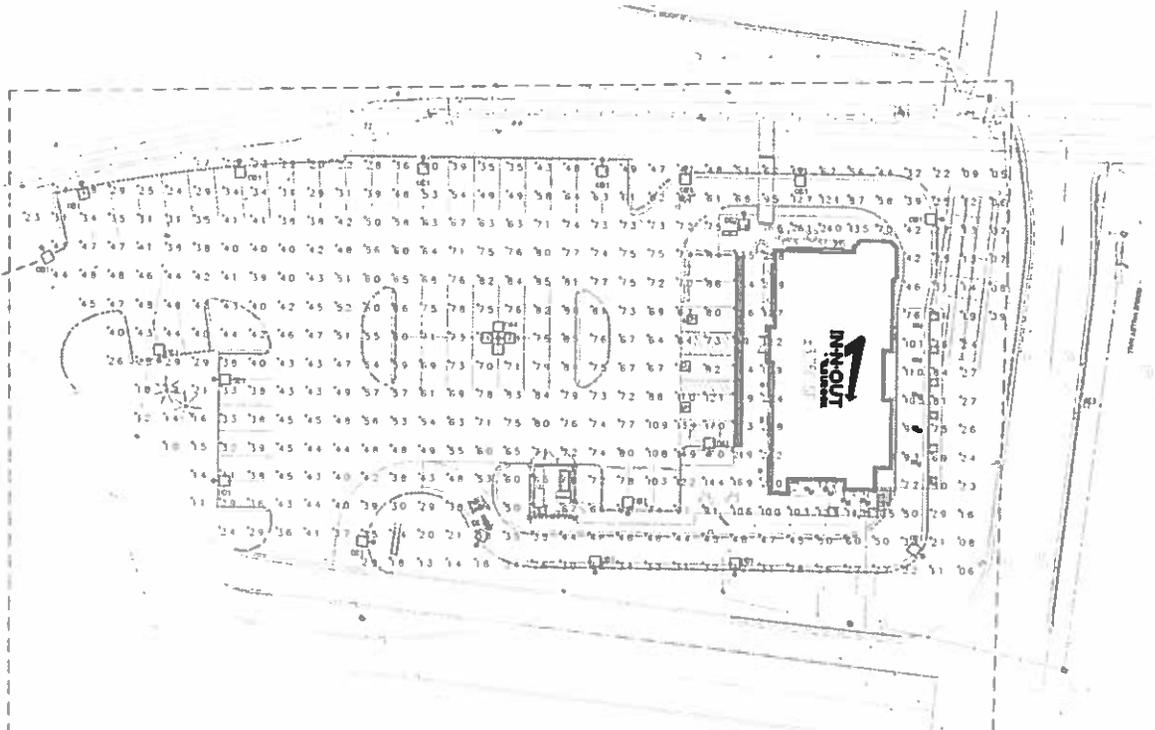
E11.0

SITE LIGHTING FIXTURE SCHEDULE				
TYPE	MANUFACTURER	NO. OF FIXTURES	LAMPS	DESCRIPTION
E1	PHOTOMETRIC LIGHTING	100	100	100' x 100' x 100' (100' x 100' x 100')
E2	PHOTOMETRIC LIGHTING	100	100	100' x 100' x 100' (100' x 100' x 100')
E3	PHOTOMETRIC LIGHTING	100	100	100' x 100' x 100' (100' x 100' x 100')
E4	PHOTOMETRIC LIGHTING	100	100	100' x 100' x 100' (100' x 100' x 100')
E5	PHOTOMETRIC LIGHTING	100	100	100' x 100' x 100' (100' x 100' x 100')
E6	PHOTOMETRIC LIGHTING	100	100	100' x 100' x 100' (100' x 100' x 100')
E7	PHOTOMETRIC LIGHTING	100	100	100' x 100' x 100' (100' x 100' x 100')
E8	PHOTOMETRIC LIGHTING	100	100	100' x 100' x 100' (100' x 100' x 100')
E9	PHOTOMETRIC LIGHTING	100	100	100' x 100' x 100' (100' x 100' x 100')
E10	PHOTOMETRIC LIGHTING	100	100	100' x 100' x 100' (100' x 100' x 100')

PHOTOMETRIC NOTES

1. THIS PLAN REPRESENTS A TYPICAL SAMPLED PHOTOMETRIC STUDY OF THE EXTERIOR LIGHTING. IT DOES NOT REPRESENT THE NUMBER OF FIXTURES, WHICH IS THE NUMBER OF FIXTURES SHOWN ON THE EXTERIOR LIGHTING PLAN. THE NUMBER OF FIXTURES SHOWN ON THE EXTERIOR LIGHTING PLAN IS BASED ON THE EXTERIOR LIGHTING PLAN. THE NUMBER OF FIXTURES SHOWN ON THE EXTERIOR LIGHTING PLAN IS BASED ON THE EXTERIOR LIGHTING PLAN. THE NUMBER OF FIXTURES SHOWN ON THE EXTERIOR LIGHTING PLAN IS BASED ON THE EXTERIOR LIGHTING PLAN.

2. PHOTOMETRIC CALCULATIONS:
 2.1. LUMINOUS FLUX (LM) IS USED FOR ALL CALCULATIONS.
 2.2. LAMP LUMENS ARE USED FOR ALL CALCULATIONS.



D-Series Size 1 LED Area Luminaire

USA 1 LED 800 700 600 120 120 120

Specifications

Item	Description	Quantity	Unit	Notes
1	D-Series Size 1 LED Area Luminaire	100	EA	
2	...	...	...	...

PHOTOMETRIC DATA

Fixture ID	Manufacturer	Model	Beam Angle	Lumens	Foot Candles
1	PHOTOMETRIC LIGHTING	...	...	...	...
2	PHOTOMETRIC LIGHTING	...	...	...	...

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

...

SSS

PHOTOMETRIC DATA

Fixture ID	Manufacturer	Model	Beam Angle	Lumens	Foot Candles
1	LITHONIA LIGHTING	...	...	...	...
2	LITHONIA LIGHTING	...	...	...	...

01 SITE LIGHTING PHOTOMETRIC PLAN
SCALE 1" = 20' 0"

Cardno Shaping the Future
SACRAMENTO
701 UNIVERSITY AVENUE, SUITE 200, SACRAMENTO, CA 95811
TEL: (916) 444-2400 FAX: (916) 444-2401
www.cardno.com

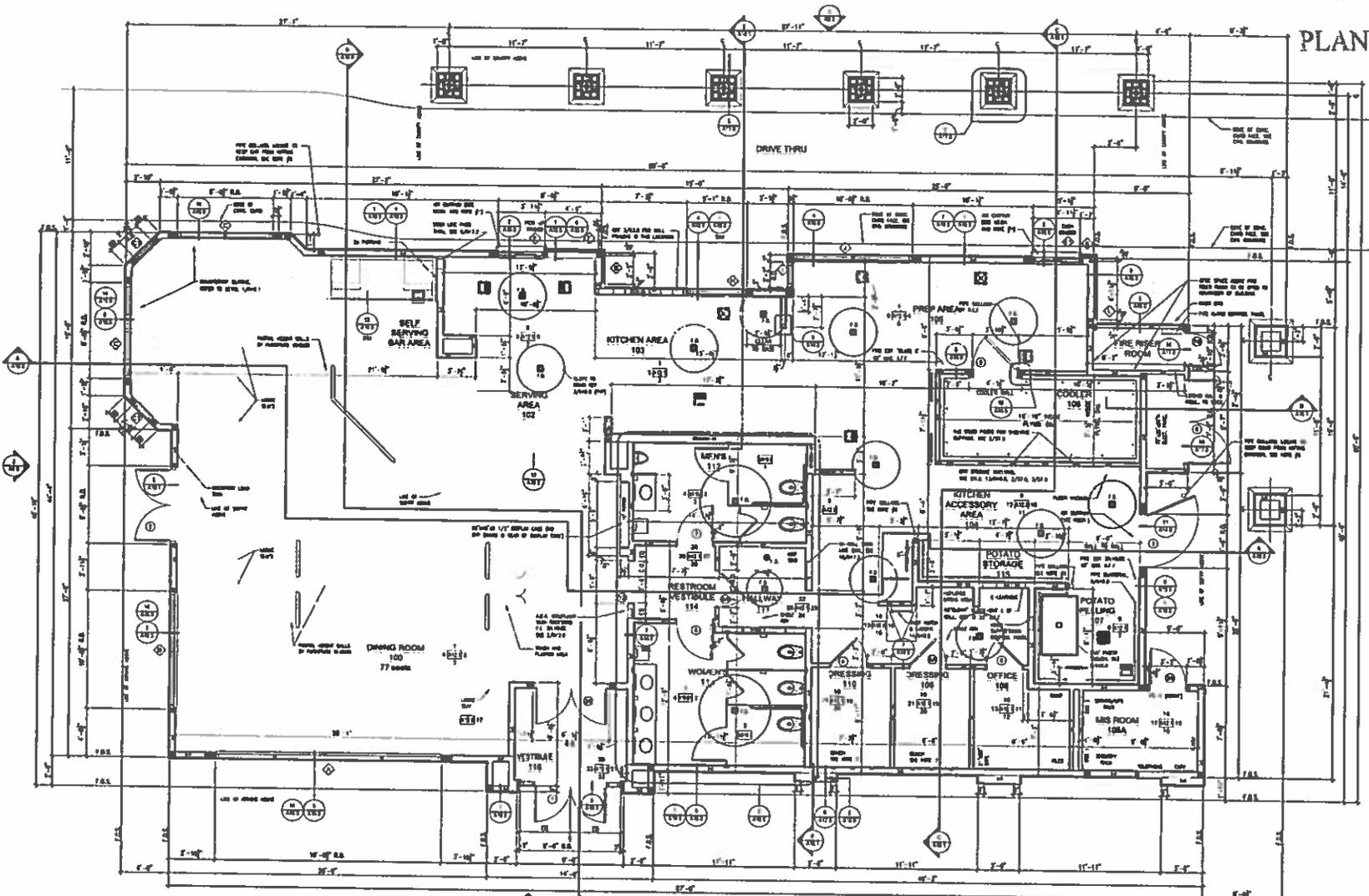
Underground Service Alert
Call Toll Free
811

EXHIBIT # "K"
 File # Ac-15-002/E-15-003
 10/1

RECEIVED

JAN 06 2015

PLANNING DEPT.



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PRELIMINARY SITE PLAN LAYOUT
(1968 CRATER LAKE HWY) MEDFORD, OR



©2008 IN-N-OUT BURGERS, INC.
 13503 HAMBURGER LANE
 BALDWIN PARK, CA 91706
 (909) 874-2000

1 FLOOR PLAN
 AS B SCALE 1/4" = 1'-0"

NOTES:
 1. REFER TO THE ARCHITECTURAL DRAWINGS FOR THE LOCATION OF ALL EQUIPMENT.

NO.	REVISION

SHEET OF 1
 THE INFORMATION, DRAWINGS AND SPECIFICATIONS SHOWN ARE AND SHALL REMAIN THE PROPERTY OF IN-N-OUT BURGERS, INC. THESE DOCUMENTS MAY NOT BE USED WITHOUT THE EXPRESS WRITTEN CONSENT OF IN-N-OUT BURGERS, INC.

MEDFORD, OR
 1968 CRATER LAKE HWY

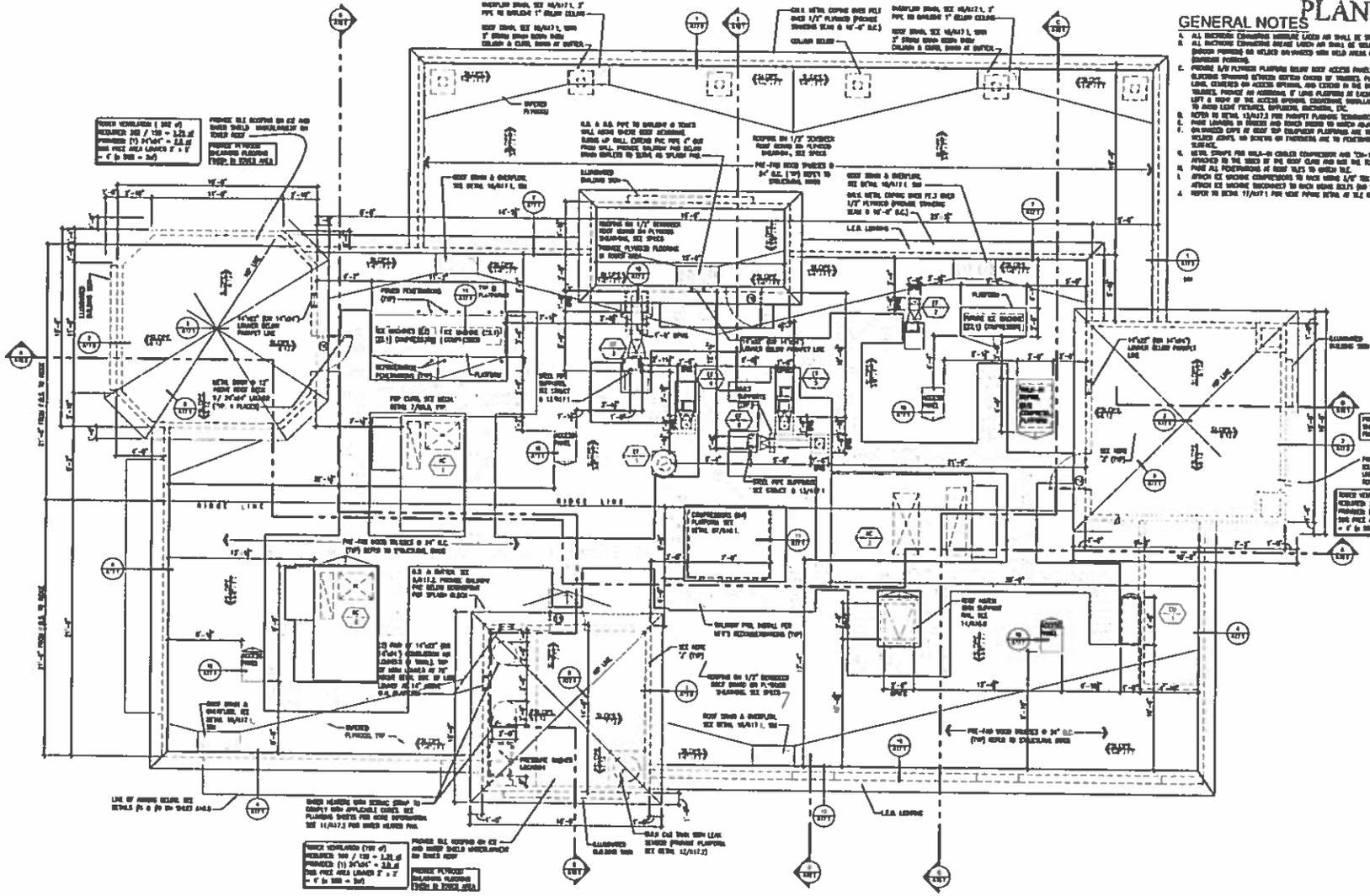
CITY OF MEDFORD
 EXHIBIT # L
 File # AR-15-002/E-15-003
 10/1

INO, OR, MEDFORD
 2154 CRATER LAKE HWY - SP
 SHELL GAS STATION SITE DESIGN

22

PLANNING DEPT.

- GENERAL NOTES**
- ALL EXISTING CHANGING ROOMS SHALL BE REMOVED.
 - ALL EXISTING CHANGING ROOMS SHALL BE REMOVED AND NEW CHANGING ROOMS SHALL BE CONSTRUCTED AS SHOWN ON THIS PLAN. CHANGING ROOMS SHALL BE CONSTRUCTED WITH 1/2" PLASTER OVER 1/2" GYP BOARD ON 2x4 STUDS.
 - PROVIDE 1/2" PLASTER OVER 1/2" GYP BOARD ON 2x4 STUDS. PROVIDE 1/2" PLASTER OVER 1/2" GYP BOARD ON 2x4 STUDS. PROVIDE 1/2" PLASTER OVER 1/2" GYP BOARD ON 2x4 STUDS.
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PRELIMINARY SITE PLAN LAYOUT
(1968 CRATER LAKE HWY) MEDFORD, OR



© 2000 BLESS AMERICA
13102 HANABURGER LANE
BALEWIND PARK, CA 91706

ROOF PLAN

SHEET OF 1
THE INFORMATION, DRAWINGS AND SPECIFICATIONS SHOWN ARE AND SHALL REMAIN THE PROPERTY OF IN-N-OUT BURGER.
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MEDFORD, OR
1968 CRATER LAKE HWY

DATE	REVISION

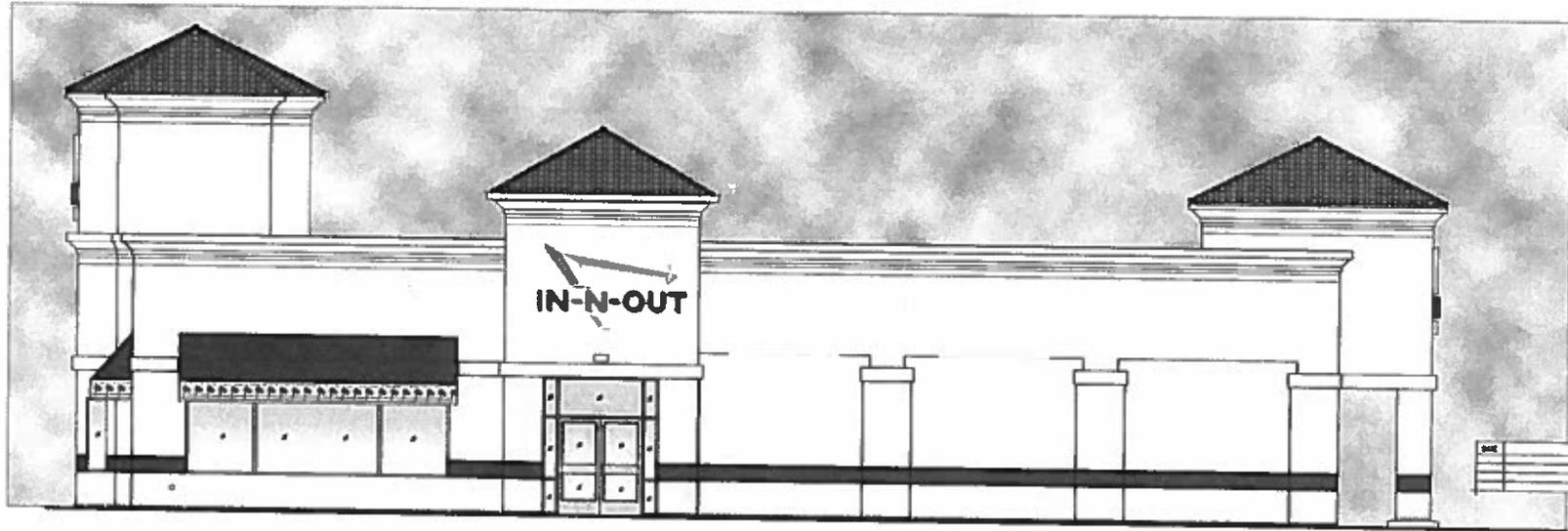
CITY OF MEDFORD
1100 CRATER LAKE HWY - 5P
FUEL GAS STATION (SITE DEMO)

EXHIBIT # 14
File # AR-15-002/E-15-003

23



2 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

Page 40



OUR BLESS AMERICA
 13502 HAMBURGER LANE
 BALEWIK PARK, CA 91706

ELEVATIONS-1 SHEET OF 1

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MEDFORD, OR
 1968 CRATER LAKE HWY

PRELIMINARY SITE PLAN LAYOUT
 (1968 CRATER LAKE HWY) MEDFORD, OR

CITY OF MEDFORD
 EXHIBIT # 0
 File # AR-15-002/E-15-003
 1 of 2

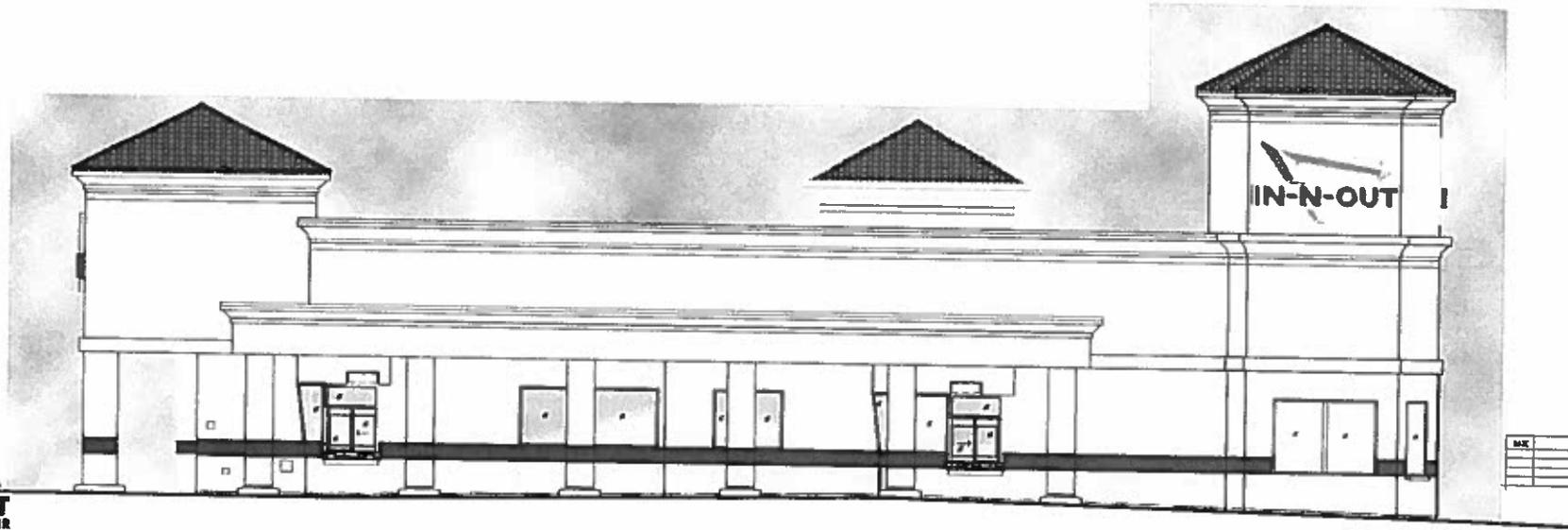
NO. OR. MEDFORD
 (1968 CRATER LAKE HWY) -SP
 SHELL GAS STATION SITE DEMO
 09-30-14

26

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 JAN 06 2015
 PLANNING DEPT.



