



Medford City Council Meeting

Agenda

January 18, 2018

6:00 P.M.

Medford City Hall, Council Chambers
411 West 8th Street, Medford, Oregon

10. **Roll Call**

20. **Recognitions, Community Group Reports**

20.1 Employee of the Quarter

20.2 Employee Recognition

20.3 Oregon Department of Transportation update by Gary Leaming

20.4 Quarterly Travel Medford update by Eli Matthews

30. **Oral Requests and Communications from the Audience**

Comments will be limited to 4 minutes per individual, group or organization. PLEASE SIGN IN.

40. **Public Hearings**

Comments are limited to a total of 30 minutes for applicants and/or their representatives. You may request a 5-minute rebuttal time. Appellants and/or their representatives are limited to a total of 30 minutes and if the applicant is not the appellant they will also be allowed a total of 30 minutes. All others will be limited to 4 minutes. PLEASE SIGN IN.

40.1 COUNCIL BILL 2018-06 An ordinance vacating a portion of a public utility easement located on the south side of Progress Drive at the Biddle Road intersection. (SV-17-084) Land Use, Quasi-Judicial

50. **Approval or Correction of the Minutes of the January 4, 2018 Regular Meeting**

60. **Consent Calendar**

70. **Items Removed from Consent Calendar**

80. **Ordinances and Resolutions**

80.1 COUNCIL BILL 2018-07 An ordinance awarding a contract in an amount of \$577,790.05 to Michels Corporation for installation of Cured in Place Pipe lining of failing sewer pipes.

80.2 COUNCIL BILL 2018-08 An ordinance amending sections 9.101, 9.200, and 9.250 of the Medford Municipal Code pertaining to the adoption of Oregon Specialty Codes for compliance with state law.

80.3 COUNCIL BILL 2018-09 A resolution appointing representatives to voting positions as the City representatives on boards and commissions.

90. Council Business

90.1 Proclamations issued: None

90.2 Committee Reports and Communications

100. City Manager and Staff Reports

100.1 Utility Rate update by Brian Sjothun and Cory Crebbin

100.2 ADT Life Saver Award by Justin Bates

100.3 Further reports from City Manager

110. Adjournment



CITY OF MEDFORD AGENDA ITEM COMMENTARY

Item No: 40.1

www.ci.medford.or.us

DEPARTMENT: Planning
PHONE: (541) 774-2380
STAFF CONTACT: Matt Brinkley

AGENDA SECTION: Public Hearings
MEETING DATE: January 18, 2018

COUNCIL BILL 2018-06

An ordinance vacating a portion of a public utility easement located on the south side of Progress Drive at the Biddle Road intersection. (SV-17-084)

SUMMARY AND BACKGROUND

Consideration of a request for the vacation of a portion of an existing Public Utility Easement (PUE) on the south side of Progress Drive at the Biddle Road intersection (1528 Biddle Road). The applicant proposes to reduce the PUE from 15 to 10 feet in width across the property frontage. (SV-17-084)

On March 17, 2017, the Site Plan and Architectural Commission approved the construction of a 20,000 square foot, three story building as the future home of People's Bank of Commerce. The proposed vacation is being requested to maximize the available development area and provide sufficient parking.

At the Planning Commission hearing on December 14, 2017, the Commission forwarded a favorable recommendation to the City Council for the proposed vacation.

PREVIOUS COUNCIL ACTIONS

On November 16, 2017 – Resolution No. 2017-132 – Council approved a resolution establishing a hearing date of January 18, 2018, for consideration of the matter.

ANALYSIS

The City Attorney's office determined that the vacation process for a Public Utility Easement is not required per ORS Chapter 271; however, Section 10.200 of the Medford Land Development Code (MLDC) does state that a request to vacate an "easement" be subject to the vacation provisions of the Code, which the City's legal counsel interpreted as including a PUE. Counsel's advisement to staff that the PUE be extinguished in accordance with the City's vacation procedures is further supported by the fact that the PUE is identified within a recorded subdivision plat, requiring that its elimination, in whole or in part, be recorded into the public record in accordance with ORS procedures.

MLDC 10.200 further states that such vacation, in addition to the requirements of the Code, be subject to the vacation procedures outlined in ORS Chapter 271. The property is located within a three lot partition plat; pursuant to ORS 271.080, the consent of the owners of two-thirds in area of the property embraced within such plat is required. The applicant has provided the written consent of all three property owners within the subject plat, along with written approval from all affected private utility providers.

FINANCIAL AND/OR RESOURCE CONSIDERATIONS

None

TIMING ISSUES

None

COUNCIL OPTIONS

- Approve the ordinance as presented
- Modify the ordinance as presented
- Decline to adopt the ordinance and provide direction to staff

STAFF RECOMMENDATION

Staff recommends approval of the vacation.



CITY OF MEDFORD
AGENDA ITEM COMMENTARY

Item No: 40.1

www.ci.medford.or.us

SUGGESTED MOTION

I move to adopt the ordinance authorizing the vacation of a portion of the existing Public Utility Easement (PUE), reducing its width from 15 feet to 10 feet, as recommended by the Planning Commission.

EXHIBITS

Ordinance

Minutes – Planning Commission hearing from December 14, 2017

Planning Commission Staff Report, including Exhibits A-J

Legal description and Exhibit Map of vacation area

ORDINANCE NO. 2018-06

AN ORDINANCE vacating a portion of a public utility easement located on the south side of Progress Drive at the Biddle Road intersection.

