

SITE PLAN & ARCHITECTURAL
COMMISSION
AGENDA
MARCH 6, 2015



Commission Members

Jeff Bender, Chair

Jim Quinn, Vice Chair

Daniel Ames

Jim Catt

Bill Chmelir

Mark Dew

Bob Neathamer

Alec Schwimmer

City Council Liaison - Dick Gordon

City Council Liaison Alt. - Eli Matthews

Regular Commission meetings are held on
the first and third Fridays of every month

Beginning at 12:00 Noon

City of Medford

Council Chambers,

Third Floor, City Hall

411 W. 8th Street

Medford, OR 97501

(541) 774-2380



SITE PLAN AND ARCHITECTURAL COMMISSION

AGENDA
March 6, 2015
12:00 p.m.

Council Chambers, Third Floor, City Hall
411 W. 8th St, Medford OR

10. **Roll Call.**
20. **Consent Calendar.**
30. **Minutes.**
- 30.1 Approval of minutes for the February 6, 2015, meeting.
40. **Oral Requests and Communications.**
50. **Public Hearings.**

New Business.

- 50.1 AC-15-002/E-15-003 Consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62) approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel within the C-R/F (Regional Commercial/Freeway Overlay) zone district. In-N-Out Burger, Applicant (Jim Lockington, Agent).
60. **Written Communications.** None.
70. **Unfinished Business.** None.
80. **New Business.**
90. **Report from the Planning Department.**
100. **Messages and Papers from the Chair.**
110. **Propositions and Remarks from the Commission.**
120. **City Council Comments.**
130. **Adjournment.**



MINUTES
SITE PLAN AND ARCHITECTURAL COMMISSION MEETING
February 6, 2015

The regular meeting of the Medford Site Plan and Architectural Commission was called to order at approximately 12:00 p.m. in the Council Chambers, City Hall, on the above date with the following members and staff in attendance:

Commissioners Present

Mark Dew, Acting Chair
Daniel Ames
Jeff Bender
Jim Catt
Bill Chmelir
Bob Neathamer
Jim Quinn
Alec Schwimmer
Dick Gordon, City Council Liaison

Staff Present

Jim Huber, Planning Director
Kelly Akin, Principal Planner
John Huttli, City Attorney's Office
Doug Burroughs, Public Works Department
Jennifer Jones, Planner II
Aaron Harris, Planner II
John Adam, Senior Planner
Debbie Strigle, Recording Secretary

10. Roll Call.

Acting Chair Dew welcomed the new Commissioners to the Commission.

Acting Chair Dew recognized former Chair Bob Seibert by reading a tribute he had written honoring him for his outstanding service to the City. Acting Chair Dew then read a resolution of the Site Plan and Architectural Commission honoring Bob Seibert.

Motion: Adopt the resolution honoring Bob Seibert.

Moved by: Commissioner Neathamer Seconded by: Commissioner Quinn

City Attorney John Huttli thanked Bob Seibert for his service to the City and citizens of Medford.

Roll Call Vote: Motion passed 6-0-2, with Commissioners Ames and Chmelir abstaining.

10.1 Election of Officers. Acting Chair Dew asked that this item be moved to the end of the meeting today. He asked if there were any objections. There were none.

20. Consent Calendar/Written Communications.

20.1 AC-14-121/E-14-135 Consideration of plans for the construction of a 3,200 square foot Wellness Pharmacy building and an Exception to allow for a reduction of required right-of-way dedication, on a 0.21 acre parcel located at 522 Crater Lake Avenue within the C-C (Community Commercial) zoning district. Wellness Pharmacy, Angie Meeker, Applicant (James Akery, Agent).

Motion: Adopt the consent calendar.

Moved by: Commissioner Neathamer Seconded by: Commissioner Bender

Voice Vote: Motion passed unanimously.

30. Minutes.

30.1 The minutes for the January 16, 2015, meeting, were approved as submitted.

40. Oral and Written Requests and Communications. There were none.

50. Public Hearings.

John Huttli, City Attorney, read the rules governing the public hearings.

New Business.

50.1 AC-14-134 Request for approval of plans for the construction of a 3,032 square foot addition to an existing airplane hangar on a 2.04 acre site, located at the terminus of Schulz Road and adjacent to the Rogue Valley International Medford Airport property, within an I-L/I-00/AA (Light Industrial/Limited Industrial Overlay/Airport Approach Overlay) zoning district. Croman Corp Inc., Applicant (Batzer Construction, Gary Caperna, Agent).

Acting Chair Dew asked for any conflicts of interest or ex-parte communications. Commissioner Neathamer declared that he has provided services for the applicant in the past and has an on-going relationship with Batzer Construction but he is not part of this application. He does not believe he has a conflict of interest in this project.

Jennifer Jones, Planner II, read the approval criteria, and gave a PowerPoint presentation of the January 28, 2015, Staff Report. Staff recommended approval.

Commissioner Schwimmer asked why this project was not subject to review in 2013. Ms. Jones explained there is an exemption in Code Section 10.031(C)(2) that a new construction that does not generate more than 10 trips can be exempted, but there is not such an exemption for this addition due to its size.

The public hearing was opened and the following testimony was given:

a) Gary Caperna, agent for the applicant, said he was available for questions.

Commissioner Chmelir wanted to know where the stormwater run-off was stored. Mr. Caperna gave an explanation of where it was.

The public hearing was closed.

Motion: Adopt the Findings as recommended by staff and adopt the Final Order for approval of AC-14-134 per the Staff Report dated January 28, 2015, including Exhibits A through M.

Moved by: Commissioner Neathamer Seconded by: Commissioner Bender

Commissioner Neathamer stated that with the information provided from the applicant and staff, the Commission could find that this project is compatible and can be approved.

Roll Call Vote: Motion passed, 8-0.

60. **Written Communications.** None.

70. **Unfinished Business.** None.

80. **New Business.**

80.1 Text amendment adding revision language.

Aaron Harris, Planner II, gave a PowerPoint presentation on a Development Code Amendment proposal to allow process for plan authorization amendments for Site Plan and Architectural Review permits.

There was discussion and clarification regarding Code Section 10.031 and how it applies to this proposed amendment. There was a general consensus that there needs to be some language that specifically addresses architectural design changes in this proposal.

90. **Report from the Planning Department.**

90.1 Ms. Akin welcomed new Commissioners Ames, Catt, and Chmelir to the Commission and thanked them for their time and energy.

90.2 Ms. Akin stated there was no business scheduled for the February 20, 2015, meeting. There will be a meeting scheduled for the March 6, 2015, meeting.

90.3 Ms. Akin reported that City Council adopted a resolution for a zone change that had been a Planning Commission decision. After an appeal had been filed, City Council upheld the Planning Commission's decision.

90.4 Ms. Akin reminded everyone there was still a vacancy on this Commission for the Landscaper position. If you know of someone in the landscaping profession that might be interested in serving on this Commission, please encourage them to apply.

90.5 Ms. Akin said there is a hearing scheduled for March 12, 2015, regarding the external boundary expansion. This will be heard before the Planning Commission.

100. **Messages and Papers from the Chair.** None.

110. **Propositions and Remarks from the Commission.**

110.1 Commissioner Neathamer welcomed all the new Commissioners. He thanked them for their time and service. Acting Chair Dew concurred.

10.1 **Election of Officers.**

Motion: Elect Commissioner Bender as the Chair for 2015.

Moved by: Commissioner Schwimmer Seconded by: Commissioner Neathamer

Voice Vote: Motion passed unanimously.

Motion: Elect Commissioner Quinn as the Vice-Chair for 2015.

Moved by: Commissioner Neathamer Seconded by: Commissioner Schwimmer

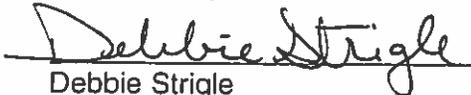
Voice Vote: Motion passed unanimously.

120. City Council Comments. None.

130. Adjournment.

130.1 The meeting was adjourned at approximately 12:48 p.m. The proceedings of this meeting were digitally recorded and are filed in the City Recorder's office.

Submitted by:



Debbie Strigle
Recording Secretary

Site Plan and Architectural Commission Chair

Approved: March 6, 2015



CITY OF MEDFORD

PLANNING DEPARTMENT

STAFF REPORT

Date: February 27, 2015 for March 6, 2015 Commission Meeting

To: Site Plan and Architectural Commission

From: Desmond McGeough, Planner II *DM*

Reviewed By: Kelly Akin, Principal Planner *KA*

Subject: In-N-Out Burger Site Plan & Exception Request (AC-15-002 / E-15-003)
In-N-Out Burger, Applicant (Jim Lockington, Agent)

BACKGROUND

Proposal

Consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62), approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel, within the C-R/F (Regional Commercial/Freeway Overlay) zone district.

Subject Site Zoning, GLUP Designation and Existing Uses

Zoning: C-R (Regional Commercial)
GLUP Designation: CM (Commercial)
Existing Use: Shell Fueling Station

Surrounding Property Zoning and Existing Uses

North C-R (Regional Commercial), C-C (Community Commercial) MFR-20
(Multi-Family Residential, 20 units per gross acre)
Target, Highway 62, Multi-family residential

South C-R
Rogue Valley Mall Parking Lot

"Working with the Community to Shape a Vibrant and Exceptional City"

East	C-R Rogue Valley Mall
West	C-H (Heavy Commercial), C-C, C-R C-S/P (Commercial – Service/Professional Office) Mini Storage, Auto Repair, Highway 62, Vacant, Northgate Center

Applicable Criteria

10.290 SITE PLAN AND ARCHITECTURAL REVIEW APPROVAL CRITERIA

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) *The proposed development is compatible with uses and development that exist on adjacent land; and*
- (2) *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

10.253 CRITERIA FOR EXCEPTION

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority (Planning Commission/Site Plan and Architectural Commission) having jurisdiction over the plan authorization unless it finds that all of the following criteria and standards are satisfied. The power to authorize an exception from the terms of this code shall be sparingly exercised. Findings must indicate that:

- (1) *The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The Planning Commission/Site Plan and Architectural Commission shall have the authority to impose conditions to assure that this criterion is met.*
- (2) *The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.*
- (3) *There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.*

- (4) *The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.*

ISSUES/ANALYSIS

The proposed 3,750 square foot In-N-Out restaurant is to be constructed on the site of Shell fueling station and car wash that is proposed to be demolished. The site is located on the west side of the north Rogue Valley Mall entrance off of Highway 62. The existing Shell fueling facility consists of approximately 1,916 square feet of building area, having a convenience store of approximately 1,094 square feet and a car wash of 822 square feet. The fueling canopy, which spans over a majority of the small convenience store, covers approximately 4,366 square feet of the site, which is 1.04 acres in size.

Site Plan (Exhibit G)

Proposed access to the site will substantially change from the existing fueling station use. There will be no ingress/egress provided to the driveway that provides access from Highway 62. The fueling station currently has two points of access from the interior driveway that encircles the Rogue Valley Mall. The applicant proposes to relocate the access point which is currently located near the intersection of the mall entry drive and the interior ring road. The site plan demonstrates that this drive entrance will be relocated approximately 185 feet southwest of the current location to align with a two-way access lane associated with the mall circulation. Moving this access point will help relieve congestion at the intersection, thus providing better circulation for both the Rogue Valley Mall and the subject development. Only one point of access will remain generally the same, which is the ingress/egress at the far southwest corner of the site.

The 3,750 square foot restaurant is situated on the northeast side of the site near the Highway 62 access drive to the mall. The drive-through window portico is set back over 10 feet from the mall entry drive. A five foot landscape buffer is proposed along the south side of the side separating the restaurant drive-through lane from the mall property and access lane. While the building meets required setback requirements of the zone district, the applicant has requested relief from front yard setback standards pertaining to encroachment of parking spaces into the front setback area on the north side of the site along Highway 62. The proposed encroachment will be addressed further in the discussion pertaining to the exception request.

All internal drive aisles allow for two-way vehicle maneuverability throughout the site. The site plan demonstrates that 90 degree parking is utilized throughout the parking field. Handicap parking and vanpooling spaces are located at the front of the building. The drive-through window is located on the rear of the building, facing the mall entry road. The site plan shows a long drive-through queuing lane, which can stack up to 15 vehicles behind the pickup window. The drive-through queuing lane begins at about the middle of the site along the south property

line, wraps around the rear of the building, and exits into the parking area at the northwest corner of the building. The building is generally orientated westward toward the parking area. The service side of the building is located on south side toward the mall and interior access road.

Several outdoor seating tables are located on the north side of the building on a wide concrete pathway and on the front of the building within small patio area. Wide areas of landscaping area separate the site from adjoining private drive aisles and public streets to the north and east.

Parking / Circulation

Per Section 10.743 of the MLDC, a minimum of 43 parking spaces are required for the proposed development and a maximum of 53 parking spaces is permitted based on the square footage of the restaurant. The applicant has proposed a total of 54 parking spaces, which is one space more than the maximum permitted by the MLDC. Therefore, staff has included a condition of approval requiring the site plan submitted for building permit to eliminate one parking space from the proposed development.

As noted above all parking is proposed with a 90 degree angle configuration to the adjoining two way drive aisle. As required by Code, landscaped parking islands and landscaping projections have been included to provide visual relief and shade in the parking area. All parking spaces shown on the site plan are proposed to be 9 feet wide by 19 feet in length. No compact spaces have been proposed on the site plan. However, some compact spaces may need to be created as to address a condition of approval included by staff, which will be addressed further below in the exception request discussion.

As noted above, the drive-through queuing lane provides stacking for up to 15 vehicles which exceeds Development Code requirements for a drive-through window. The site plan identifies one pedestrian access to the building from the sidewalk along Highway 62 to the patio area adjacent to the building and which extends over the drive-through lane on the north side of the building. Staff notes it is anticipated that the business will likely see a significant level of pedestrian traffic to and from the Rogue Valley Mall. While there is no code provision requiring a pedestrian pathway to cross the landscape area and drive through lane on the south side, similar to the pedestrian pathway adjoining the site to the sidewalk on Highway 62, Staff is recommending that the Commission include a discretionary condition of approval requiring a pedestrian crossing over the drive through lane on the south side, consistent with Section 10.775 of the MLDC, and that such path extend to the mall access drive curb south of the property.

Bicycle Parking

Six bicycle parking spaces are required for this site, and six spaces have been proposed located on the front side at the northwest corner of the building. The style of bike rack is not identified on the site plan. Staff has included a discretionary condition of approval requiring that the six bicycle spaces be the inverted-U style of bicycle rack, consistent with the standard

recommended by the City of Medford Bicycle and Pedestrian Advisory Committee. With this condition, the Commission can find that the applicant meets the standards for bicycle parking required by the MLDC and the recommendations of the Bicycle and Pedestrian Advisory Committee.

Elevations (Exhibit N,O)

The proposed restaurant is well-articulated and may be described as having contemporary, mission-style architecture. The elevations demonstrate the building will have a smooth stucco exterior wall finish, scoring joints and red accent band toward the base. The building possesses many traditional mission style elements. The primary color is a paint that can be characterized as having an off-white hue. The building is accentuated with three tower elements of varying height providing a roof architecture having a dynamic cadence. The tower features are capped with beveled cornice and terracotta colored tile roof material. The tower elements, which are included at the main entrance, side entrance, and the drive-through windows, break up the overall mass of the building as do the red canopies over the window features.

The drive-through lane window area is covered by portico, which is partially enclosed by the supporting columns. The structure has a large pane window adjacent to the drive-through stacking lane, revealing on-going and feverish activity associated with the potato slicing station. As described in the Applicant's Questionnaire (Exhibit B) the architecture proposed is a classic style, color, material and signage that is associated with In-N-Out Burger. The building is compatible with and smaller in scale than existing buildings in the adjoining context. Staff recommends the Commission approve the building elevations as submitted.

Right-of-Way Dedication

This project fronts Highway 62, which is under the Oregon Department of Transportation (ODOT) jurisdiction. ODOT has submitted correspondence (Exhibit AA) noting that this proposal does not significantly affect state transportation facilities under the State Transportation Planning Rule (OAR 660-012-0060) or State Access Management Rule (OAR 734-051-000). No additional right-of-way is required for the subject development.

Improvements

Highway 62 is currently improved with pavement, curb and gutter, landscaping, and detached sidewalk. No further street improvement is being requested at this time. The developer has agreed to create a 2-phase pedestrian crossing across Highway 62 at the north drive entrance to the Rogue Valley Mall. The applicant may provide public improvement plans and construct the improvement or make payment in the amount of \$34,000.00 for completion of the improvement by the City. This improvement is noted in the Public Works Staff Report dated February 11, 2015 (Exhibit V). A condition of approval has been included requiring the applicant to comply with the Public Works report.

Trash Enclosure

The site plan demonstrates the enclosure to be constructed of block approximately 6 feet in height. A detail of the enclosure or note is not included on the site plan. Section 10.781 requires doors shall be made of solid wood or metal and that the enclosure be constructed for material which is compatible with other structures on the site. A condition of approval has been included requiring the building plan set to include detail of the enclosure which demonstrates compliance with section 10.781 of the MLDC.

Landscape Plan (Exhibit Q)

Per the proposed landscape plan, proposed development will significantly enhance the street frontage along Highway 62. A densely populated cover of vegetative ground cover as well as street trees in accordance with the ratio provided by the MLDC will be employed along the highway, which will augment the existing street trees already within the ODOT right-of-way. Additionally, new street trees will be placed upon the south property line between the drive through lane and mall access road. The landscape islands internal to the parking area contain medium sized shade trees.

The site contains 18,947 square feet of landscape area, or approximately 22% of the site. A total of 5,665 square feet of turf landscape area will be employed in the project, located at the north east and southwest corners of the site. This constitutes 29.9 % of the landscape area; thus, providing just under the 30 % high water landscaping usage as permitted under the MLDC. Approximately 3,495 square feet of planter bays are located internal to the parking area which is almost three times the amount required by Code. Four large mature pine trees are currently located at the northeast corner of the site. The applicant's findings and landscape plan note these trees have been incorporated into the proposed development and will be preserved.

The Parks and Recreation Department has reviewed the landscape plan and recommends a change to one of the trees utilized in the plan. The Parks Department notes the Red Maple suffers from sun scald and structural defects and recommends an alternative such as an Elm, Beech or Turkish Filbert be used in substitution. As Condition of Approval, staff has required that the applicant provide a revised landscape plan with the building permit construction set in conformance with recommendations provided by the Parks Department (Exhibit Y).

Signs (Exhibit S)

The applicant has submitted signage details (Exhibit S) with the application which has been forward for informational purposes. However, signage is not a consideration of the Site Plan and Architectural Commission in review of an application. A condition is included in this report that requires the applicant to obtain approved sign permits prior to the installation of any signs on the site.

Committee Comments

No comments were received from any committees, such as BPAC.

EXCEPTION REQUEST

The applicant has requested approval of an exception request, particularly pertaining to the parking lot encroachment into the front yard setback. Section 10.746(9) requires where parking, vehicle maneuvering or loading areas abut a public street, a 10-foot wide landscape buffer be implemented. Likewise, Section 10,746(10) requires that parking and loading spaces and maneuvering areas be located outside of a required yard area except under particular circumstances. Those circumstances are not applicable to this site.

Specifically the site plan demonstrates the drive-through lane being placed 5.25 feet away from the north property line, thus the paving area encroaches into the required 10 foot setback by 4.75 feet. In the mid-portion of the site, several parking stalls are located 1 foot away from the north property line, thus the parking stalls extend 9 feet into the required setback. In the southwest corner of the property the parking stalls are shown to be 3 feet from the north property line, thus the paving area extends 7 feet into the required setback.

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority (Planning Commission/Site Plan and Architectural Commission) having jurisdiction over the plan authorization unless it finds that each of the following criteria are satisfied. The applicant has provided findings pertaining the request for exception (Exhibit D) and recommends that the Commission adopt the findings prepared by the applicant with along with the of findings made by Staff below:

- (1) *The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The Planning Commission/Site Plan and Architectural Commission shall have the authority to impose conditions to assure that this criterion is met.*

Staff concurs with the applicant's findings that the general purpose and intent of the regulation is to ensure that there is a well landscaped and aesthetically pleasing frontage along public streets within the City of Medford. The encroachment into the typical 10 foot setback & landscape buffer will not be injurious to the general area or detrimental to health, safety or welfare or adjacent natural resources based on the following:

The subject site is located adjacent to Highway 62. In its current location, the closest point of the Highway 62 curb is located 35 feet north of the north property line of the subject site and has a 6 foot wide sidewalk running through the area. The sidewalk, at its closest point is 15 feet away from the curb.

Typically, it is not desirable to consider the landscaping area within a right-of-way to be a sufficient buffer as to meet the frontage landscape needs for a development. The primary reason is that if additional capacity in the right-of-way is sought by the addition of travel lanes, the landscaping within the right-of-way would need to be removed, thus vegetation between the street and site would be absent.

While staff does not anticipate widening of Highway 62 anytime in the near future next to this particular site, the existing setback from curb is so substantial that even if one lane was added to Highway 62 south of center line, the existing sidewalk would remain in its current location. If two lanes were added the sidewalk would likely need to move but there would still be a minimum of 10 feet between the sidewalk and the paved area of the development.

The six foot sidewalk within the right of way is at its closest point on the site plan is 8 feet away from the paved area. Along many street frontages within the City the property line is located near the back of sidewalk, thus the absolute minimum landscape area one would observe behind the sidewalk in such circumstance is the 10 foot landscape buffer required by Code on the property along the street side. It is for this reason staff has included a condition of approval requiring that the distance from any portion of the parking lot or maneuvering areas be a minimum of 10 feet from the existing sidewalk as to provide 10 feet of landscape buffer between the parking lot and sidewalk. Even if lane capacity is added on Highway 62, with this discretionary condition included, the landscape buffer will appear as it does generally anywhere else in the City.

The area of the parking lot in the south portion of the site can be revised through either reducing drive aside width, as 25 feet is provided and only 24 feet is required by the MLDC. Or, the several parking spaces along the south portion of the site can be converted into compact spaces. With either one of these revisions, or combination of both, the 8 foot buffer can be extended to 10 feet. Staff has added a condition of approval requiring the revised site plan submitted for the building permit reflect a 10 foot buffer between the parking lot or vehicle maneuvering area and the Highway 62 sidewalk.

Furthermore, if approved, the resulting design as shown by the site plan is preferable when considering design options should the exception not be approved. Since this site and the mall site are both within a C-R zone district, there is no required landscape buffer or setback between the properties along the south property line. Therefore, the turning radius into the drive-through queuing lane would need to be reduced and the drive-through lane placed at the property line, significantly limiting the landscaping along the mall access drive. Additionally, the drive aisles would need to be reduced along with other modifications to the parking area. Because it is extremely unlikely that the existing sidewalk location on the north side would ever be moved due to the addition of two lanes south of center line, the proposed site plan, subject to conditions of approval

is actually preferable from both a circulation standpoint and aesthetic standpoint. Thus, the Commission can find that the proposed design, subject to conditions of approval, fully complies with all provisions of Criterion 1.