2 NORTH ELEVATION TYPICAL
 AD 0 SCALE 1/4" = 1'-0"



ELEVATIONS-2
 1 WEST ELEVATION
 AD 0 SCALE 1/4" = 1'-0"

MEDFORD, OR
 1968 CRATER LAKE HWY

PRELIMINARY SITE PLAN LAYOUT
 (1968 CRATER LAKE HWY) MEDFORD, OR

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GOD BLESS AMERICA
 13302 HAMBURGER LANE
 BALDWIN PARK, CA 91706

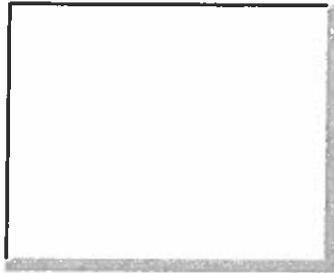
THE INFORMATION, DRAWINGS AND SPECIFICATIONS SHOWN ARE AND SHALL REMAIN THE PROPERTY OF IN-N-OUT BURGERS. THESE EXCLUSIVELY MAY NOT BE REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF IN-N-OUT BURGERS.

CITY OF MEDFORD
 EXHIBIT # 10
 File # AC-15-002/E-15-003
 2012
 IN-OUT, MEDFORD
 1968 CRATER LAKE HWY - SP
 ESHELL GAS STATION, SITE DEMO
 09-10-14

27

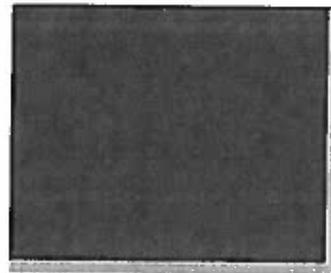
COLORS AND MATERIALS

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JAN 06 2015
PLANNING DEPT.



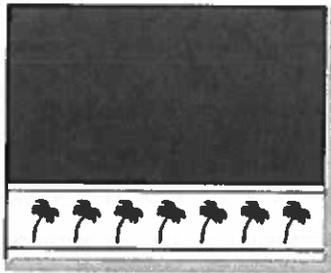
COLOR - EP-1,2,3

DUNN EDWARDS -
DEW339 BONE CHINA



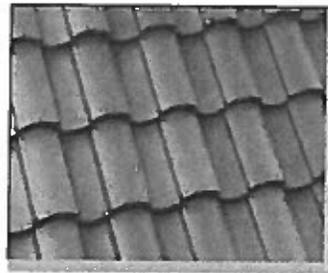
COLOR - EP-4

DUNN EDWARDS-
W10-221- SAFETY RED



MATERIAL - 5

AWNING WITH PVC COATED WICK
RESISTANT ERADICABLE POLYESTER
AND IN-N-OUT CUSTOM COLORS



MATERIAL - 1

EAGLE TILE
STYLE CAPISTRANO
NAME TERRA COTTA 3125

IN-N-OUT BURGER RESTAURANT
1968 CRATER LAKE HWY
MEDFORD, OR 97504



CITY OF MEDFORD
EXHIBIT # "P"
File # AC-15-003/E-15-003
10E1



LANDSCAPE PLANT AND MATERIALS LEGEND

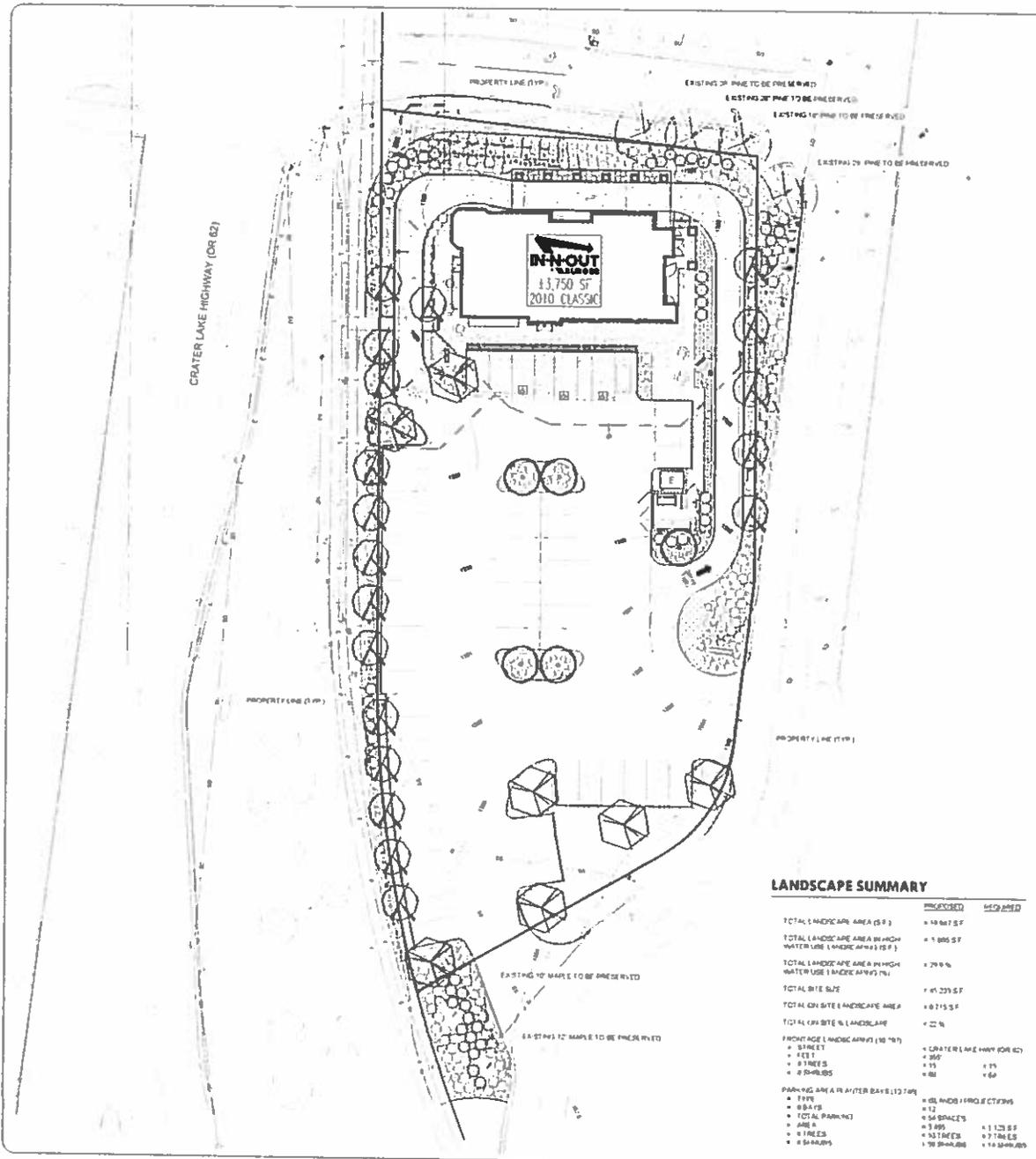
Table with columns: TREE (SPECIES, SIZE, CITY), MATS (SPECIES, SIZE, CITY), and SHRUBS & ACCENTS (SPECIES, SIZE, CITY). Lists various plant species like Acer, Camellia, and Yucca with their respective sizes and quantities.

GENERAL NOTES: LANDSCAPE PLAN

- 1. LANDSCAPE PLANTS SHALL COMPLY TO THE STANDARDS ESTABLISHED BY CITY OF MEDFORD PLANTS DEPT.
2. TREE REQUIREMENTS PER MEDFORD CODE SUBSECTION 19.020(4)(c) AS AMENDED BELOW SHALL BE MET INCLUDING THE FOLLOWING:
- SOIL VOLUME: NEW & EXISTING TREES SHALL HAVE AT LEAST TWO (2) CUBIC FEET OF SOIL VOLUME FOR EACH ONE (1) SQUARE FOOT OF SAU/LINE TREE CANOPY.
- ROOT BARRIERS SHALL BE INSTALLED FOR ALL NEW TREES LOCATED WITHIN THREE FEET OF ANY IN-SITU ROOTS OF ANY SIZE PUNGE SURFACE.
- TREE (2 INCHES) EXISTING TREES TO BE PRESERVED SHALL BE FULLY SECURED BY FENCING AT THE CANOPY EDGE FOR THE PURPOSE OF PROTECTING THE TREE FROM DISTURBANCE AND SOIL COMPACTION DURING CONSTRUCTION. ALL EXCAVATION SHALL BE CLOSED TO ACCESS WITHIN THE TIME OF EXISTING TREES SHALL BE RESTRICTED TO MANUAL LABOR. PROTECT ALL ROOTS 7' DIAMETER AND LARGER WITHIN THE TREE CANOPY AREA. ADJUSTABLE REPAIR MAY ALTERATION TO PROTECTION MEASURES BY CONTRACTOR.
3. LANDSCAPE SOIL QUALITY RESTORATION PROCEDURES OUTLINED IN MEDFORD CODE SUBSECTION 19.020(4)(b) SHALL BE MET INCLUDING THE FOLLOWING:
- MECHANICAL ORGANIC CONTENT: MECHANICAL ORGANIC CONTENT SHALL BE TESTED IN SECTION 19.020(4)(b) AS CERTIFIED BY THE USE CONTRACTOR. ALL TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH THE SOIL TEST PROCEDURES FOR LANDSCAPE AREAS AT A RATE OF THREE (3) CUBIC YARDS OF COMPOST PER 1,000 SF OF LANDSCAPING AREA TO BE PLANTED, EXCEPT WHERE NOTED OTHERWISE.
- CULTIVATE SOIL: THE PLANTER SHALL:
1. A. USE A SOIL TEST TO DETERMINE SOIL pH AND TO CORRECT AS NEEDED.
2. B. USE A SOIL TEST TO DETERMINE SOIL PHOSPHORUS AND POTASSIUM AND TO CORRECT AS NEEDED.
3. C. USE A SOIL TEST TO DETERMINE SOIL NITROGEN AND TO CORRECT AS NEEDED.
4. D. USE A SOIL TEST TO DETERMINE SOIL SALINITY AND TO CORRECT AS NEEDED.
4. ALL LANDSCAPE AREAS SHALL HAVE A 1" (4.75 LITER) OF 1/2" (12.5 MILLIMETER) BARRIERS.
5. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH FULL PLANT COVERAGE ON THE DATE OF INSTALLATION.
6. ALL IRRI MATERIAL DELIVERED TO THE SITE SHALL MEET THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS.
7. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL IRRI MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT WRITTEN APPROVAL FROM ARCHITECT SHALL BE AT THE RISK OF THE CONTRACTOR AND SHALL BE SUBJECT TO THE LANDSCAPE ARCHITECT'S APPROVAL. THE CONTRACTOR SHALL BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THE STANDARDS.
8. ALL EXISTING TREES TO BE PRESERVED SHALL BE MARKED WITH A 1" (25.4 MILLIMETER) DIAMETER WHITE PAINT AND REMOVED FROM THE SITE BACKFILL WITH TOPSOIL TO ORIGINAL GRADE PRIOR TO ALL THE SPECIFIED AND NEEDED SOIL PER THE PLAN.

LANDSCAPE SUMMARY

Summary table with columns: UNCHANGED, CHANGED. Rows include: TOTAL LANDSCAPE AREA (SF), TOTAL LANDSCAPE AREA WITH WATER USE, TOTAL LANDSCAPE AREA WITH HIGH WATER USE, TOTAL SITE SIZE, TOTAL ON-SITE LANDSCAPE AREA, TOTAL OFF-SITE LANDSCAPE, FRONTAGE LANDSCAPE (10' W), PARKING AREA (10' W) AFTER BAYS (10' W), and various plant counts (TREES, SHRUBS, ACCENTS, etc.).



CITY OF MEDFORD

EXHIBIT # 2

File # Ac-15002/E-15003

10/1

LANDSCAPE PLANTING PLAN

IN-N-OUT BURGER
IN-N-OUT BURGER
MEDFORD, OREGON



PROJECT NO: 15002-10
DATE: 12/29/14
DRAWN BY: [Name]
CHECKED BY: [Name]

PLANTING PLAN

RECEIVED

JAN 06 2015

PLANNING DEPT.

MEMORANDUM



To: City of Medford

From: Atalia Raskin, PE
Water Resource Senior Project Engineer

Date: December 19, 2014

Project: In-N-Out Burger - Medford

Cardno#: 51408820

Re: Preliminary Stormwater Management Analysis

5415 SW Westgate Drive
Suite 100
Portland, Oregon 97221
USA

Phone (503) 419-2500
Fax (503) 419-2600

www.cardno.com

This memo will provide the findings of the preliminary water quality and quantity analysis for the proposed In-N-Out Burger in Medford, Oregon. The site is located at 1968 Crater Lake Hwy, Medford, Oregon.

The proposed project will follow the design standards of the City of Medford as provided within the *Rogue Valley Stormwater Quality Design Manual* revised September 2008.

Site Evaluation

The proposed project will redevelop an existing gas station into an In-N-Out Burger restaurant and associated parking lot. Stormwater from the existing site sheet flows to onsite catch basins. Stormwater runoff is conveyed to the storm sewer within the Rogue Valley Mall. The existing site does not include pollution reduction or flow control facilities.

Site soils are predominately Agate-Winlo complex with a hydrologic soil group C. Site areas in pre-developed, existing, and post-developed conditions are listed in Table 1. The proposed post-developed conditions will reduce the amount of impervious area at the site.

Table 1-1 Area Table

Development Condition	Impervious Area (ac)	Pervious Area (ac)	Total Area (ac)
Pre-Developed	0.000	1.038	1.038
Existing	0.932	0.106	1.038
Post-Developed	0.795	0.243	1.038

A Geotechnical Engineering Report was completed by Terracon Consultants, Inc. The site investigation determined groundwater at a depth of 15.5 ft. Infiltration tests were completed at a depth of 3 feet, with a clay layer starting at approximately 6 feet deep. The tested infiltration rate is 0.4 in/hour. The tested rate is very low and does not support onsite infiltration for flow control. Additionally, the sites historic land-use does not support the use of infiltration facilities.

Pollution Reduction

Flow control standards will follow Section 2.2 Pollution Reduction of *Rogue Valley Stormwater Quality Design Manual*. The water quality storm is defined as 1.0-inch in 24-hours, which captures 98% of the rainfall events. The water quality storm is assumed to adequately capture 90% of the annual precipitation. This is equal to 0.145 cfs per acre. Roof runoff does not need to be treated; the proposed roof area is 3,750 sq.-ft. Therefore, the maximum water quality treatment area is



0.709 acres with a peak flow for the site of 0.103 cfs. The proposed stormwater management facility is catch basin inserts. An insert will be placed within each catch basin.

Flow Control

Flow control standards will follow Section 2.3 Flow Control of *Rogue Valley Stormwater Quality Design Manual*.

Flow control is required for the 10-year storm event to release at 0.25 cfs per acre (equivalent to a 2-year storm on undeveloped land ($C=0.58$) with a 60-minute time of concentration using the Rational Method).

The calculated detention volume is 1,561 cf per the attached spreadsheet. Detention will be provided within StormTech Chambers. StormTech Chambers are an arch pipe surrounded by gravel. An impervious liner will surround the system to prevent infiltration.

Operation and Maintenance

An operation and maintenance form and report will be submitted with the final stormwater submittal.

Conveyance

An onsite conveyance analysis will be completed with the final stormwater submittal. The proposed project reduces the impervious site area and will provide detention storage. Therefore, the amount of runoff leaving the site will decrease in proposed conditions. Additional discussion on the destination analysis will also be completed in the final stormwater submittal.

Conclusion

Stormwater pollution reduction will be accomplished through catch basin inserts and flow control will be provided through underground detention within StormTech Chambers.