WHEREAS, the City Council of the City of Medford, Oregon, by Resolution No. 2017-132 accepted the petition initiating the vacation; and

WHEREAS, the City Council fixed 6:00 p.m. on January 18, 2018, in the Medford City Council Chambers, 411 W. 8th St., Medford, Oregon, as the time and place for hearing any objections to the proposed vacation of said area; and

WHEREAS, the City Recorder has given notice of the time and place for said hearing as required by law; and

WHEREAS, at the time and place set for hearing the City Council heard all objections to the proposed vacation; and

WHEREAS, on the basis of the facts and conclusions stated in the Staff Report dated December 7, 2017, on file in the Planning Department, the City Council has deemed it to be in the public interest that said area be vacated; now, therefore,

THE CITY OF MEDFORD ORDAINS AS FOLLOWS:

Section 1. That a portion of a public utility easement located on the south side of Progress Drive at the Biddle Road intersection, described in Exhibit "A" attached hereto and incorporated herein, is hereby vacated and the ownership of the said area hereby vacated shall become vested as provided by law; and an easement retained for any existing public utilities.

Section 2. The Council finds and determines that written objections were not received from the owners of a majority of the area affected by the vacation.

Section 3. The Council finds and determines that the vacation of said area in the City of Medford is in the public interest and does not damage or cause a deterioration of the market value of any real property of non-consenting owners (if any) abutting the same or any portion thereof and that no damage on account thereof shall be allowed.

Section 4. The City Recorder is hereby directed to cause a certified copy of this ordinance, together with any map, plat or other record showing the area, to be filed with the County Surveyor of

Jackson County, Oregon.

PASSED by the Council and signed by me in authentication of its passage this _____ day of _____, 2018.

ATTEST: _____
City Recorder

Mayor

APPROVED _____, 2018.

Mayor

State of Oregon)
County of Jackson)

On this _____ day of _____, 2018, Gary H. Wheeler, as Mayor for the City of Medford, personally appeared before me and is known to me to be the person whose name is signed to this document, and acknowledges that he signed the document.

Notary Public for Oregon
My Commission expires:

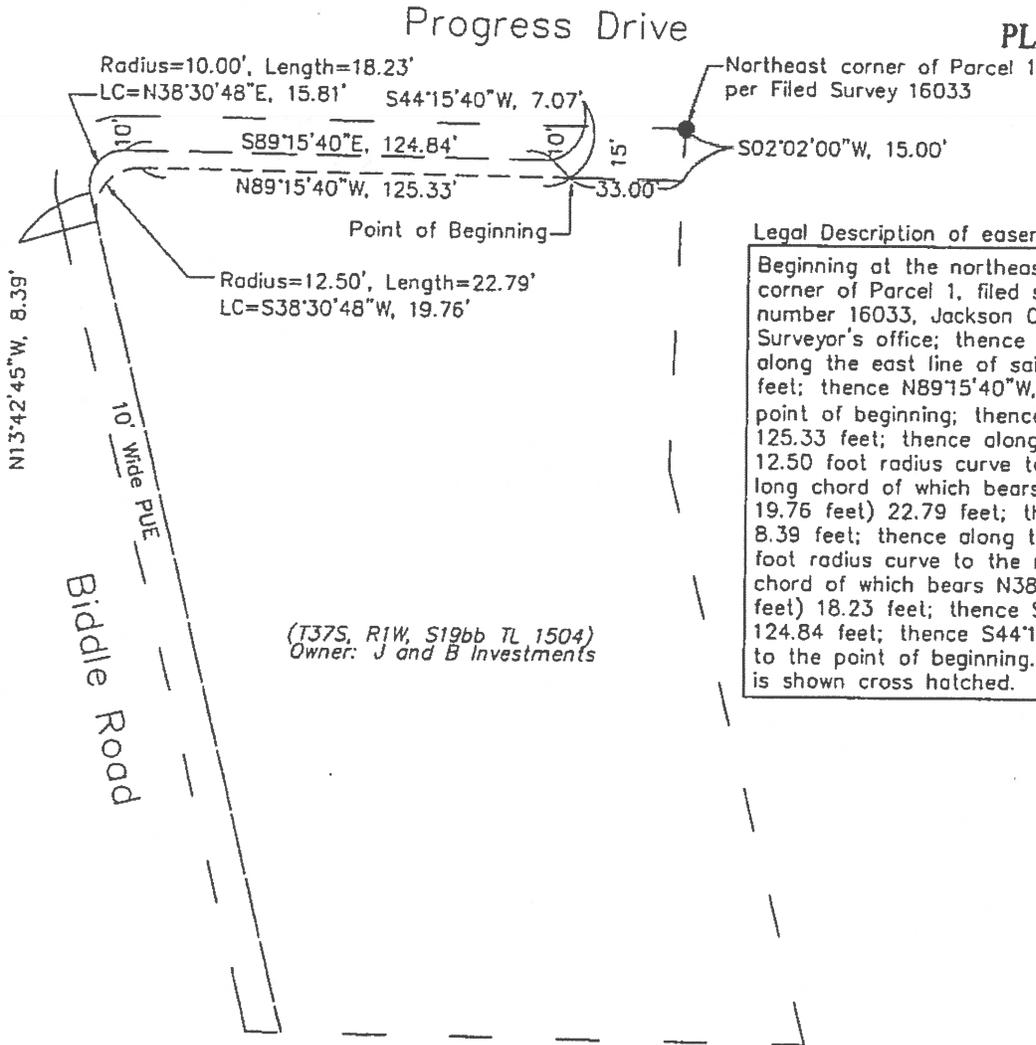
Legal Description and Exhibit Map

Located In:
 NW1/4, NW1/4 of Section 19
 Township 37 South, Range 1 West, W.M.,
 Medford, Jackson County, Oregon

RECEIVED

JUL 29 2017

PLANNING DEPT.