- (2) *The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.*

Approval of the exception does not establish a use that is not otherwise permitted in the underlying zoning district. The Commission can find that the request complies with Criterion 2.

- (3) *There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.*

As noted in the applicants findings, there are unique circumstances that do apply to this property that typically do not apply elsewhere in the City. With exception of the six-foot wide public sidewalk that bifurcates the landscape area, there is minimum distance of 35 feet between the north property line and the Highway 62 curb. At its widest, the landscape area is approximately 85 feet in width. This is a very unusual amount of landscaped right-of-way to adjacent to the property. Strict application of the Code standard would result in an undesirable design predicament as the 10 feet of landscaping serves no general public purpose given the near excessive landscaping area already present on the north side while devaluing aesthetic appeal and functionality of the site on the south side. Strict application of the standard as provided in the Code would cause an undue hardship that results in a less favorable design and less favorable circulation without returning a public benefit, whatsoever. Based on the findings presented by the applicant and within the staff report, the Commission can find that the exception request complies with all provisions of Criterion 3.

- (4) *The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.*

No greater profit would result by approving this exception request. The need for exception suffered is suffered directly by the particular property in question. Commission can find that the exception request complies with all provisions of Criteria 4.

SITE PLAN FINDINGS/QUESTIONNAIRE

Staff has reviewed the applicant's Site Plan Questionnaire (Exhibit B), which addresses compatibility and compliance with relevant Development Code requirements. The Commission can find that the proposed development is compatible with surrounding uses and development, and the project complies with the applicable provisions of all city ordinances.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare a Final Order for approval of AC-15-002/E-15-003 per the Staff Report dated February 27, 2015 including Exhibits A through AA.

EXHIBITS

- A Conditions of Approval dated February 27, 2015
- B Applicant's Narrative & Questionnaire, received January 6, 2015
- C Applicant's Demonstration of Compliance, received January 6, 2015
- D Applicant's Exception Request Findings of Fact and Conclusions of Law seeking relief to provisions of Section 10.746(9) and Section 10,746(10), received January 6, 2015
- E Site Plan cover sheet, received January 6, 2015
- F A.L.T.A. Survey of existing conditions, received January 6, 2015
- G Site Plan, received January 6, 2015
- H Conceptual Grading Plan, received January 6, 2015
- I Conceptual Storm Plan, received January 6, 2015
- J Conceptual Utility Plan, received January 6, 2015
- K Site Lighting Photometric Plan, received January 6, 2015
- L Floor Plan, received January 6, 2015
- M Roof Plan, received January 6, 2015
- N Elevations, received January 6, 2015
- O Colored elevations, received January 6, 2015
- P Colors and Materials, received January 6, 2015
- Q Landscape Plan, received January 6, 2015
- R Preliminary Stormwater Management Analysis, received January 6, 2015
- S Conceptual sign package, received January 6, 2015
- T Aerial Photo, received January 6, 2015
- U City of Medford Zoning Map
- V Report from Public Works Department, dated February 11, 2015
- W Memorandum from Medford Water Commission, dated February 5, 2015
- X Report from Medford Fire Department, prepared February 2, 2014
- Y Memorandum from Parks and Recreation Department, dated February 5, 2015
- Z Memorandum from the Medford Building Department Dated February 9, 2015
- AA Letter from Oregon Department of Transportation, received February 12, 2015
Vicinity Map

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:

March 6, 2015

EXHIBIT A

In-N-Out Burger Restaurant
AC-15-002/ E-15-003
Conditions of Approval
February 27, 2014

DISCRETIONARY CONDITIONS

1. The applicant shall provide a revised landscape plan with building permit submittal that complies with the recommendations regarding alternative plant materials in the Parks Department Memo dated February 5, 2015 (Exhibit Y).
2. The applicant shall provide a revised site plan with building permit submittal that demonstrates a minimum landscaped buffer of ten (10) feet between the Highway 62 public sidewalk and any on-site paved surface.
3. The applicant shall provide a trash enclosure detail with building permit architectural plans that demonstrate compliance with Section 10.781 of the MLDC.
4. The applicant shall provide a bicycle rack detail on the building permit submittal demonstrating the "inverted-U" style of bicycle rack, consistent with the recommended standard of the City of Medford Bicycle and Pedestrian Advisory Committee.

CODE CONDITIONS

5. The applicant shall:
 - a. Comply with the Public Works Staff Report dated February 11, 2015 (Exhibit V);
 - b. Comply with the Medford Water Commission Staff Memo dated February 5, 2015(Exhibit W).

CITY OF MEDFORD
EXHIBIT # A
File # AC-15-002 (E-15-003)
1 of 1

13502 Hamburger Lane
Baldwin Park, Ca 91706-5885
626-813-8200



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SPAC APPLICANTS QUESTIONNAIRE SECTION I - NARRATIVE

PROPOSED IN-N-OUT BURGER RESTAURANT
1968 CRATER LAKE HIGHWAY

In 1948, Harry and Esther Snyder opened the first In-N-Out Burger in Baldwin Park California. They served the freshest burgers, coolest shakes and the hottest fries in a friendly, sparkling clean atmosphere. And times have not changed at In-N-Out. The menu is still the same basic menu our guests have enjoyed since 1948. And, we've been serving everything up the same exact way: fresh, made to order, and with only the freshest ingredients.

In-N-Out Burger is proposing to redevelop the existing Shell gas station property located at 1968 Crater Lake Highway with the very first In-N-Out Burger restaurant (with drive-through) in the State of Oregon.

The proposed restaurant will be 3,750 square feet with indoor seating for 77 guests and outdoor seating for 40 guests. The site will be well landscaped and will include a 440 square foot covered trash building, a drive-through with a minimum 15-car queue, and onsite parking for 53 guest cars. The architecture, materials, colors, and signage will be classic In-N-Out, evoking the unique archetype that has become a compelling part of the In-N-Out experience.

CITY OF MEDFORD,
EXHIBIT # "B"
File # AC:15-002/E-15-003

**SPAC APPLICANTS QUESTIONNAIRE SECTION II
PROPOSED IN-N-OUT BURGER RESTAURANT
1968 CRATER LAKE HIGHWAY**

JAN 06 2015

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- A. List existing uses and development adjacent to your project site. Along with this list, describe the architecture (materials, colors, etc.), age, and condition of the adjacent buildings (you may use photographs to supplement this information).

The existing use of the site is a Shell gas station with convenience mart. Adjacent development includes the Rogue Valley Mall to the East, a Target store to the North, Crater Lake Hwy to the West, and the intersection of Crater Lake Hwy (I-62) and N. Pacific Hwy (I-99) to the South. The adjacent mall and Target buildings are all relatively non-descript, neutral-color, big-box architecture, and all are in good condition.

- B. Describe the building architecture and exterior treatments in your proposal, and how they fit with and complement adjacent buildings and development.

In-N-Out Burger is proposing our classic restaurant architecture and archetypal exterior materials, colors, and signage at this location. These forms and colors are certain to evoke strong positive emotions and fond memories in the many people already familiar with the In-N-Out experience. The In-N-Out building will be entirely compatible with, and is considerably smaller in scale than, the existing buildings in the adjacent built environment.

- C. Describe the proposed architecture and exterior treatments that break up large facades and give relief to the building mass. The *Site Plan and Architectural Commission Design Guidelines* are a helpful reference, and can be found on the City's website, and at the Planning Department.

At 3,750 square feet, the proposed In-N-Out restaurant is not a large building; nonetheless, it is well-articulated and detailed to provide visual interest and to eliminate any large expanses of unbroken façade. This is accomplished with ample exterior windows, glass entry doors, decorative awnings, both functional and decorative column elements, corbelled stucco eaves at the roof parapets and tower rooftops, and decorative terracotta roof tiles at the raised tower elements. All rooftop equipment is effectively screened with the roof perimeter parapet wall.

- D. Describe how the placement and orientation of the proposed building(s) relate(s) to the street facilities, and how this orientation promotes a more pedestrian-friendly site design.

The placement of the building and drive-thru queue on site minimizes potential impact to the mall entrance off Crater Lake Highway by locating the drive-thru entrance a substantial distance from the 3-way intersection of the mall entrance and circulation road. This placement also allows a convenient pedestrian entrance near the NW corner of the site, connecting the restaurant to the existing public pedestrian path in the Crater Lake Highway right-of-way.

CITY OF MEDFORD,

EXHIBIT # "B"

File # AC-15-007/E-15-003

2015

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- a. If the site lies within 600-feet of an existing or planned transit stop, as designated by the Transportation System Plan (TSP), describe compliance with the standards of Section 10.808, *New Commercial and Institutional Development*.

Not applicable.

- E. Describe the pedestrian facilities and amenities on your site (useable outdoor space, benches, etc), and how they will function for pedestrians.

There is an existing public pedestrian path that parallels the West property line along Crater Lake Hwy. Pedestrian ingress is provided by a connection to this path near the Northwest corner of the site. In addition, the restaurant provides areas of architecturally enhanced concrete outdoor dining space for approximately 20 guests, with several umbrella covered tables at both the East and West ends of the restaurant.

- F. Describe vehicle and pedestrian access to the site, and how it relates internally on the site, and to adjacent sites.

Primary vehicle access to the site is provided from the North entrance driveway to the Rogue Valley Mall off Crater Lake Hwy (I-62). The main entrance into the In-N-Out restaurant has been set back from the Mall entry/exit driveway to avoid entry/exit conflicts. Secondary vehicle access is provided from the South entrance to the Rogue Valley Mall off of N. Riverside Avenue (Hwy I-99). The restaurant site is easily accessible to pedestrians from both the public pedestrian walkway along Crater Lake Hwy as well as to foot traffic from adjacent mall shops and mall parking.

- G. Describe if and how the proposed plan is sensitive to retaining any existing trees or significant native vegetation on the site. Should existing trees be preserved, a Tree Protection Plan shall also be included in this application.

There are 4 large, mature, existing Pine trees at the NE corner of the site that will be preserved. Tree protection notes have been incorporated into the proposed Project Landscape Plan. In-N-Out will be landscaping the restaurant property well above the minimum standards adopted by the City of Medford. In addition, the Project Landscape Plan proposes to improve and maintain areas of existing landscape area outside of the In-N-Out property to ensure seamless integration of the new landscape improvements into the existing environment.

- H. Describe stormwater detention facilities on the site (underground storage, surface pond, etc.). If these facilities will be landscaped areas, describe how the proposed landscaping will be integrated with other landscaping on the site.

Stormwater detention is proposed by way of underground storage (StormTECH chambers, or similar) at the northern end of the site, integrated within (below) proposed landscape areas.

- I. Describe how your proposed landscaping design will enhance the building and other functions on the site.

"B"
3 of 5

The proposed landscape plan has been coordinated with In-N-Out Burger's in-house Landscape Architect and the State of Oregon licensed Landscape Architect of record for this Project. In-N-Out Burger maintains very high standards in quality through all aspects of a proposed development, with a strong emphasis on the landscaping. In-N-Out Burger elects to install additional shrubs where other developments may elect to have ground cover. The resulting layered look of landscape has been integrated into the development to enhance the building and site. In addition, the legal property boundaries of the property do not fall in line with sensible demarcation points for terminating the new landscaping. Thus, In-N-Out is proposing to, at its sole expense, install and maintain landscaping outside of its boundaries to sensible stopping points, such as to the existing curbs of the adjacent shopping center access roadways, and to the East edge of the existing public pedestrian path that lies to the West of the property along Crater Lake Hwy.

- J. Describe how your exterior lighting illuminates the site, and explain how the design of fixtures does not diminish a view of the night sky, or produce glare on adjacent properties, consistent with the standards of Section 10.764.

The exterior lighting plan for the In-N-Out site has been designed to be both environmentally friendly, using high-efficiency LED lighting, and to provide a safe well-lit environment for our guests and our restaurant associates. The proposed design is consistent with the standards of Section 10.764.

- K. Describe any proposed signage, and how it will identify the location of the occupant and serve as an attractive complement to the site.

The signage proposed for the In-N-Out restaurant is our classic signage and is designed to comply with all applicable city standards. A proposed signage plan and renderings are included in the materials provided for SPAC review. Similar to the balance of the exterior materials and colors, the signage is warm and inviting and instantly recognizable as part of the In-N-Out experience.

- L. Explain any proposed fencing, including its purpose, and how you have incorporated it as a functional, attractive component of your development. (See Sections 10.731-10.733).

There is no perimeter fencing proposed on the site.

- M. Explain how any potential noise generated by future occupants will be mitigated on the proposed site, consistent with the standards of Sections 10.752-10.761.

All of the property surrounding the proposed restaurant is either commercial or State Highway transportation-corridor. There are no adjacent sensitive receptors, and any noise that might be generated by the restaurant or its guests will be less than the noise produced by the ambient environment.

- N. Explain anything else about your project that adds to the compatibility of the project with adjacent development and uses.

- O. List and explain any exceptions or modifications requested and provide reasons for such.

"B"
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In-N-Out's Site Plan proposes parking spaces and the exit end of the drive-thru lane to be located within the (10) foot wide front yard (Crater Lake Highway) setback. Specifically, we are requesting relief from MLDC 10.746(9) which requires a minimum (10) foot wide front yard landscaping buffer, and MLDC 10.746(10) which prohibits parking spaces and maneuvering areas within a front yard setback. The limited width of the site will simply not allow development of an adequately parked and landscaped In-N-Out restaurant without this relief.

The City owned property along the Crater Lake Highway frontage, however, includes a wide landscaped buffer and existing pedestrian path. In part to mitigate the requested relief, In-N-Out proposes to, at its sole expense, landscape and maintain the strip of land between our West property line and the East edge of the pedestrian path.

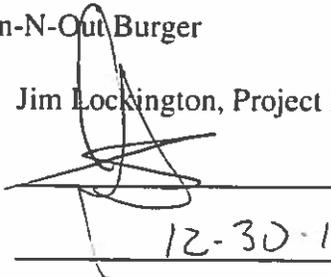
- P. Section 10.780(C)(2) - List any petition for relief of landscaping standards (i.e., request an increase in turf area at a facility for active recreation; eliminate requirement for root barriers when trees are planted in structural soils). Provide rationale for requested deviation from standard.

Other than MLDC 10.746(9) noted in item O above, no relief of landscaping standards is being requested.

Prepared by In-N-Out Burger

Name/Title: Jim Lockington, Project Manager

Signature:



Date:

12-30-14

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SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION

Section II – Code Compliance: Criterion No. 2

PROJECT SITE

	PROPOSED	REQUIRED
• Zoning District	CR	
• Overlay District(s)	Freeway	
• Proposed Use	Restaurant/Drive Thru	
• Project Site Acreage	1.038	
• Site Acreage (+ right-of-way)	1.038	
• Proposed Density (10.708)	N/A	
• # Dwelling Units	N/A	
• # Employees	10	

STRUCTURES

	EXISTING	PROPOSED
• # Structures	2	2 (restaurant plus trade enclosure)
• Structure Square Footage (10.710-10.721)	1916 sf	3750 + 325 = 4,075

SITE DESIGN STANDARDS

	PROPOSED	REQUIRED
• Front Yard Setback (10.710-721)	27.8' (to bldg)	10
• Side Yard Setback (10.710-721)	27.6' (to bldg)	7 1/2
• Side Yard Setback (10.710-721)	209.4 (to bldg)	7 1/2
• Rear Yard Setback (10.710-721)	31.2 (to bldg)	7 1/2
• Lot Coverage (10.710-721)	9%	40% max

PARKING

	PROPOSED	REQUIRED
• Regular Vehicular Spaces (10.743)	49	41
• Disable Person Vehicular Spaces (10.746[8])	3	3
• Carpool/Vanpool Spaces (10.809)	2	1
• Total Spaces (10.743)	54	45
• Bicycle Spaces (10.748)	6	6
• Loading Berths (10.742)	N/A	N/A

CITY OF MEDFORD
EXHIBIT # ¹⁰C
File # PC-15-002/E-15-003
10 of 2

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SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION

LANDSCAPING		
	PROPOSED	REQUIRED
• Total Landscape Area (square feet)	18,947 (total proposed to landscape)	
• Total Landscape Area in High Water Use Landscaping (square feet)	5,665 (of total proposed)	
• Total Landscape Area in High Water Use Landscaping (percentage)	29.9% (of total proposed)	
• Total % Landscape Coverage	22% (of on-site landscape)	
• Required Organic Content (cu.yd.)		
• Frontage Landscaping (10.797)		
• Street:	Crater Lake Highway	-
• Feet:	355'	-
• # Trees:	15	15
• # Shrubs:	89	89
• Street:	-	-
• Feet:	-	-
• # Trees:	-	-
• # Shrubs:	-	-
• Bufferyard Landscaping (10.790)		
• Type:	N/A	
• Distance (ft):	N/A	
• # Canopy Trees:	N/A	
• # Shrubs:	N/A	
• Fence/Wall:	N/A	
• Parking Area Planter Bays (10.746)		
• Type:	Islands/Projections	-
• # Bays:	12	-
• Area:	3,495	1,125
• # Trees:	10	7
• # Shrubs:	59	14

STRUCTURE	
	PROPOSED
• Materials	Please see elevations and color/material Board
• Colors	Please see elevations and color/material Board

Please remember that the information you provide in response to the questionnaire must be included with your SPAR application submittal. Remember to sign and date your written response.

11C
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PLANNING DEPT.

PROPOSED IN-N-OUT BURGER RESTAURANT AT 1968 CRATER LAKE HWY

**FINDINGS OF FACT FOR APPROVAL OF
REQUESTED EXCEPTIONS TO MLDC 10.746(9), 10.746(10)**

Section 10.251 Application, Exception.

The purpose of Sections 10.251 to 10.253 is to empower the approving authority to vary or adapt the strict application of the public improvement and site development standards as contained in Article III, Sections 10.349 through 10.361, and 10.370 through 10.385, as well as Articles IV and V of this chapter. Exceptions may be appropriate for reasons of exceptional narrowness or shape of a parcel; for reasons of exceptional topographic conditions, extraordinary and exceptional building restrictions on a piece of property; or if strict applications of the public improvement or site development standards in the above referenced Articles would result in peculiar, exceptional, and undue hardship on the owner.

In-N-Out Burgers has worked closely with the City of Medford in developing its current proposed site plan. In fact, the originally proposed site plan was substantially modified after City of Medford Engineering and Traffic Departments as well as Oregon Department of Transportation expressed several specific concerns during the pre-application review process. In-N-Out believes the current proposed site plan not only addresses and resolves these concerns, but is an improvement over the original plan in many ways.

The In-N-Out site plan provides well-designed parking and drive aisles which meet or exceed City of Medford standards, and provides a well-placed and functional drive-thru aisle, however, it does so by locating portions of approximately 22 parking spaces, and approximately 90 lineal feet of the drive-thru exit lane within A) the 10 foot wide front yard landscaping buffer required by 10.746(9), and B) the 10 foot front yard "parking and maneuvering prohibited area" established by 10.746(10). These code sections specifically state:

MLDC 10.746(9) Screening. Where parking vehicle maneuvering, or loading areas abut a public street, there shall be provided a minimum ten (10) foot wide landscaping buffer.

MODC 10.746(10) Parking, Required Yard. Parking and loading spaces and their maneuvering area shall not be located in a required yard, except as follows:

(a) In a SFR or MFR zone, parking lots with more than three (3) spaces that do not back directly into the street may encroach to within ten (10) feet of a street right-of-way.

(b) When creating a common driveway with an adjacent parcel.

(c) At a single-family residence in a SFR zone, paving may be located within a required side or rear yard.

10.253 Criteria for an Exception

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority having jurisdiction over the plan authorization unless it finds that all of the following criteria and standards are satisfied. The power to authorize an exception from the terms of this code shall be sparingly exercised. Findings must indicate that:

(1) The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The approving authority shall have the authority to impose conditions to assure that this criterion is met. (Effective Dec. 1, 2013).

The general purpose and intent of 10.746(9) and (10) appears to be the development of attractive front yards and creation of landscaped buffers along properties that front a City Street.

Due to site width constraints, In-N-Out Burger is proposing to place portions of 22 parking stalls and approximately 90 lineal feet of the drive-thru exit within the 10 foot front yard setback/landscape buffer along Crater Lake Hwy. The existing conditions at this location, however, are unique and we believe the intent of the code can still be achieved while granting the requested exceptions. The existing conditions between Crater Lake Hwy and the In-N-Out West property include a landscaped buffer that varies in width between 35 and 75 feet. Within this buffer is an existing pedestrian pathway that parallels the In-N-Out West property line; the East edge of this path averages about 12 feet from the In-N-Out West property line. To ensure that the intent of 10.746(9) and (10) are met, In-N-Out proposes to further improve, and maintain (at In-N-Out sole expense) the strip of property between its West property line and the East edge of the existing pedestrian path. The proposed In-N-Out landscape plan shows these improvements which include a significant quantity of shrubs and groundcover that do not currently exist.

In fact it is worth noting that the existing condition of the property along the Crater Lake Hwy frontage provides for an average width of 5 feet of landscape area between the western property line and existing asphalt parking improvements. And, the existing condition between the edge of the current asphalt parking lot and the edge of the existing pedestrian path is improved with only 3 trees and turf. In contrast, the In-N-Out landscape plan proposes a total of 15 new trees, approximately 100 new shrubs, and a large percentage of the existing turf to be replaced with low-water-use groundcovers. The landscape improvements proposed by In-N-Out along Crater Lake Highway clearly implement the intent of the excepted code sections, even with granting of the requested exceptions.

"D"
2 of 3

(2) The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.

The use proposed by In-N-Out is an allowed use, thus, the granting of the requested exceptions will not permit the establishment of a use which is not already permitted.

(3) There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.

As noted in (1) above, the existing conditions along the In-N-Out West property line are unique and offer an opportunity for In-N-Out to improve and maintain, at its sole expense, property outside of its boundary that will implement the intent of the excepted codes. Also in this case, strict application of 10.746(9) and (10) along the In-N-Out West property line would result in unacceptable reductions in parking and other operational and code-required site features, and thus would simply rule out development of this property with an otherwise highly functional and code compliant In-N-Out Burger restaurant.

(4) The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.

The need for the requested exceptions is not the result of an illegal act, and granting of the requested exceptions is consistent with the provisions of this chapter.