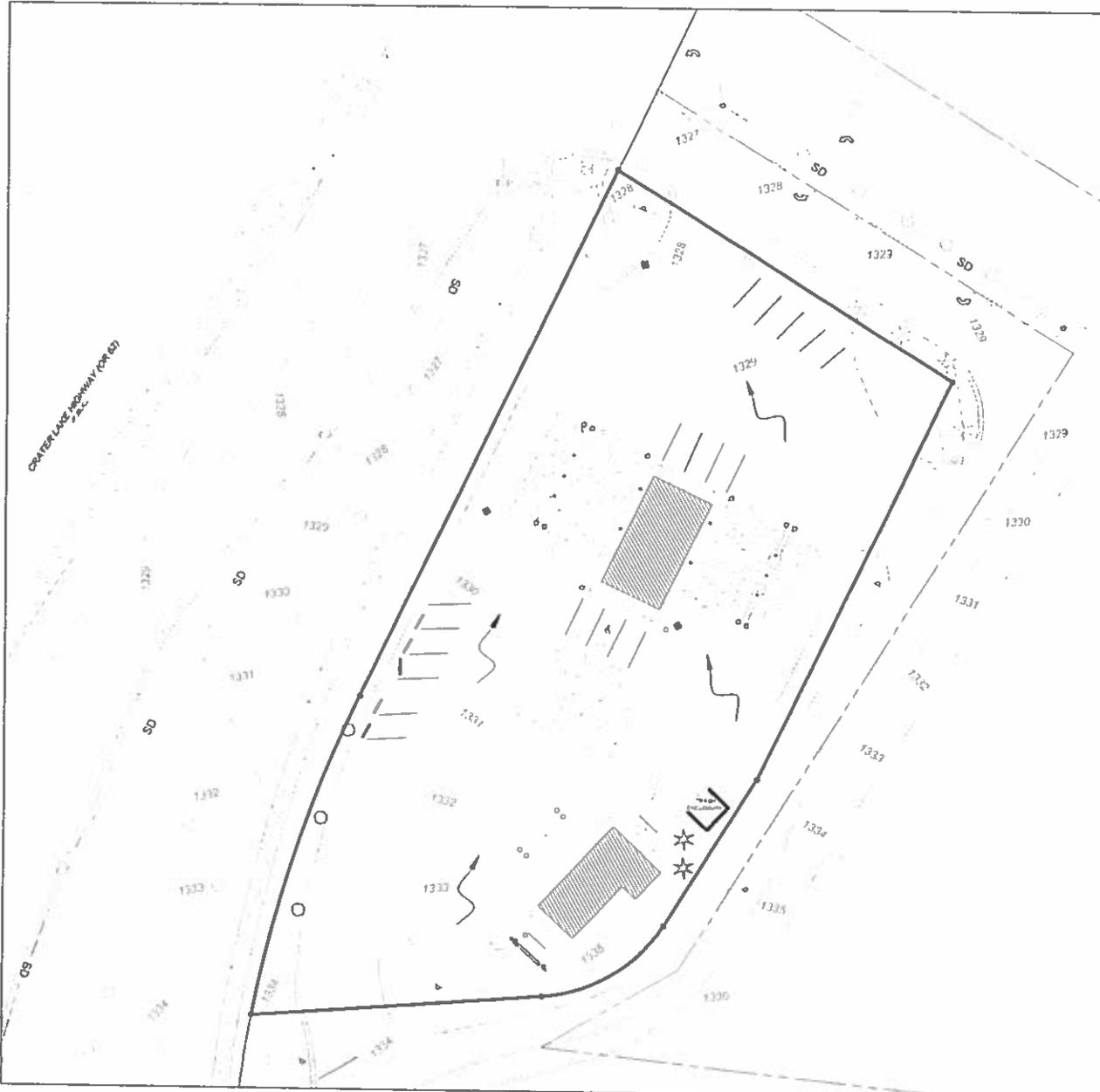
Therefore, this project will meet the intent of the standards set by the City of Medford.

Attachments:

- Exhibit 1 - Pre-Developed Basin Delineation
- Exhibit 2 - Post-Developed Basin Delineation
- USGS Hydrologic Soil Group Map
- Rational Method Detention Storage

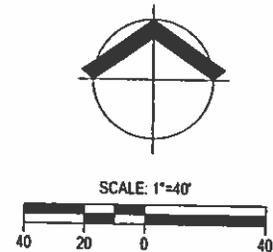
"R"
2 of 8

12/19/2014



Pre-Developed Basin Area
 Pervious Area: 1.038 acres
 Impervious Area: 0 acres
 Total Area: 1.038 acres

Existing Basin Area
 Pervious Area: 0.106 acres
 Impervious Area: 0.932 acres
 Total Area: 1.038 acres

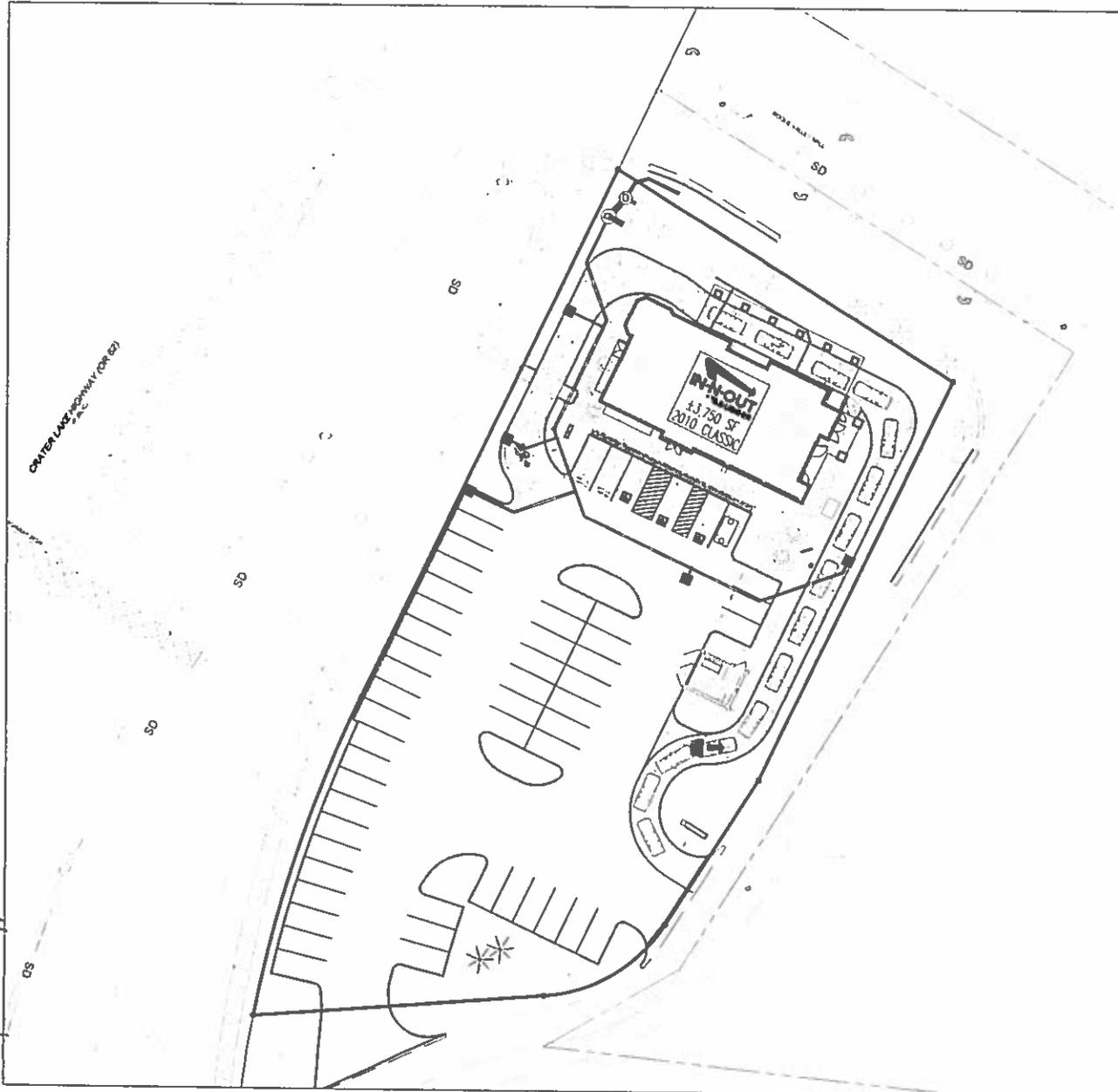


PRE-DEVELOPED BASIN DELINEATION
IN-N-OUT BURGER - MEDFORD

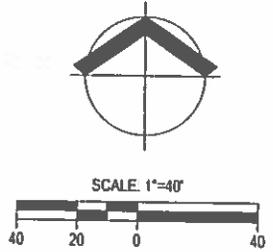
IN-N-OUT BURGER
 Medford, Oregon

PROJECT NO: 51408620
 DATE: 12/19/2014
 BY: ASR
 EXHIBIT: 1

~R 4 of 8



Post-Developed Basin Area
 Pervious Area: 0.243 acres
 Impervious Area: 0.795 acres
 Total Area: 1.038 acres



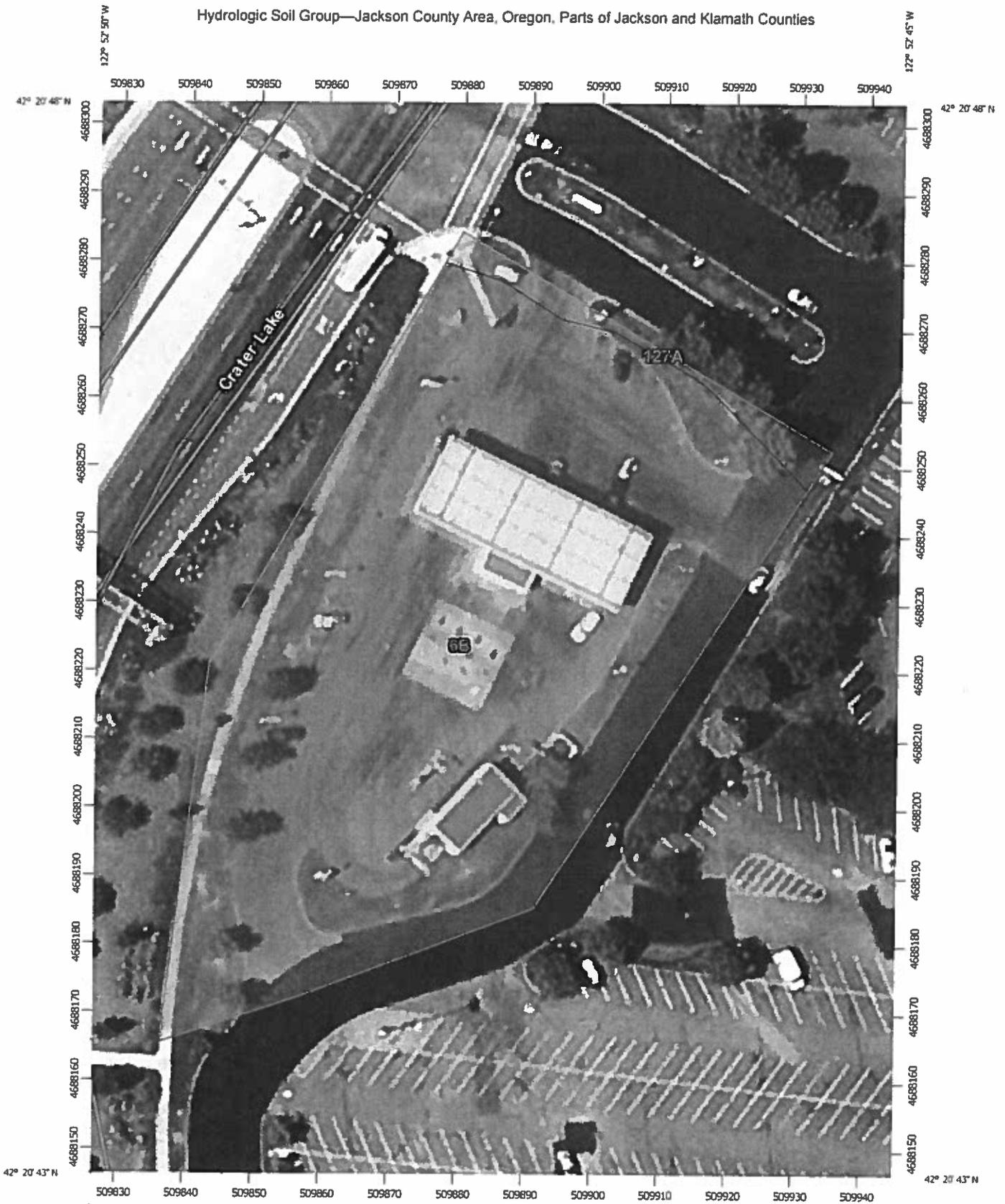
POST-DEVELOPED BASIN DELINEATION
 IN-N-OUT BURGER - MEDFORD

PROJECT NO. 51408820
 DATE 12/19/2014
 BY: ASR
 EXHIBIT: 2



IN-N-OUT BURGER
 Medford, Oregon

Hydrologic Soil Group—Jackson County Area, Oregon, Parts of Jackson and Klamath Counties



Map Scale: 1:763 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 10N WGS84



Natural Resources Conservation Service

Nation

Web Soil Survey

survey

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12/17/2014
Page 1 of 4

"R" 5 of 8

MAP LEGEND

- Area of Interest (AOI)**
-  Area of Interest (AOI)
- Soils**
- Soil Rating Polygons**
-  A
 -  A/D
 -  B
 -  B/D
 -  C
 -  C/D
 -  D
 -  Not rated or not available
- Soil Rating Lines**
-  A
 -  A/D
 -  B
 -  B/D
 -  C
 -  C/D
 -  D
 -  Not rated or not available
- Soil Rating Points**
-  A
 -  A/D
 -  B
 -  B/D
- Water Features**
-  C
 -  C/D
 -  D
 -  Not rated or not available
 -  Streams and Canals
- Transportation**
-  Rails
 -  Interstate Highways
 -  US Routes
 -  Major Roads
 -  Local Roads
- Background**
-  Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Jackson County Area, Oregon, Parts of Jackson and Klamath Counties
 Survey Area Data: Version 11, Sep 15, 2014

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 28, 2010—Jul 17, 2010

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

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12/17/2014
 10 of 8

Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Jackson County Area, Oregon, Parts of Jackson and Klamath Counties (OR632)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
6B	Agate-Winlo complex, 0 to 5 percent slopes	C	1.5	96.9%
127A	Medford silty clay loam, 0 to 3 percent slopes	C	0.0	3.1%
Totals for Area of Interest			1.5	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

10 YEAR DETERMINATION OF REQUIRED DETENTION STORAGE

PROJECT: IN-N-OUT Burger - Medford
 51408820
 BASIN: Site

Q(allowable) = 0.2595
 Head (ft.) = 3.00
 Orifice Dia. (in.) = 2.39

C = 0.9
 IMPERV. AREA (AC) = 0.795
 Total Contributing Area = 1.038
 DISCHARGE LIMIT (CFS/AC) = 0.250

C =	0.9
IMPERV. AREA (AC) =	0.795
Total Contributing Area =	1.038
DISCHARGE LIMIT (CFS/AC) =	0.250

TIME min.	CA acres	RAIN INTENSITY in/hr.	INFLOW RATE cfs	INFLOW cu. ft.	OUTFLOW cfs	OUTFLOW cu.ft.	REQUIRED STORAGE cu.ft.
5	0.7155	3.90	2.790	837	0.199	60	778
10	0.7155	3.08	2.204	1322	0.199	119	1203
15	0.7155	2.25	1.610	1449	0.199	179	1270
20	0.7155	1.90	1.359	1631	0.199	239	1393
25	0.7155	1.70	1.216	1825	0.199	298	1526
30	0.7155	1.49	1.066	1919	0.199	358	1561
35	0.7155	1.29	0.923	1938	0.199	417	1521
40	0.7155	1.15	0.823	1975	0.199	477	1498
45	0.7155	1.05	0.751	2028	0.199	537	1492
50	0.7155	0.95	0.680	2039	0.199	596	1443
55	0.7155	0.90	0.644	2125	0.199	656	1469
60	0.7155	0.85	0.608	2189	0.199	716	1474
65	0.7155	0.79	0.565	2204	0.199	775	1429
70	0.7155	0.75	0.537	2254	0.199	835	1419
75	0.7155	0.70	0.501	2254	0.199	894	1359
80	0.7155	0.68	0.487	2335	0.199	954	1381
85	0.7155	0.65	0.465	2372	0.199	1014	1358
90	0.7155	0.60	0.429	2318	0.199	1073	1245
120	0.7155	0.52	0.372	2679	0.199	1431	1248
130	0.7155	0.50	0.358	2790	0.199	1550	1240
140	0.7155	0.47	0.336	2825	0.199	1670	1155
150	0.7155	0.42	0.301	2705	0.199	1789	916
160	0.7155	0.4	0.286	2748	0.199	1908	840
170	0.7155	0.39	0.279	2846	0.199	2027	819
180	0.7155	0.38	0.272	2936	0.199	2147	790
240	0.7155	0.31	0.222	3194	0.199	2862	332
300	0.7155	0.28	0.200	3606	0.199	3578	29
360	0.7155	0.25	0.179	3864	0.199	4293	-429
420	0.7155	0.22	0.157	3967	0.199	5009	-1042
480	0.7155	0.205	0.147	4224	0.199	5724	-1500
540	0.7155	0.2	0.143	4636	0.199	6440	-1803
1200	0.7155	0.12	0.086	6182	0.199	14310	-8128
1440	0.7155	0.13	0.093	8036	0.199	17172	-9136

11/21 8 of 8

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CLIENT

IN-N-OUT
 BURGER

PROJECT
 IN-N-OUT BURGER #XXX

LOCATION
 NEO CRATER LAKE HWY
 MEDFORD, OR 97504

SHEET TITLE
 SITE PLAN & SIGN KEY

ACT. REP.
 GARRY WILCOX

DESIGNER
 GERALD MCCLUNG

DATE 10/01/14 SCALE NOTED

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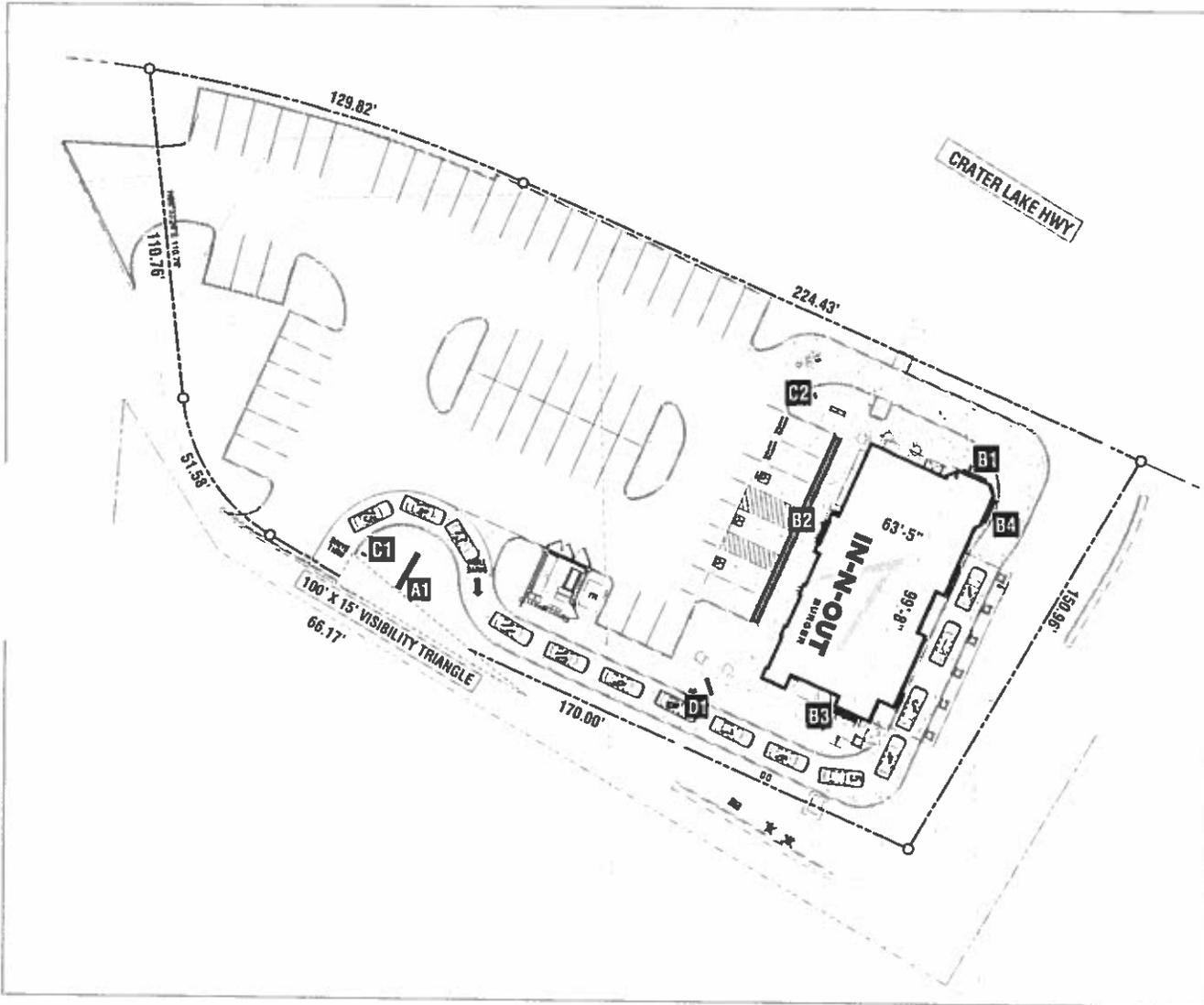
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KEY NO