Legal Description of easement vacation area:

Beginning at the northeast corner of Parcel 1, filed survey number 16033, Jackson County Surveyor's office; thence S02°02'00"W, along the east line of said Parcel 1, 15.00 feet; thence N89°15'40"W, 33.00 feet to the point of beginning; thence N89°15'40"W, 125.33 feet; thence along the arc of a 12.50 foot radius curve to the left (the long chord of which bears S38°30'48"W, 19.76 feet) 22.79 feet; thence N13°42'45"W, 8.39 feet; thence along the arc of a 10.00 foot radius curve to the right (the long chord of which bears N38°30'48"E, 15.81 feet) 18.23 feet; thence S89°15'40"E, 124.84 feet; thence S44°15'40"E, 7.07 feet to the point of beginning. Vacated area is shown cross hatched.



REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

John R. Pariani

OREGON
 July 13, 1999
 JOHN R. PARIANI
 #51382

Renews: Dec. 31, 2018

per CS 16033

Legal Description and Exhibit Map

Pariani Land Surveying

10558 Highway 62, Suite B-1
 Eagle Point, OR 97524
 541-890-1131

ParianiLS@yahoo.com

Date: July 29, 2017	Scale: 1" = 50'	Job No.: 2016-	Sheet: CITY OF MEDFORD
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EXHIBIT # A
 File # SV-17-084

- Please strike the three foot high cedar fence reference on page 31 of the agenda packet.

Mr. Harland reserved rebuttal time.

Vice Chair McFadden asked Mr. Mitton, does he have any problems with the submitted request memo? Mr. Mitton reported that the City sees the first request often. If it is not explicitly spelled out the City works with the developer to make it happen. If the Planning Commission wants to make it explicit there is no harm in doing so. He does not have concerns with the 100% of the budgeted amount. He has no comments on the phasing issue, lighting or the fence.

Commissioner McKechnie asked, where did the cedar fence come from? Would Mr. Roennfeldt speak to the approval required prior to the first building permit for vertical construction? Is there something that would impact them doing it that way? Mr. Roennfeldt reported that regarding the cedar fence could have been in the previous findings. It was not in the current findings. He does not have any issues with the vertical construction.

The Public Hearing was closed.

Motion: The Planning Commission adopted the findings as recommended by staff and directed staff to prepare the Final Order for approval of CUP-17-101 per the staff report dated December 6, 2017, including Exhibits A through T and striking on the Public Works staff report the second item under section 2. Public Improvements subsection (e) Access to Public Street System on page 174 and under the Summary Conditions of Approval on page 179 of the agenda packet.

Moved by: Vice Chair McFadden

Seconded by: Commissioner McKechnie

Roll Call Vote: Motion passed, 8-0.

New Business

50.3 SV-17-084 Consideration of a request for the vacation of a portion of an existing 35-foot wide Public Utility Easement (PUE) located at 1528 Biddle Road, and contained within a three-lot land partition plat, reducing the PUE bordering the property's northerly boundary along Progress Drive from 15 feet to 10 feet. (ORW Architecture, Applicant/Agent; Dustin Severs, Planner).

Chair Miranda inquired whether any Commissioners have a conflict of interest or ex-parte communication they would like to disclose. Vice Chair McFadden disclosed that he works for a utility company and is involved with the Public Utility Easement (PUE) with this project but it will not affect his decision.

Chair Miranda inquired whether anyone in attendance wishes to question the Commission as to conflicts of interest or ex-parte contacts. None were disclosed.

Dustin Severs, Planner III, reported a typographical error in the staff report under project description. It states that the subject PUE is 35-feet wide, that is not accurate. In the submitted exhibit map the width of the PUE is 138 feet. The street vacation criteria can be found in the Medford Land Development Code Section 10.202. The applicable criteria were included in the staff report, property owner notices and hard copies are available at the entrance of Council Chambers for those in attendance. Mr. Severs gave a staff report.

The Public Hearing was opened.

a. Andrew Owen, ORW Architecture, 2950 East Barnett Road, Medford, Oregon, 97504. Mr. Owen reported that since staff did an excellent presentation he had nothing to add.

Mr. Owen reserved rebuttal time.

The Public Hearing was closed.

Motion: The Planning Commission, based on the findings and conclusions that all of the approval criteria are met or are not applicable, forwards a favorable recommendation to the City Council for approval of SV-17-084 per the staff report dated December 7, 2017, including Exhibits A through J.

Moved by: Vice Chair McFadden

Seconded by: Commissioner Foley

Roll Call Vote: Motion passed, 8-0.

50.4 ZC-17-128 Consideration of a zone change from SFR-00 (Single Family Residential – one dwelling unit per existing lot) to SFR-10 (Single Family Residential – ten dwelling units per gross acre) on a 1.61 acre lot located on the corner of Lozier Lane and Lozier Court in southwest Medford (372W26DD Tax Lot 1100). (PDK Properties LLC, Applicant; Scott Sinner Consulting, Agent; Liz Conner, Planner).