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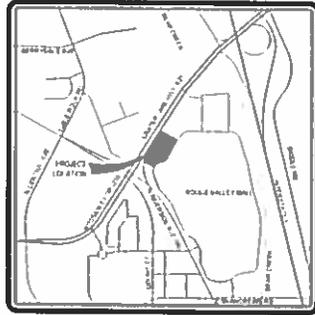
JAN 06 2015

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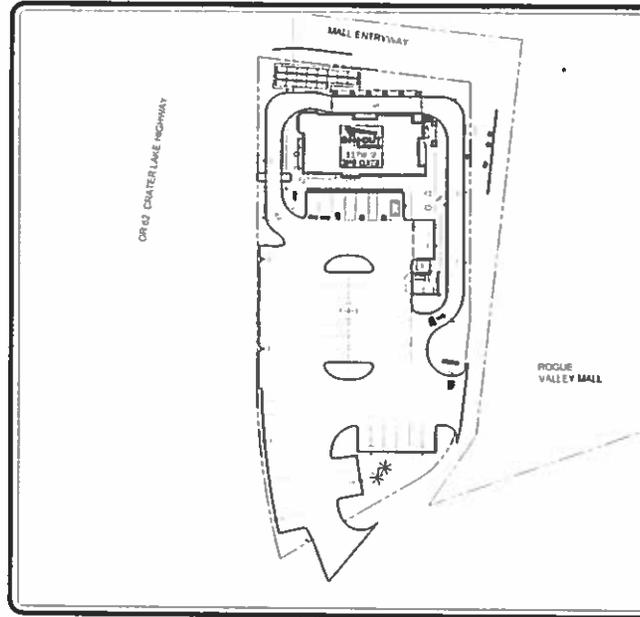
IN-N-OUT BURGER

SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION

PREPARED FOR:
IN-N-OUT BURGER
MEDFORD, OREGON



VICINITY MAP
SCALE NTS



SITE MAP
SCALE NTS

INDEX OF SHEETS

- C0.0 COVER SHEET
- C1.0 EXISTING CONDITIONS PLAN
- C2.0 SITE PLAN
- C3.0 GRADING PLAN
- C4.0 STORM PLAN
- C5.0 UTILITY PLAN
- E11.0 SITE LIGHTING PHOTOMETRIC PLAN

CITY OF MEDFORD

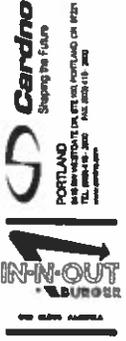
EXHIBIT # "E"

File # AC-15-002/E-15-003

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OREGON UTILITY
NOTIFICATION CENTER
1-800-332-2344



COVER SHEET
IN-N-OUT BURGER
IN-N-OUT BURGER
MEDFORD, OREGON



PROJECT NO.	11400246
DATE	12/20/14
DESIGNED BY	MSJ
DRAWN BY	KFC
CHECKED BY	MSJ

COVER SHEET

C0.0

CITY OF MEDFORD

EXHIBIT #

File # AC-15-002/E-15-003

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15 of 15 - 11/16/2014 10:00 AM - 11/16/2014 10:00 AM

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A.L.T.A./A.C.S.M. LAND TITLE SURVEY
LOCATED IN THE SOUTH-EAST ONE-QUARTER SECTION 17
TOWNSHIP 37 SOUTH, RANGE 2 WEST, WILLAMETTE MERIDIAN,
CITY OF MEDFORD, JACKSON COUNTY, OREGON
DATE OF FIELD WORK: NOVEMBER 9, 2014



STORM DRAINAGE TABLE

Table with 2 columns listing storm drainage details such as stationing, pipe size, and material.

EASEMENT NOTES

- List of easement notes including utility easements and other property encumbrances.

DATUM

Information regarding the datum used for the survey, including NAD 83 and UTM coordinates.

BASIS OF BEARINGS

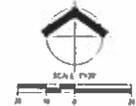
Statement regarding the basis of bearings used in the survey, such as magnetic or true north.

LEGEND

- Legend defining symbols for various features: utility lines, easements, property boundaries, and other survey markers.

SANITARY SEWER TABLE

Table with 2 columns listing sanitary sewer details such as stationing, pipe size, and material.



Page 29

EXISTING CONDITIONS
IN-N-OUT BURGER
IN-N-OUT BURGER
MEDFORD, OREGON



PROJECT NO: 11080200
DATE: 12/09/14
DESIGNED BY: BRS
DRAWN BY: JRG
CHECKED BY: BCS

EXISTING

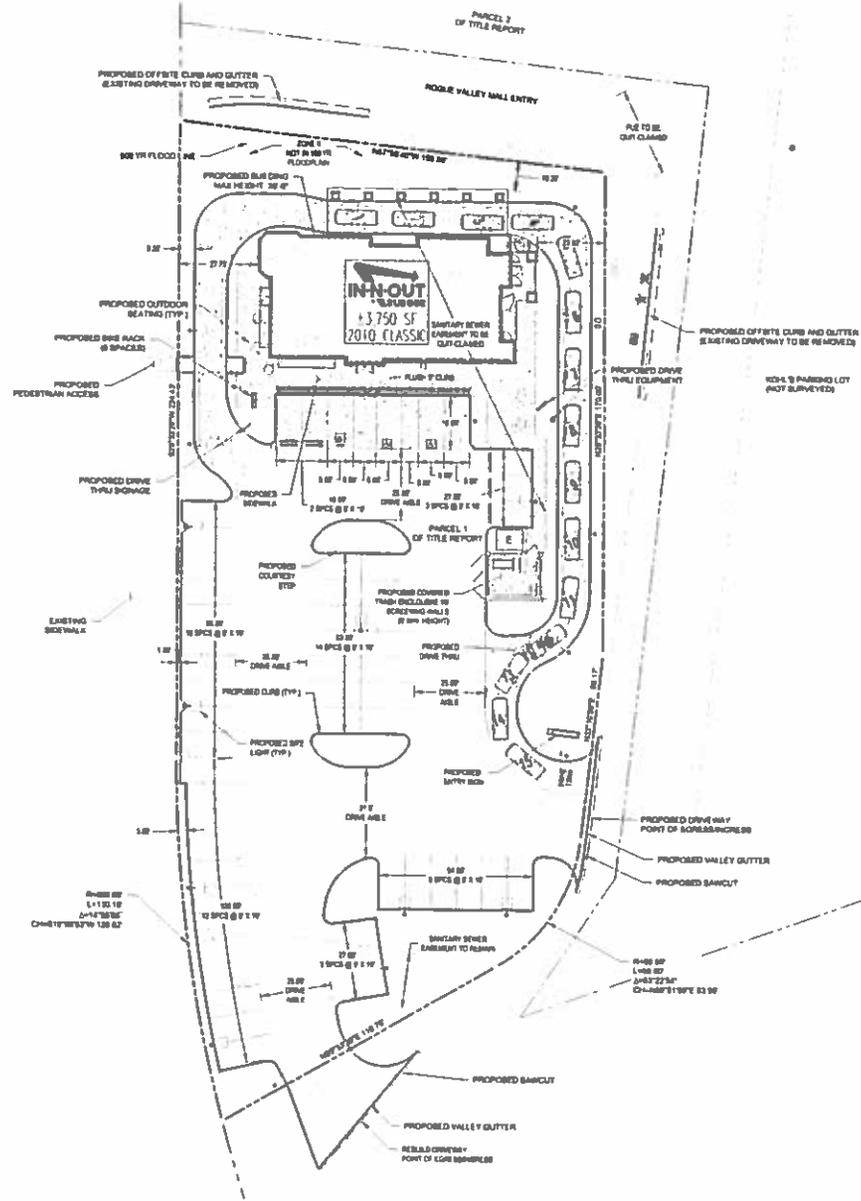
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CITY OF MEDFORD

EXHIBIT # 11F11

File # AC-15-002/E-15-003

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LEGEND table with symbols for existing and proposed lines, walls, and materials.

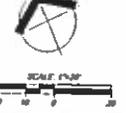
SITE INFORMATION table with fields for Total Lot Area, Building Area, and Building Height.

SITE PARKING STATISTICS table detailing parking stalls, compact stalls, and other parking metrics.

- NOTES list of 5 items providing additional site details and construction requirements.

LEGAL DESCRIPTION

Detailed legal description of the parcels, including bearings, distances, and area calculations for Parcel 1 and Parcel 2.

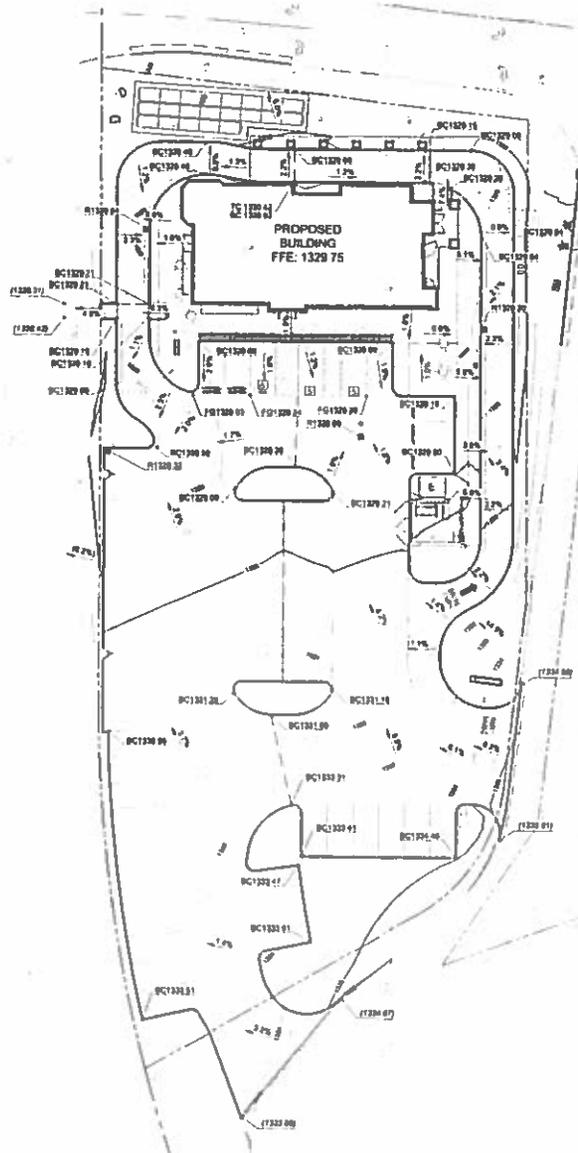


CITY OF MEDFORD EXHIBIT # 166 File # AC-15-003/E-15003 1661

SITE PLAN IN-N-OUT BURGER IN-N-OUT BURGER MEDFORD, OREGON

PROJECT INFORMATION table with fields for Project No, Date, Issued By, Drawn By, and Checked By.

SITE PLAN



LEGEND

---	EXISTING BOUNDARY
---	PROPOSED SANITARY LINE
---	PROPOSED CURB
---	PROPOSED ROAD LINE
---	PROPOSED FLOOR LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR

ADA NOTE

PAVEMENT IN ADA PROPOSED AREAS TO BE 2% MAX GRADE IN ANY DIRECTION

ABBREVIATIONS

EL	ELEVATION AT FINISH GRADE
BL	PROPOSED BOTTOM OF CURB
BL	PROPOSED BOTTOM OF CURB
CL	PROPOSED TOP OF CURB
GR	GRASS
ST	STREET

Cardno
Shaping the Future

IN-N-OUT BURGER
MEDFORD, OREGON

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GRADING PLAN
IN-N-OUT BURGER
IN-N-OUT BURGER
MEDFORD, OREGON



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OREGON UTILITIES
NOTICE ACTION CENTER
1-800-332-2544



CITY OF MEDFORD

SCALE 1"=10'

PROJECT NO: 14-00214
DATE: 12/15/14
DESIGNED BY: BLS
DRAWN BY: JRL
CHECKED BY: BLS

GRADING

C3.0

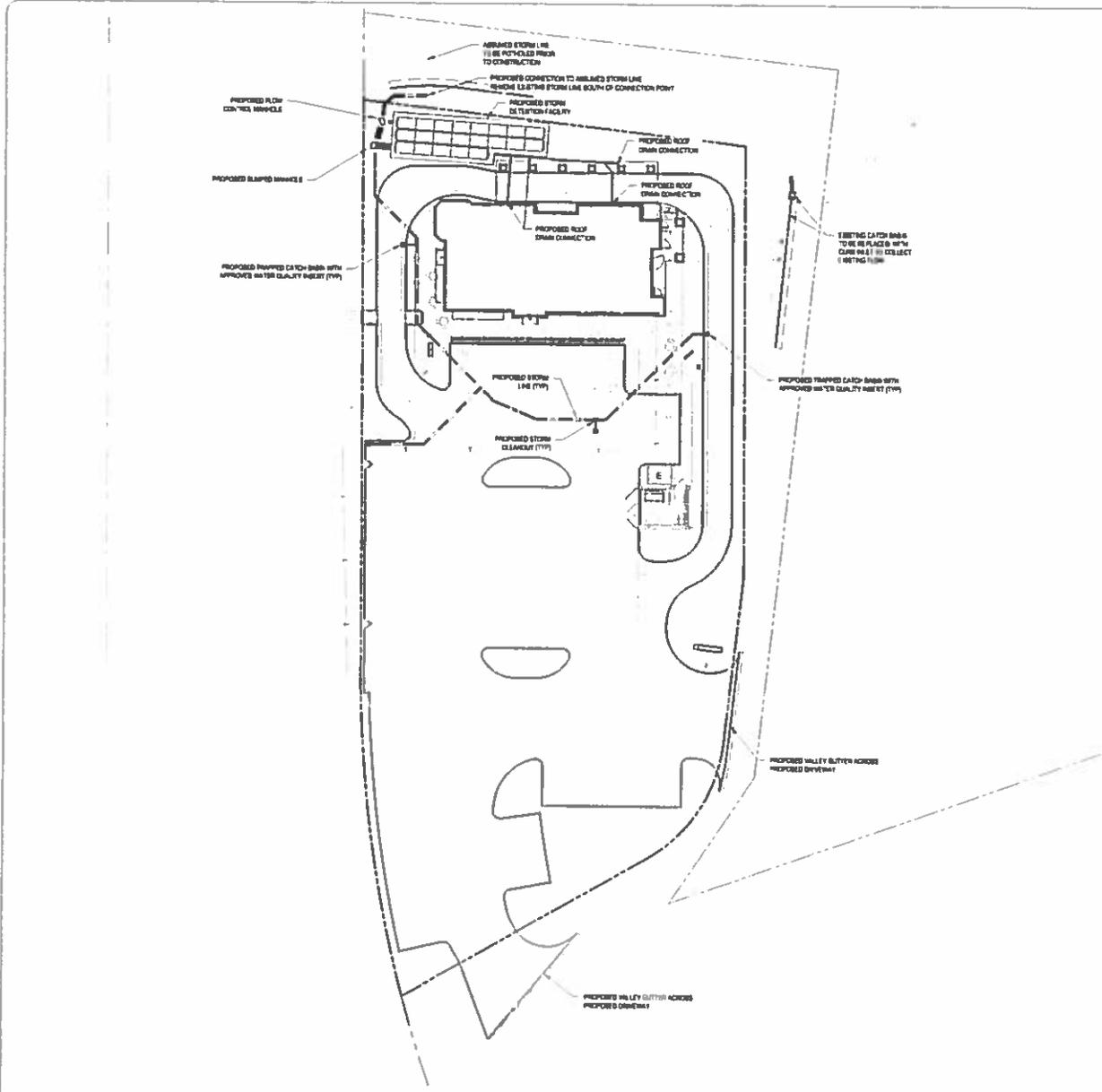
EXHIBIT # 11
File # AC-15-003/E-15-003
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LEGEND

- EXISTING ROW LINE
- EXISTING LOT LINE
- EXISTING CENTERLINE
- PROPOSED SIDEWALK LINE
- EXISTING STORM LINE
- EXISTING EXISTING STORM LINE
- EXISTING SANITARY LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- PROPOSED SANITARY LINE
- PROPOSED STORM DRAINAGE
- EXISTING TRAPPED CATCH BASIN
- EXISTING CATCH BASIN
- EXISTING CATCH PILE
- EXISTING STORM DRAIN MANHOLE
- EXISTING FINE HYDRANT
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED STORM CLEANOUT
- PROPOSED SANITARY DRAIN
- PROPOSED GROUND WATER INTERCEPTION
- PROPOSED FDC
- PROPOSED WATER METER
- PROPOSED WATER VALVE

ALL PRIVATE STORM AND SANITARY CONNECTIONS NOT MADE AT A STRUCTURE TO BE A PIPE CONNECTION



ATTENTION: CHECK FOR ANY CLAIMS YOU TO FOLLOW RULES ADOPTED BY THE CORPORATION NOTIFICATION CENTER. THESE RULES ARE IN EFFECT FROM JANUARY 1, 2015 THROUGH JANUARY 31, 2016. YOU WILL OBTAIN COPIES OF THE RULES BY CALLING THE CENTER AND THE TELEPHONE NUMBER (503) 242-7467.

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IN-N-OUT BURGER
600 BURN AMBLES

STORM PLAN
IN-N-OUT BURGER
IN-N-OUT BURGER
MEDFORD, OREGON



PROJECT NO: 11488708
DATE: 12/23/14
DESIGNED BY: BRS
DRAWN BY: JAL
CHECKED BY: JLT

STORM PLAN

C4.0

EXHIBIT # **J**
File # **AC-15-002/E-15-003**
1061

19

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Architecture / Development
14001 Quorum Drive
Suite 300
Dulles VA 22025
Tel: 703.239.0000
Fax: 703.239.0000
www.gia.com

D-Series Size 1 LED Area Luminaire

US A1 LED 600 FOR A.A. 100 MV

Introduction
The new lighting fixture is designed to be used in a variety of applications. It is a compact, high-efficiency luminaire that provides excellent performance in a wide range of environments. The fixture is designed to be used in a variety of applications, including outdoor lighting, parking lots, and street lighting.

Specifications

Item	Description	Quantity	Unit	Notes
1	D-Series Size 1 LED Area Luminaire	1	EA	

Photometric Data

Beam Angle	Beam Diameter (ft)	Beam Area (sq ft)	Footcandle (fc)
30°	3.14	7.75	12.77
45°	4.71	13.96	7.16
60°	6.28	24.80	3.91
75°	7.85	37.99	2.55
90°	9.42	53.47	1.87
105°	10.99	71.24	1.41
120°	12.56	91.30	1.10
135°	14.14	113.65	0.88
150°	15.71	138.28	0.72
165°	17.28	165.19	0.61
180°	18.85	194.38	0.51

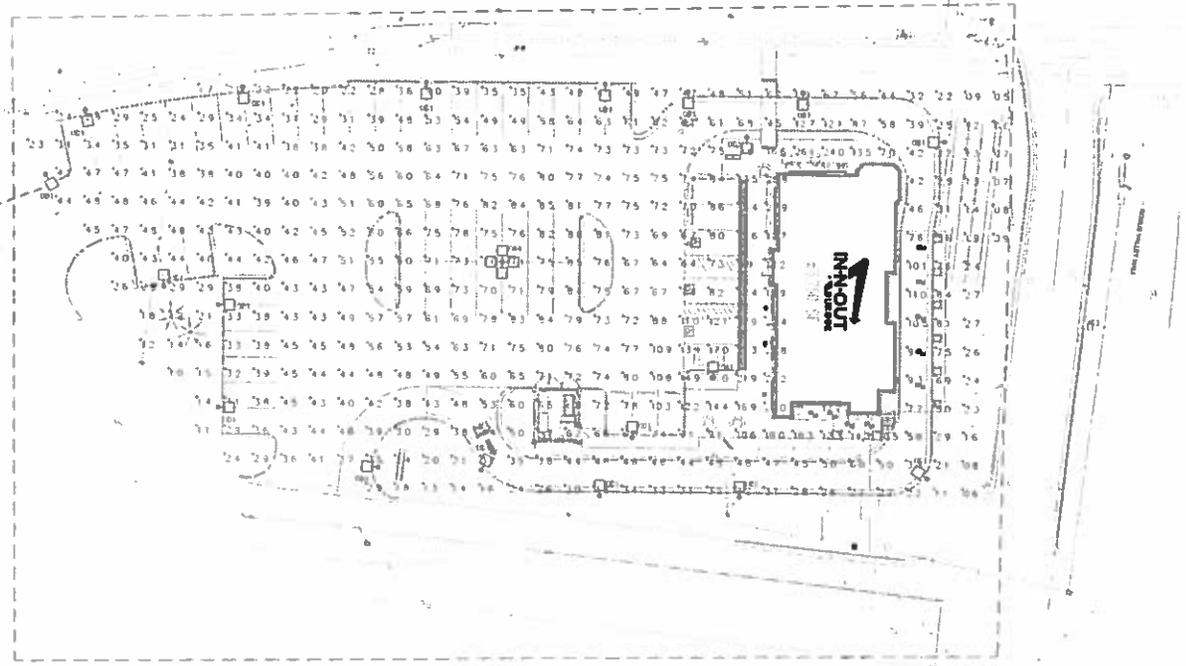
PHOTOMETRIC NOTES

1. THIS PHOTOMETRIC DATA WAS GENERATED USING THE LUMINAIRE DATA CENTER SOFTWARE. THE SOFTWARE DOES NOT ACCOUNT FOR THE EFFECTS OF LIGHT LOSS DUE TO DIRT ON THE LUMINAIRE OR THE EFFECTS OF LIGHT LOSS DUE TO LIGHT POLLUTION. THE SOFTWARE DOES NOT TAKE INTO ACCOUNT THE EFFECTS OF LIGHT POLLUTION ON THE LUMINAIRE. THE SOFTWARE DOES NOT TAKE INTO ACCOUNT THE EFFECTS OF LIGHT POLLUTION ON THE LUMINAIRE.

2. THE LUMINAIRE DATA CENTER SOFTWARE DOES NOT ACCOUNT FOR THE EFFECTS OF LIGHT LOSS DUE TO DIRT ON THE LUMINAIRE OR THE EFFECTS OF LIGHT LOSS DUE TO LIGHT POLLUTION. THE SOFTWARE DOES NOT TAKE INTO ACCOUNT THE EFFECTS OF LIGHT POLLUTION ON THE LUMINAIRE. THE SOFTWARE DOES NOT TAKE INTO ACCOUNT THE EFFECTS OF LIGHT POLLUTION ON THE LUMINAIRE.