1 of 10

KEY

- A1 D.F. MONUMENT SIGN 3' x 9' Cabinet @ 8' OAH ("IN-N-OUT")
- B1 SF 6'-3 1/8" X 10'-6 1/8" INTERNALLY ILLUMINATED WALL SIGN (51.1 SQ. FT.)
- B2 SF 6'-3 1/8" X 10'-6 1/8" INTERNALLY ILLUMINATED WALL SIGN (51.1 SQ. FT.)
- B3 SF 6'-3 1/8" X 10'-6 1/8" INTERNALLY ILLUMINATED WALL SIGN (51.1 SQ. FT.)
- B4 SF 6'-3 1/8" X 10'-6 1/8" INTERNALLY ILLUMINATED WALL SIGN (51.1 SQ. FT.)
- C1 D.F. INTERNALLY ILLUMINATED DIRECTIONAL DISPLAY ("DRIVE THRU")
- C2 D.F. INTERNALLY ILLUMINATED DIRECTIONAL DISPLAY ("THANK YOU/DO NOT ENTER")
- D1 SF INTERNALLY ILLUMINATED MENU BOARD



I-5 FREEWAY

NOTE
 NOT TO SCALE W/ SITE PLAN



SITE PLAN
 SCALE: 1" = 50'-0"

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 File # 12-15-002/E-15-003
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IN-N-OUT
 BURGER

PROJECT
 IN-N-OUT BURGER #XXX

LOCATION
 NED CRATER LAKE HWY
 MEDFORD, OR 97504

SHEET TITLE
 PYLON SIGN

ACCT REP
 GARRY WILCOX
 DESIGNER
 GERALD MCCLUNG

DATE
 10/01/14 SCALE
 NOTED

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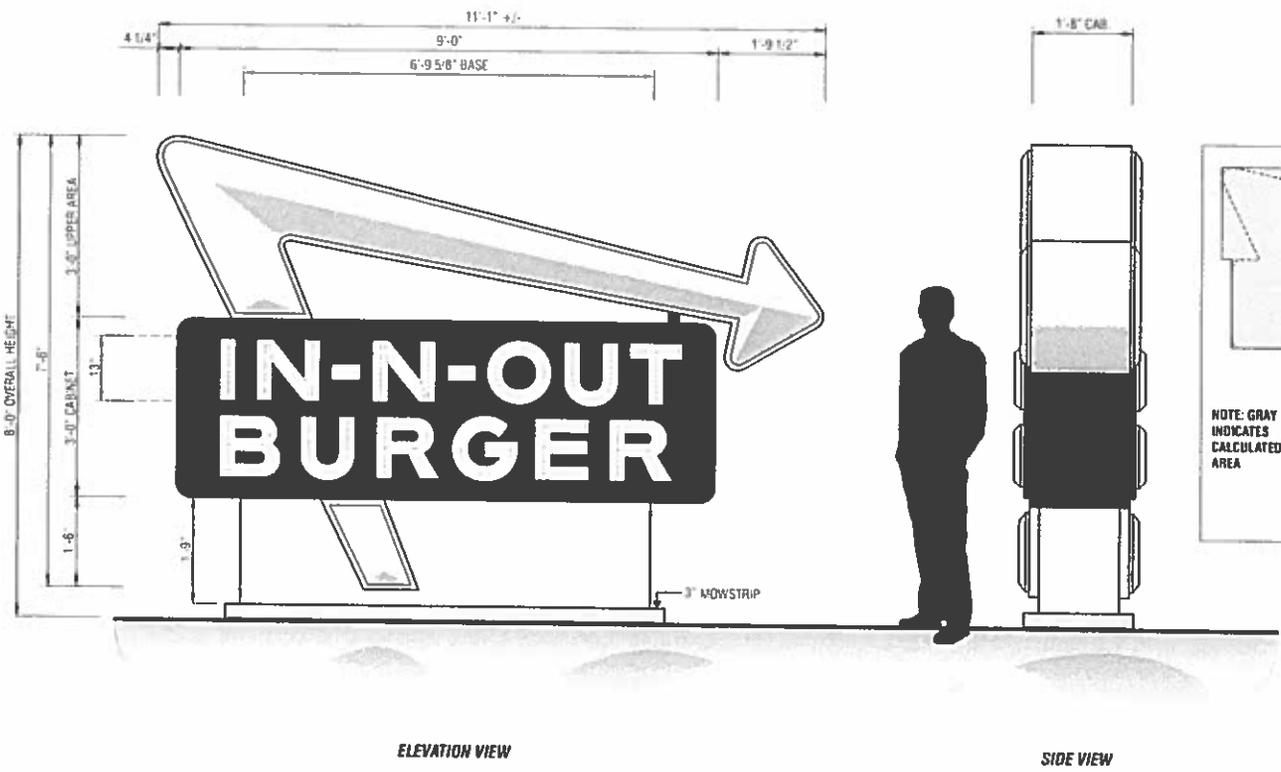
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NO.	DATE	BY	DESCRIPTION
1			
2			
3			
4			
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6			

KEY NO.
 A1

2 of 10



ELEVATION VIEW

SIDE VIEW

SIGN SPECIFICATIONS:

D/F INTERNALLY ILLUMINATED MONUMENT SIGN W/ ALUMINUM CABINET & ARROW W/ FORMED FACES. COLORS ARE PER BELOW.

ARROW: FABRICATED CHANNEL WITH RETURNS PAINTED TO MATCH PMS YELLOW "C" W/ GLOSS FINISH. FORMED YELLOW #2037 ACRYLIC PLASTIC FACES WITH 1" YELLOW TRIM/CAP EDGES. HO TRIPHOSPHORUS LAMP ILLUMINATION.

CABINET: FABRICATED CABINET & RETAINERS PAINTED TO MATCH H&D RED W/ GLOSS FINISH. FORMED ACRYLIC FACES TO HAVE SECOND SURFACE PAINTED GRAPHICS. BACKGROUND COLOR TO BE PAINTED H&D 443 RED (25% CLEAR). LETTER COLOR TO BE PAINTED WHITE. HO TRIPHOSPHORUS LAMP ILLUMINATION.

BASE: FABRICATED ALUMINUM BASE PAINTED TO MATCH DUNN EDWARDS "BONE CHINA" #514 W/ FINE TEXCOTE FINISH. LOWER END OF ARROW TO BE FABRICATED INTO BASE & ILLUMINATED AS REQUIRED.

D/F INTERNALLY ILLUMINATED 3'-0" X 9'-0" MONUMENT SIGN

SCALE: 1/2" = 1'-0"

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 EXHIBIT # 15
 File # AC-15-002/E-15-003
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CLIENT

IN-N-OUT
BURGER

PROJECT
IN-N-OUT BURGER #XXX

LOCATION
NEO CRAIER LAKE HWY
MEDFORD, OR 97504

SHEET TITLE
ELEVATIONS

ARCHITECT
GARRY WILCOX
DESIGNED BY
GERALD MCCLUNG

DATE
10/01/14 SCALE
NOTED

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KEY NO

B1 B2

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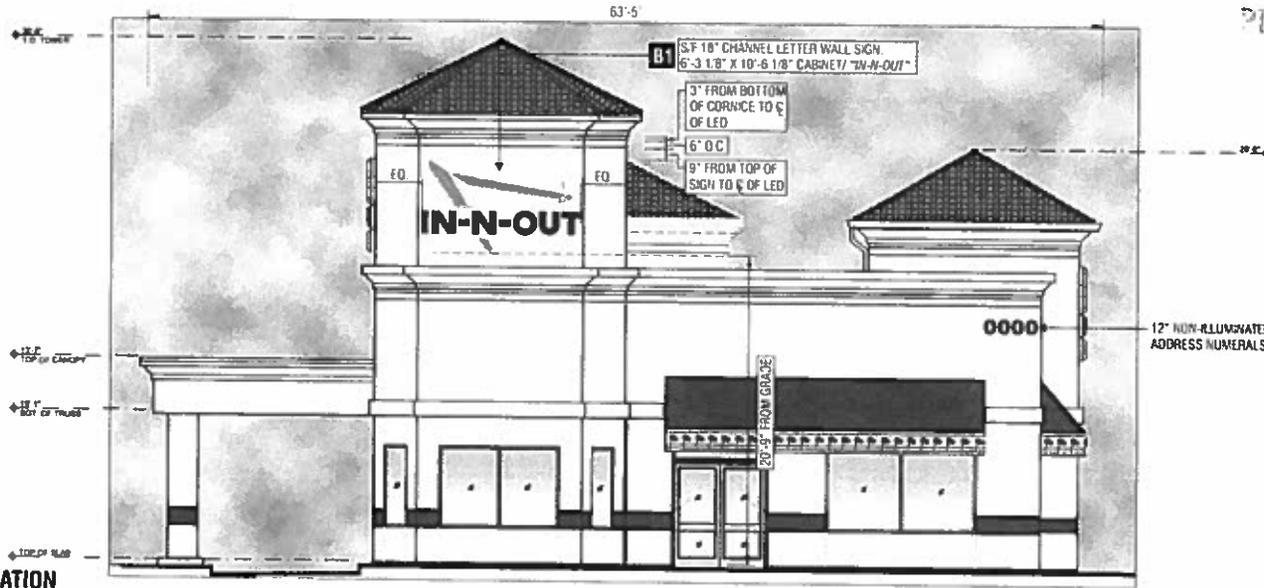
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EXHIBIT # "5"

File # AC-15-002/E-15-003

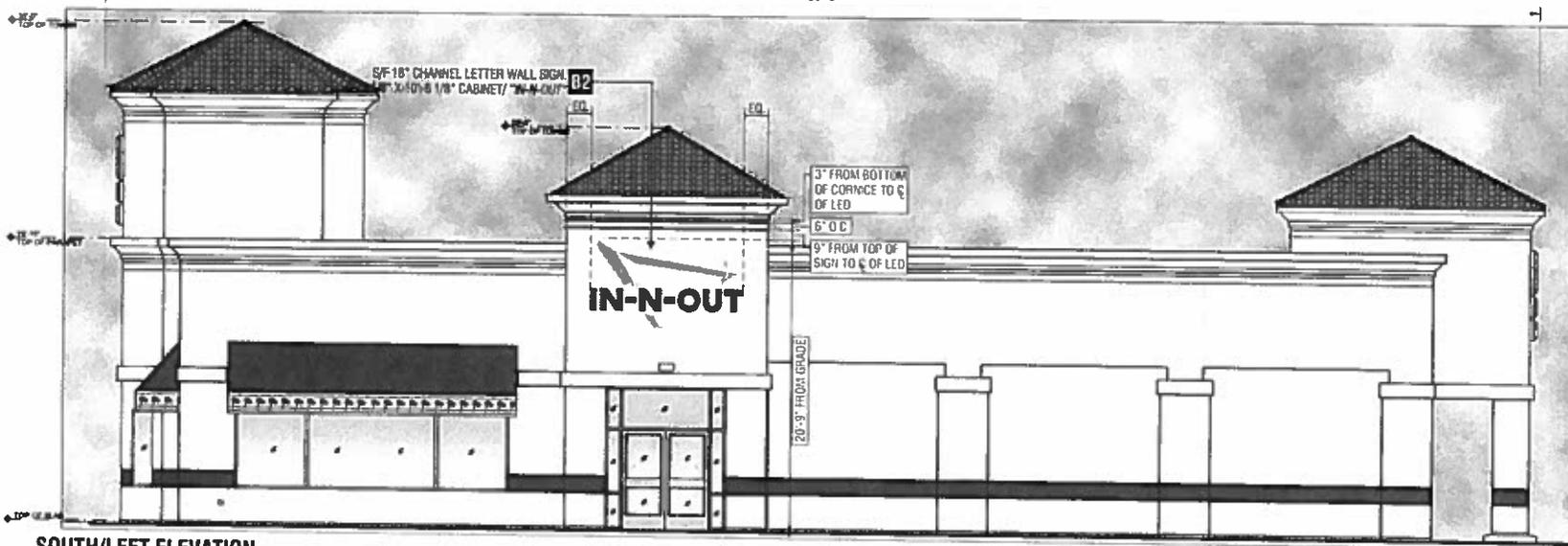
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14



WEST/FRONT ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH/LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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CLIENT

IN-N-OUT
BURGER

PROJECT

IN-N-OUT BURGER #XXX

LOCATION

NEO CRATER LAKE HWY
MEDFORD, OR 97504

SHEET TITLE

ELEVATIONS

ACCT REP

GARRY WILCOX

DRAWER

GERALD MCCLUNG

DATE

10/01/14

SCALE

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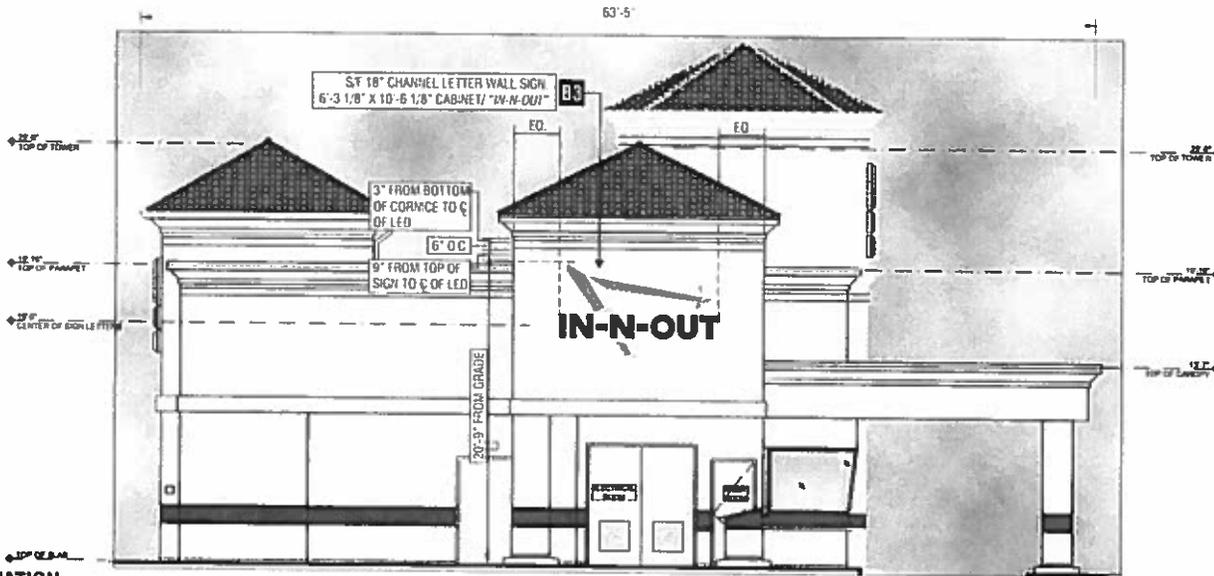
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KEY NO.

B3 B4

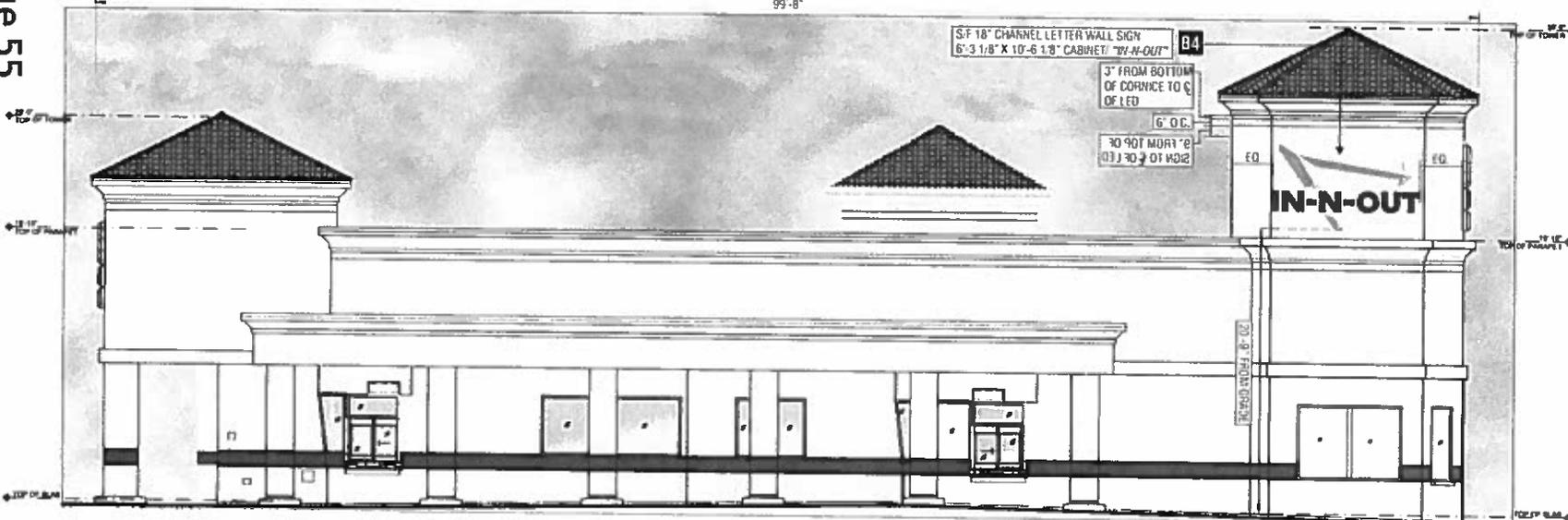
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EAST/REAR ELEVATION

SCALE 1/8" = 1'-0"

Page 55



NORTH/RIGHT ELEVATION

SCALE 1/8" = 1'-0"

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CLEW

IN-N-OUT
BURGER

PROJECT
IN-N-OUT BURGER #XXX

LOCATION
NEO CRATER LAKE HWY
MEDFORD, OR 97504

SHEET TITLE
WALL SIGNS

ACCT REP
GARRY WILCOX
DESIGNER
GERALD MCCLUNG

DATE
10/01/14
SCALE
NOTED

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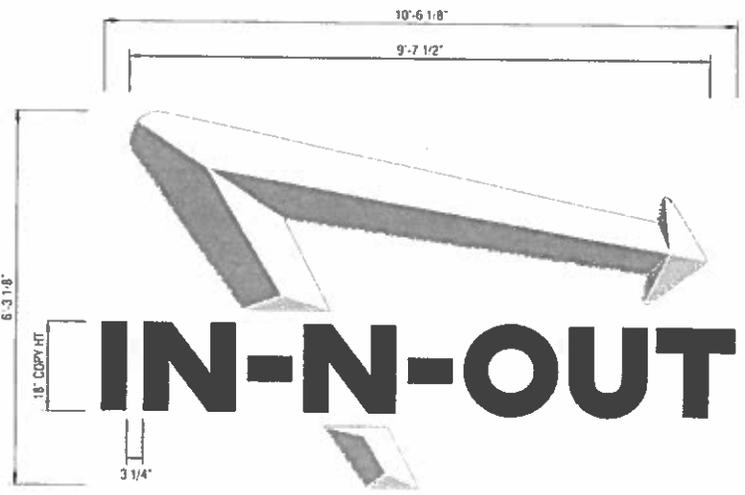
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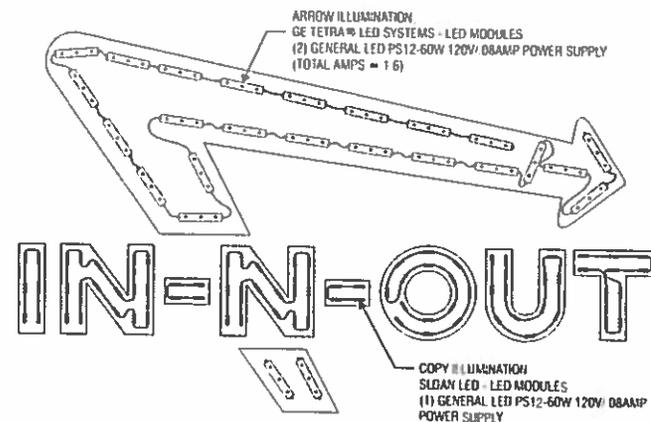


ELEVATION VIEW



SIDE VIEW

NOTES:
ALL LIGHTING COMPONENTS TO BE U.L. LISTED WITH DISCONNECT SWITCH @ POWER SUPPLY LOCATION (REMOTE). SIGNS PROVIDED WITH 3-WIRE 14 GAUGE JACK CABLE.