Chair Miranda inquired whether any Commissioners have a conflict of interest or ex-parte communication they would like to disclose. Commissioner McKechnie disclosed that Scott Sinner is his neighbor but it would not affect his review of this case.

Chair Miranda inquired whether anyone in attendance wishes to question the Commission as to conflicts of interest or ex-parte contacts. None were disclosed.



STAFF REPORT

for a Class-B decision: Vacation

Project Progress Drive Vacation
Applicant: ORW Architecture

File no. SV-17-084

To Planning Commission for December 14, 2017 hearing

From Dustin Severs, Planner III

Reviewer Kelly Akin, Assistant Planning Director

Date December 7, 2017

BACKGROUND

Proposal

Consideration of a request for the vacation of a portion of an existing Public Utility Easement (PUE) located at 1528 Biddle Road, and contained within a three-lot land partition plat, reducing the PUE bordering the property's northerly boundary along Progress Drive from 15 feet to 10 feet.

Vicinity Map



History

On March 17, 2017, the Site Plan and Architectural Commission (SPAC) approved the construction of a 20,000 square foot, three story building as the future home of People's Bank of Commerce. (AC-16-153)

Later, on July 12, 2017, the applicant submitted the subject application requesting to vacate a portion of the existing Public Utility Easement (PUE) in order to maximize the available development area and provide sufficient parking.

A resolution setting the City Council hearing date of January 18, 2017, was approved by City Council on November 16, 2017.

Authority

This proposal is a Class-B application for vacation of public right-of-way. The Planning Commission is authorized to act as the advisory agency to the City Council for vacations, providing a recommendation to the City Council, and with the City Council serving as the approving authority under Medford Municipal Code Sections 10.102–122, 10.165, and 10.185.

ISSUES AND ANALYSIS

Background

The request is being made for the reduction of a portion of the existing Public Utility Easement (PUE) bordering the property's northerly boundary along Progress drive from its current depth of 15 feet, to 10 feet, which is the standard requirement per MLDC 10.471.

The City Attorney's office determined that the vacation process for a Public Utility Easement is not required per ORS Chapter 271; however, Section 10.200 of the Medford Land Development Code (MLDC) does state that a request to vacate an "easement" be subject to the vacation provisions of the Code, which the City's legal counsel interpreted as including a PUE. Counsel's advisement to staff that the PUE be extinguished in accordance with the City's vacation procedures was also compounded by the fact that the PUE is identified within a recorded subdivision plat, requiring that its removal be recorded into the public record in accordance with ORS procedures.

MLDC 10.200 further states that such vacation, in addition to the requirements of the Code, be subject to the vacation procedures outlined in ORS Chapter 271. The property is located within a three lot partition plat; pursuant to ORS 271.080, the consent of the owners of two-thirds in area of the property embraced within such plat is required. The applicant has provided the written consent of all three property owners within the subject plat, along with written approval from all affected utility providers.

Agency Comments

Per the agency comments submitted to staff (Exhibits C-F), it can be found that the submitted legal description accurately describes the area to be vacated, and that public facilities will not be impacted by the proposed vacation.

Other Agency Comments

None

Committee Comments

No comments were received from committees such as BPAC.

FINDINGS AND CONCLUSIONS

The criteria that apply to vacations are in Medford Municipal Code Section 10.202.

Vacation Criteria. A request to vacate shall be approved by the approving authority (City Council) when the following criteria have been met:

Criterion (1): Compliance with the Public Facilities Element of the Comprehensive Plan, including the Transportation System Plan.

Findings

A review of the goals and policies in the Comprehensive Plan that relate to public facilities, transportation and the Transportation System Plan (TSP) do not apply to Public Utility Easements (PUE).

Conclusion

This criterion is not applicable to the project.

Criterion (2): If initiated by petition under ORS 271.080, the findings required by ORS 271.120.

Findings

The application was initiated by petition per the requirements in ORS 271.080(2).

Conclusion

The submitted application contains the requisite material and provides a petition conforming to the standards of ORS 271.080, including the written consent of all three property owners within the subject plat, and written approval from all affected utility providers. This criterion is satisfied.

Criterion (3): If initiated by the Council, the applicable criteria found in ORS 271.130.

Findings

The applicant has chosen to initiate the vacation by submitting a petition as allowed per ORS 271.080; therefore, initiation by the Council is not requested.

Conclusion

This criterion is not applicable to the project.

RECOMMENDED ACTION

Based on the findings and conclusions that all of the approval criteria are met or are not applicable, forward a favorable recommendation to the City Council for approval of the vacation per the staff report dated December 7, 2017, including Exhibits A through J.