SITE LIGHTING FIXTURE SCHEDULE

TYPE	FIXTURE ACCTURE	NO. EACH	CLAMP	DESCRIPTION
CAL	OUTDOOR LIGHTING FIXTURE, 100 WATT, 120 VOLT, 5000 LUMENS, 120 DEGREE BEAM ANGLE, 1200 MM H, 1200 MM W, 1200 MM D, 1200 MM H, 1200 MM W, 1200 MM D	200	1/2" PHENOLIC	FOR WHOLE PARK, 1200 LED LIGHTING FIXTURE, 1200 MM H, 1200 MM W, 1200 MM D
COL	1200 WATT, 120 VOLT, 5000 LUMENS, 120 DEGREE BEAM ANGLE, 1200 MM H, 1200 MM W, 1200 MM D, 1200 MM H, 1200 MM W, 1200 MM D	200	1/2" PHENOLIC	FOR WHOLE PARK, 1200 LED LIGHTING FIXTURE, 1200 MM H, 1200 MM W, 1200 MM D
CLM	1200 WATT, 120 VOLT, 5000 LUMENS, 120 DEGREE BEAM ANGLE, 1200 MM H, 1200 MM W, 1200 MM D, 1200 MM H, 1200 MM W, 1200 MM D	200	1/2" PHENOLIC	FOR WHOLE PARK, 1200 LED LIGHTING FIXTURE, 1200 MM H, 1200 MM W, 1200 MM D
10	1200 WATT, 120 VOLT, 5000 LUMENS, 120 DEGREE BEAM ANGLE, 1200 MM H, 1200 MM W, 1200 MM D, 1200 MM H, 1200 MM W, 1200 MM D	100	1/2" PHENOLIC	FOR WHOLE PARK, 1200 LED LIGHTING FIXTURE, 1200 MM H, 1200 MM W, 1200 MM D
11	1200 WATT, 120 VOLT, 5000 LUMENS, 120 DEGREE BEAM ANGLE, 1200 MM H, 1200 MM W, 1200 MM D, 1200 MM H, 1200 MM W, 1200 MM D	100	1/2" PHENOLIC	FOR WHOLE PARK, 1200 LED LIGHTING FIXTURE, 1200 MM H, 1200 MM W, 1200 MM D
12	1200 WATT, 120 VOLT, 5000 LUMENS, 120 DEGREE BEAM ANGLE, 1200 MM H, 1200 MM W, 1200 MM D, 1200 MM H, 1200 MM W, 1200 MM D	100	1/2" PHENOLIC	FOR WHOLE PARK, 1200 LED LIGHTING FIXTURE, 1200 MM H, 1200 MM W, 1200 MM D



LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

• High efficiency LED technology
• Long life span
• Low maintenance
• Easy installation
• Wide beam angle
• Compact design
• High lumen output
• Low power consumption
• High reliability
• High performance
• High quality
• High durability
• High safety
• High security
• High visibility
• High contrast
• High resolution
• High detail
• High accuracy
• High precision
• High speed
• High performance
• High quality
• High durability
• High safety
• High security
• High visibility
• High contrast
• High resolution
• High detail
• High accuracy
• High precision
• High speed

Photometric Data

Beam Angle	Beam Diameter (ft)	Beam Area (sq ft)	Footcandle (fc)
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105°	10.99	71.24	1.41
120°	12.56	91.30	1.10
135°	14.14	113.65	0.88
150°	15.71	138.28	0.72
165°	17.28	165.19	0.61
180°	18.85	194.38	0.51

01 SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

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EXHIBIT # 15
File # Ac-15-002/E-15-003
10/1

PROFESSIONAL SEAL

PHOTOMETRIC PLAN

IN-N-OUT BURGER

MEDFORD OREGON

MEDFORD, OR

IN-N-OUT BURGER

GOD BLESS AMERICA

PROJECT NUMBER
100000

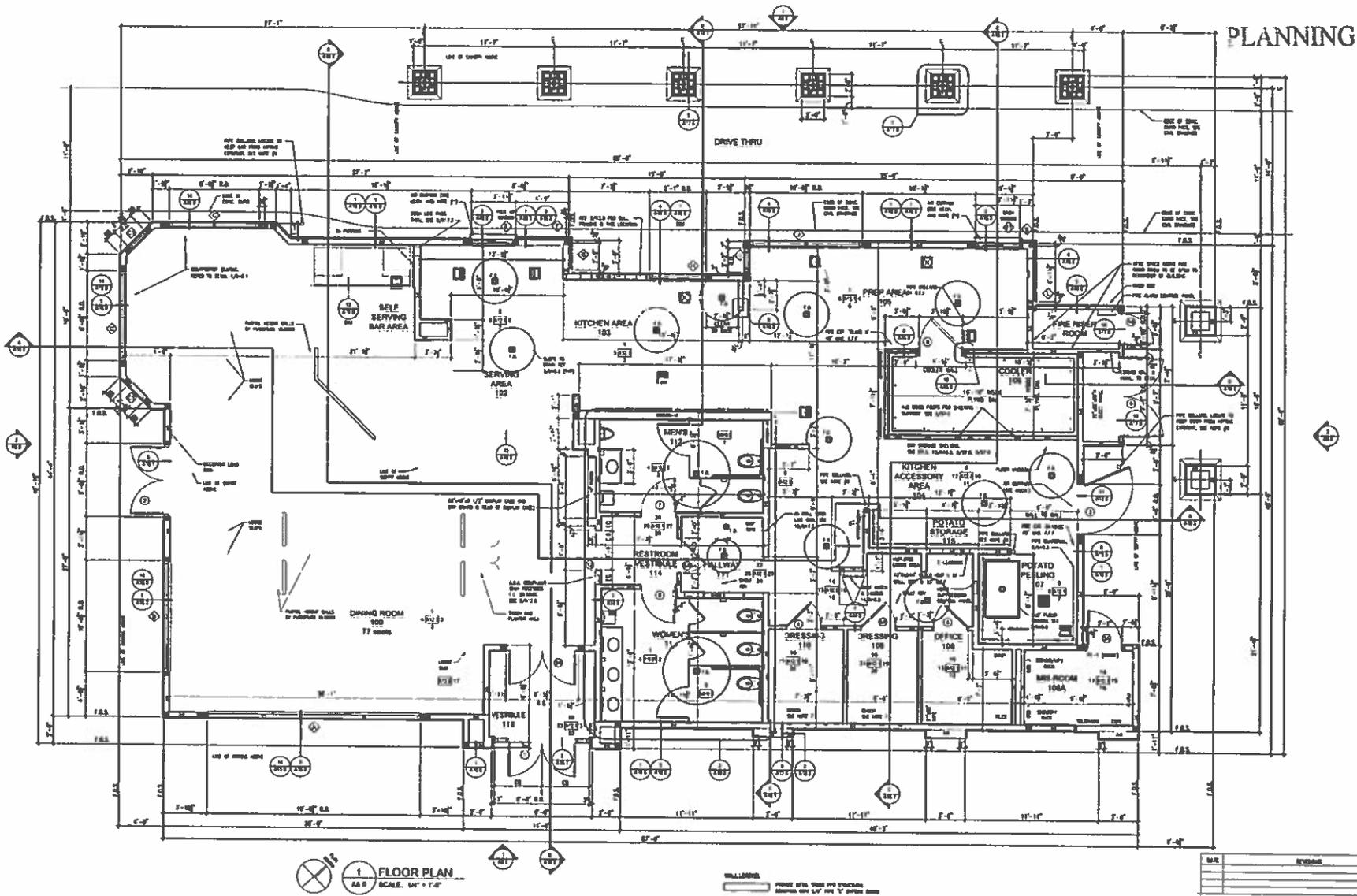
SHEET TITLE
SITE LIGHTING PHOTOMETRIC PLAN

SHEET NUMBER
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PRELIMINARY SITE PLAN LAYOUT
(1968 CRATER LAKE HWY) MEDFORD, OR



MEDFORD, OR
1968 CRATER LAKE HWY

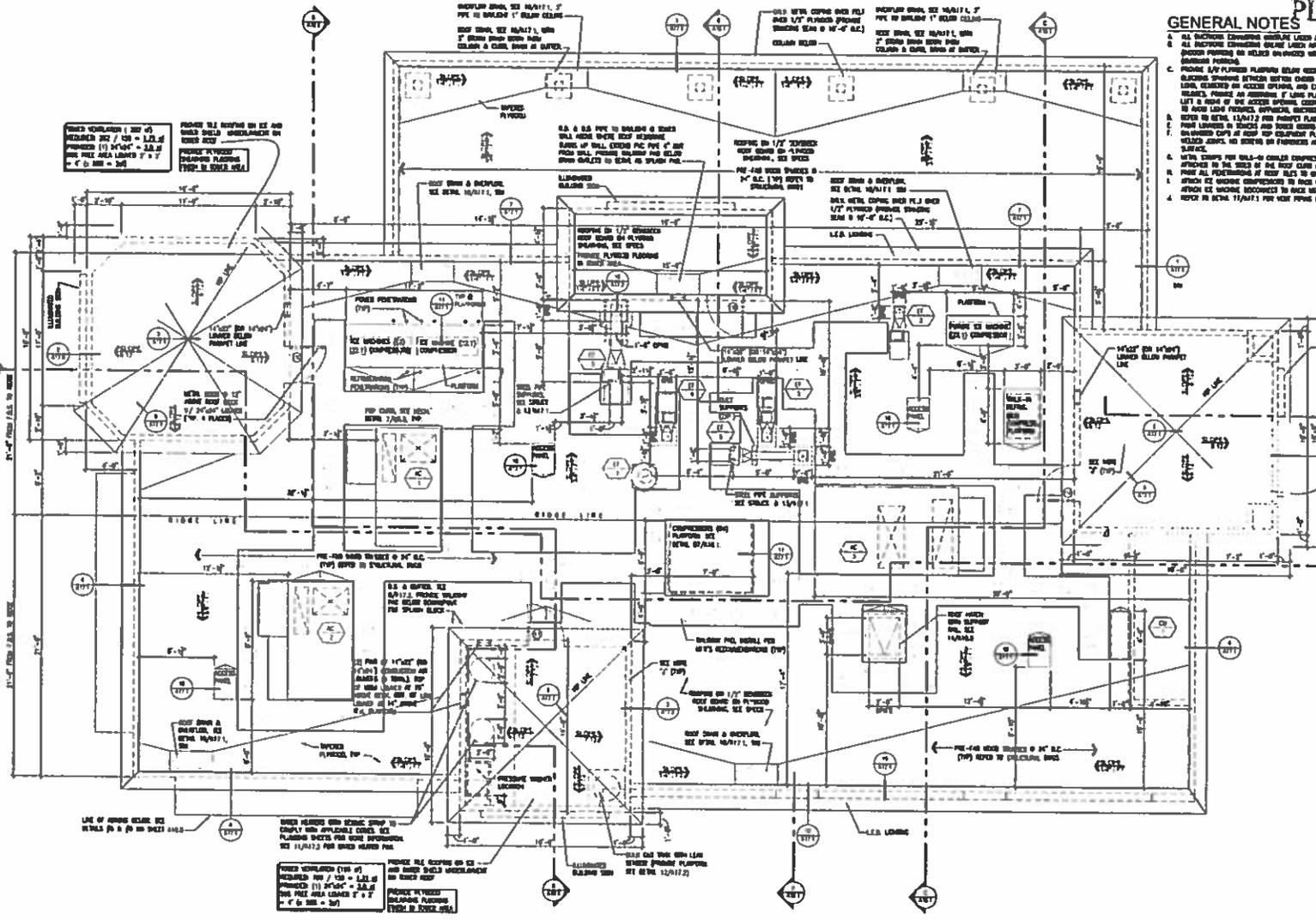
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PLANNING DEPT.

- GENERAL NOTES**
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 - ALL STRUCTURE CONSTRUCTION UNLESS NOTED OTHERWISE SHALL BE CONSTRUCTED PER ALL APPLICABLE CODES AND SPECIFICATIONS UNLESS NOTED OTHERWISE.
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PRELIMINARY SITE PLAN LAYOUT
(1968 CRATER LAKE HWY) MEDFORD, OR



GOO BLESS AMERICA
13102 HAMBURGER LANE
BALDWIN PARK, CA 91706

ROOF PLAN

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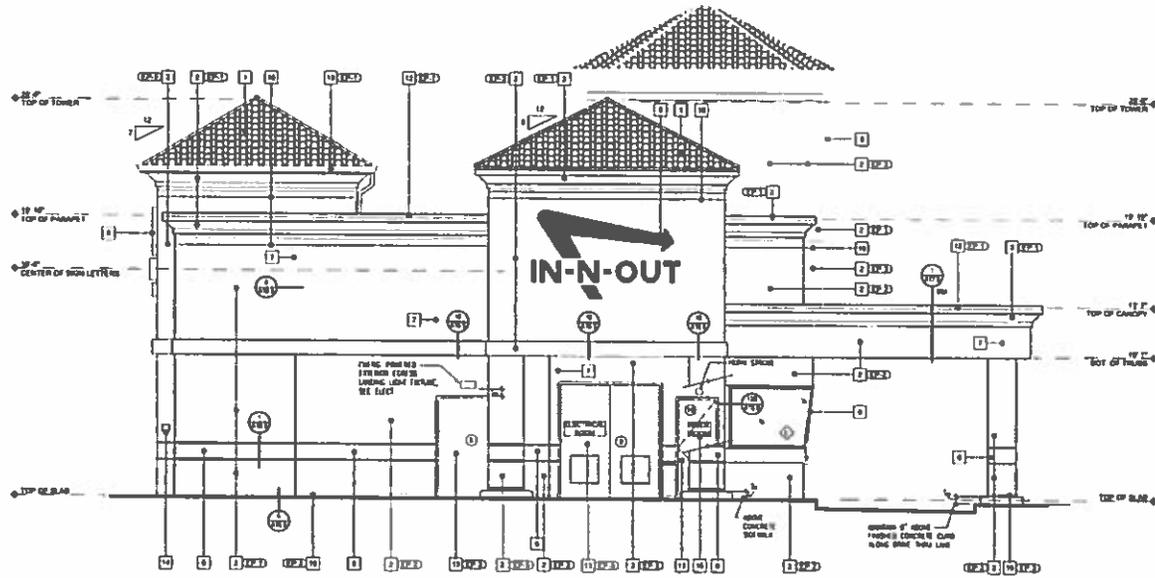


MEDFORD, OR
1968 CRATER LAKE HWY

NO. OR, MEDFORD
1968 CRATER LAKE HWY - SF
FUEL GAS STATION SITE DEMO

EXHIBIT # 14
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23



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

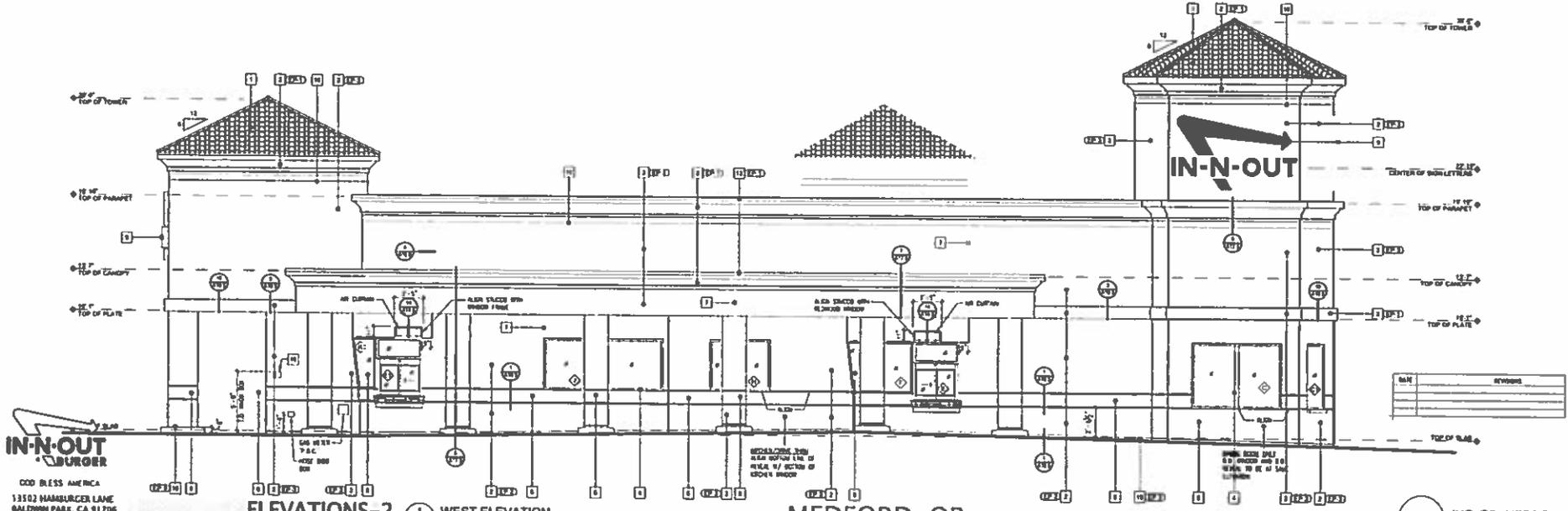
KEY NOTES

1. TILE ROOF: LEADLE ROOFING PRODUCTS, CAPSTRONG STYLE TUS TERRAZZITA, PROVIDE 5/8" TOP AND PAINT TO MATCH TILE
2. STUCCO: MEDIUM SAND FLAT TEXTURE / FINISH
3. ALUMINUM STOREFRONT DOORS: CLEAR ANODIZED ALUMINUM
4. ALUMINUM WINDOWS: CLEAR ANODIZED ALUMINUM
5. ANCHORS: PVC COATED WIRE OR INSTANT GRADICABLE PVC W/STRA ANCHORS WITH CUSTOM PWS 1/2" FREE ENDED TO WHITE COLOR BY CODE BY WHITE CEMENT RED POLY 1/2" DIA. PLANE INSTANT PER 1A-16-16-16 (MFR PWS) PROVIDE FLORESCENT BACKLIGHTING. SEE DETAIL 10-11-12
6. STUCCO BAND PAINT: 6" W. INTERIOR COLOR CEMENT PLASTER TO MATCH PAINT (EP-AL 1" ALUMINUM REVEAL TOP AND BOTTOM) (DO NOT PAINT REVEALS) SEE DETAIL 8-10-11 & 13-11-12
7. 1/2" WIDE W/AL. FINE SCREENED: SEE DETAIL 10-11-12 ALUM. CONTROL JOINTS ON DRIVE-THRU CANOPY / FLUSH WITH CONTROL JOINTS ON BOTTOM OF SOFFIT
8. 1/2" OPEN ALUMINUM WINDOWS 1/2" ALUMINUM 6-6-10 GLASS JOINTS TO HAVE POLISHED EDGES WITH GLASS JOINTS. PAINT WOOD FRAME TOP
9. 1/2" IN-CUT GLASS ALUMINUM 1/2" OPEN W/AL. SEPARATE PAINT
10. 1/2" S.D. DOUBLE BAND LIGHTING: SEPARATE PAINT
11. BUILDING ADDRESS NUMBERS TO BE 12" HIGH 1/2" MIN. MIN. STROKE WIDTH OF 3/8" HIGH PER THE DEPARTMENT AND CITY. ADDRESS NUMBERS TO BE 12" HIGH 1/2" MIN. MIN. STROKE WIDTH OF 3/8" HIGH PER THE DEPARTMENT AND CITY. ADDRESS NUMBERS TO BE 12" HIGH 1/2" MIN. MIN. STROKE WIDTH OF 3/8" HIGH PER THE DEPARTMENT AND CITY. ADDRESS NUMBERS TO BE 12" HIGH 1/2" MIN. MIN. STROKE WIDTH OF 3/8" HIGH PER THE DEPARTMENT AND CITY.
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16. 1/2" HIGH SIGN LETTERS: 1/2" HIGH SIGN LETTERS TO BE 1/2" HIGH 1/2" MIN. MIN. STROKE WIDTH OF 3/8" HIGH PER THE DEPARTMENT AND CITY. ADDRESS NUMBERS TO BE 12" HIGH 1/2" MIN. MIN. STROKE WIDTH OF 3/8" HIGH PER THE DEPARTMENT AND CITY.
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18. 1/2" HIGH SIGN LETTERS: 1/2" HIGH SIGN LETTERS TO BE 1/2" HIGH 1/2" MIN. MIN. STROKE WIDTH OF 3/8" HIGH PER THE DEPARTMENT AND CITY. ADDRESS NUMBERS TO BE 12" HIGH 1/2" MIN. MIN. STROKE WIDTH OF 3/8" HIGH PER THE DEPARTMENT AND CITY.
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20. 1/2" HIGH SIGN LETTERS: 1/2" HIGH SIGN LETTERS TO BE 1/2" HIGH 1/2" MIN. MIN. STROKE WIDTH OF 3/8" HIGH PER THE DEPARTMENT AND CITY. ADDRESS NUMBERS TO BE 12" HIGH 1/2" MIN. MIN. STROKE WIDTH OF 3/8" HIGH PER THE DEPARTMENT AND CITY.