LIGHTING COMPONENT DETAIL

S/F 6' X 10' ILLUMINATED WALL SIGN

SCALE: 1/2" = 1'-0"

SIGN SPECIFICATIONS:
S/F INTERNALLY ILLUMINATED ALUMINUM CHANNEL LETTER SIGN DISPLAY WITH FORMED COPY & ARROW. COLORS/ MATERIAL PER BELOW.

ARROW:
FABRICATED CHANNEL WITH RETURNS PAINTED TO MATCH "BONE CHINA" SP 514 BY DUHM EDWARDS W/ SATIN FINISH. FORMED YELLOW #2037 ACRYLIC FACES. LED ILLUMINATION (SEE ABOVE).

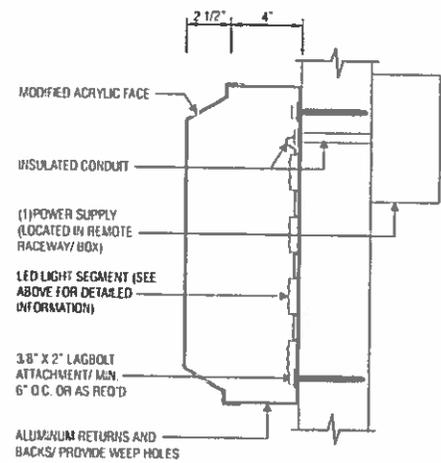
COPY:
FABRICATED CHANNEL WITH RETURNS PAINTED TO MATCH "BONE CHINA" SP 514 BY DUHM EDWARDS W/ SATIN FINISH. FORMED RED #211-1 ACRYLIC FACES WITH 1" GOLD TRIM/CAP. RED LED ILLUMINATION (SEE ABOVE).

CHANNEL LETTERS TO BE 4" DEEP/ ALL SIGNS TO BE INSTALLED ONTO BUILDING AS REQUIRED

SQUARE FOOTAGE CALCULATIONS:

UPPER ARROW:	33.3 S.F.
COPY:	15.8 S.F.
LOWER ARROW:	2.0 S.F.
TOTAL SIGN AREA:	51.1 S.F.

NOTE: GRAY INDICATES CALCULATED AREA



SECTION DETAIL (NOT TO SCALE)

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CLIENT

IN-N-OUT
BURGER

PROJECT
IN-N-OUT BURGER #XXX

LOCATION
NEO CRATER LAKE HWY
MEDFORD, OR 97504

SHEET TITLE
DIRECTIONALS

ACCT NO:
GARRY WILCOX
DESIGNER:
GERALD MCCLUNG

DATE
10/01/14
SCALE
NOTED

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KEY NO.

C1 C2 C3 C4

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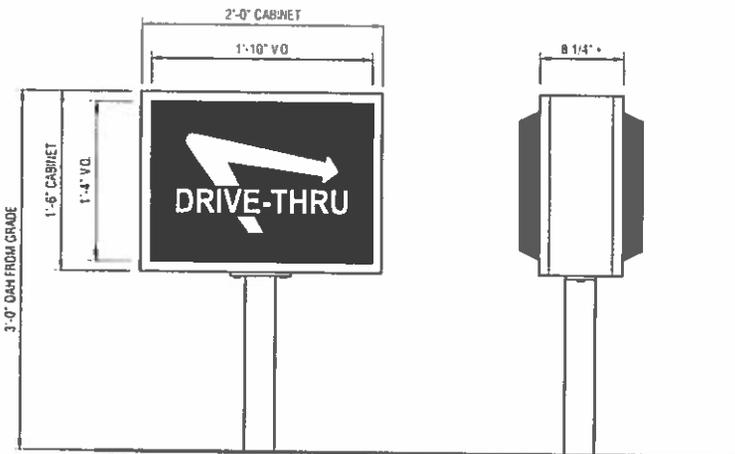
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File # AC-15-002/E-15-003

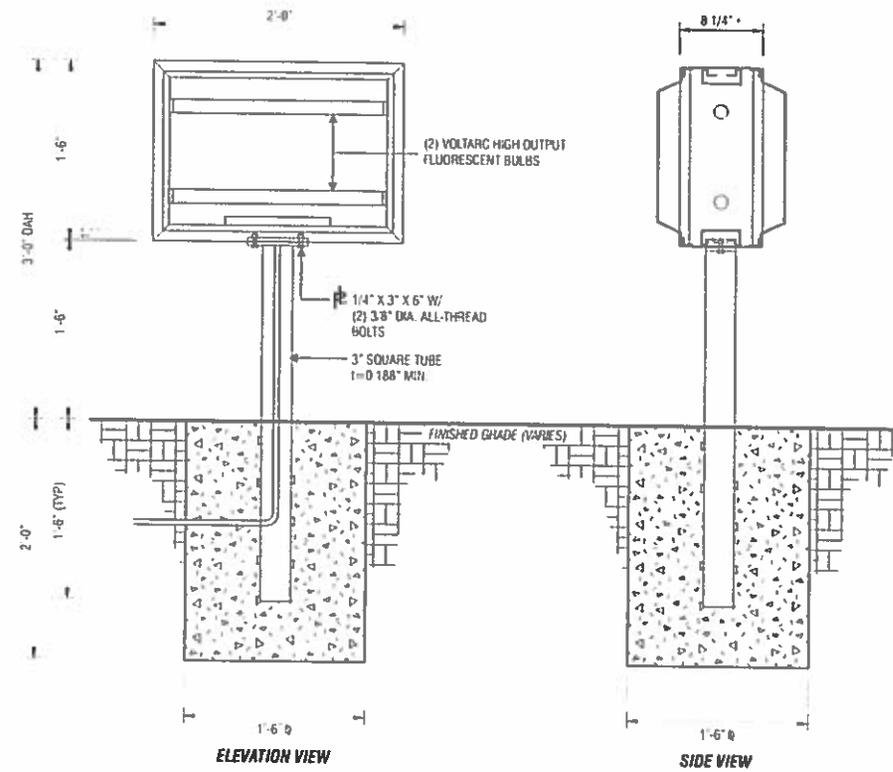
6 of 10

12



ELEVATION VIEW

SIDE VIEW



ELEVATION VIEW

SIDE VIEW

SIGN SPECIFICATIONS

2 FT INTERNALLY ILLUMINATED ALUMINUM DIRECTIONAL CABINET W/ FORMED FACES & ARROW. SIGN CABINET RETAINERS PAINTED TO MATCH "BONE CHINA" SP 514 BY DUYN EDWARDS W/ SATIN FINISH. GRAPHICS BACKGROUND COLOR TO BE PAINTED RHD 443 RED (25% CLEAR). LETTER COLOR TO BE PAINTED WHITE. ARROW TO BE PAINTED RHD 413 YELLOW (25% CLEAR) - AS APPLIES. SIGN CABINETS TO BE ILLUMINATED W/ VOLTARC HIGH OUTPUT FLUORESCENT BULBS.

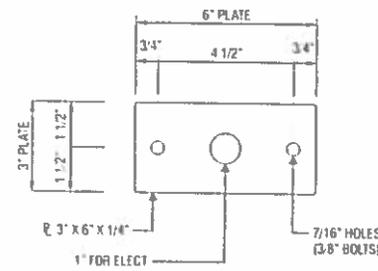


PLATE DETAIL

SCALE 3" = 1'-0"

Page 57

F INTERNALLY ILLUMINATED DIRECTIONAL SIGNS @ 3 SQ. FT.

1" = 1'-0"



SIDE A

SIDE B

SIDE A

SIDE B

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01/07

IN-N-OUT
BURGER

PROJECT
IN-N-OUT BURGER #XXX

LOCATION
NEO CRATER LAKE HWY
MEDFORD, OR 97504

SHEET TITLE
MENU BOARD

DESIGN BY
GARRY WILCOX

CHECKED BY
GERALD MCCLUNG

DATE
10/01/14

SCALE
NOTED

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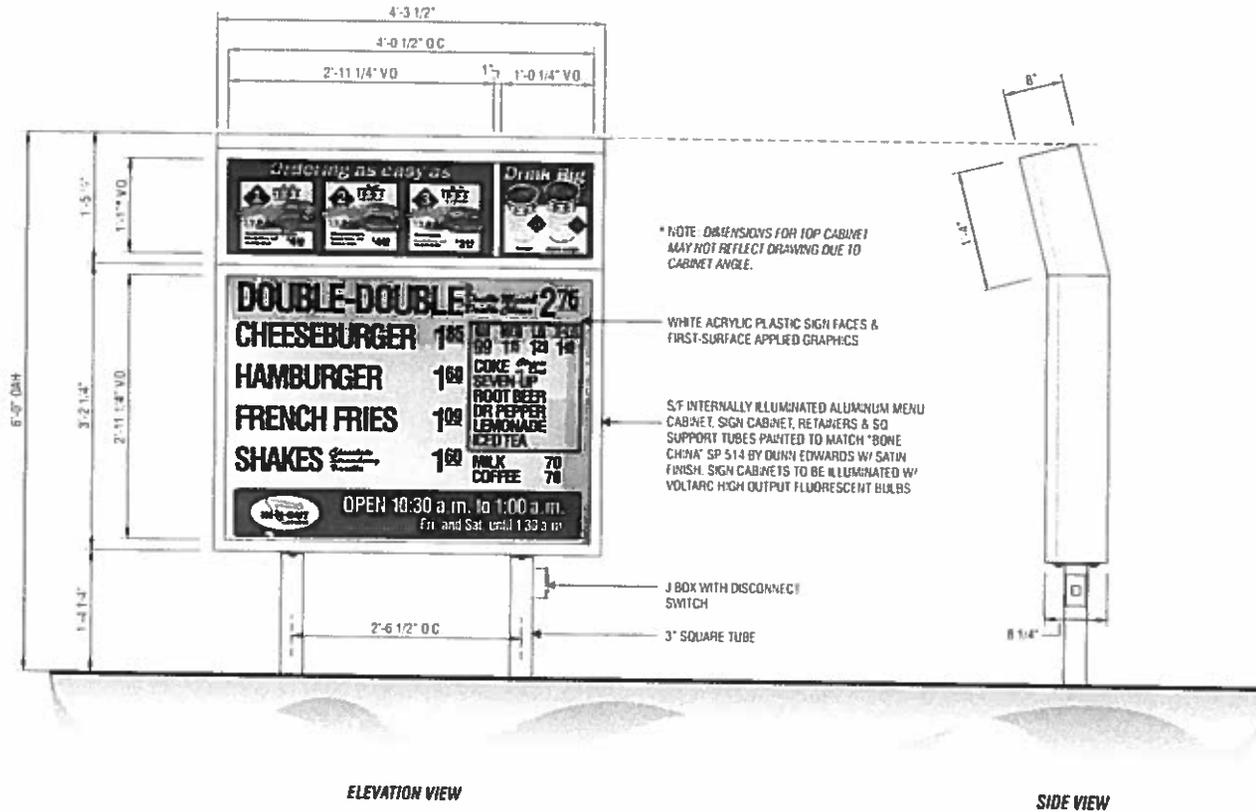
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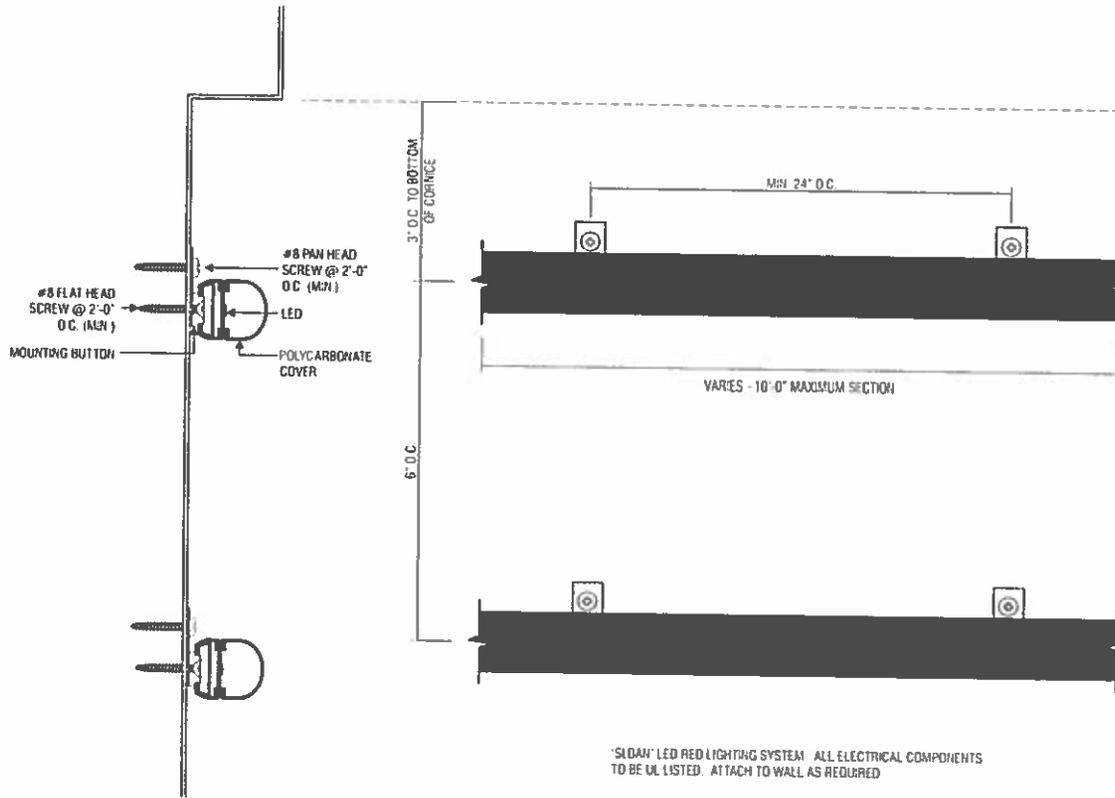
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S/F INTERNALLY ILLUMINATED MENU BOARD @ 6'-0" OAH (19.9 SQ. FT.)

SCALE: 3/4" = 1'-0"



"SLOAN" LED RED LIGHTING SYSTEM ALL ELECTRICAL COMPONENTS TO BE UL LISTED. ATTACH TO WALL AS REQUIRED

LED BORDER

HALF SIZE

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IN-N-OUT
 BURGER

PROJECT
 IN-N-OUT BURGER #XXX

LOCATION
 NEG CRATER LAKE HWY
 MEDFORD, OR 97504

SHEET TITLE
 BORDER LED DETAIL

ACCT REP
 GARRY WILCOX
 DESIGNER
 GERALD MCCLUNG

DATE
 10/01/14
 SCALE
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COLOR SPECIFICATIONS

C1 RED ACRYLIC #211-1

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CLIENT

IN-N-OUT
BURGER

PROJECT
IN-N-OUT BURGER #XXX

LOCATION
NEO CRATER LAKE HWY
MEDFORD, OR 97504

SHEET TITLE
NON-ILLUMINATED
ADDRESS NUMERALS

DESK REP
GARRY WILCOX
DESIGNER
GERALD MCCLUNG

DATE
10/01/14 SCALE
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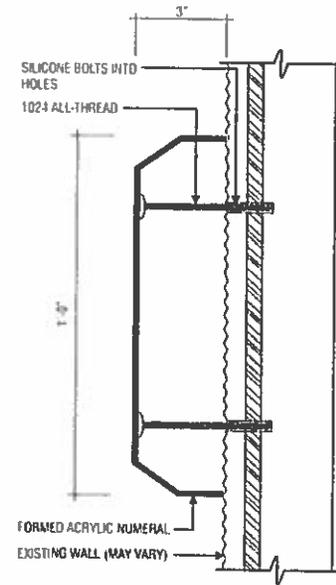
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NON-ILLUMINATED 12" ADDRESS NUMERALS

SCALE 3" = 1'-0"

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IN-N-OUT
BURGER

PROJECT
IN-N-OUT BURGER #XXX

LOCATION
NEO CRATER LAKE HWY
MEDFORD, OR 97504

SHEET TITLE
INTERIOR NEON DISPLAY

ARCHITECT
GARRY WILCOX
DESIGNER
GERALD MCCLUNG

DATE
10/01/14 SCALE
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CUSTOMER APPROVAL

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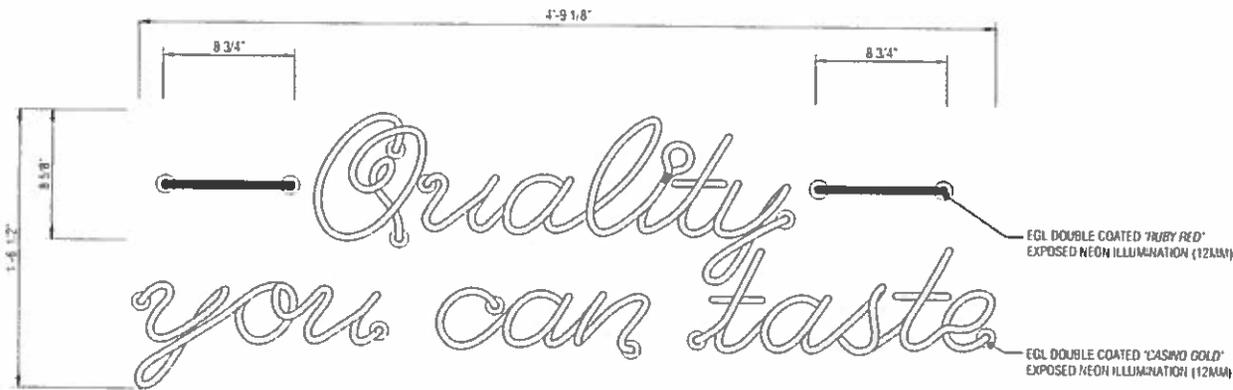
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DATE	14-570	PROJECT #	315726
REVISED	1	DATE	

REVISIONS				
NO.	DATE	BY	DESCRIPTION	APPROVED
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KEY NO.