EXHIBITS

- A Legal description and Exhibit Map of vacation area, received July 29, 2017.
- B Applicant's Findings of Fact and Conclusions of Law, received July 12, 2017.
- C Medford Public Works Department Staff Report, received November 22, 2017.
- D Medford Fire Department Report, received November 13, 2017.
- E Medford Water Commission Memo and Facility Map, received November 21, 2017.
- F City Surveyor comments, received October 18, 2017.
- G Partition Plat, created December 1998.
- H Assessor's Map, received July 12, 2017.
- I Consent to Vacation (1 of 2), received July 12, 2017.
- J Utility company sign offs (1 of 4), received July 12, 2017.
Vicinity map

PLANNING COMMISSION AGENDA

DECEMBER 14, 2017

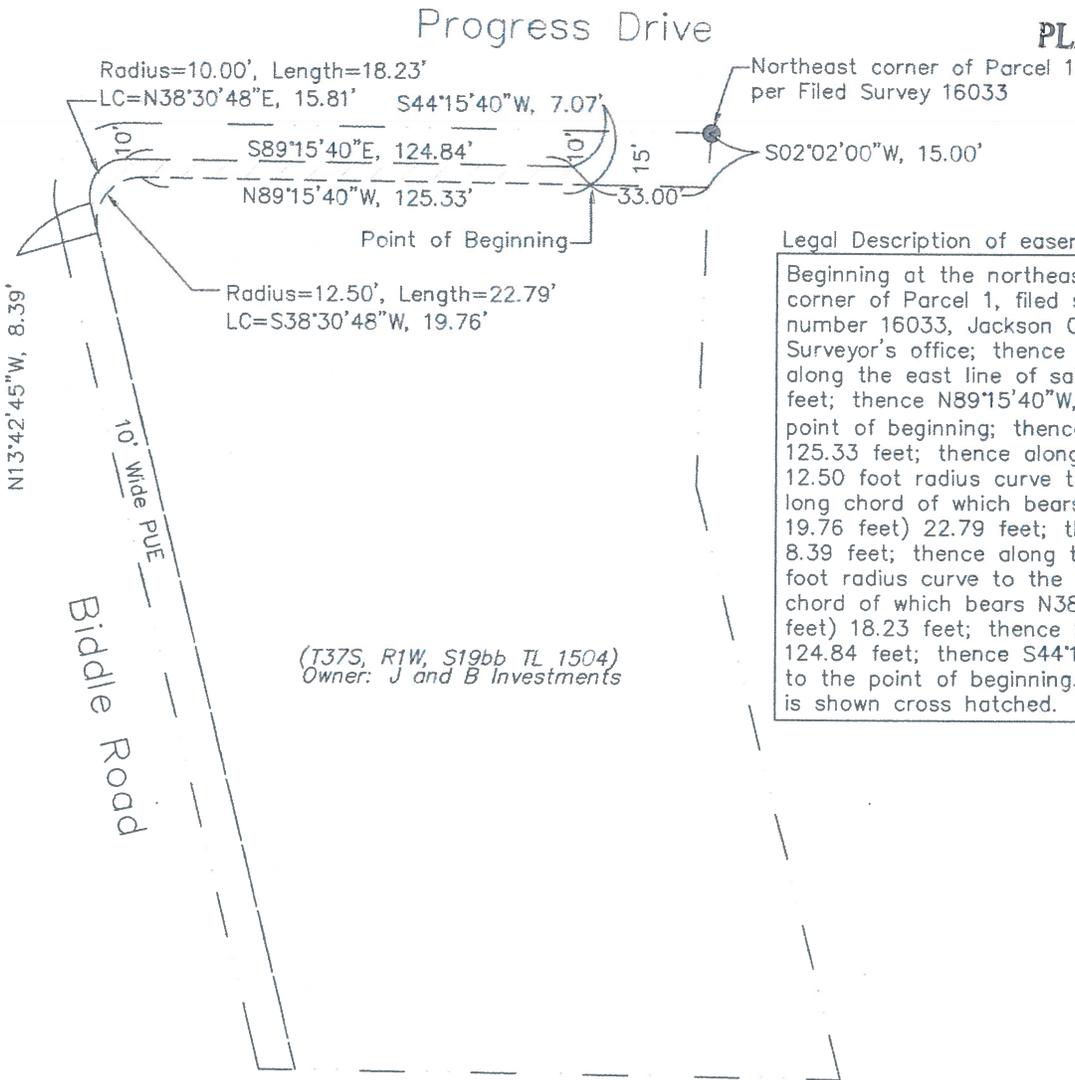
Legal Description and Exhibit Map

Located In:
 NW1/4, NW1/4 of Section 19
 Township 37 South, Range 1 West, W.M.,
 Medford, Jackson County, Oregon

RECEIVED

JUL 29 2017

PLANNING DEPT.



Legal Description of easement vacation area:

Beginning at the northeast corner of Parcel 1, filed survey number 16033, Jackson County Surveyor's office; thence S02°02'00"W, along the east line of said Parcel 1, 15.00 feet; thence N89°15'40"W, 33.00 feet to the point of beginning; thence N89°15'40"W, 125.33 feet; thence along the arc of a 12.50 foot radius curve to the left (the long chord of which bears S38°30'48"W, 19.76 feet) 22.79 feet; thence N13°42'45"W, 8.39 feet; thence along the arc of a 10.00 foot radius curve to the right (the long chord of which bears N38°30'48"E, 15.81 feet) 18.23 feet; thence S89°15'40"E, 124.84 feet; thence S44°15'40"E, 7.07 feet to the point of beginning. Vacated area is shown cross hatched.