EXTERIOR PAINT SCHEDULE

NO.	W/TH	COLOR	COLOR NAME
101	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
102	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
103	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
104	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
105	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
106	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
107	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
108	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
109	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
110	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
111	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
112	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
113	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
114	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
115	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
116	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
117	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
118	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
119	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE
120	CLASH EDWARDS	EYVH 88 - SP 114	BONE CHINA WHITE

Page 38



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

IN-N-OUT BURGER
 GOD BLESS AMERICA
 13102 HAMBURGER LANE
 GARDEN PARK, CA 91706

MEDFORD, OR
 1968 CRATER LAKE HWY

CITY OF MEDFORD
 11968 CRATER LAKE HWY - SP
 SHELL GAS STATION SITE DEMO

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2 SOUTH ELEVATION
 SCALE 1/4" = 1'-0"



1 EAST ELEVATION
 SCALE 1/4" = 1'-0"

ELEVATIONS-1

MEDFORD, OR
 1968 CRATER LAKE HWY



IN-N-OUT
 BURGER

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DATE	BY

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 SHELL GAS STATION SITE DEMO

09-30-14

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2 NORTH ELEVATION TYPICAL
 AS 0 SCALE: 1/4" = 1'-0"



ELEVATIONS-2 1 WEST ELEVATION
 AS 0 SCALE: 1/4" = 1'-0"

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PRELIMINARY SITE PLAN LAYOUT
 (1968 CRATER LAKE HWY) MEDFORD, OR

NO.	REVISION



IN-N-OUT
 BURGERS

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 2 of 2

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 (1968 CRATER LAKE HWY) - SP
 (SHELL GAS STATION SITE DEMO)

09-10-14

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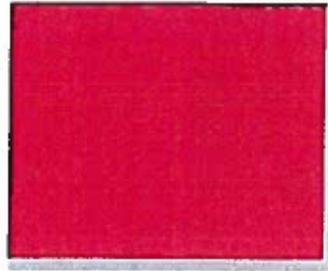
COLORS AND MATERIALS

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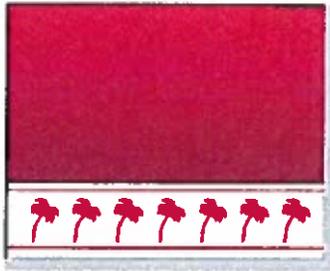
COLOR - EP-1,2,3

DUNN EDWARDS -
DEW339 BONE CHINA



COLOR - EP-4

DUNN EDWARDS -
W10-221- SAFETY RED



MATERIAL - 5

AWNING WITH PVC COATED WICK
RESISTANT ERADICABLE POLYESTER
AND IN-N-OUT CUSTOM COLORS



MATERIAL - 1

EAGLE TILE
STYLE CAPISTRANO
NAME TERRA COTTA 3125



IN-N-OUT BURGER RESTAURANT

1968 CRATER LAKE HWY
MEDFORD, OR 97504

CITY OF MEDFORD

EXHIBIT # "P"

File # AC-15-003/E-15-003

lofi

LANDSCAPE PLANT AND MATERIALS LEGEND

TREES	SIZE	CITY	MULTIPLIER (H x W) / WATER USE
ACER RUBRUM SCARLET SCARLET SEPTIFOLIUM MAHLE	2" CAL. 18" DB H 15' SHADY	7	47" x 20" W / MODERATE FINE RESISTANT
CANNABIS BETULA PAVUS FOW FINE	2" CAL. 18" DB H 15' SHADY	18	33" x 15" W / MODERATE
FRAXUS BANCANA JACOBUS	2" CAL. 18" DB H 15' SHADY	5	25" x 15" W / MODERATE FINE RESISTANT
EXISTING DECIDUOUS TREE TO REMAIN	AS NOTED		SYMBOL INDICATES APPROXIMATE CALIBER OF CANOPY FILL DENSITY
EXISTING EVERGREEN TREE TO REMAIN	AS NOTED		SYMBOL INDICATES APPROXIMATE CALIBER OF CANOPY FILL DENSITY

SHRUBS & ACCENTS	SIZE	CITY	MULTIPLIER (H x W) / WATER USE
MAHLE PAVUS CORNUS E. CLAMM	5" CAL. 4" O.C.	81	3" H x 8" W / LOW EVERGREEN FINE RESISTANT
HYDRANGEA PAVUS	5" CAL. 4" O.C.	17	3" H x 8" W / LOW EVERGREEN FINE RESISTANT
FRAXUS BANCANA JACOBUS	5" CAL. 5" O.C.	96	3" H x 8" W / LOW EVERGREEN
COTONEASTER DAMMER CORAL BELLA	3" CAL. 4" O.C.	103	2" H x 8" W / VERY LOW EVERGREEN FINE RESISTANT
ROSA PRACINZA	3" CAL. 4" O.C.	116	3" H x 8" W / MODERATE FINE RESISTANT
BULBUS & GLENNIS	3" CAL. 3" O.C.	43	3" H x 8" W / MODERATE EVERGREEN
FEUNIS FLAMMULIFLORA	3" CAL. 3" O.C.	85	3" H x 8" W / LOW
ROSA PRACINZA	3" CAL. 3" O.C.	57	2" H x 8" W / LOW EVERGREEN
MAHLE PAVUS CORNUS E. CLAMM	3" CAL. 3" O.C.	20	2" H x 8" W / LOW EVERGREEN
FEUNIS FLAMMULIFLORA	3" CAL. 3" O.C.	84	17" H x 12" W / LOW EVERGREEN FINE RESISTANT

GRASSES	SIZE	CITY	MULTIPLIER (H x W)
JAMES RUSSELL	1" CAL. 1" O.C.	1195 SF	12" H x 8" W / LOW EVERGREEN
MAHLE PAVUS CORNUS E. CLAMM	1" CAL. 1" O.C.	89 SF	18" H x 18" W / LOW FINE RESISTANT
MAHLE PAVUS CORNUS E. CLAMM	1" CAL. 1" O.C.	1136 SF	12" H x 8" W / LOW EVERGREEN FINE RESISTANT
MAHLE PAVUS CORNUS E. CLAMM	1" CAL. 1" O.C.	588 SF	11" H x 11" O.C. SF

GENERAL NOTES: LANDSCAPE PLAN

1. LANDSCAPE PLANTING SHALL COMPLY TO THE STANDARDS ESTABLISHED UNDER CITY OF MEDFORD PLANNING DEPT.
2. TREE HEIGHTS SHALL BE MEASURED TO THE HIGHEST BRANCH TO BE MAINTAINED. SOIL VOLUME, NEW & EXISTING TREES SHALL HAVE AT LEAST TWO (2) LBS OF SOIL VOLUME PER EACH INCH (1) SOIL AND 75% OF MATURE TREE CANOPY.
3. TREE BANKS SHALL BE INSTALLED FOR ALL TREES LOCATED WITHIN THREE (3) FEET OF ANY PUBLIC RIGHT OF WAY OR PRIVATE SURFACE.
4. TREE PROTECTION: EXISTING TREES TO BE PRESERVED SHALL BE FULLY PROTECTED BY FENCING AT THE CANOPY EDGE FOR THE PERIOD OF PROTECTING THE TREE FROM CONSTRUCTION AND SOIL COMPACTION DURING CONSTRUCTION. ALL PLANTING SHALL BE COMPLETED WITHIN THE DRAINAGE OF EXISTING TREES SHALL BE RESTRICTED TO MANUAL LABOR. PROTECTION SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. LANDSCAPE SOIL QUALITY RESTORATION & PREPARATION PROCEDURES OUTLINED BY MEDFORD CODE SUBSECTION 15.09.030 SHALL BE FULLY FOLLOWED. THE FOLLOWING SHALL BE INCLUDED IN THE SUBSECTION 15.09.030:
 1. SOIL TESTS SHALL BE CONDUCTED BY THE SUBSECTION 15.09.030. ALL TESTS SHALL BE CONDUCTED BY THE SUBSECTION 15.09.030.
 2. SOIL TESTS SHALL BE CONDUCTED BY THE SUBSECTION 15.09.030.
 3. SOIL TESTS SHALL BE CONDUCTED BY THE SUBSECTION 15.09.030.
 4. SOIL TESTS SHALL BE CONDUCTED BY THE SUBSECTION 15.09.030.
 5. SOIL TESTS SHALL BE CONDUCTED BY THE SUBSECTION 15.09.030.
6. ALL EXISTING AREAS SHALL HAVE A 4" LAYER OF SHREDDED BARK MULCH.
7. ALL EXISTING AREAS SHALL BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH 1/2" PIPING AND 1/2" DRAINAGE ON THE DATE OF INSTALLATION.
8. ALL PLANT MATERIAL DELIVERED TO THE SITE SHALL MEET THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS.
9. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY SUBSTITUTIONS WITHOUT WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE REJECTED BY THE LANDSCAPE ARCHITECT AT HIS OWN RISK. THE REJECTED MATERIALS SHALL BE REJECTED WITHIN 14 DAYS OF THE DATE OF REJECTION.
10. ALL EXISTING LIMITED LANDSCAPE AREAS SHALL BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH 1/2" PIPING AND 1/2" DRAINAGE ON THE DATE OF INSTALLATION.

LANDSCAPE SUMMARY

	NO. OF PLANTS	PLANT SPECIES
TOTAL LANDSCAPE AREA (SF)	16,847 SF	
TOTAL LANDSCAPE AREA BY WATER USE (LANDSCAPE AREAS)	5,945 SF	
TOTAL LANDSCAPE AREA BY WATER USE (LANDSCAPE AREAS)	79.9%	
TOTAL SITE SIZE	41,233 SF	
TOTAL ON-SITE LANDSCAPE AREA	4,715 SF	
TOTAL ON-SITE LANDSCAPE	22%	
FRONTAGE LANDSCAPE (NO. TREES)	CRATER LAKE HWY (10)	
FRONTAGE LANDSCAPE (NO. TREES)	10	15
FRONTAGE LANDSCAPE (NO. TREES)	10	80
PARKING AREA PLANTING (NO. TREES)	105 TREES / 105 SPACES	
PARKING AREA PLANTING (NO. TREES)	105 TREES / 105 SPACES	
PARKING AREA PLANTING (NO. TREES)	105 TREES / 105 SPACES	
PARKING AREA PLANTING (NO. TREES)	105 TREES / 105 SPACES	



LANDSCAPE PLANTING PLAN IN-N-OUT BURGER IN-N-OUT BURGER MEDFORD, OREGON



PROJECT NO: 14002108 DATE: 02/20/14 DESIGNED BY: JPH DRAWN BY: JPH CHECKED BY: JPH

PLANTING PLAN

CITY OF MEDFORD EXHIBIT # Q File # Ae-15-002/E-15003 1 of 1

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JAN 06 2015

PLANNING DEPT.

MEMORANDUM



To: City of Medford
From: Atalia Raskin, PE
Water Resource Senior Project Engineer
Date: December 19, 2014
Project: In-N-Out Burger - Medford
Cardno#: 51408820
Re: Preliminary Stormwater Management Analysis

5415 SW Westgate Drive
Suite 100
Portland, Oregon 97221
USA

Phone (503) 419-2500
Fax (503) 419-2600

www.cardno.com

This memo will provide the findings of the preliminary water quality and quantity analysis for the proposed In-N-Out Burger in Medford, Oregon. The site is located at 1968 Crater Lake Hwy, Medford, Oregon.

The proposed project will follow the design standards of the City of Medford as provided within the *Rogue Valley Stormwater Quality Design Manual* revised September 2008.

Site Evaluation

The proposed project will redevelop an existing gas station into an In-N-Out Burger restaurant and associated parking lot. Stormwater from the existing site sheet flows to onsite catch basins. Stormwater runoff is conveyed to the storm sewer within the Rogue Valley Mall. The existing site does not include pollution reduction or flow control facilities.

Site soils are predominately Agate-Winlo complex with a hydrologic soil group C. Site areas in pre-developed, existing, and post-developed conditions are listed in Table 1. The proposed post-developed conditions will reduce the amount of impervious area at the site.

Table 1-1 Area Table

Development Condition	Impervious Area (ac)	Pervious Area (ac)	Total Area (ac)
Pre-Developed	0.000	1.038	1.038
Existing	0.932	0.106	1.038
Post-Developed	0.795	0.243	1.038

A Geotechnical Engineering Report was completed by Terracon Consultants, Inc. The site investigation determined groundwater at a depth of 15.5 ft. Infiltration tests were completed at a depth of 3 feet, with a clay layer starting at approximately 6 feet deep. The tested infiltration rate is 0.4 in/hour. The tested rate is very low and does not support onsite infiltration for flow control. Additionally, the sites historic land-use does not support the use of infiltration facilities.

Pollution Reduction

Flow control standards will follow Section 2.2 Pollution Reduction of *Rogue Valley Stormwater Quality Design Manual*. The water quality storm is defined as 1.0-inch in 24-hours, which captures 98% of the rainfall events. The water quality storm is assumed to adequately capture 90% of the annual precipitation. This is equal to 0.145 cfs per acre. Roof runoff does not need to be treated; the proposed roof area is 3,750 sq.-ft. Therefore, the maximum water quality treatment area is

CITY OF MEDFORD
EXHIBIT # 12
File # AC-15-002/E-5003
1058

12



0.709 acres with a peak flow for the site of 0.103 cfs. The proposed stormwater management facility is catch basin inserts. An insert will be placed within each catch basin.

Flow Control

Flow control standards will follow Section 2.3 Flow Control of *Rogue Valley Stormwater Quality Design Manual*.

Flow control is required for the 10-year storm event to release at 0.25 cfs per acre (equivalent to a 2-year storm on undeveloped land (C=0.58) with a 60-minute time of concentration using the Rational Method).

The calculated detention volume is 1,561 cf per the attached spreadsheet. Detention will be provided within StormTech Chambers. StormTech Chambers are an arch pipe surrounded by gravel. An impervious liner will surround the system to prevent infiltration.

Operation and Maintenance

An operation and maintenance form and report will be submitted with the final stormwater submittal.

Conveyance

An onsite conveyance analysis will be completed with the final stormwater submittal. The proposed project reduces the impervious site area and will provide detention storage. Therefore, the amount of runoff leaving the site will decrease in proposed conditions. Additional discussion on the destination analysis will also be completed in the final stormwater submittal.

Conclusion

Stormwater pollution reduction will be accomplished through catch basin inserts and flow control will be provided through underground detention within StormTech Chambers.

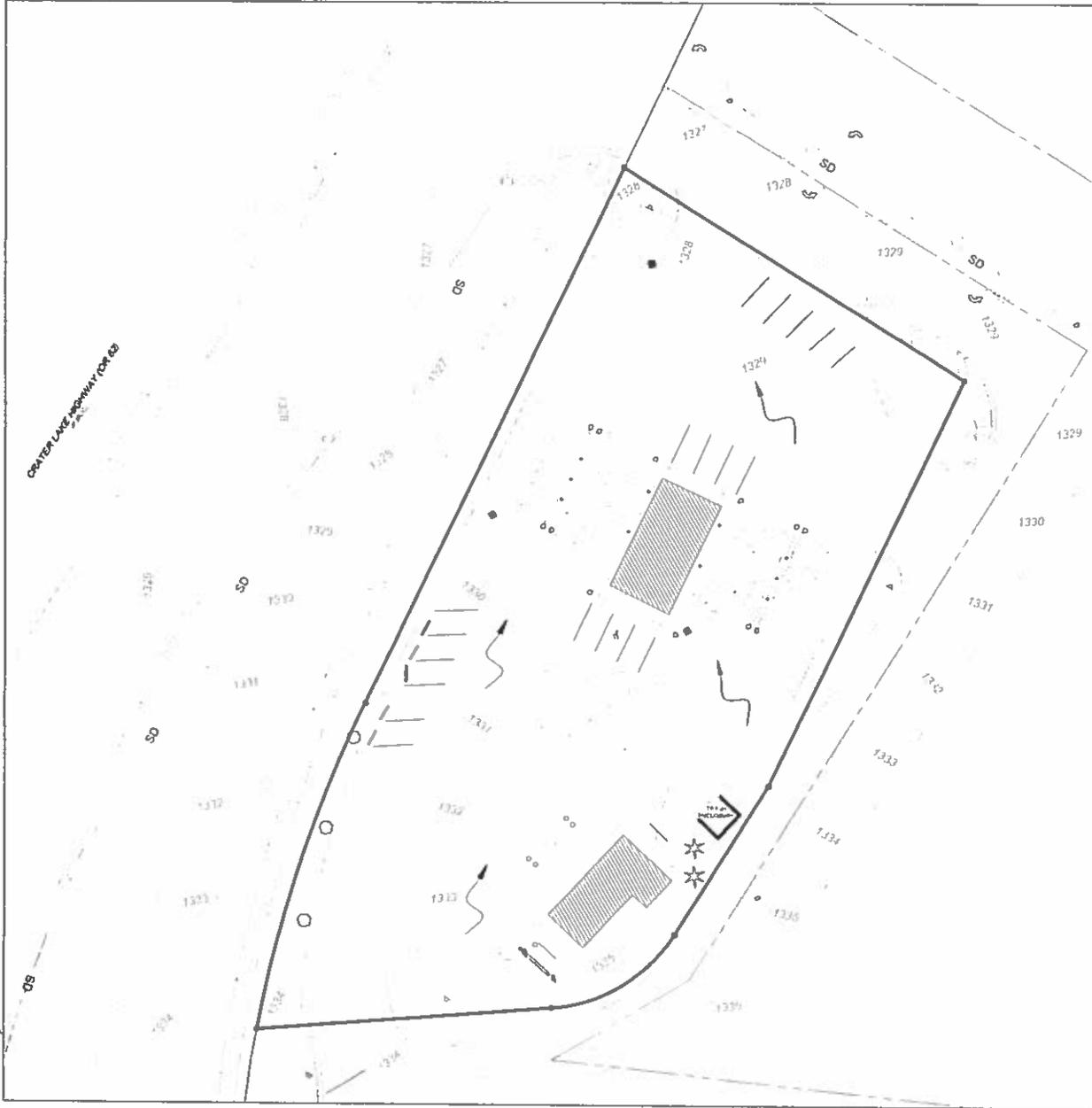
Therefore, this project will meet the intent of the standards set by the City of Medford.

Attachments:

- Exhibit 1 - Pre-Developed Basin Delineation
- Exhibit 2 - Post-Developed Basin Delineation
- USGS Hydrologic Soil Group Map
- Rational Method Detention Storage

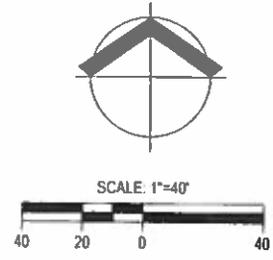
"R"
2018

12" 30' x 8'



Pre-Developed Basin Area
 Pervious Area: 1.038 acres
 Impervious Area: 0 acres
 Total Area: 1.038 acres

Existing Basin Area
 Pervious Area: 0.106 acres
 Impervious Area: 0.932 acres
 Total Area: 1.038 acres

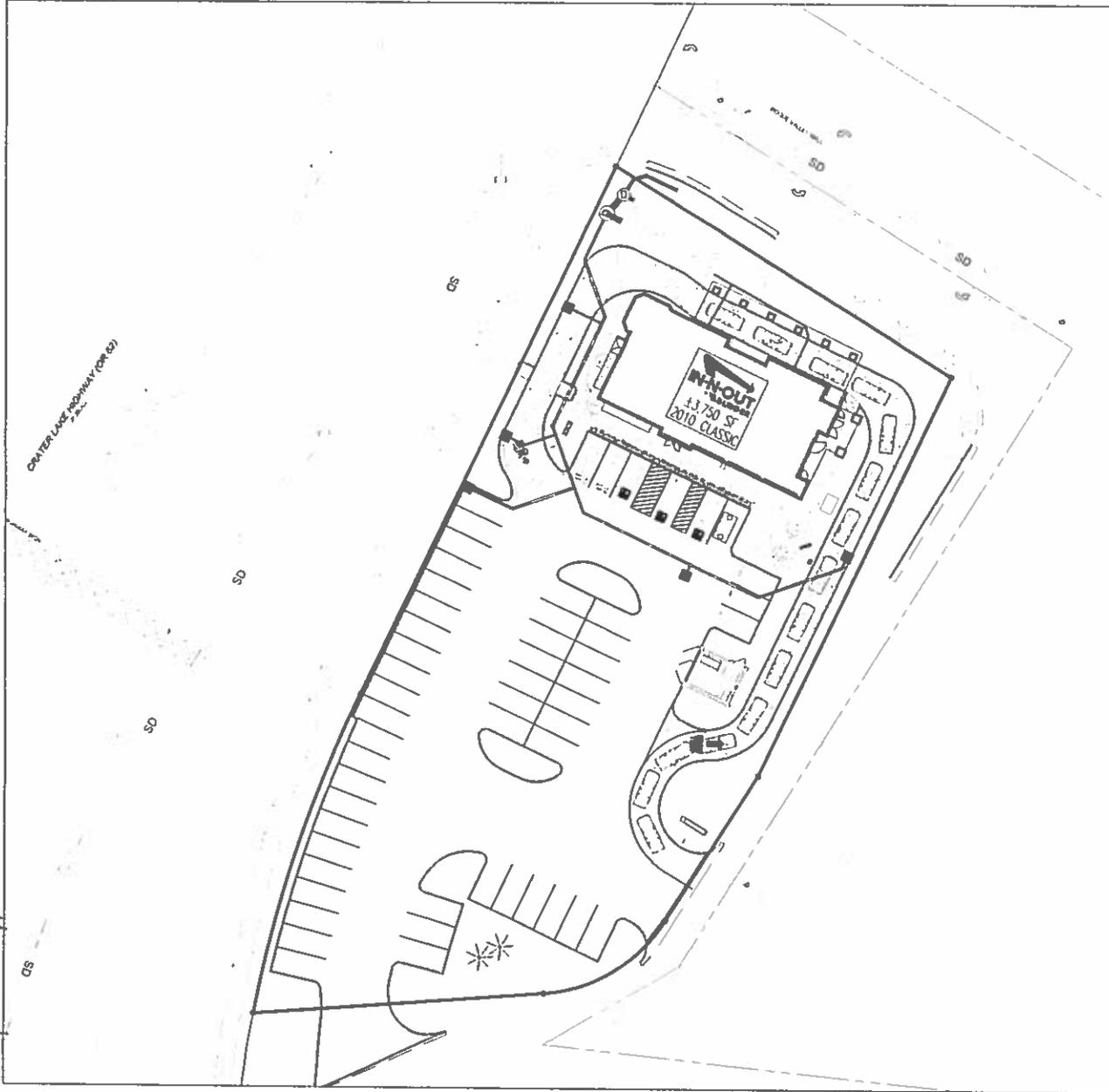


PRE-DEVELOPED BASIN DELINEATION
IN-N-OUT BURGER - MEDFORD

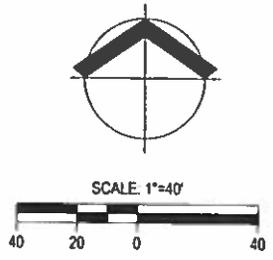
IN-N-OUT BURGER
 Medford, Oregon

PROJECT NO. 51408820
 DATE 12/19/2014
 BY ASR
 EXHIBIT 1

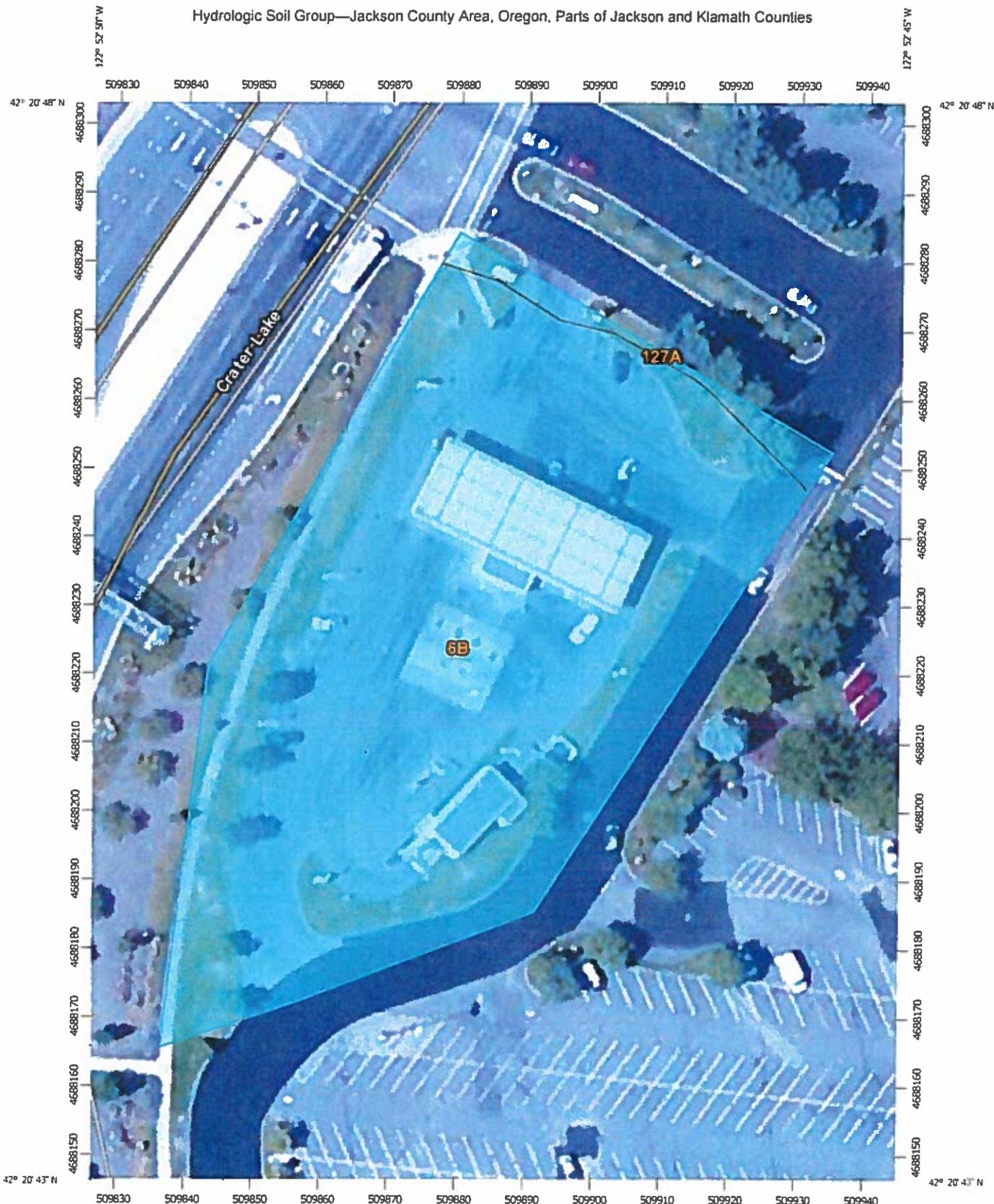
4 of 8



Post-Developed Basin Area
 Pervious Area: 0.243 acres
 Impervious Area: 0.795 acres
 Total Area: 1.038 acres