10 of 10



INTERIOR NEON SIGN

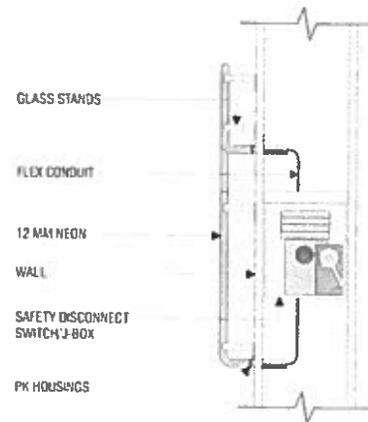
SCALE: 1 1/2" = 1'-0"

NOTE: DISPLAY TO BE CENTERED TOP TO BOTTOM & LEFT TO RIGHT



INSTALLED NEON DISPLAY (TYR)

NOTE: NEON SIGN IS ORIENTED FOR INTERIOR VISIBILITY ONLY



NEON DETAIL
SCALE: NTS

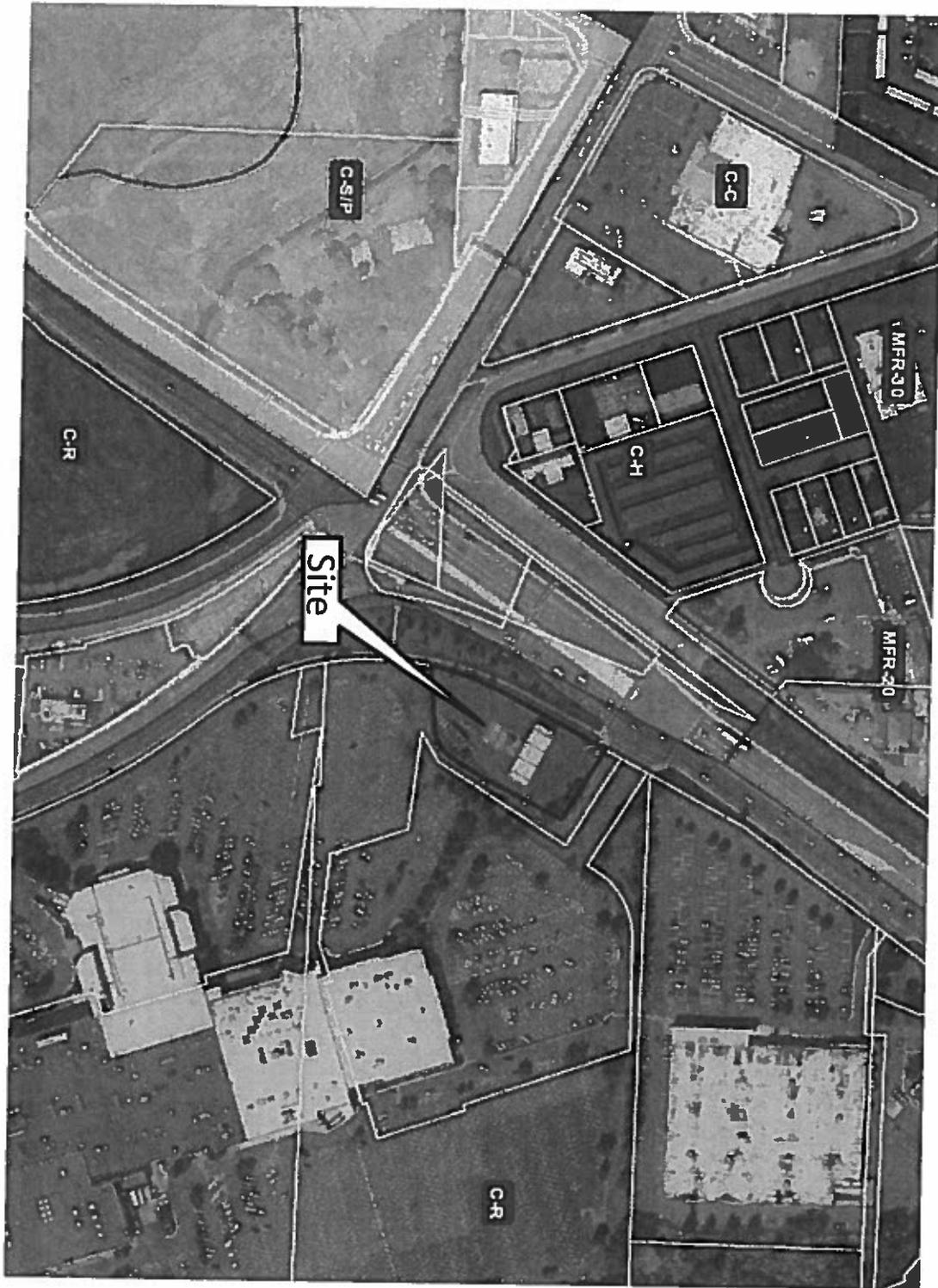
CITY OF MEDFORD
EXHIBIT # "S"
File # AC-15-002/E-15-003
10 of 10



37 26 13 DD 601

CITY OF MEDFORD,
EXHIBIT # 1
File # AC-15-002/E-15-003
1 of 1

Zoning Map



CITY OF MEDFORD,
EXHIBIT # U
File # AC-15-002/E-15-003
10F1

**PUBLIC WORKS DEPARTMENT STAFF REPORT
IN-N-OUT BURGER**

Project: Consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code (MLDC) 10.721.

Location: Southeast side of Crater Lake Highway (Hwy 62), 500 feet northeast of Route 99 (Pacific Highway) on a 1.04. 372W13DD 601

Zoning: C-R/F (Regional Commercial/Freeway Overlay) District.

Applicant: In-N-Out Burger

NOTE: The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention.
- Completion of or cash payment for all public infrastructure related to the phased pedestrian crossing across Crater Lake Highway.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas
- Certification by the design engineer that the controlled stormwater release drainage system was constructed per the approved plan.

A. STREETS

1. Dedications

This project fronts Crater Lake Highway which is under the Oregon Department of Transportation's (ODOT) jurisdiction. Therefore, no additional street dedication is needed for this development.

RECEIVED

MAR - 6 2015

PLANNING DEPT.

2. Public Improvements

The Developer has agreed to create a 2 phase pedestrian crossing across Crater Lake Highway at the north driveway entrance to the Rogue Valley Mall. The Developer has the option of providing public improvement plans and constructing the improvement or may provide payment in the form of a cash in the amount of \$34,000.00 for the completion of the improvement by the City. The Developer may provide a separate engineer's cost estimate for consideration of a different amount to be approved by the City Engineer.

3. Access and Circulation

Access to this site will be restricted to the existing driveways serving the Rogue Valley Mall. No other accesses from Crater Lake Highway will be allowed for this development. These access limitations are consistent with the Medford Land Development Code Section 10.550.

This Development shall obtain or provide proof a cross access easement granted from the adjacent parcels, MLDC 10.550.

B. SANITARY SEWERS

This site lies within the Medford sewer service area. The Utility Plan indicates that the sanitary sewer (SS) lateral has a proposed connection to the existing SS manhole. A new connection to the existing manhole is not allowed. The proposed SS lateral may connect to the existing SS lateral or may make a new connection to the public SS main either upstream or downstream of the manhole.

The developer shall provide an access and maintenance easement to the City for any public sanitary sewer located outside of the public right-of-way.

C. STORM DRAINAGE

1. Drainage Plan

A comprehensive drainage plan showing the entire project site with sufficient spot elevations to determine direction of runoff to the proposed drainage system, and also showing elevations on the proposed drainage system, shall be submitted with the first building permit application for approval. All area catch basins shall meet Department of Environmental Quality (DEQ) requirements, which include a down-turned elbow and sump.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto adjacent private property, or other documentary evidence satisfactory to the City Engineer.

2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development shall be submitted with the building permit application for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Storm water quality and detention facilities shall be required in accordance with Medford Land Development Code Section 10.481 and 10.729.

4. Certification

Upon completion of the project, and prior to certificate of occupancy of the building, the developer's design engineer shall certify that the construction of the controlled storm water release drainage system was constructed per plan. Certification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

6. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

D. Miscellaneous

1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the office of the City Engineer.

2. Construction Plans

Construction drawings for any public improvements for this project shall be prepared by a professional engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets,

minimum access drives, sanitary sewers, storm drains, and street lights as required by the Site Plan and Architectural Commission's Final Order, together with all pertinent details and calculations. The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

3. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans. Pre-qualification is required of all contractors prior to application for any permit to work in the public right-of-way.

Any work within ODOT right-of-way may also require permits and plans to be approved by ODOT. Contact ODOT at 541-774-6299.

4. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

5. System Development Charges

Buildings in this development are subject to street, sewer collection and sewer treatment system development charges (SDC). All SDC fees shall be paid at the time individual building permits are issued.

This development is not subject to storm drain system development charges.

SUMMARY CONDITIONS OF APPROVAL IN-N-OUT BURGER AC-15-002/E-15-003

A. Streets

1. Street Dedications to the Public:

No additional street dedication is needed for this development.

2. Improvements:

a. Public Streets

No additional street improvements are needed for this development.

Install or provide cash deposit for all public infrastructure related to the phased pedestrian crossing across Crater Lake Highway.

B. Sanitary Sewer:

The proposed SS lateral may connect to the existing SS lateral or may make a new connection to the public SS main either upstream or downstream of the manhole.

C. Storm Drainage:

Provide an investigative drainage report for this project.

The site requires water quality and detention facilities.

Provide a comprehensive grading plan for the project.

A storm drain lateral shall be constructed to each tax lot. In the event lots drain to the back, a private system will be required.

Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.



BOARD OF WATER COMMISSIONERS

Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: AC-15-002 & E-15-003

PARCEL ID: 372W13DD TL 601

PROJECT: Consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62), approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel, within the C-R/F (Regional Commercial/Freeway Overlay) zone district; In-N-Out Burger, Applicant/Agent. Desmond McGeough, Planner.

DATE: February 5, 2015

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. The existing 1-½" water meter on the east side of this parcel is required to be abandoned at the existing water main per MWC standards.
4. Installation of a new 8-inch water line is required to provide both domestic and fire protection water to this proposed development. Water facility layout shall be per current MWC Standards, applicants' civil engineer shall coordinate with MWC engineering department for water facility layout.
5. Installation of a new water meter to serve this proposed development is required. Applicants' civil engineer shall coordinate with MWC engineering department for location of proposed water meter.
6. Dedication of a 10 foot wide access and maintenance easement to MWC over all water facilities located outside of public right-of-way is required. Easement to be submitted to MWC for review and recordation prior to construction.

Continued to next page

CITY OF MEDFORD
EXHIBIT # "W"
File # AC-15-002/E-15-003
182



Continued from previous page

7. Installation of an MWC approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35>.

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is not required.
3. MWC-metered water service does exist to this property. A 1-1/2" water meter serves the existing Shell Gas Station. (See Condition 3 above)
4. Static water pressure is expected to be between 110 and 115 psi. See attached document from the City of Medford Building Department on "Policy on Installation of Pressure Reducing Valves".
5. Access to MWC water lines is available. A 12" water line is located easterly of this site location within a 10-foot wide easement per Jackson County record OR-85-07104.

"W"
2012



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
E-mail www.fire@ci.medford.or.us

LAND DEVELOPMENT REPORT - PLANNING

To: Desmond McGeough

LD Meeting Date: 02/11/2015

From: Fire Marshal Kleinberg

Report Prepared: 02/02/2015

File #: AC - 15 - 2

Associated File #'s: E - 15 - 3

Site Name/Description: In-N-Out restaurant

Consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62), approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel, within the C-R/F (Regional Commercial/Freeway Overlay) zone district; In-N-Out Burger, Applicant/Agent. Desmond McGeough, Planner.

DESCRIPTION OF CORRECTIONS

REFERENCE

Approved as Submitted

Meets Requirement: No Additional Requirements

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.

CITY OF MEDFORD
EXHIBIT # 111
File # AC-15-002/E-15-003
LOP 1

MEDFORD PARKS & RECREATION

HEALTHY LIVES. HAPPY PEOPLE. STRONG COMMUNITY.



CITY OF MEDFORD Interoffice Memo

TO: Planning Department

FROM: Tim Stevens- Park Maintenance Supervisor

SUBJECT: LANDSCAPE REVIEW OF FILE AC-15-002, IN AND OUT BURGER

DATE: February 5, 2015

Staff recommends replacing *Acer Rubrum* 'Scarsen' (Red Maple) with either *Ulmus* 'Frontier' (Frontier Elm), *Fagus sylvatica* (Beech), or *Corylus Colurna* (Turkish Filbert). These alternate tree varieties are better suited to the site. Red Maple is a tree that suffers from sun scald and structural defects. It also is extremely overplanted in Medford's Urban Forest.

This report addresses horticultural concerns only. Applicant shall comply with all aspects of Medford Code 10.780 Interpretation of the Medford Code will be per the Planning Department. Aesthetic considerations will be per the Site Plan and Architectural Review Commission or Planning Commission upon their review.

CITY OF MEDFORD
EXHIBIT # Y=
File # AC-15-002/E-15-003
10F1



CONTINUOUS IMPROVEMENT | CUSTOMER SERVICE
701 N COLUMBUS AVE | MEDFORD, OR 97501 | 541.774.2400
WWW.PLAYMEDFORD.COM | PARKS@CITYOFMEDFORD.COM



COMMUNITY ENRICHMENT EXCELLENCE EXCEPTIONAL CUSTOMER SERVICE INNOVATION



Memo

To: Desmond McGeough, Planner, Planning Department
From: Tanner Fairington, Building Department
CC: In-N-Out Burger, Applicant/Agent
Date: February 9, 2015
Re: February 11, 2015 LDC Meeting: AC-15-002/E-15-003

Please Note:

This is not a plan review. These are general notes based on general information provided. Plans need to be submitted and will be reviewed by a commercial plans examiner to determine if there are any other requirements for this occupancy type.

Fees are based on valuation. Please contact the front counter for estimated fees.

1. For list of applicable Building Codes, please visit the City of Medford website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Code and Design Information" on left side of screen; click on "Design Criteria"; and select the appropriate design criteria.
2. All plans are to be submitted electronically. Information on the website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Electronic Plan Review (ePlans)" on left side of screen for information.

General Comments:

3. A Grease Interceptor permit will be required, and can be included with the building permit.
4. Based on review, appears to be A-2 Occupancy (greater than 50 occupants, so not a B). Building area is 6,000 sq. ft. or less; therefore, can be any type of construction.
5. A separate demolition permit will be required for demolition of the existing structures.
6. A site excavation permit will be required for any excavation improvements. CITY OF MEDFORD
EXHIBIT # 2
File # AC-15-002/E-15-003
1092
7. Once additional information for the building is submitted (plans, calculations, etc.); a more thorough review can be completed.
8. Please provide a code analysis when final building plans are submitted. Please include: occupancy classification(s), type of construction, sprinkled or not sprinkled, building heights and areas, fire-resistance rated construction (including OSSC Section 705.11), means of egress (OSSC 107.2.3 and Chapter 10), emergency egress lighting, exit signs, etc.
9. On structural plans and calculations, please clearly indicate the design criteria and referenced codes per Sections 1603.1 and 1603.1.1 through 1603.1.9, as applicable.

C2.0

10. Accessible parking spaces to be per section 1106.7 of the 2014 OSSC, including figures referenced (see Building Codes Division for 2014 OSSC Errata which included these figures, dated October 16, 2014).



BUILDING SAFETY DEPARTMENT
ROOM 277

CITY OF MEDFORD
LAUSMANN ANNEX
200 SOUTH IVY STREET
MEDFORD, OREGON 97501

TELEPHONE (541) 774-2350
FAX (541) 774-2575
E-MAIL:
bldmed@ci.medford.or.us

Policy on Installation of Pressure Reducing Valves

August 5, 2014

Section 608 of the 2011 Edition of the Oregon Plumbing Specialty Code requires a pressure regulator (commonly called a Pressure Reducing Valve or PRV) where the static pressure in the water supply piping exceeds 80 psi. Although this section gives limited guidance as to installation, it does require the device to be

"...accessibly located above ground or in a vault equipped with adequate means to provide drainage and shall be protected from freezing, and shall have the strainer readily accessible for cleaning without removing the regulator or strainer body or disconnecting the supply piping."

"Accessible" and "readily accessible" are defined in chapter 2.

To assure uniform and appropriate installation of these devices within Medford, the following standards have been agreed to by the City of Medford Building Safety Department and the Medford Water Commission:

1. The need for these devices will be based on pressure information provided by the Medford Water Commission, and can be verified on-site with a pressure gage. While factory settings of these devices may be adjusted, MWC recommends that the regulated pressure be set no higher than 65 psi.
2. PRVs shall NOT be installed when static pressure is less than 50 psi, except for limited specific equipment-based needs.
3. The PRV shall be installed outside the street right of way as close as practical to the water meter.
4. No expansion tank is necessary.
5. No fixture, device or system is permitted between the meter and the PRV.
6. The PRV must NOT be direct buried nor installed in a crawl space.
7. PRVs shall be installed within a readily accessible valve box / vault following the same standard as used for double check backflow assemblies, as follows:

"On new installations, at least 12-inches clearance will be required as per section 603.3.4. When replacing an existing assembly, the 12-inch clearance requirement can be waived as long as there is at least 3-inches clearance between the bottom of the assembly and the ground, and the device is tested and serviced from the top."

Sam Barnum

Building Safety Director

~Z"
2012

Desmond M. McGeough

From: MOREHOUSE Donald <Donald.MOREHOUSE@odot.state.or.us>
Sent: Thursday, February 12, 2015 3:38 PM
To: Desmond M. McGeough
Subject: AC-15-002/E-15-003

Desmond,

Thank you for giving agency notice for the consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in the Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62), approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel, within the C-R/F (Regional Commercial/Freeway Overlay) zone district. We reviewed this and determined that it would not significantly affect state transportation facilities under the State Transportation Planning Rule (OAR 660-012-0060) or State Access Management Rule (OAR 734-051-000). We have no further comments at this time.

Don Morehouse
Senior Transportation Planner
ODOT Region 3, District 8 (Rogue Valley Tech Center)
Ph: (541) 774-6399
Fax: (541) 774-6349
Donald.Morehouse@odot.state.or.us

CITY OF MEDFORD
EXHIBIT # "AA"
File # AC-15-002 | E-15-003
1 of 1

Vicinity Map

Application Name/Description:

In-N-Out Burger

Proposal:

**Fast food restaurant
with drive thru**

File Numbers:

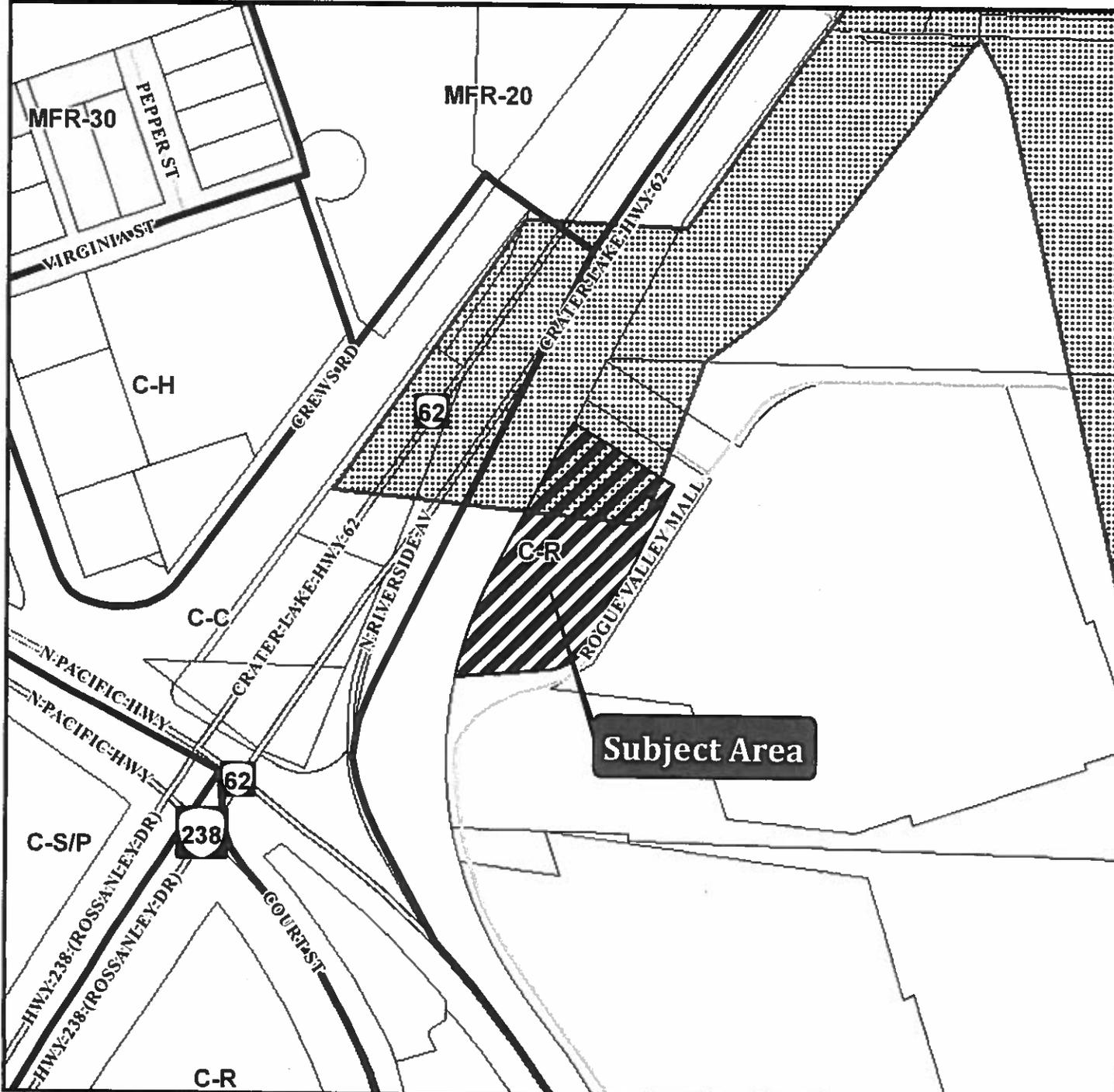
AC-15-002 / E-15-003

Applicant:

In-N-Out Burger

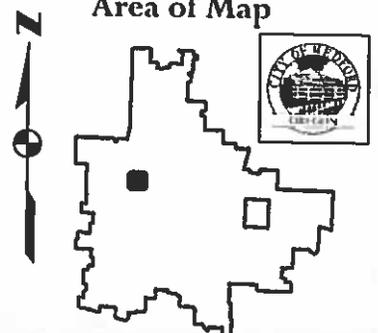
Map/Taxlot:

372W13DD TL 601



	Subject Area
	Medford Zoning
	UGB
	Tax Lots
	City Limits
	Freeway

Area of Map



01/07/2015



MINUTES
SITE PLAN AND ARCHITECTURAL COMMISSION MEETING
March 6, 2015

The regular meeting of the Medford Site Plan and Architectural Commission was called to order at approximately 12:00 p.m. in the Council Chambers, City Hall, on the above date with the following members and staff in attendance:

Commissioners Present

Jeff Bender, Chair
Jim Quinn, Vice Chair
Daniel Ames
Jim Catt
Bill Chmelir
Mark Dew
Bob Neathamer
Alec Schwimmer
Dick Gordon, City Council Liaison

Staff Present

Jim Huber, Planning Director
Kelly Akin, Principal Planner
Kevin McConnell, Deputy City Attorney
Doug Burroughs, Public Works Department
Alex Georgevitch, Public Works Department
Chris Reising, Deputy City Manager/Development Srvs
Bill Hoke, Deputy City Manager
Desmond McGeough, Planner II
Debbie Strigle, Recording Secretary

- 10. **Roll Call.**
- 20. **Consent Calendar/Written Communications.** None.
- 30. **Minutes.**
 - 30.1 The minutes for the February 6, 2015, meeting, were approved as submitted.
- 40. **Oral and Written Requests and Communications.** None.
- 50. **Public Hearings.**
John Huttli, Deputy City Attorney, read the rules governing the public hearings.