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 LAND SURVEYOR

John R. Pariani

OREGON
 July 13, 1999
 JOHN R. PARIANI
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Renews: Dec. 31, 2018

Legal Description and Exhibit Map

Pariani Land Surveying

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 541-890-1131

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Date: July 29, 2017	Scale: 1" = 50'	Job No.: 2016-	Sheet: CITY OF MEDFORD
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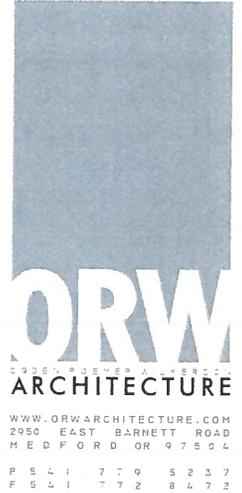
EXHIBIT # **A**
 File # **SV-17-084**

RECEIVED
JUL 12 2017
PLANNING DEPT.

26 June, 2017

Praline McCormack
Planner II

City of Medford
Planning Department
200 S. Ivy St.
Medford, OR 97501



Re: People's Bank of Commerce – Biddle Road Building – Partial vacation of PUE

Section I – Narrative & Finding of Facts:

This request is being made for a reduction of a portion of an existing 15-foot wide Public Utility Easement (PUE). The Owner is requesting that the existing PUE bordering the property's north boundary, along Progress Drive, be reduced to 10 feet as is standard for the City of Medford per section 10.471 of the city Municipal Code.

As you will see from the Exhibit Sketch Map attached, the reduction in width is requested of a portion of the PUE that extends from Biddle Road, east to a point roughly 35 feet from the east property line. From the point, roughly 35 feet from the east property line, to the east property line shall remain as the existing 15-foot wide PUE.

The only property directly adjacent to this requested easement vacation area is the Owner (filing this request) of Parcel No.1, filed survey number 16033, Jackson County Surveyor's office. We have also provided (attached) letters of concurrence from the utilities that may be effected by this PUE modification, and the City of Medford Traffic Engineering department has relocated traffic signal power lines into the area of the proposed PUE as well.

The staff for the City of Medford Public Works requested a 10-foot wide PUE be provided along Progress Drive. It is the Owner's desire to comply with requirement while also maximizing the available site area for development, thus ensuring the ability to provide the required amount of parking for their needs.

Sincerely,

A handwritten signature in black ink, appearing to read "Andrew Owen", is written over a horizontal line.

Andrew Owen
ORW Architecture



Medford – A fantastic place to live, work and play

CITY OF MEDFORD

LD Date: 11/22/2017
File Number: SV-17-084

PUBLIC WORKS DEPARTMENT STAFF REPORT **People's Bank of Commerce** **Public Utility Easement Vacation**

Project: Consideration of a request for the vacation of a portion of an existing 35-foot wide Public Utility Easement (PUE) located at 1528 Biddle Road, and contained within a three-lot land partition plat, reducing the PUE bordering the property's northerly boundary along Progress Drive from 15 feet to 10 feet.

Applicant: ORW Architecture, Andrew Owen, Applicant; Dustin Severs, Planner.

Public Works concurs with the request to vacate the subject existing public utility easement from 15-foot down to 10-feet. All affected utilities have relocated their facilities outside of the area to be vacated.

Prepared by: Doug Burroughs



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
E-mail www.fire@ci.medford.or.us

LAND DEVELOPMENT REPORT - PLANNING

To: Dustin Severs

LD Meeting Date: 11/22/2017

From: Fire Marshal Kleinberg

Report Prepared: 11/13/2017

File #: SV - 17 - 84

Site Name/Description:

Consideration of a request for the vacation of a portion of an existing 35-foot wide Public Utility Easement (PUE) located at 1528 Biddle Road, and contained within a three-lot land partition plat, reducing the PUE bordering the property's northerly boundary along Progress Drive from 15 feet to 10 feet. ORW Architecture, Andrew Owen, Applicant; Dustin Severs, Planner.

DESCRIPTION OF CORRECTIONS	REFERENCE
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Approved as Submitted

Meets Requirement: No Additional Requirements

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.

CITY OF MEDFORD
EXHIBIT # D
File # SV-17-084



BOARD OF WATER COMMISSIONERS

Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: SV-17-084

PARCEL ID: 371W19BB TL 1504

PROJECT: Consideration of a request for the vacation of a portion of an existing 35-foot wide Public Utility Easement (PUE) located at 1528 Biddle Road, and contained within a three-lot land partition plat, reducing the PUE bordering the property's northerly boundary along Progress Drive from 15 feet to 10 feet. ORW Architecture, Andrew Owen, Applicant; Dustin Severs, Planner.

DATE: November 22, 2017

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. No Conditions.

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is not required.
3. MWC-metered water service does exist to this property. There is an existing 1.5-inch water meter located along the east side of Biddle Road.
4. Access to MWC water lines is available. There is an existing 8-inch water line on the north side of Progress Drive. There is also a 6-inch water line located on the east side of Biddle Road.



CITY OF MEDFORD
MEMORANDUM

To: Jon Proud, Engineering
From: Dustin Severs
Date: October 18, 2017
Subject: Legal Description (File No. SV-17-084)

Please verify the attached legal description covering the below subject at your earliest convenience. See attached map.