Hydrologic Soil Group—Jackson County Area, Oregon, Parts of Jackson and Klamath Counties



Map Scale: 1:763 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 10N WGS84



"R" 5 of 8



Natural Resources Conservation Service

Nator Survey

MAP LEGEND

- Area of Interest (AOI)**
 - Area of Interest (AOI)
- Soils**
 - Soil Rating Polygons**
 - A
 - A/D
 - B
 - B/D
 - C
 - C/D
 - D
 - Not rated or not available
 - Soil Rating Lines**
 - A
 - A/D
 - B
 - B/D
 - C
 - C/D
 - D
 - Not rated or not available
 - Soil Rating Points**
 - A
 - A/D
 - B
 - B/D
- Water Features**
 - C
 - C/D
 - D
 - Not rated or not available
 - Streams and Canals**
- Transportation**
 - Rails
 - Interstate Highways
 - US Routes
 - Major Roads
 - Local Roads
- Background**
 - Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Jackson County Area, Oregon, Parts of Jackson and Klamath Counties
 Survey Area Data: Version 11, Sep 15, 2014

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 28, 2010—Jul 17, 2010

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Page 48

10-1-10 10-5-8

Hydrologic Soil Group

Hydrologic Soil Group— Summary by Map Unit — Jackson County Area, Oregon, Parts of Jackson and Klamath Counties (OR632)				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
6B	Agate-Winlo complex, 0 to 5 percent slopes	C	1.5	96.9%
127A	Medford silty clay loam, 0 to 3 percent slopes	C	0.0	3.1%
Totals for Area of Interest			1.5	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

10 YEAR DETERMINATION OF REQUIRED DETENTION STORAGE

PROJECT: IN-N-OUT Burger - Medford
51408820

BASIN: Site

Q(allowable) = 0.2595
Head (ft.) = 3.00
Orifice Dia. (in.) = 2.39

C = 0.9
IMPERV. AREA (AC) = 0.795
Total Contributing Area = 1.038
DISCHARGE LIMIT (CFS/AC) = 0.250

TIME	CA	RAIN INTENSITY	INFLOW RATE	INFLOW	OUTFLOW	OUTFLOW	REQUIRED STORAGE
min.	acres	in/hr.	cfs	cu. ft.	cfs	cu.ft.	cu.ft.
5	0.7155	3.90	2.790	837	0.199	60	778
10	0.7155	3.08	2.204	1322	0.199	119	1203
15	0.7155	2.25	1.610	1449	0.199	179	1270
20	0.7155	1.90	1.359	1631	0.199	239	1393
25	0.7155	1.70	1.216	1825	0.199	298	1526
30	0.7155	1.49	1.066	1919	0.199	358	1561
35	0.7155	1.29	0.923	1938	0.199	417	1521
40	0.7155	1.15	0.823	1975	0.199	477	1498
45	0.7155	1.05	0.751	2028	0.199	537	1492
50	0.7155	0.95	0.680	2039	0.199	596	1443
55	0.7155	0.90	0.644	2125	0.199	656	1469
60	0.7155	0.85	0.608	2189	0.199	716	1474
65	0.7155	0.79	0.565	2204	0.199	775	1429
70	0.7155	0.75	0.537	2254	0.199	835	1419
75	0.7155	0.70	0.501	2254	0.199	894	1359
80	0.7155	0.68	0.487	2335	0.199	954	1381
85	0.7155	0.65	0.465	2372	0.199	1014	1358
90	0.7155	0.60	0.429	2318	0.199	1073	1245
120	0.7155	0.52	0.372	2679	0.199	1431	1248
130	0.7155	0.50	0.358	2790	0.199	1550	1240
140	0.7155	0.47	0.336	2825	0.199	1670	1155
150	0.7155	0.42	0.301	2705	0.199	1789	916
160	0.7155	0.4	0.286	2748	0.199	1908	840
170	0.7155	0.39	0.279	2846	0.199	2027	819
180	0.7155	0.38	0.272	2936	0.199	2147	790
240	0.7155	0.31	0.222	3194	0.199	2862	332
300	0.7155	0.28	0.200	3606	0.199	3578	29
360	0.7155	0.25	0.179	3864	0.199	4293	-429
420	0.7155	0.22	0.157	3967	0.199	5009	-1042
480	0.7155	0.205	0.147	4224	0.199	5724	-1500
540	0.7155	0.2	0.143	4636	0.199	6440	-1803
1200	0.7155	0.12	0.086	6182	0.199	14310	-8128
1440	0.7155	0.13	0.093	8036	0.199	17172	-9136

11/21 8 of 8

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CNP
SIGNS & GRAPHICS
 4530 Mission Gorge Place
 San Diego, CA 92120
 Tel: 619.283.2191
 Fax: 619.283.9503
 Web: www.cnpaig.com



PROJECT
IN-N-OUT BURGER #XXX

LOCATION
 NEQ CRATER LAKE HWY
 MEDFORD, OH 97504

SHEET TITLE
SITE PLAN & SIGN KEY

ACCT REP
 GARRY WILCOX
 DESIGNER
 GERALD MCCLUNG

DATE 10/01/14 SCALE NOTED

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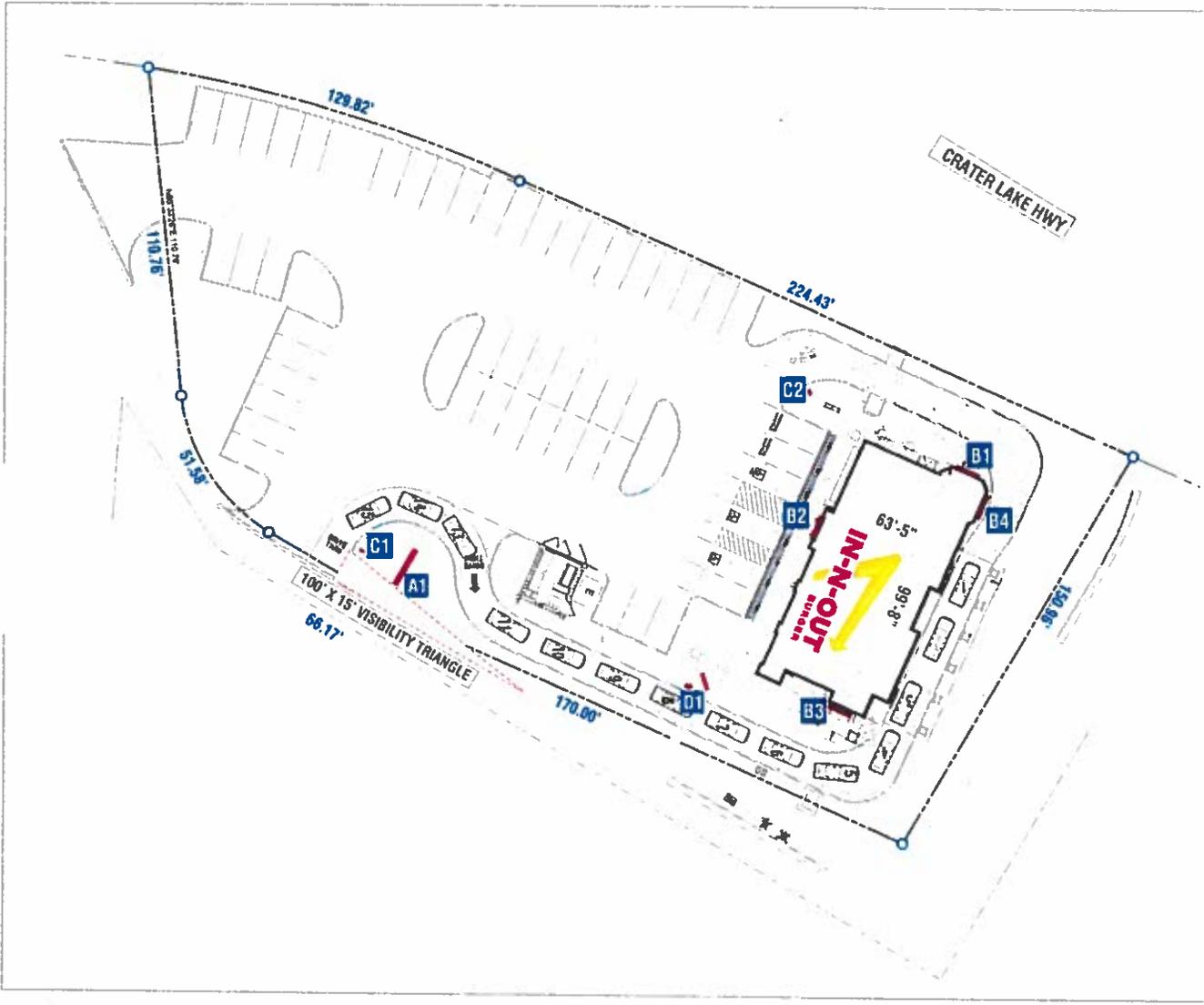
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REVISED BY	1	DATE	

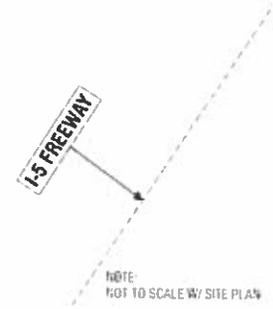
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KEYNO

1 of 10



- KEY**
- A1** D/F MONUMENT SIGN 3' x 9' Cabinet (3' 8" GAH ("IN-N-OUT").
 - B1** S/F 6'-3 1/8" X 10'-6 1/8" INTERNALLY ILLUMINATED WALL SIGN (51 1 SQ FT)
 - B2** S/F 6'-3 1/8" X 10'-6 1/8" INTERNALLY ILLUMINATED WALL SIGN (51 1 SQ FT)
 - B3** S/F 6'-3 1/8" X 10'-6 1/8" INTERNALLY ILLUMINATED WALL SIGN (51 1 SQ FT)
 - B4** S/F 6'-3 1/8" X 10'-6 1/8" INTERNALLY ILLUMINATED WALL SIGN (51 1 SQ FT)
 - C1** D/F INTERNALLY ILLUMINATED DIRECTIONAL DISPLAY ("DRIVE THRU")
 - C2** D/F INTERNALLY ILLUMINATED DIRECTIONAL DISPLAY ("THANK YOU, DO NOT ENTER")
 - D1** S/F INTERNALLY ILLUMINATED MENU BOARD



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SITE PLAN
 SCALE 1" = 50'-0"

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 File # 12-15-002/E-15-003
1 of 10

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 Web: www.cnp signs.com



PROJECT
 IN-N-OUT BURGER #XXX

LOCATION
 HEO CRATER LAKE HWY
 MEDFORD, OR 97504

SHEET TITLE
 Pylon Sign

DESIGNER
 GARRY WILCOX

CHECKER
 GERALD MCCLUNG

DATE
 10/01/14

SCALE
 NOTED

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Revision #	1	Date	

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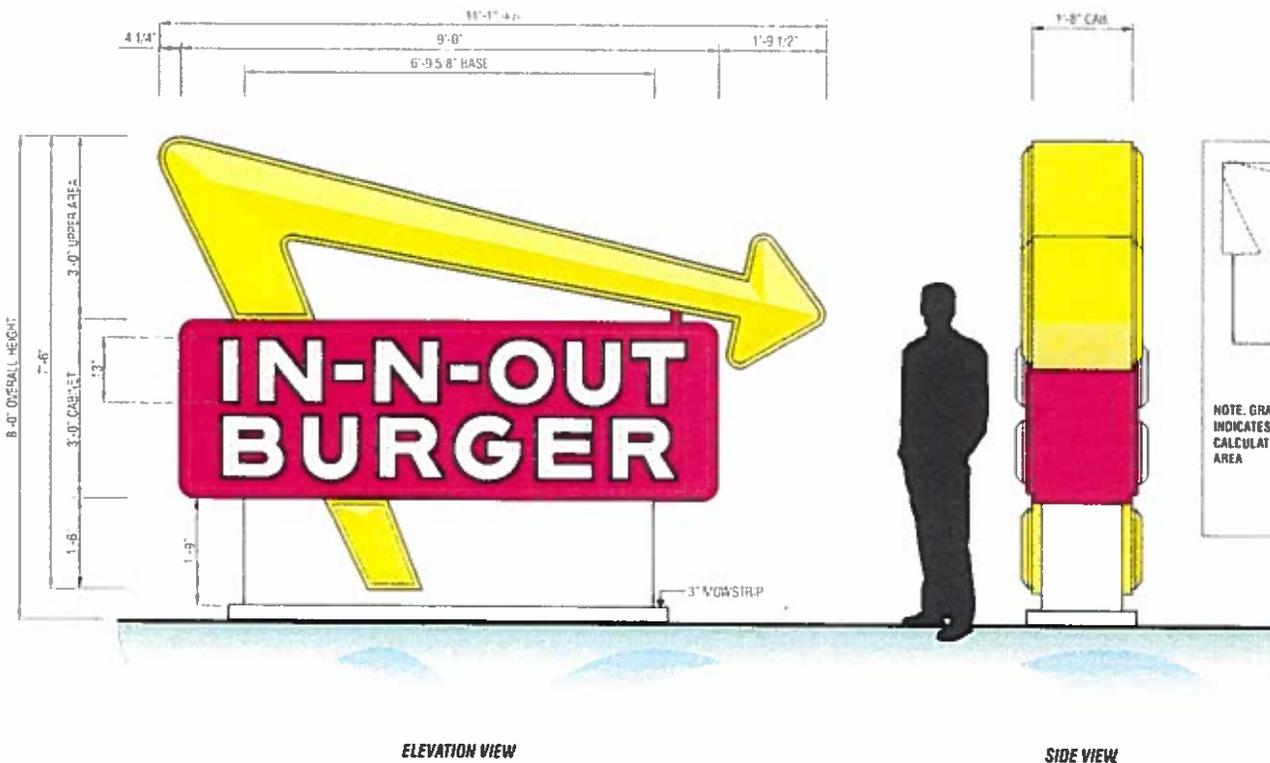
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KEYING

A1

2 of 10

CITY OF MEDFORD
 EXHIBIT # "5"
 File # AC-15-002/E-15-003
 2 of 10



SIGN SPECIFICATIONS:

D/F INTERNALLY ILLUMINATED MONUMENT SIGN W/ ALUMINUM CABINET & ARROW W/ FORMED FACES. COLORS ARE PER BELOW.

ARROW: FABRICATED CHANNEL WITH RETURNS PAINTED TO MATCH PMS YELLOW "C" W/ GLOSS FINISH. FORMED YELLOW #2037 ACRYLIC PLASTIC FACES WITH 1" YELLOW TRIM/EDGE EDGES. HO TRIPHOSPHORUS LAMP ILLUMINATION.

CABINET: FABRICATED CABINET & RETAINERS PAINTED TO MATCH D&D RED W/ GLOSS FINISH. FORMED ACRYLIC FACES TO HAVE SECOND SURFACE PAINTED GRAPHICS. BACKGROUND COLOR TO BE PAINTED D&D #43 RED (25% CLEAR). LETTER COLOR TO BE PAINTED WHITE. HO TRIPHOSPHORUS LAMP ILLUMINATION.

BASE: FABRICATED ALUMINUM BASE PAINTED TO MATCH D&D EDWARDS "BONE CHINA" #514 W/ FINE TEXTURE FINISH. LOWER END OF ARROW TO BE FABRICATED INTO BASE & ILLUMINATED AS REQUIRED.

D/F INTERNALLY ILLUMINATED 3'-0" X 9'-0" MONUMENT SIGN

SCALE: 1/2" = 1'-0"

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SIGNS & GRAPHICS

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San Diego, CA 92120
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Fax: 619 283 9803
Web: www.cnpsigns.com

CLIENT



PROJECT
IN-N-OUT BURGER #XXX

LOCATION
NEO CRATER LAKE HWY
MEDFORD, OR 97504

SHEET TITLE
ELEVATIONS

DESIGNER
GARRY WILCOX

REVISOR
GERALD MCCLUNG

DATE
10/01/14

SCALE
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Revision #	1	Date	

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No.	Description	Date	By
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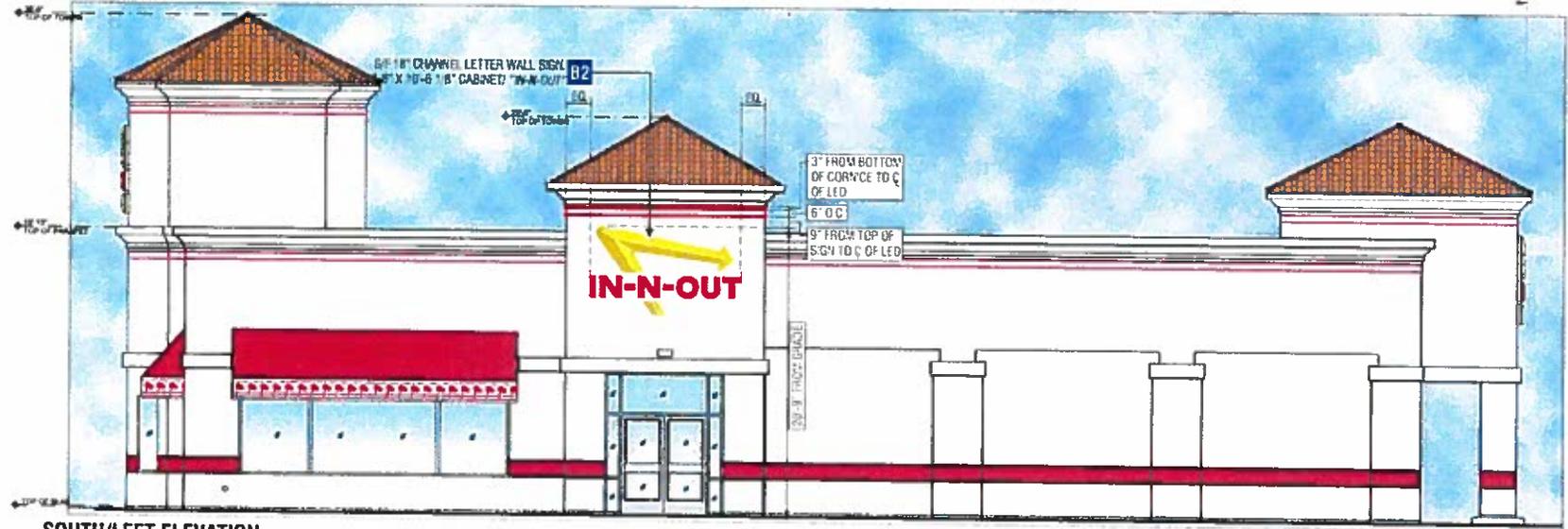
KEY NO
B1 B2

3 of 10



WEST/FRONT ELEVATION

SCALE 1/8" = 1'-0"



SOUTH/LEFT ELEVATION

SCALE 1/8" = 1'-0"

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File # AC-15-002/E-15-003
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 San Diego, CA 92130
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 Fax: 619 283 9503
 Web: www.cnp-signs.com

CLIENT



PROJECT
IN-N-OUT BURGER #XXX

LOCATION
NEQ CRAIEN LAKE HWY
MEDFORD, OR 97504

SHEET TITLE
ELEVATIONS

CLIENT
GARRY WALCOX

DESIGNER
GERALD MCCLUNG

DATE
10/01/14

SCALE
NOTED

CUSTOMER APPROVAL

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NO. 14-570	SHEET # 315726
REVISION 1	DATE