New Business.

- 50.1 AC-15-002/E-15-003 Consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62) approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel within the C-R/F (Regional Commercial/Freeway Overlay) zone district. In-N-Out Burger, Applicant (Jim Lockington, Agent).

Chair Bender asked for any conflicts of interest or ex-parte communications. There were none.

Desmond McGeough, Planner II, read the approval criteria, and gave a PowerPoint presentation of the February 27, 2015, Staff Report. Mr. McGeough brought attention to the

Revised Public Works Staff Report that had been placed at each Commissioner's seat prior to the meeting. This report was labeled as Exhibit V-1. He also noted there were two additional Conditions of Approval that were talked about in the body of the Staff Report that were not identified as conditions. Those would come through as Exhibit A-1 along with the Final Order. Staff recommended approval.

The public hearing was opened and the following testimony was given:

a) Ron Volle, 13502 Hamburger Lane, Baldwin Park, California, gave some history and facts about the company.

b) Jim Lockington, project manager, said they have been treated very well by the City and are excited to be bringing In-N-Out Burger to Medford. Mr. Lockington stated they fully support the Staff Report, the recommendation for approval, the Revised Public Works Report, and all Conditions of Approval as stated in the Staff Report. He asked the Commission for their approval of this application.

Commissioner Dew said he was hoping to see a location for the pedestrian walkway that would make the most sense. He suggested something between the southeast corner of the building and northeast corner of the trash enclosure. Mr. Dew encouraged the civil engineer to look to see where pedestrian traffic is going to be coming from and that we are not asking people to walk through what looks like a landscaped area on the mall side. He also suggested putting a raised walkway in to differentiate it from the drive-thru lane concrete. Mr. Dew also proposed that one of the parking spaces abutting Highway 62 be made into a planter to break up the mass and expanse.

Commissioner Dew asked about the treatment of the roof water and if that was accounted for.

Mr. Lockington said he would defer the storm drain question to Jason Reed. He stated they will work directly with staff and take staff's direction on the final location of the pedestrian walkway. He added that the additional parking space that was removed was replaced with a finger planter approximately mid-point along Highway 62.

Commissioner Catt asked if any of the other restaurants had pedestrian walkways across their drive-thru lanes. Mr. Lockington replied they had done that on a number of their restaurants. He said they have never had an accident to his knowledge.

c) Jason Reed, civil engineer for the project, said the storm drain layout has since been revised so the roof runoff is now collected through the filter system as opposed to bypassing it into the detention system.

d) Bob Rogers, White City, Oregon, expressed his concern over traffic issues this location would present. He would like to see them move to a different location.

Alex Georgevitch, Transportation Manager, stated the property is properly zoned and has adequate controlled access to and from Highway 62 and various other locations. He said they looked at this from a traffic perspective and did not have any additional issues with the site.

Kevin McConnell, Deputy City Attorney, asked Mr. Georgevitch if he found anything regarding the application, as far as traffic, that would violate City code. Mr. Georgevitch answered no. He added that Oregon Department of Transportation did not indicate they had any issues and appeared to be satisfied as well.

Commissioner Quinn wanted to know if the traffic line into the drive-thru goes all the way back to the street, would there be enough width into the mall entry that other vehicles could enter the site without piling up and spilling out into the adjoining street. Mr. Georgevitch answered that there will probably be impacts that will need additional controls for a short period of time. He said they also run adaptive signal timing and have the ability to manually control those signals from the office if necessary. He added that under general operations, which is what they are considering, he is not anticipating any spillback within their property boundary.

Commissioner Neathamer asked Mr. Georgevitch if this application has met the code requirements. Mr. Georgevitch answered yes; the code requirements have been met.

Commissioner Dew asked if the applicant was okay with having a raised walkway to the south, crossing the traffic lane. Mr. Lockington replied they may have to modify their inlets on either side depending how it drains. Mr. Lockington then asked Mr. Reed if the raised walkway was something they could accommodate. Mr. Reed answered yes.

Commissioner Dew wanted to know where the pedestrian walkway was located on the completed construction drawings. Mr. Reed stated it was currently located on the building side just past the menu order board. It was located there for pedestrian safety.

The public hearing was closed.

Motion: Adopt the Findings as recommended by staff and direct staff to prepare a Final Order for approval of AC-15-002/E-15-003 per the Staff Report dated February 27, 2015, including Exhibits A through AA, Exhibit V-1, all conditions contained in the Staff Report, and including the following:

- that the pedestrian crossing to the south be a raised walkway and be located considering the configuration of the mall parking lot and islands
- a finger planter be installed on the west parking lot side in place of one parking space to break up the mass and expanse of that parking rail

Moved by: Commissioner Neathamer

Seconded by: Commissioner Quinn

Commissioner Schwimmer commented that the discretionary condition regarding the pedestrian walkway was a safety issue for him. He said it was very important and necessary that this discretionary condition be part of the application approval process. He reiterated how important it is for pedestrian safety.

Commissioner Neathamer stated the Commission could find that this project is compatible, meets code requirements, and meets the Exception requirements. Chair Bender concurred.

Roll Call Vote: Motion passed, 8-0.

60. **Written Communications.** None.

70. **Unfinished Business.** None.

80. **New Business.** None.

90. **Report from the Planning Department.**

90.1 Ms. Akin stated there is business scheduled for the March 20th and April 3rd, 2015, meetings.

90.2 Ms. Akin reported that City Council had adopted a wetlands contract as part of the Urban Growth Boundary work that Planning is continuing to do. She stated the Planning Commission would be holding a hearing on the boundary expansion on March 12, 2015.

100. **Messages and Papers from the Chair.** None.

110. **Propositions and Remarks from the Commission.** None.

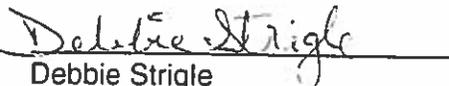
120. **City Council Comments.**

120.1 Council Member Gordon announced that Commissioner Dew had given his resignation but that he would remain with the Commission for a little while longer. He said that City Council decided to move Commissioner Chmelir into the Licensed Engineer position and Commissioner Dew to the Member at Large position. This would allow staff to be able to advertise for the Member at Large position that Commissioner Dew will be vacating. Council Member Gordon remarked that he appreciated the skills, interest, and questions that Commissioner Dew has brought to this Commission. Commissioner Neathamer added that Commissioner Dew was an important member on this Commission. Chair Bender thanked Commissioner Dew for his time. Commissioner Dew stated he would be on the Commission through May.

130. **Adjournment.**

130.1 The meeting was adjourned at approximately 1:03 p.m. The proceedings of this meeting were digitally recorded and are filed in the City Recorder's office.

Submitted by:


Debbie Strigle
Recording Secretary

Site Plan and Architectural Commission Chair

Approved: March 20, 2015



CITY OF MEDFORD

PLANNING DEPARTMENT

STAFF REPORT

Date: March 13, 2015 for meeting of March 20, 2015
To: Site Plan and Architectural Commission
From: Jennifer Jones, Planner II
Reviewed By: Kelly Akin, Principal Planner *KA*
Subject: Zoller Addition (AC-15-005)
Mike Zoller, Applicant

BACKGROUND

Proposal

Consideration of plans to construct a 972 square foot addition to an existing 1,200 square foot shop building, situated at the northwest corner of a 2.09 acre lot, located on the west side of Crater Lake Highway between Commerce Drive and Coker Butte Road, within the I-G (General Industrial) zoning district.

Subject Site Zoning, GLUP Designation and Existing Uses

Subject Site Zoning: I-G
GLUP Designation: GI (General Industrial)
Existing Uses: Workshop

Surrounding Property Zoning and Uses

North	I-G Metal Masters
South	I-G Vacant
East	I-G Multi-tenant Building: A Plus Pools, Medford Auto Care Center
West	I-G Vacant Industrial Building

Applicable Criteria

10.290 Site Plan and Architectural Commission Review Criteria

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) The proposed development is compatible with uses and development that exist on adjacent land; and
- (2) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.

Corporate Names

The application lists Zoller Properties LLC. as the owner of the subject property. As per the State of Oregon Business Registry, Garrett Zoller is listed as the registered agent.

ISSUES/ANALYSIS

The subject site currently has an existing large industrial building at the eastern (front) end of the site, which was constructed in 1958. At the rear of the property there is a free-standing 1,200 square foot workshop space, originally constructed at approximately the same time as the main building. The applicant is seeking to construct a 972 square foot, single-story addition on the east side of the workshop building.

Building Elevations

The elevations illustrate that the proposed addition will match the existing shop façade. When completed, the new and existing portion of the workshop will appear as a large, unified, single-story structure with two large garage doors.

The highest point of the structure will be 21 feet 10 inches at the peak of the roof. The I-G zoning district allows up to 85 feet in height; this building meets all applicable code requirements. The materials proposed will match the existing building and consist of neutral tone siding and asphalt shingles.

Vehicular Parking

Two vehicular parking spaces are proposed as a part of this project. Medford Land Development Code (MLDC) 10.743 outlines the amount of automobile parking required for various uses. This workshop building does not exactly match any of the uses listed, but can be categorized as *Industrial or Warehouse*. The *Industrial or Warehouse* category requires a minimum of 1.0 space per employee plus 0.2 spaces per 1,000 square feet of gross floor area. At a total of 2,172 square feet with the proposed addition and zero employees (as this

is only a storage/workshop space), the required parking calculates to be 0.43 spaces, which could be rounded up to one space.

The *Industrial or Warehouse* category also regulates parking to a maximum of 1.0 space per employee plus 0.3 spaces per 1,000 square feet of gross floor area. Although there will be no employees, assuming one person would be present using the shop and could be considered like an employee for these purposes, at 2,172 total square feet, the maximum parking allowed calculates to be 1.65 spaces, which equates to two spaces.

The two proposed parking spaces are sufficient to meet the requirements pertaining to this project.

Bicycle Parking

MLDC 10.748 requires bicycle parking to be calculated at twenty percent of the number of spaces provided for automobiles. However, per MLDC 10.751 the approving authority may allow an exception to the standard for *uses that do not generate the need for bicycle parking*. As this small addition to a workshop in the rear of the site is not intended for public access and is very minor in nature, the Commission can find that there is no need for bicycle parking.

Pedestrian Walkways

Sidewalks are already in existence at the eastern most, Crater Lake Highway side of this 2.09 acre site. As this private workshop is not accessible to the general public, not situated adjacent to a public right-of-way, and this rear portion of the site is not intended for pedestrian access or use, the applicant is not proposing any pedestrian walkways. Per MLDC 10.776 walkways are not required on sites which are not intended for or likely to be used by pedestrians.

Concealments

No HVAC equipment or trash receptacles are proposed.

Landscaping

Section 10.797 of the Code requires frontage landscaping along all street frontages outside of the public right-of-way. As the portion of the site pertaining to this project has no direct street frontage and is accessed via a private access easement, there are no applicable requirements for frontage landscaping on the site. No other landscaping is proposed or required.

FINDINGS OF FACT

Staff has reviewed the applicant's narrative and findings and recommends that the Commission adopt them as presented (Exhibit B).

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare the Final Order for approval of AC-15-005 per the Staff Report dated March 13, 2015, including Exhibits A through J.

EXHIBITS

- A Conditions of Approval dated March 13, 2015
- B Applicant's Narrative and Findings of Fact received March 10, 2015
- C Site Plan received January 13, 2015
- D Floor Plan and Elevations received January 13, 2015
- E Fire Department Report received February 04, 2015
- F Rogue Valley Sewer Services Letter received February 02, 2015
- G Building Department Memo received February 09, 2015
- H Public Works Report received February 11, 2015
- I Medford Water Commission Memo received February 11, 2015
- J ODOT Letter received February 17, 2015
Vicinity Map

SITE PLAN & ARCHITECTURAL COMMISSION AGENDA: MARCH 20, 2015

EXHIBIT A

Zoller Addition
AC-15-005
Conditions of Approval
March 13, 2015

CODE REQUIREMENTS

1. Prior to issuance of the first building permit, the applicant shall comply with the:
 - a. Public Works Report received February 11, 2015 (Exhibit H); and
 - b. Medford Water Commission Memo received February 11, 2015 (Exhibit I).

NARRATIVE & FINDINGS OF FACT

PLANNING DEPT.

TL #1400 was purchased by the Zoller Family in 1998. A fire destroyed over 6,000 square feet of Suite C in 2010. Repairs from the loss were finalized 12.31.2013 which included demolishing Suite C, and remodeling 3813, the shop located in the Northwest corner; i.e. today's subject addition.

I would like to add on 972 square feet to the existing remodeled shop, so that I can work on more projects inside and out of the weather. This shop will be used by myself or my brother for storage and as a place to work on our cars, boats, etc. and there will be no customers nor increase in traffic.

Compatibility:

This addition fits in with surrounding properties that are all industrial uses.

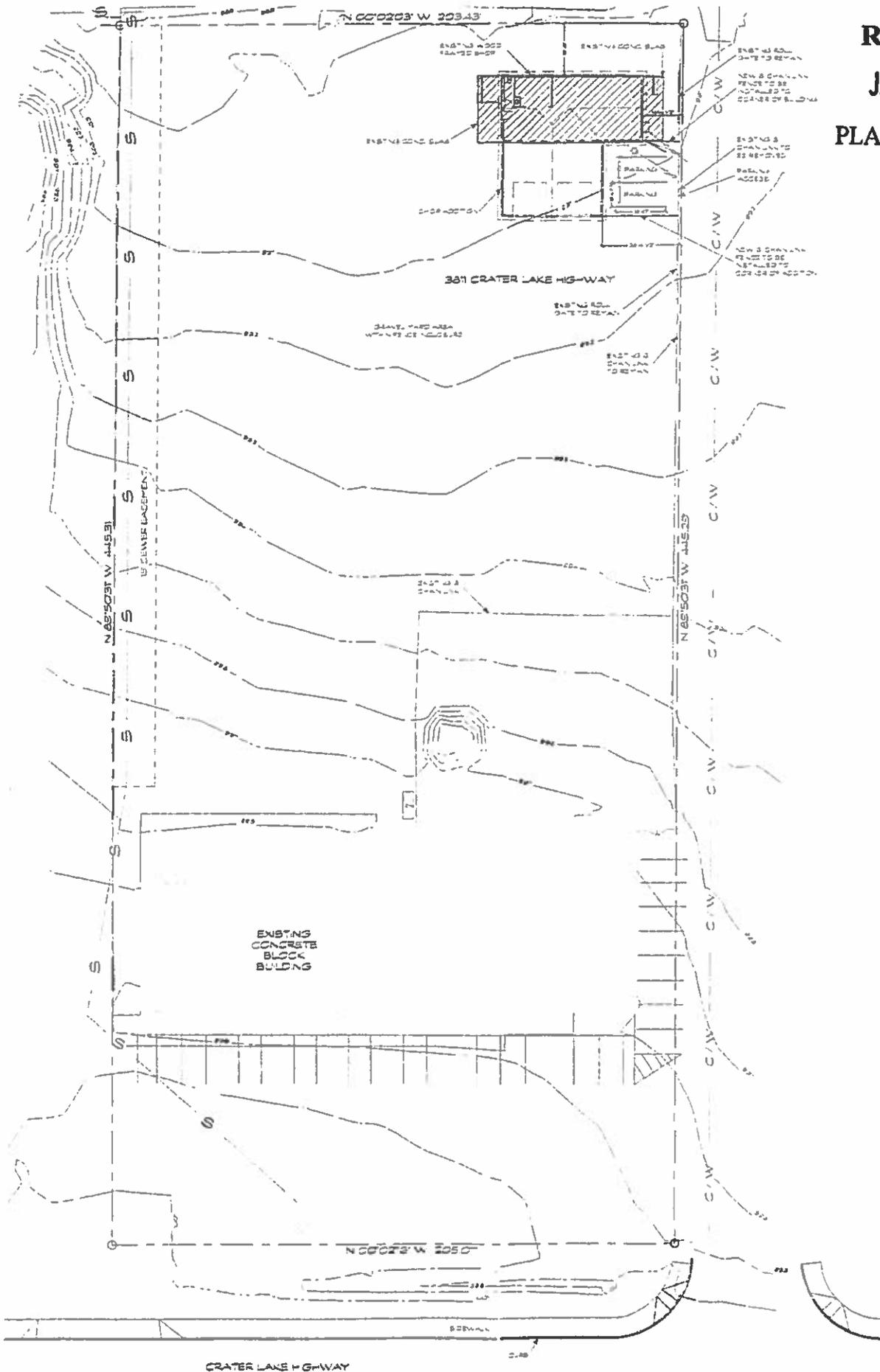
- A) 1. 3839 Crater Lake is Heikka Machine The building is steel with an approximate age of 30+ years and the condition is in fair condition.
2. 3825 Crater Lake is Metal Masters. The building is steel with an approximate age of 30+ years and the building is in good condition.
3. 3843 Crater Lake is For Lease The building is concrete with an approximate age of 30+ years and the building is in good condition.
4. 3811 Crater Lake is Medford Auto Care the building is concrete with an approximate age of 40+ years and the building is in good condition.
- B) The addition to my existing building will be wood framing, plywood siding and a comp. roof to match the existing building.
- C) Paint; The 972 sq ft. of building addition shall match existing building.
- D) Private drive, access is off of HWY 62. Building and placement is existing.
- E) Medford LDC 10.776 sidewalks are already in place along frontage of HWY 62. Complies
- F) Building is accessed by private drive and is not for pedestrians.
- G) N/A
- H) 1 Storm water retention ditch already exists, applicant will be adding a second storm water retention system as requested by city code upon approval of this addition.
- I) Under 1000 sq. ft. not required and no frontage to a public street.
- J) There will be 60W motion lights on all corners of the building.
- K) There will not be any signage.
- L) Chain link fence is already in place as shown on site plan.
- M) No additional noise, personal use and storage only.
- N) Compatible with surrounding industrial uses.