1. SV-17-084 (ORW Architecture , Applicant).

DUSTIN, yes ~~the~~ the description
is correct. I have attached
my earlier comments for 'house keeping'

Thanks, JON
10/20/17

Cp

- Legal Description
- Vicinity Map

"Working with the Community to Shape a Vibrant and Exceptional City"

CITY OF MEDFORD
EXHIBIT # F
File # SV-17-084

PARTITION PLAT NO. P-5-1999
(LAND PARTITION LDP-98-90)

Located In:

In the Northwest 1/4 of Section 19,
Township 37 South, Range 1 West, W.M.,
City of Medford Jackson County, Oregon
Tax Lot 1504

For:

SMITH DEVELOPMENT L.L.C.
260 Mt. Echo Drive
Medford, Oregon 97504

APPROVALS:

CITY OF MEDFORD PLANNING

James Minnici
DIRECTOR
DATE FEBRUARY 1, 1999
EXAMINED AND APPROVED THIS _____ DAY OF _____, 1999
CITY SURVEYOR

RECORDER'S CERTIFICATE:
FILED FOR RECORD THIS 5 DAY OF February 1999 AT 11:40 O'CLOCK, A.M.
AND RECORDED AS PARTITION PLAT NO. P-5-1999 OF "RECORD OF PARTITION PLATS"
IN JACKSON COUNTY, OREGON. (INDEX VOLUME 10 PAGE S-1)
Kathleen S. Beckert COUNTY CLERK
Cheryl A. Springer DEPUTY

FILED IN THE OFFICE OF THE JACKSON COUNTY SURVEYOR AS NO. **16033**

SURVEYOR'S CERTIFICATE

I, DAVID M. MINNECI, A DULY REGISTERED SURVEYOR OF THE STATE OF OREGON, DO HEREBY CERTIFY THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME AND COMPLIES WITH REGULATIONS FOR LAND PARTITIONS AND THE FOLLOWING IS AN ACCURATE DESCRIPTION OF THE PARENT TRACT OF LAND AS SET FORTH HEREON:

BEGINNING AT THE NORTHWEST CORNER OF PARCEL 3, PAGE 69 OF PARTITION PLAT P-69-1995, FILED FOR RECORD SEPTEMBER 1, 1995 IN VOLUME 5, PAGE 69 OF THE "RECORDS OF PARTITION PLATS" IN JACKSON COUNTY, OREGON, AND FILED IN THE OFFICE OF THE COUNTY SURVEYOR AS SURVEY NUMBER 14650, SAID POINT BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF BIDDLE ROAD, THENCE NORTH 13°42'45" WEST, ALONG SAID EASTERLY LINE, 243.83 FEET; THENCE, ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE RIGHT, (THE LONG CHORD TO WHICH BEARS NORTH 38°30'47" EAST 31.62 FEET), AN ARC DISTANCE OF 36.46 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF PROGRESS DRIVE, THENCE SOUTH 89°15'40" EAST, ALONG SAID SOUTHERLY LINE, 828.74 FEET TO THE NORTHEAST CORNER OF THAT TRACT DESCRIBED IN DOCUMENT NO. 98-06203, OFFICIAL RECORDS OF SAID JACKSON COUNTY; THENCE, SOUTH 00°49'22" WEST, ALONG THE EASTERLY LINE OF SAID TRACT, 261.05 FEET (RECORD 261.10 FEET) TO THE SOUTHEAST CORNER THEREOF, BEING THE NORTHERLY LINE OF THE ABOVE SAID PARCEL 3 OF PARTITION PLAT P-69-1995, THENCE NORTH 89°16'00" WEST, ALONG SAID NORTHERLY LINE, 586.87 FEET TO THE POINT OF BEGINNING.

DECLARATION:
I, *David M. Minnici*, SURVEYOR

KNOW ALL MEN BY THESE PRESENTS, THAT WE, AMERICAN EXCHANGE SERVICES, INC. AND SMITH DEVELOPMENT, L.L.C. ARE THE OWNERS OF THE REAL PROPERTY REPRESENTED ON THIS PARTITION PLAT AND MORE PARTICULARLY DESCRIBED IN THE SURVEYOR'S CERTIFICATE, AND HAVE CAUSED THE SAME TO BE PARTITIONED INTO PARCELS AS SHOWN ON THE PARTITION PLAT. WE HEREBY DEDICATE TO THE PUBLIC FOR PUBLIC USE THOSE AREAS LABELED AS PUBLIC UTILITY EASEMENTS SHOWN HEREON, AND WE HEREBY CREATE FOR THE BENEFIT OF THE OWNERS, THEIR HEIRS AND ASSIGNS OF PARCEL 2, A PRIVATE SANITARY SEWER EASEMENT OVER AND ACROSS PARCEL 1, WE HEREBY GRANT, FOR THE BENEFIT OF THE OWNERS, THEIR HEIRS AND ASSIGNS OF THAT TRACT LYING SOUTHERLY OF PARCEL 2 AND BEING MORE PARTICULARLY DESCRIBED IN DOCUMENT NO. 98-42580, OFFICIAL RECORDS OF JACKSON COUNTY, THE USE OF THE 30 FOOT ACCESS AS AN EASEMENT FOR INGRESS AND EGRESS TO AND FROM SAID TRACT.

AMERICAN EXCHANGE SERVICES, INC.
IN WITNESS WHEREOF, SIGNED THIS 4th DAY OF October, 1998.

STATE OF OREGON } SS. *Cindy Poling*
COUNTY OF JACKSON } CINDY POLING, ASSISTANT SECRETARY
AMERICAN EXCHANGE SERVICES, INC.