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4	

KEY NO
B3 B4

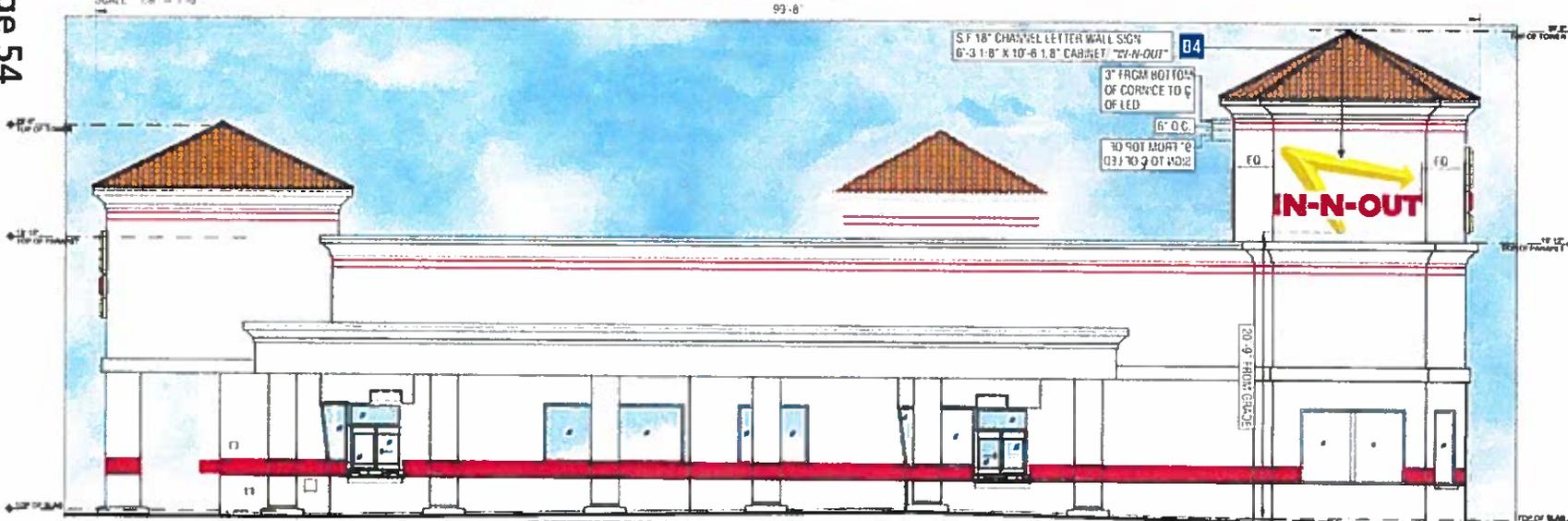
4 of 10



EAST/REAR ELEVATION

SCALE 1/8" = 1'-0"

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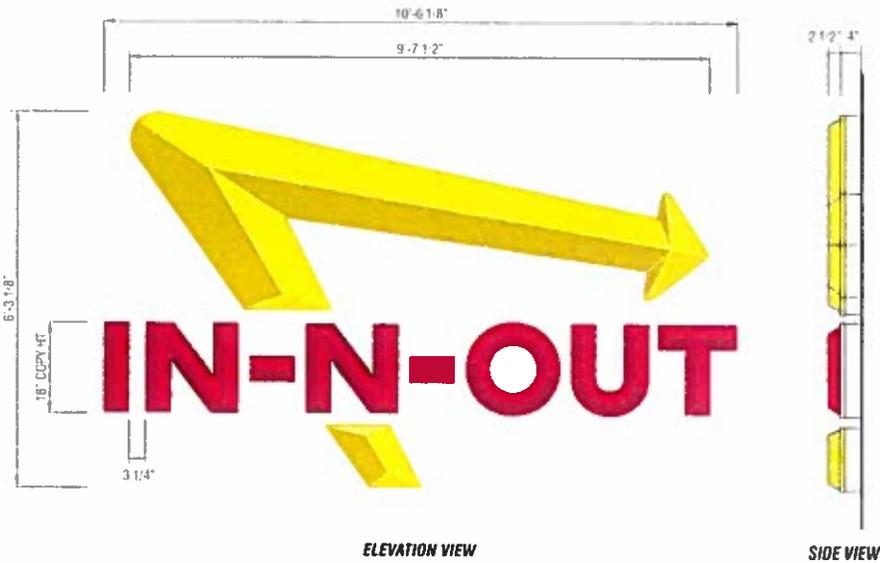


NORTH/RIGHT ELEVATION

SCALE 1/8" = 1'-0"

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 File # AC-15-002/E-15-003
 4 of 10

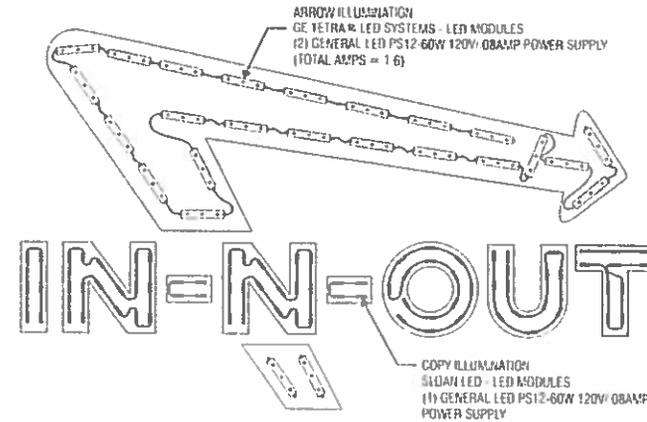
14



ELEVATION VIEW

SIDE VIEW

NOTES:
 ALL LIGHTING COMPONENTS TO BE U.L. LISTED WITH DISCONNECT SWITCH @ POWER SUPPLY LOCATION (REMOTE) SIGNS PROVIDED WITH 3-WIRE 14 GAUGE JACK CABLE



LIGHTING COMPONENT DETAIL

CNP
 SIGNS & GRAPHICS

4530 Mission Gorge Place
 San Diego, CA 92120
 Tel: 619 283 2191
 Fax: 619 283 9503
 Web: www.cnpesign.com

CLIENT



PROJECT
 IN-N-OUT BURGER #XXX

LOCATION
 NED CRATER LAKE HWY
 MEDFORD, OR 97504

SHEET TITLE
 WALL SIGNS

AGENT REP
 GARRY WILCOX

DESIGNER
 GERALD MCCLUNG

DATE 10/01/14 SCALE NOTED

CUSTOMER APPROVAL

S/F 6' X 10' ILLUMINATED WALL SIGN

SCALE 1/2" = 1'-0"

SIGN SPECIFICATIONS:
 S/F INTERNALLY ILLUMINATED ALUMINUM CHANNEL LETTER SIGN DISPLAY WITH FORMED COPY & ARROW. COLORS/MATERIAL PER BELOW.

ARROW:
 FABRICATED CHANNEL WITH RETURNS PAINTED TO MATCH "HONEY CHINA" SP 514 BY DUSK EDWARDS W/ SATIN FINISH. FORMED YELLOW #7037 ACRYLIC FACES. LED ILLUMINATION (SEE ABOVE).

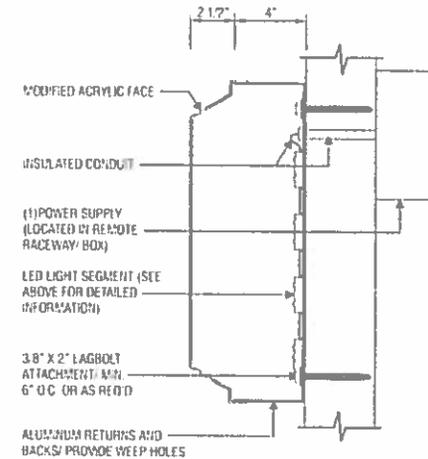
COPY:
 FABRICATED CHANNEL WITH RETURNS PAINTED TO MATCH "HONEY CHINA" SP 514 BY DUSK EDWARDS W/ SATIN FINISH. FORMED RED #211-1 ACRYLIC FACES WITH 1" GRID TRIM/CAP. RED LED ILLUMINATION (SEE ABOVE).

CHANNEL LETTERS TO BE 4" DEEP/ ALL SIGNS TO BE INSTALLED ON TO BUILDING AS REQUIRED.

SQUARE FOOTAGE CALCULATIONS:

UPPER ARROW	33.3 SF
COPY	15.8 SF
LOWER ARROW	2.0 SF
TOTAL SIGN AREA:	51.1 SF

NOTE: GRAY INDICATES CALCULATED AREA



SECTION DETAIL (NOT TO SCALE)

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NO. 14-570	REVISED 315726
ISSUED 1	DATE

REVISIONS

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4		
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 B1 B2 B3 B4

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CITY OF MEDFORD
 EXHIBIT # "5"
 File # AR-15-002/E-15-003
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San Diego, CA 92120
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Fax: 619.283.9503
Web: www.cnpsigns.com

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PROJECT
IN-N-OUT BURGER #XXX

LOCATION
NEQ CRATER LAKE HWY
MEDFORD, OR 97504

SHEET TITLE
DIRECTIONALS

ARCH REP
GARRY WILCOX

DESIGNER
GERALD MCCLUNG

DATE
10/01/14

SCALE
NOTED

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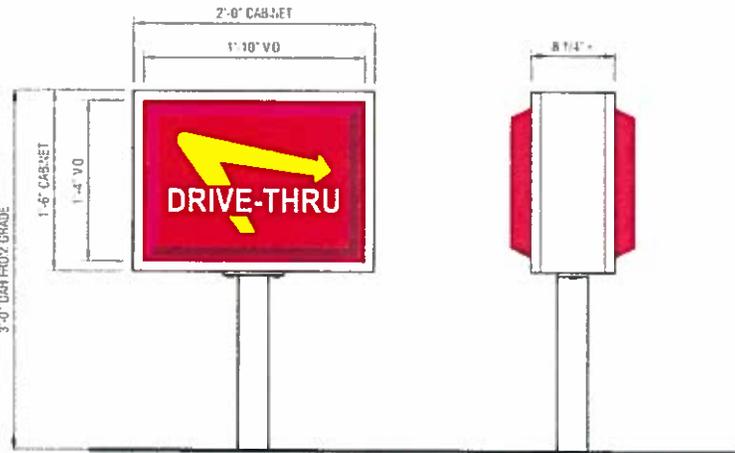
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DATE	14-570	SHEET #	315726
PROJECT	1	DATE	

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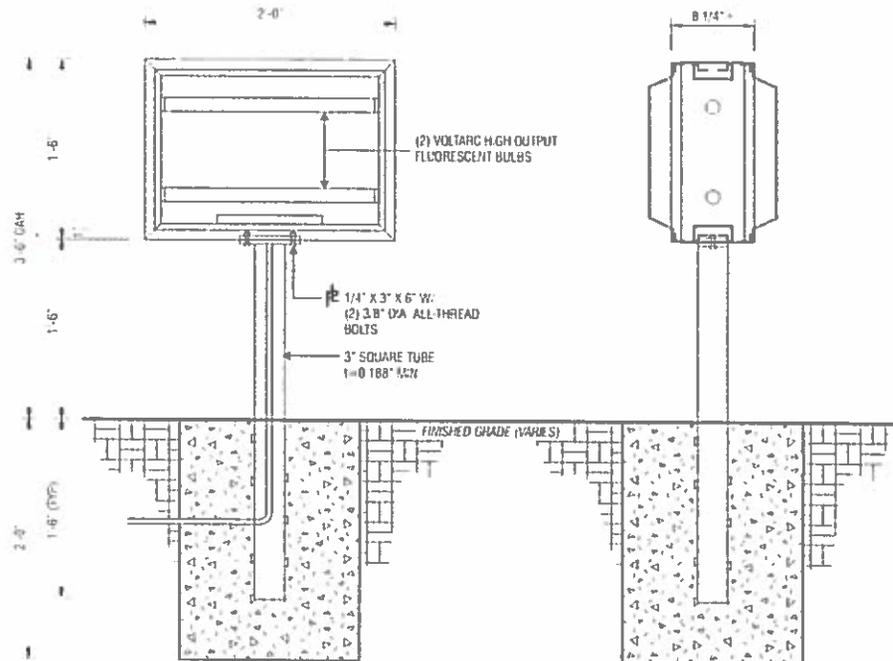
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C1 C2 C3 C4

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ELEVATION VIEW

SIDE VIEW



ELEVATION VIEW

SIDE VIEW



C1



C2

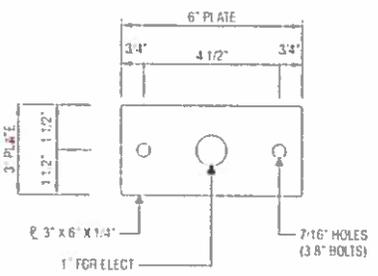


PLATE DETAIL

SCALE 3" = 1'-0"

SIGN SPECIFICATIONS

0 F INTERNALLY ILLUMINATED ALUMINUM DIRECTIONAL CABINET W/ FORMED FACES & ARROW. SIGN CABINET, RETAINERS PAINTED TO MATCH "BONE CHINA" SP 514 BY DUNN EDWARDS W/ SATIN FINISH FORMED ACRYLIC PLASTIC FACES TO HAVE SECOND-SURFACE PAINTED GRAPHICS. BACKGROUND COLOR TO BE PAINTED DND 443 RED (25% CLEAR); LETTER COLOR TO BE PAINTED WHITE. ARROW TO BE PAINTED DND 413 YELLOW (25% CLEAR) - AS APPLIES. SIGN CABINET IS TO BE ILLUMINATED W/ VOLTAC HIGH OUTPUT FLUORESCENT BULBS.

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INTERNALLY ILLUMINATED DIRECTIONAL SIGNS @ 3 SQ. FT.

CITY OF MEDFORD
EXHIBIT # "5"
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14

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PROJECT
IN-N-OUT BURGER #XXX

LOCATION
NEO CRATER LAKE HWY
MEDFORD, OR 97504

SHEET TITLE
MENU BOARD

AGENT REP
GARRY WILCOX

DESIGNER
GERALD MCELUNG

DATE 10/01/14 SCALE NOTED

CUSTOMER APPROVAL

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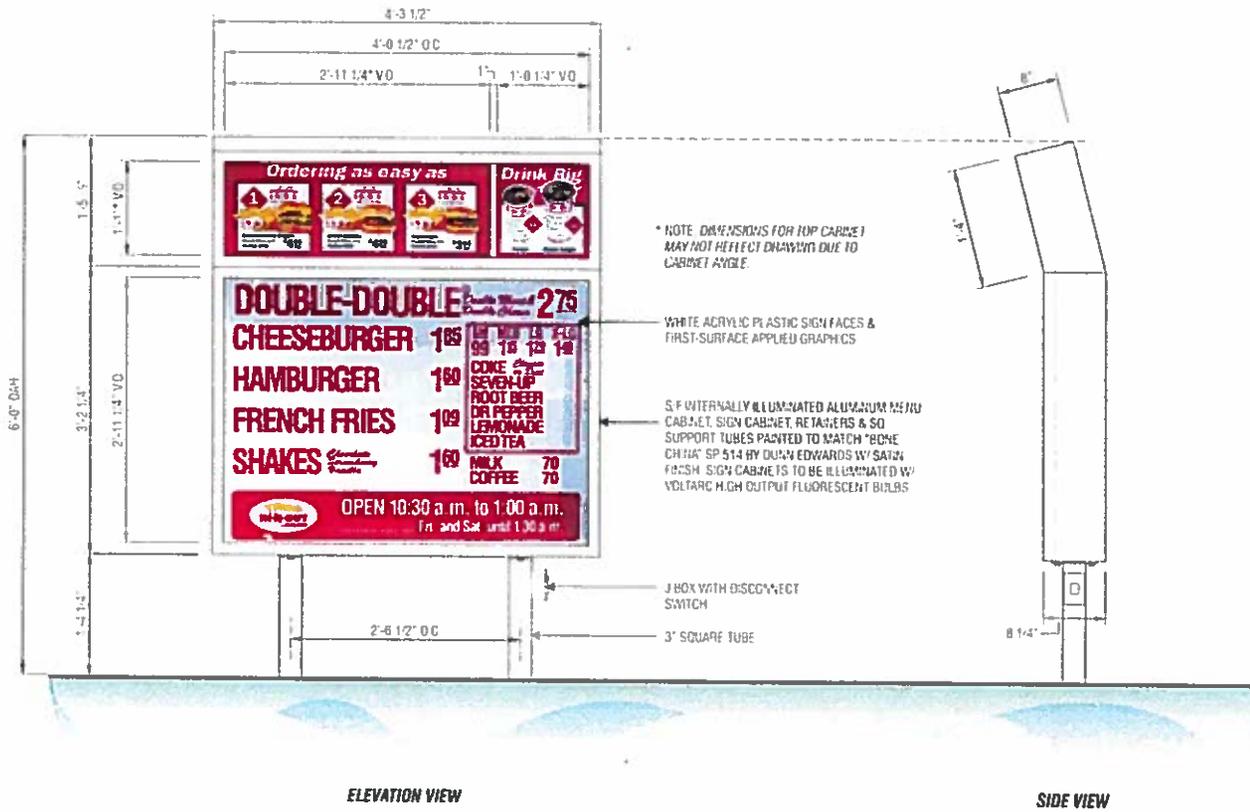
DATE	14-570	PROJECT #	315726
REVISION #	1	DATE	

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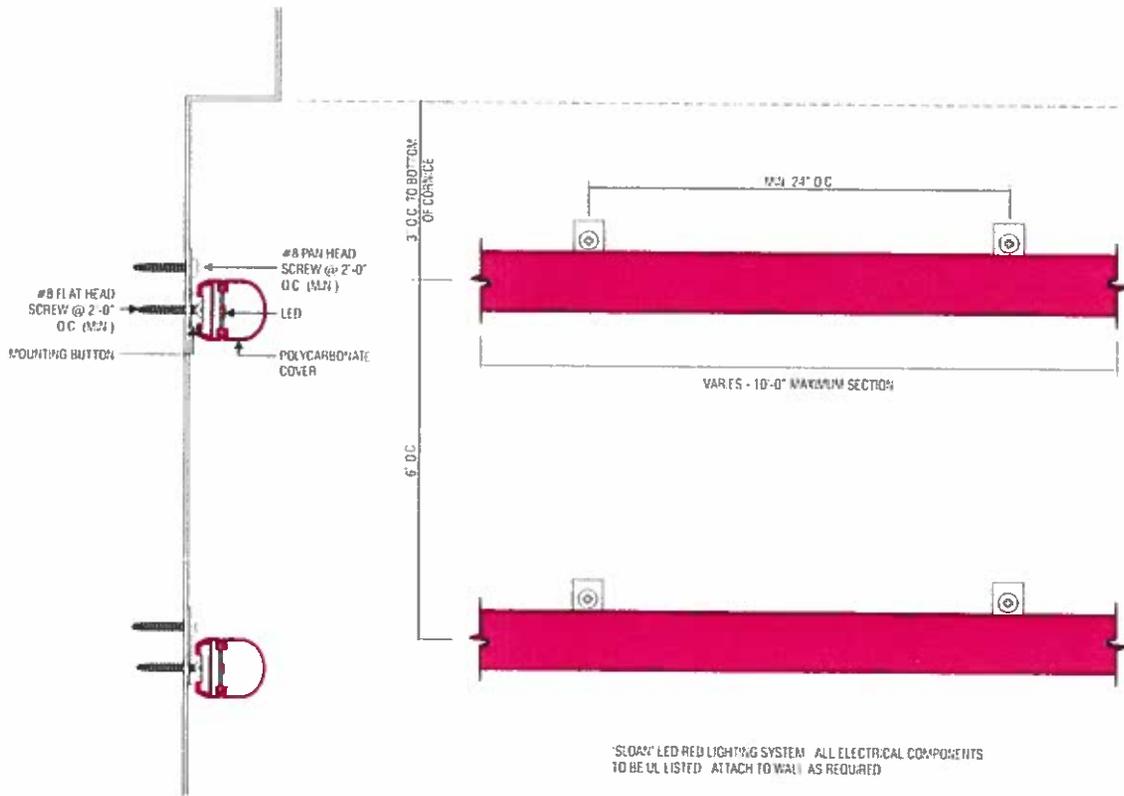


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S/F INTERNALLY ILLUMINATED MENU BOARD @ 6'-0" OAH (19.9 SQ. FT.)

SCALE: 3/4" = 1'-0"

CITY OF MEDFORD
EXHIBIT # 15
File # AC-15-002/E-5003
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LED BORDER

HALF SIZE

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 San Diego, CA 92120
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 Fax: 619 283 9563
 Web: www.cnpesigns.com



PROJECT
IN-N-OUT BURGER #XXX
 LOCATION
**NEO CRATER LAKE HWY
 MEDFORD, OR 97504**
 SHEET TITLE
BORDER LED DETAIL

DESIGN BY
GARRY WILCOX
 CHECKED BY
GERALD MCCLUNG
 DATE
10/01/14 SCALE
NOTED
 CUSTOMER APPROVAL

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Sheet	14-570	Project #	315726
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COLOR SPECIFICATIONS

C1 RED ACRYLIC #211 1



4530 Mission Gorge Place
San Diego, CA 92120
Tel: 619.283.2191
Fax: 619.283.9503
Web: www.cnpplgns.com

CLIENT



PROJECT
IN-N-OUT BURGER #XXXX

LOCATION
NEO CRATER LAKE HWY
MEDFORD, OR 97504

SHEET TITLE
NON-ILLUMINATED
ADDRESS NUMERALS

ACCT REP
GARRY WILCOX

DESIGNER
GERALD MCCLUNG

DATE 10/01/14 SCALE NOTED

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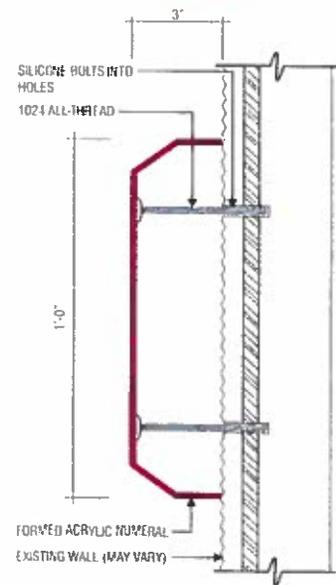
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NON-ILLUMINATED 12" ADDRESS NUMERALS

SCALE 3/4" = 1'-0"

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 File # AC-15-002/E-15-003
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PROJECT
IN-N-OUT BURGER #XXX

LOCATION
NEO CRATER LAKE HWY
MEDFORD, OR 97504

SHEET TITLE
INTERIOR NEON DISPLAY

ACCT REP
GARRY WILCOX

DESIGNER
GERALD MCCLUNG

DATE
10/01/14

SCALE
NOTED

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Drawn	14-570	PROJECT #	315726
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INTERIOR NEON SIGN

SCALE: 1 1/2" = 1'-0"

NOTE: DISPLAY TO BE CENTERED TOP TO BOTTOM & LEFT TO RIGHT



INSTALLED NEON DISPLAY (TYP)