O) Applicant is seeking relief of City requirement to install 3 street lights and a BWC Box located along the Eastern boundary of tax lot 1400 along the HWY 62 frontage.

- Access to the structure is private drive.
- The structure addition requested, is located over 480' (160 yards) away from the installation of streetlights that are required by the city for a small addition.
- The installation of streetlights is not proportional, nor reasonable to consider in adding on less than 1000 sq. ft. of space.
- Landscaping is not required under current Land Development Codes for this addition, nor should streetlights be.

P) N/A

RECEIVED
JAN 13 2015
PLANNING DEPT.



SITE PLAN
SCALE: 1"=30'-0"



RECEIVED
 JAN 13 2015
 PLANNING DEPT.

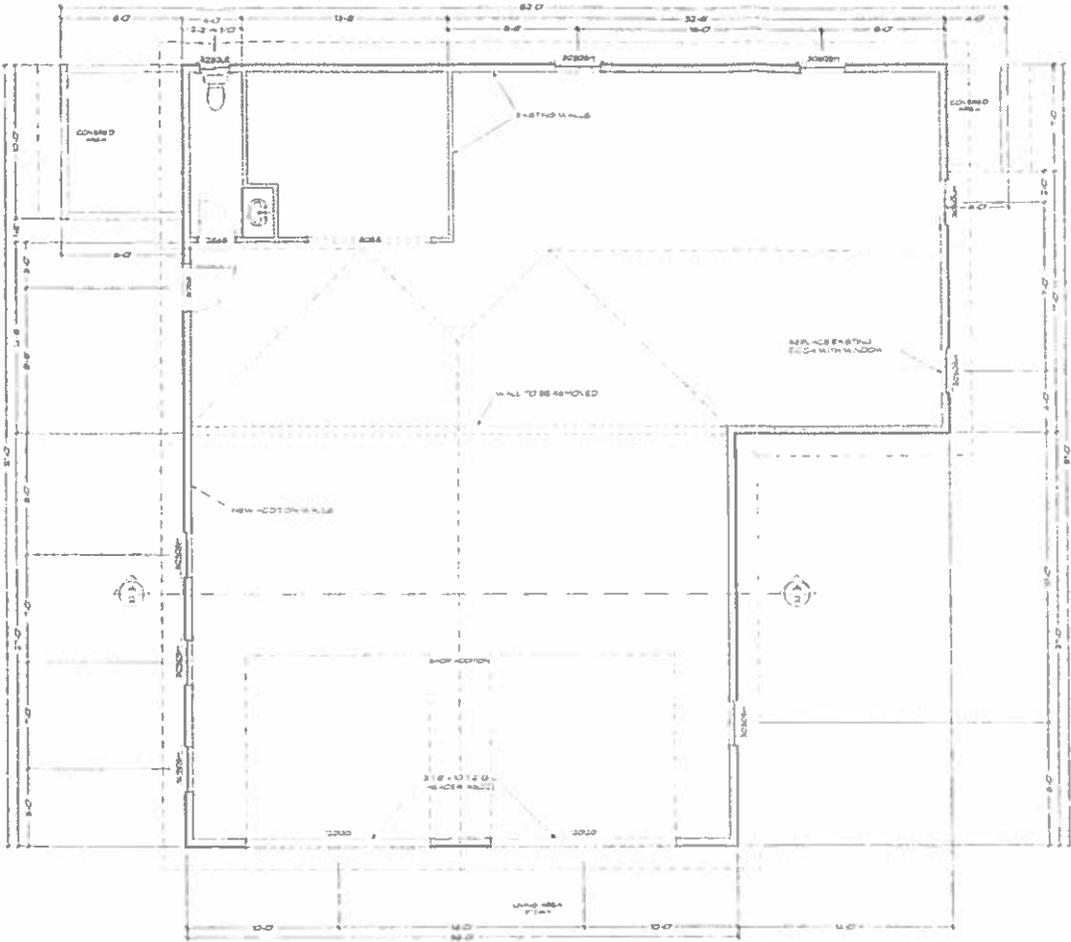
MIKE ZOLLER
 (541) 944-7060



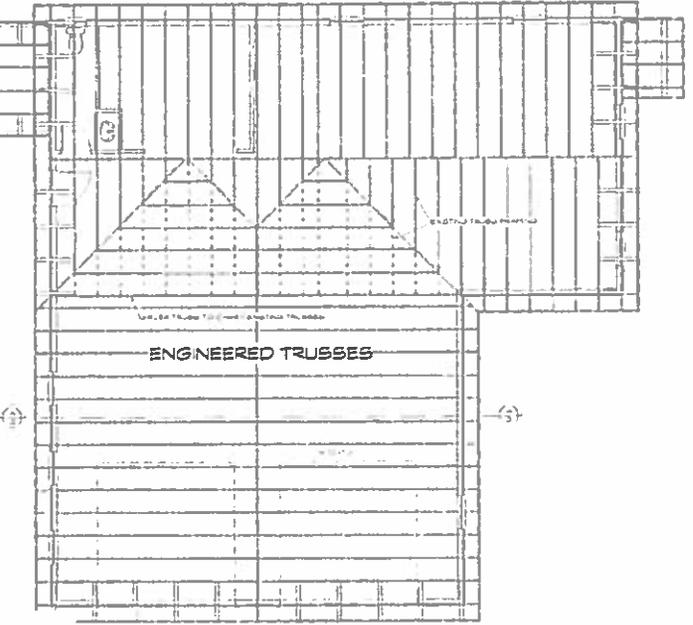
Mike Zoller
 3811 Crater Lake Highway
 Medford, OR 97504

TELEPHONE
 REVISION NO. 3
 GRAPHIC FILE
 JOB NO. 2876
 ISSUE DATE: 8 September 2014
 DRAWN BY: B.R.O.
 REVISED BY: S.R.S.
 SHEET

CITY OF MEDFORD
 EXHIBIT # 1
 FOR # AC-15-005
 SCALE: 1/4" = 1'-0" OR AS NOTED



FLOOR PLAN



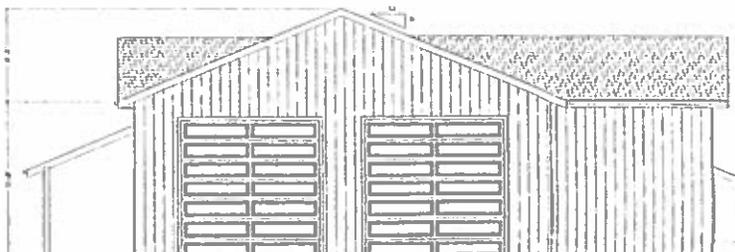
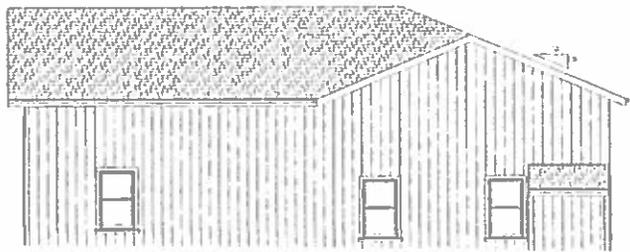
ROOF FRAMING PLAN
 SCALE: 3/16" = 1'-0"

FRAMING MEMBERS
 ENGINEERED TRUSSES
 RAFTERS TO BE

- 2x6 RAFTERS @ 24" O.C.
- 2x6 RAILS @ 8' O.C.
- 2x8 KINGS
- 2x6 HEADERS

*EXCEPT WHERE NOTED ON PLAN

Page 90



CITY OF MEDFORD
 EXHIBIT # D
 File # AC-15-005



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
E-mail www.fire@ci.medford.or.us

RECEIVED

FEB 04 2015

PLANNING DEPT.

LAND DEVELOPMENT REPORT - PLANNING

To: Jennifer Jones

LD Meeting Date: 02/11/2015

From: Fire Marshal Kleinberg

Report Prepared: 02/02/2015

File #: AC - 15 - 5

Site Name/Description:

Consideration of plans to construct a 972 square foot addition to an existing 1,200 square foot shop building, situated at the northwest corner of a 2.09 acre lot, located on the west side of Crater Lake Highway between Commerce Drive and Coker Butte Road, within the I-G (General Industrial) zoning district; Mike Zoller, Applicant/Agent. Jennifer Jones, Planner.

DESCRIPTION OF CORRECTIONS	REFERENCE
<u>Approved as Submitted</u> Meets Requirement: No Additional Requirements	

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.

CITY OF MEDFORD
EXHIBIT # E
File# AC-15-005

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FEB 02 2015

PLANNING DEPT.



ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 7502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

February 2, 2015

City of Medford Planning Department
411 West 8th Street
Medford, Oregon 97501

Re: AC-15-005, Zoller Building Addition (371W07A, Tax lot 1400)

ATTN: Jennifer,

The existing building on the above named property is currently served by a connection to an 8 inch sewer main located to the buildings south. Service to the new building can be obtained from either the existing service line or from a mainline tap and service line extension. Adequate capacity exists for the proposed building.

Rogue Valley Sewer Services requests the proposed development be subjected to the following conditions:

- Applicant must pay all System Development Charges owed to Rogue Valley Sewer Services prior to connection.
- All tap permits must be obtained from RVSS.

Feel free to contact me with any questions.

Sincerely,
Wade
Denny, PE

Digitally signed by Wade Denny, PE
DN: cn=Wade Denny, PE, o=Rogue
Valley Sewer Services, ou=District
Engineer, email=wdenny@rvss.us,
c=US
Date: 2015.02.02 15:06:21 -0800

Wade Denny, P.E.
District Engineer

K:\DATA\AGENCIES\MEDFORD\PLANNING\ARCH COMM\2015\AC-15-005.DOC



RECEIVED

FEB 09 2015

PLANNING DEPT.

Memo

To: Jennifer Jones, Planner, Planning Department
From: Tanner Fairrington, Building Department
CC: Mike Zoller, Applicant and Agent
Date: February 11, 2015
Re: File No. AC-15-005

Please Note:

This is not a plan review. These are general notes based on general information provided. Plans need to be submitted and will be reviewed by a commercial plans examiner to determine if there are any other requirements for this occupancy type.

Fees are based on valuation. Please contact the front counter for estimated fees.

Since this project was previously reviewed under a permit application, the comments are limited. Please provide plans and calculations for the lateral design showing:

1. Transfer of lateral loads from the girder truss to the brace wall and show that bottom cord of truss and top plates of wall are capable of transferring lateral force. Please clearly identify maximum shear force, and identify connections used to transfer tensile and compressive loads.
2. Transfer of shear from girder truss into vertical loads at posts (check 6x6 post and footing).
3. Please clearly identify maximum uplifts, and show a positive connection from girder truss to posts to foundation.
4. Please provide calculations for brace wall in same plane as girder truss; include hold downs and positive connection of all reactions.

RECEIVED

FEB 11 2015

PLANNING DEPT.

Date: February, 11 2015
File Number: AC-15-005

PUBLIC WORKS DEPARTMENT STAFF REPORT

Project: Consideration of plans for the construction of a 972 square foot addition to an existing 1200 square foot shop.

Location: 3813 Crater Lake Highway. Situated at the northwest corner of a 2.09 acre lot located on the west side of Crater Lake Highway between Commerce Drive and Coker Butte Road.. 371W07A 1400

Zoning: I-G (General Industrial) District.

Applicant: Mike Zoller

NOTE: Item 'A' shall be completed prior to first building permit is issued, and Items 'B', 'C', and 'D' shall be completed and accepted prior to issuance of Certificate of Occupancy.

A. Streets

1. Dedications

Crater Lake Highway is currently a State facility. The applicant shall contact the Oregon Department of Transportation (ODOT) to see if any additional right-of-way will be required as a result of the proposed addition.

The Developer shall dedicate a ten (10) foot wide public utility easement (PUE) along both frontages of the Development site, Crater Lake Hwy, and the private roadway, which the City anticipates will be public in the future.

The private roadway along the northerly boundary of this proposed development is a Tax Lot owned by Olson Holdings, LLC. It appears the private roadway will be the primary access for the proposed development. The applicant will be required to demonstrate they have legal access across this parcel.

2. Street Improvements

Crater Lake Highway is currently improved with curb, gutter, and sidewalk along the easterly boundary of this site. The Applicant will need to contact ODOT to see if any additional road improvements will be required with this Development.

The private roadway is already paved along the frontage of this development, but is in poor condition near the easterly end. Depending on when a building permit application actually comes in for development, if the condition of the roadway gets worse portions of it may need paving to comply with the Medford Land Development Code (MLDC), Section 10.425.

The Developer shall install two 310 watt HPS streetlights and install one base mounted cabinet (BMC) on the Crater Lake Highway frontage. The Developer is advised to contact ODOT in order to obtain the necessary permit for installation of the streetlights on the State Highway. Since the street lights are located on a higher order street, Street System Development Charge Credits will be available once the street lights are constructed and accepted by the City in accordance with the Medford Code, Section, 3.815. Currently, street light credits are at \$4,374 per street light. The street lights shall be designed by an engineer per City of Medford Specifications and shall be submitted to the Engineering Division for review as public improvement drawings **separate from the Building Permit application.**

The street lights shall be turned on and operating prior to issuance of any building permit for this Development. The developer may sign a land development agreement and bond for the street lights if it is desired to obtain building permits prior to completing the street lights.

3. Access

In accordance with MLDC 10.550, access to the proposed facility shall be restricted to the private roadway, or through the existing driveway on Crater Lake Highway. No additional vehicular access will be permitted to Crater Lake Hwy.

In addition, the MLDC, 10.550 requires that this site grant a cross access easement to the property adjacent to this property. These two properties already share a driveway access onto Crater Lake Hwy, and if a cross access easement already exists, the applicant shall provide evidence of the easement.

B. Sanitary Sewers

This site lies within the Rogue Valley Sanitary Sewer Service area. The developer shall contact RVSS for conditions of connection to the sanitary sewer collection system.

C. Storm Drainage

1. Hydrology, Stormwater Quality, and Stormwater Detention

In accordance with MLDC 10.481 and 10.729, Stormwater quality and detention facilities shall be required for building permits associated with this proposed project.

It appears that this site drains onto an adjoining property, which is under different ownership. The Applicant shall provide evidence that they have an easement to drain their stormwater onto this property.

D. Miscellaneous

1. Site Improvements

In accordance with MLDC, 10.746, all parking and vehicle maneuvering areas associated with the shop and its addition shall be paved, all the way to where it accesses the roadway. Surface paving associated with this proposed project shall be completed prior to issuance of certificate of occupancy for the structure addition on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility. Additional paving from what is shown on the site plan will be required and will need to extend from the roadway to in front of the large garage bay doors.

2. System Development Charges

If any additional plumbing is added to the building, it will be subject to sanitary sewer collection and regional sewage treatment system development charges. These shall be paid at the time individual building permits are taken out.

The site is located within the Rogue Valley Sewer (RVS) service area, so the developer should contact RVS for an estimate of the sanitary sewer collection SDC fees for this project.

Any addition to the building will be subject to a street systems development charge (SDC).

This development is not subject to storm drain system development charges.

3. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

4. Design Requirements

All public improvements including streets, street lights, and storm drainage facilities shall be designed and constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council in December, 2004. Copies of this document are available in the office of the City Engineer.

5. Construction Plans

Construction drawings for any public improvements for this project shall be prepared by a professional engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets, minimum access drives, sanitary sewers, storm drains, and street lights as required by the Site Plan and Architectural Commission's Final Order, together with all pertinent details and calculations. The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

6. Construction and Inspection

Contractors proposing to do work on public streets, sewers, or storm drains, including street lights shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of improvement drawings, which have been approved by the City of Medford Engineering Division.

Updated by: Doug Burroughs 2-10-15

SUMMARY CONDITIONS OF APPROVAL

Mike Zoller Property AC-15-005

A. Streets

1. Street Dedications to the Public:

Contact ODOT for any right-of-way dedication requirements.

Dedicate 10-foot PUE along Crater Lake Highway and the private street.

Provide proof of legal access from private street.

2. Public Improvements:

Install Two (2) street lights with a BMC along Crater Lake Highway.

B. Sanitary Sewer:

Contact RVSS sewer district for sewer requirements.

C. Storm Drainage:

The site requires water quality and detention facilities.

Provide evidence of easement for stormwater draining onto neighboring property

D. Miscellaneous:

Provide paving of parking and maneuvering areas, including in front of the shop addition.

Submit Public Improvement Plans for the installation of the two (2) street lights.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.



BOARD OF WATER COMMISSIONERS

Staff Memo

RECEIVED

TO: Planning Department, City of Medford
FROM: Rodney Grehn P.E., Water Commission Staff Engineer
SUBJECT: AC-15-005
PARCEL ID: 371W07A TL 1400

FEB 11 2015
PLANNING DEPT.

PROJECT: Consideration of plans to construct a 972 square foot addition to an existing 1,200 square foot shop building, situated at the northwest corner of a 2.09 acre lot, located on the west side of Crater Lake Highway between Commerce Drive and Coker Butte Road, within the I-G (General Industrial) zoning district; Mike Zoller, Applicant/Agent. Jennifer Jones, Planner.

DATE: February 5, 2015

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. If domestic water service is desired for this building addition the applicant shall coordinate with MWC engineering department for installation cost and associated fees.
3. If domestic water service is desired, then the installation of an MWC approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35>.

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is not required.
3. MWC-metered water service does exist to this property. There are two (2) 3/4" water meters along the Crater Lake Hwy 62 frontage. Northerly water meter serves 3811 Crater Lake Hwy Units A-C, and the southerly water meter serves the on-site Dutch Bros Coffee stand.
4. Access to MWC water lines is available. There is a 24-inch water line along Crater Lake Hwy 62, and a 10-inch water line along the south property line of TL 800 which serves as an access road to these parcels.

CITY OF MEDFORD

EXHIBIT # I

File # AC-15-005 Page 1 of 1

Jennifer M. Jones

From: MOREHOUSE Donald <Donald.MOREHOUSE@odot.state.or.us>
Sent: Tuesday, February 17, 2015 11:55 AM
To: Jennifer M. Jones
Subject: AC-15-005

RECEIVED

FEB 17 2015

PLANNING DEPT.

Follow Up Flag: Follow up
Flag Status: Flagged

Jennifer,

Thank you for giving agency notice of consideration of plans to construct a 972 square foot addition to an existing 1,200 square foot shop building, situated at the northwest corner of a 2.09 acre lot, located on the west side of Crater Lake Highway between Commerce Drive and Coker Butte Road, within the I-G (General Industrial) zoning district. We reviewed this and determined that it would not significantly affect state transportation facilities under the State Transportation Planning Rule (OAR 660-012-0060) or State Access Management Rule (OAR 734-051-000). We have no further comments at this time.

Don Morehouse
Senior Transportation Planner
ODOT Region 3, District 8 (Rogue Valley Tech Center)
Ph: (541) 774-6399
Fax: (541) 774-6349
Donald.Morehouse@odot.state.or.us

Vicinity Map

Application Name/Description:
**Zoller Storage Shop
 Addition**

Proposal:
Storage Shop Addition

File Numbers:
AC-15-005

Applicant:
Mike Zoller

Map/Taxlot:
371W07A TL 1400

-  Subject Area
-  Medford Zoning
-  UGB
-  Tax Lots
-  Central Business
-  PUD