NOTE: NEON SIGN IS CENTERED FOR MAXIMUM VISIBILITY ONLY

GLASS STANDS

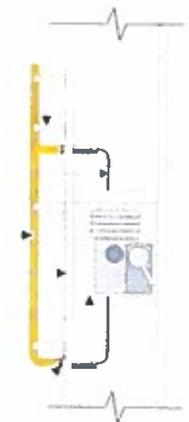
FLEX CONDUIT

12 MM NEON

WALL

SAFETY DISCONNECT SWITCH J-BOX

PK HOUSINGS

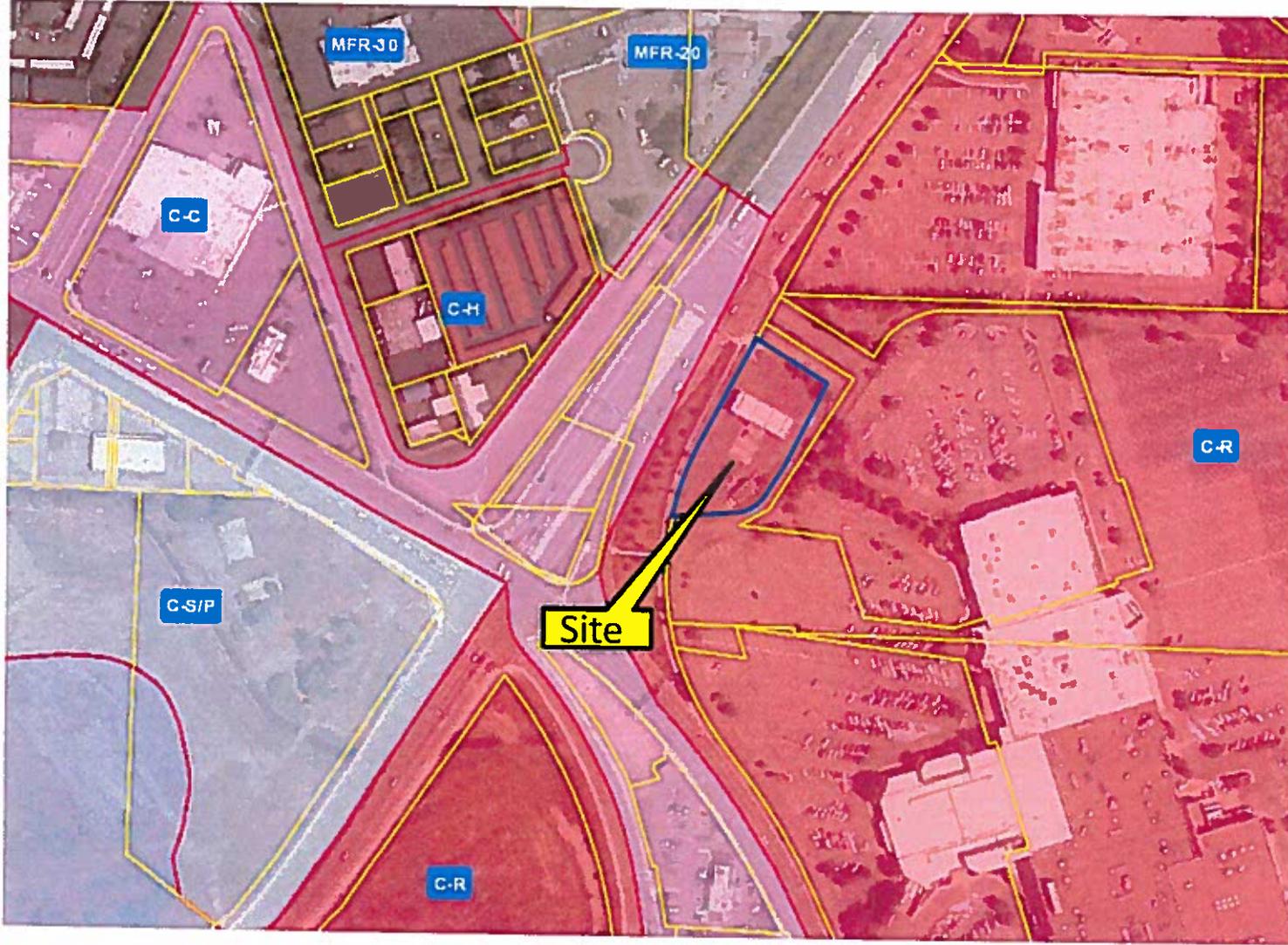


NEON DETAIL
SCALE: NTS

CITY OF MEDFORD
EXHIBIT # "5"
File # AC-15-002/E-15-003
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Zoning Map



CITY OF MEDFORD
EXHIBIT # 110
File # AC-15-002/E-15-003
1881

**PUBLIC WORKS DEPARTMENT STAFF REPORT
IN-N-OUT BURGER**

Project: Consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code (MLDC) 10.721.

Location: Southeast side of Crater Lake Highway (Hwy 62), 500 feet northeast of Route 99 (Pacific Highway) on a 1.04. 372W13DD 601

Zoning: C-R/F (Regional Commercial/Freeway Overlay) District.

Applicant: In-N-Out Burger

NOTE: The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention.
- Completion of or cash deposit for all public infrastructure related to the phased pedestrian crossing across Crater Lake Highway.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas
- Certification by the design engineer that the controlled stormwater release drainage system was constructed per the approved plan.

A. STREETS

1. Dedications

This project fronts Crater Lake Highway which is under the Oregon Department of Transportation's (ODOT) jurisdiction. Therefore, no additional street dedication is needed for this development.

CITY OF MEDFORD
EXHIBIT # "V"
File # AC-15-002/E-15-003
1085

2. Public Improvements

The Developer has agreed to create a 2 phase pedestrian crossing across Crater Lake Highway at the north driveway entrance to the Rogue Valley Mall. The Developer has the option of providing public improvement plans and constructing the improvement or may provide payment in the form of a cash in the amount of \$34,000.00 for the completion of the improvement by the City. The Developer may provide a separate engineer's cost estimate for consideration of a different amount to be approved by the City Engineer.

3. Access and Circulation

Access to this site will be restricted to the existing driveways serving the Rogue Valley Mall. No other accesses from Crater Lake Highway will be allowed for this development. These access limitations are consistent with the Medford Land Development Code Section 10.550.

This Development shall obtain or provide proof a cross access easement granted from the adjacent parcels, MLDC 10.550.

B. SANITARY SEWERS

This site lies within the Medford sewer service area. The Utility Plan indicates that the sanitary sewer (SS) lateral has a proposed connection to the existing SS manhole. A new connection to the existing manhole is not allowed. The proposed SS lateral may connect to the existing SS lateral or may make a new connection to the public SS main either upstream or downstream of the manhole.

The developer shall provide an access and maintenance easement to the City for any public sanitary sewer located outside of the public right-of-way.

C. STORM DRAINAGE

1. Drainage Plan

A comprehensive drainage plan showing the entire project site with sufficient spot elevations to determine direction of runoff to the proposed drainage system, and also showing elevations on the proposed drainage system, shall be submitted with the first building permit application for approval. All area catch basins shall meet Department of Environmental Quality (DEQ) requirements, which include a down-turned elbow and sump.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto adjacent private property.

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2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development shall be submitted with the building permit application for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Storm water quality and detention facilities shall be required in accordance with Medford Land Development Code Section 10.481 and 10.729.

4. Certification

Upon completion of the project, and prior to certificate of occupancy of the building, the developer's design engineer shall certify that the construction of the controlled storm water release drainage system was constructed per plan. Certification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

6. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

D. Miscellaneous

1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the office of the City Engineer.

2. Construction Plans

Construction drawings for any public improvements for this project shall be prepared by a professional engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets,

VV
3045

minimum access drives, sanitary sewers, storm drains, and street lights as required by the Site Plan and Architectural Commission's Final Order, together with all pertinent details and calculations. The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

3. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans. Pre-qualification is required of all contractors prior to application for any permit to work in the public right-of-way.

Any work within ODOT right-of-way may also require permits and plans to be approved by ODOT. Contact ODOT at 541-774-6299.

4. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

5. System Development Charges

Buildings in this development are subject to street, sewer collection and sewer treatment system development charges (SDC). All SDC fees shall be paid at the time individual building permits are issued.

This development is not subject to storm drain system development charges.

SUMMARY CONDITIONS OF APPROVAL IN-N-OUT BURGER AC-15-002/E-15-003

A. Streets

1. Street Dedications to the Public:

No additional street dedication is needed for this development.

2. Improvements:

a. Public Streets

No additional street improvements are needed for this development.

Install or provide cash deposit for all public infrastructure related to the phased pedestrian crossing across Crater Lake Highway.

B. Sanitary Sewer:

The proposed SS lateral may connect to the existing SS lateral or may make a new connection to the public SS main either upstream or downstream of the manhole.

C. Storm Drainage:

Provide an investigative drainage report for this project.

The site requires water quality and detention facilities.

Provide a comprehensive grading plan for the project.

A storm drain lateral shall be constructed to each tax lot. In the event lots drain to the back, a private system will be required.

Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.



BOARD OF WATER COMMISSIONERS

Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: AC-15-002 & E-15-003

PARCEL ID: 372W13DD TL 601

PROJECT: Consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62), approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel, within the C-R/F (Regional Commercial/Freeway Overlay) zone district; In-N-Out Burger, Applicant/Agent. Desmond McGeough, Planner.

DATE: February 5, 2015

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. The existing 1-½" water meter on the east side of this parcel is required to be abandoned at the existing water main per MWC standards.
4. Installation of a new 8-inch water line is required to provide both domestic and fire protection water to this proposed development. Water facility layout shall be per current MWC Standards, applicants' civil engineer shall coordinate with MWC engineering department for water facility layout.
5. Installation of a new water meter to serve this proposed development is required. Applicants' civil engineer shall coordinate with MWC engineering department for location of proposed water meter.
6. Dedication of a 10 foot wide access and maintenance easement to MWC over all water facilities located outside of public right-of-way is required. Easement to be submitted to MWC for review and recordation prior to construction.

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CITY OF MEDFORD
EXHIBIT # 11W
FILE # AC-15-002/E-15-003
183



Staff Memo

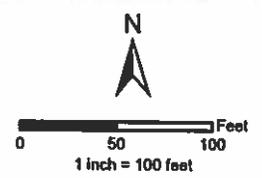
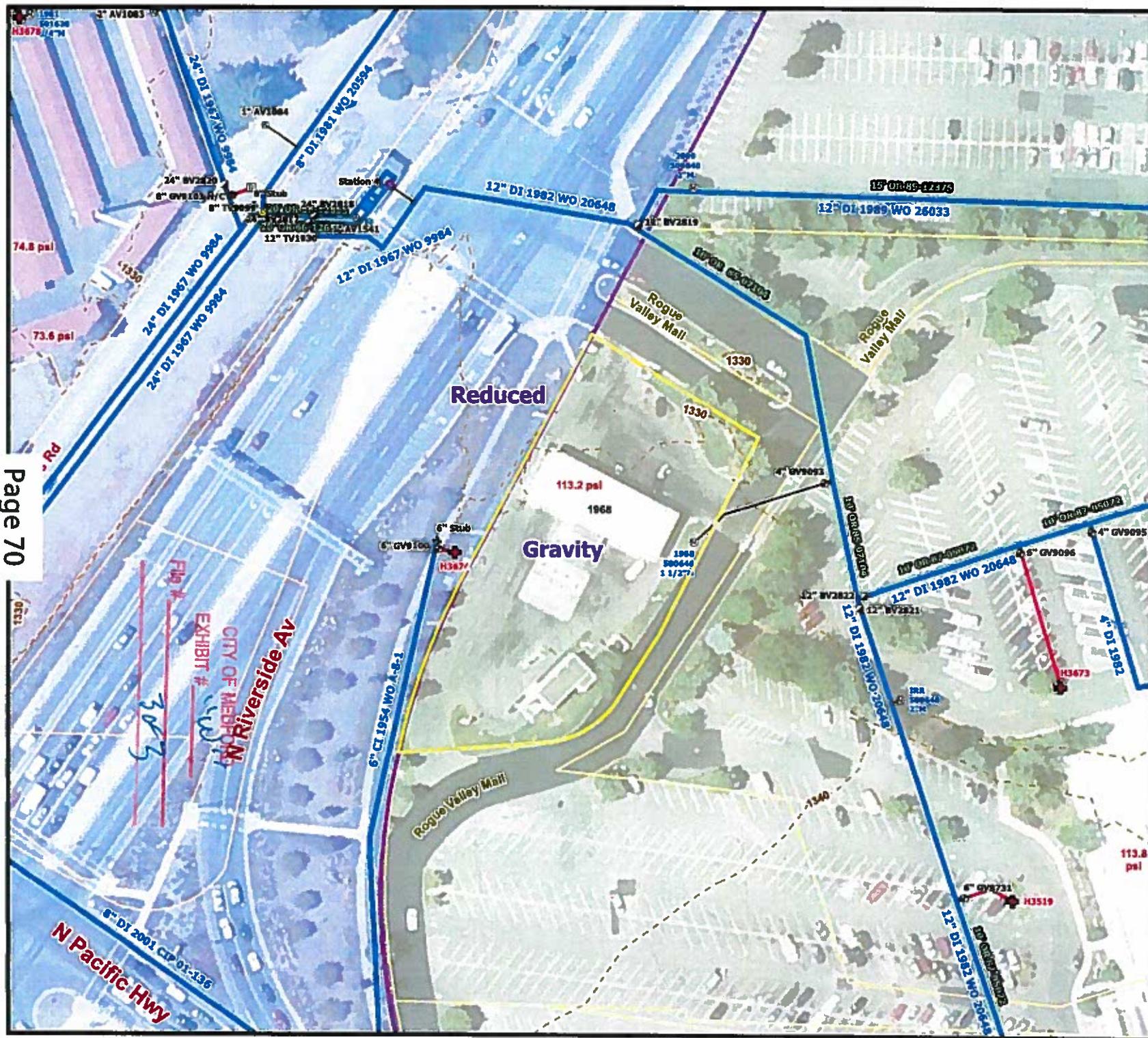
Continued from previous page

7. Installation of an MWC approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35> .

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is not required.
3. MWC-metered water service does exist to this property. A 1-½" water meter serves the existing Shell Gas Station. (See Condition 3 above)
4. Static water pressure is expected to be between 110 and 115 psi. See attached document from the City of Medford Building Department on "Policy on Installation of Pressure Reducing Valves".
5. Access to MWC water lines is available. A 12" water line is located easterly of this site location within a 10-foot wide easement per Jackson County record OR-85-07104.

"W"
2013



Water Facility Map for AC-15-005

Legend

- Air Valve
 - Sample Station
 - Fire Service
 - Hydrant
 - Reducer
 - Blow Off
 - Plug-Caps
- Water Meters:**
- Active Meter
 - On Well
 - Unknown
 - Vacant
- Water Valves:**
- Butterfly Valve
 - Gate Valve
 - Tapping Valve
- Water Mains:**
- Active Main
 - - - Abandoned Main
 - Reservoir Drain Pipe
 - Pressure Zone Line
- Boundaries:**
- Urban Growth Boundary
 - City Limits
 - Tax Lots
- MWC Facilities:**
- Control Station
 - Pump Station
 - Reservoir



This map is based on a digital elevation model by Medford Water Commission. The City of Medford is not responsible for any errors or omissions. The City of Medford is not responsible for any errors or omissions. The City of Medford is not responsible for any errors or omissions.



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
E-mail www.fire@ci.medford.or.us

LAND DEVELOPMENT REPORT - PLANNING

To: Desmond McGeough

LD Meeting Date: 02/11/2015

From: Fire Marshal Kleinberg

Report Prepared: 02/02/2015

File #: AC - 15 - 2

Associated File #'s: E - 15 - 3

Site Name/Description: In-N-Out restaurant

Consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62), approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel, within the C-R/F (Regional Commercial/Freeway Overlay) zone district; In-N-Out Burger, Applicant/Agent. Desmond McGeough, Planner.

DESCRIPTION OF CORRECTIONS

REFERENCE

Approved as Submitted

Meets Requirement: No Additional Requirements

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFB, IMC and NFPA standards.

CITY OF MEDFORD
EXHIBIT # 411
File # AC-15-002/E-15-003
1081

MEDFORD PARKS & RECREATION

HEALTHY LIVES. HAPPY PEOPLE. STRONG COMMUNITY.



CITY OF MEDFORD Interoffice Memo

TO: Planning Department
FROM: Tim Stevens- Park Maintenance Supervisor
SUBJECT: LANDSCAPE REVIEW OF FILE AC-15-002, IN AND OUT BURGER
DATE: February 5, 2015

Staff recommends replacing *Acer Rubrum* 'Scarsen' (Red Maple) with either *Ulmus* 'Frontier' (Frontier Elm), *Fagus sylvatica* (Beech), or *Corylus Columna* (Turkish Filbert). These alternate tree varieties are better suited to the site. Red Maple is a tree that suffers from sun scald and structural defects. It also is extremely overplanted in Medford's Urban Forest.

This report addresses horticultural concerns only. Applicant shall comply with all aspects of Medford Code 10.780 Interpretation of the Medford Code will be per the Planning Department. Aesthetic considerations will be per the Site Plan and Architectural Review Commission or Planning Commission upon their review.

CITY OF MEDFORD
EXHIBIT # Y
File # AC-15-002/E-15-003
(0F)



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WWW.PLAYMEDFORD.COM | PARKS@CITYOFMEDFORD.COM



COMMUNITY ENRICHMENT EXCELLENCE EXCEPTIONAL CUSTOMER SERVICE INNOVATION



Memo

To: Desmond McGeough, Planner, Planning Department
From: Tanner Fairrington, Building Department
CC: In-N-Out Burger, Applicant/Agent
Date: February 9, 2015
Re: February 11, 2015 LDC Meeting: AC-15-002/E-15-003

Please Note:

This is not a plan review. These are general notes based on general information provided. Plans need to be submitted and will be reviewed by a commercial plans examiner to determine if there are any other requirements for this occupancy type.

Fees are based on valuation. Please contact the front counter for estimated fees.

1. For list of applicable Building Codes, please visit the City of Medford website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Code and Design Information" on left side of screen; click on "Design Criteria"; and select the appropriate design criteria.
2. All plans are to be submitted electronically. Information on the website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Electronic Plan Review (ePlans)" on left side of screen for information.

General Comments:

3. A Grease Interceptor permit will be required, and can be included with the building permit.
4. Based on review, appears to be A-2 Occupancy (greater than 50 occupants, so not a B). Building area is 6,000 sq. ft. or less; therefore, can be any type of construction.
5. A separate demolition permit will be required for demolition of the existing structures.
6. A site excavation permit will be required for any excavation improvements.
7. Once additional information for the building is submitted (plans, calculations, etc.), a more thorough review can be completed.
8. Please provide a code analysis when final building plans are submitted. Please include: occupancy classification(s), type of construction, sprinkled or not sprinkled, building heights and areas, fire-resistance rated construction (including OSSC Section 705.11), means of egress (OSSC 107.2.3 and Chapter 10), emergency egress lighting, exit signs, etc.
9. On structural plans and calculations, please clearly indicate the design criteria and referenced codes per Sections 1603.1 and 1603.1.1 through 1603.1.9, as applicable.

CITY OF MEDFORD
EXHIBIT # 2
File # AC-15-002/E-15-1
10F2

C2.0

10. Accessible parking spaces to be per section 1106.7 of the 2014 OSSC, including figures referenced (see Building Codes Division for 2014 OSSC Errata which included these figures, dated October 16, 2014).



BUILDING SAFETY DEPARTMENT
ROOM 277

CITY OF MEDFORD
LAUSMANN ANNEX
200 SOUTH IVY STREET
MEDFORD, OREGON 97501

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E-MAIL:
bldmed@ci.medford.or.us

Policy on Installation of Pressure Reducing Valves

August 5, 2014

Section 608 of the 2011 Edition of the Oregon Plumbing Specialty Code requires a pressure regulator (commonly called a Pressure Reducing Valve or PRV) where the static pressure in the water supply piping exceeds 80 psi. Although this section gives limited guidance as to installation, it does require the device to be

"...accessibly located above ground or in a vault equipped with adequate means to provide drainage and shall be protected from freezing, and shall have the strainer readily accessible for cleaning without removing the regulator or strainer body or disconnecting the supply piping."

"Accessible" and "readily accessible" are defined in chapter 2.

To assure uniform and appropriate installation of these devices within Medford, the following standards have been agreed to by the City of Medford Building Safety Department and the Medford Water Commission:

1. The need for these devices will be based on pressure information provided by the Medford Water Commission, and can be verified on-site with a pressure gage. While factory settings of these devices may be adjusted, MWC recommends that the regulated pressure be set no higher than 65 psi.
2. PRVs shall NOT be installed when static pressure is less than 50 psi, except for limited specific equipment-based needs.
3. The PRV shall be installed outside the street right of way as close as practical to the water meter.
4. No expansion tank is necessary.
5. No fixture, device or system is permitted between the meter and the PRV.
6. The PRV must NOT be direct buried nor installed in a crawl space.
7. PRVs shall be installed within a readily accessible valve box / vault following the same standard as used for double check backflow assemblies, as follows:

"On new installations, at least 12-inches clearance will be required as per section 603.3.4. When replacing an existing assembly, the 12-inch clearance requirement can be waived as long as there is at least 3-inches clearance between the bottom of the assembly and the ground, and the device is tested and serviced from the top."

Sam Barnum

Building Safety Director

*12"
20+2*

Desmond M. McGeough

From: MOREHOUSE Donald <Donald.MOREHOUSE@odot.state.or.us>
Sent: Thursday, February 12, 2015 3:38 PM
To: Desmond M. McGeough
Subject: AC-15-002/E-15-003

Desmond,

Thank you for giving agency notice for the consideration of plans for the construction of a 3,750 square foot In-N-Out restaurant and associated Exception request seeking relief to minimum front yard setback requirements in the Medford Land Development Code Section 10.721. The subject site is located on the southeast side of Crater Lake Highway (Highway 62), approximately 500 feet northeast of Route 99 (Pacific Highway) on a 1.04 acre parcel, within the C-R/F (Regional Commercial/Freeway Overlay) zone district. We reviewed this and determined that it would not significantly affect state transportation facilities under the State Transportation Planning Rule (OAR 660-012-0060) or State Access Management Rule (OAR 734-051-000). We have no further comments at this time.

Don Morehouse
Senior Transportation Planner
ODOT Region 3, District 8 (Rogue Valley Tech Center)
Ph: (541) 774-6399
Fax: (541) 774-6349
Donald.Morehouse@odot.state.or.us

CITY OF MEDFORD
EXHIBIT # "AA"
File # AC-15-002/E-15-003
1021

Vicinity Map

Application Name/Description:

In-N-Out Burger

Proposal:

Fast food restaurant with drive thru

File Numbers:

AC-15-002 / E-15-003

Applicant:

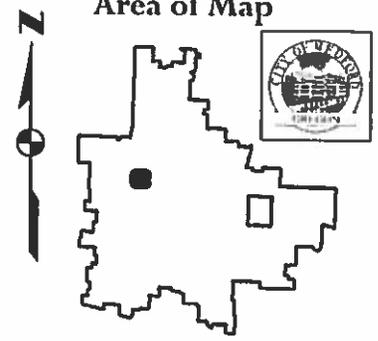
In-N-Out Burger

Map/Taxlot:

372W13DD TL 601

	Subject Area
	Medford Zoning
	UGB
	Tax Lots
	City Limits
	Freeway

Area of Map



01/07/2015