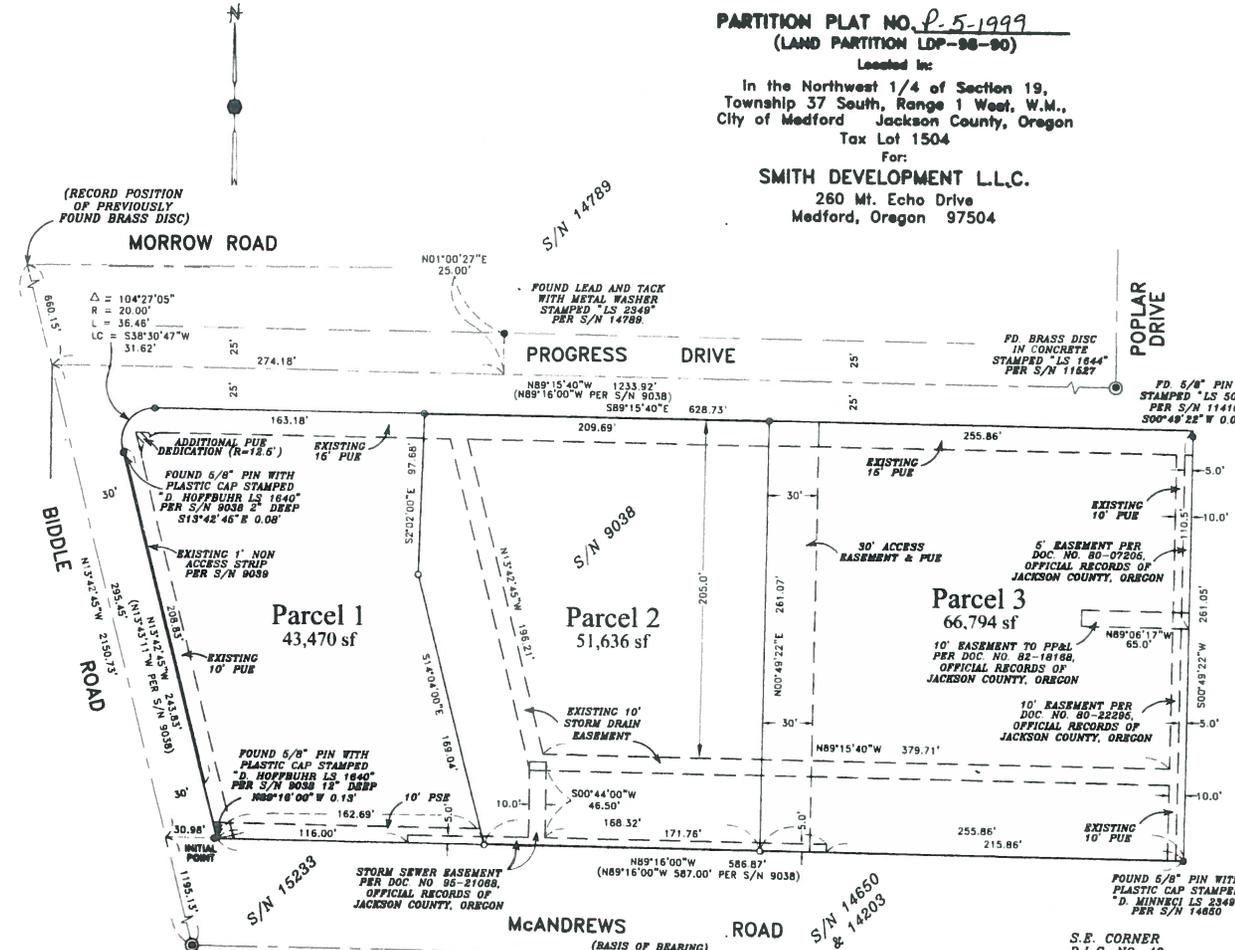
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 1st DAY OF February, 1998, BY CINDY POLING, KNOWN TO ME AS THE PERSON WHO EXECUTED THE WITHIN INSTRUMENT ON BEHALF OF AMERICAN EXCHANGE SERVICES, INC. AN OREGON CORPORATION.



SMITH DEVELOPMENT, L.L.C.
IN WITNESS WHEREOF, SIGNED THIS 9th DAY OF February, 1998.

STATE OF OREGON } SS. *Randy D. Smith*
COUNTY OF JACKSON } RANDY D. SMITH, MEMBER
SMITH DEVELOPMENT, L.L.C.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 1st DAY OF February, 1998, BY RANDY D. SMITH, KNOWN TO ME AS THE PERSON WHO EXECUTED THE WITHIN INSTRUMENT ON BEHALF OF SMITH DEVELOPMENT, L.L.C., AN OREGON LIMITED LIABILITY COMPANY.



Page 21

I certify this plat to be an exact photocopy of the original.
David M. Minnici
SURVEYOR

NOTE:
1.) AT THE TIME OF SITE PLAN AND ARCHITECTURAL REVIEW, CROSS-ACCESS AGREEMENTS BETWEEN PARCELS 1, 2 AND 3 SHALL BE CREATED.

ALL TAXES, FEES, ASSESSMENTS OR OTHER CHARGES AS REQUIRED BY O.R.S. 92.095 HAVE BEEN PAID AS OF THIS 5th DAY OF February, 1999

William J. Jones, Deputy Tax Collector
Lynne Abbott, Deputy Tax Collector
DATE 2-5-99
DATE 2-5-99

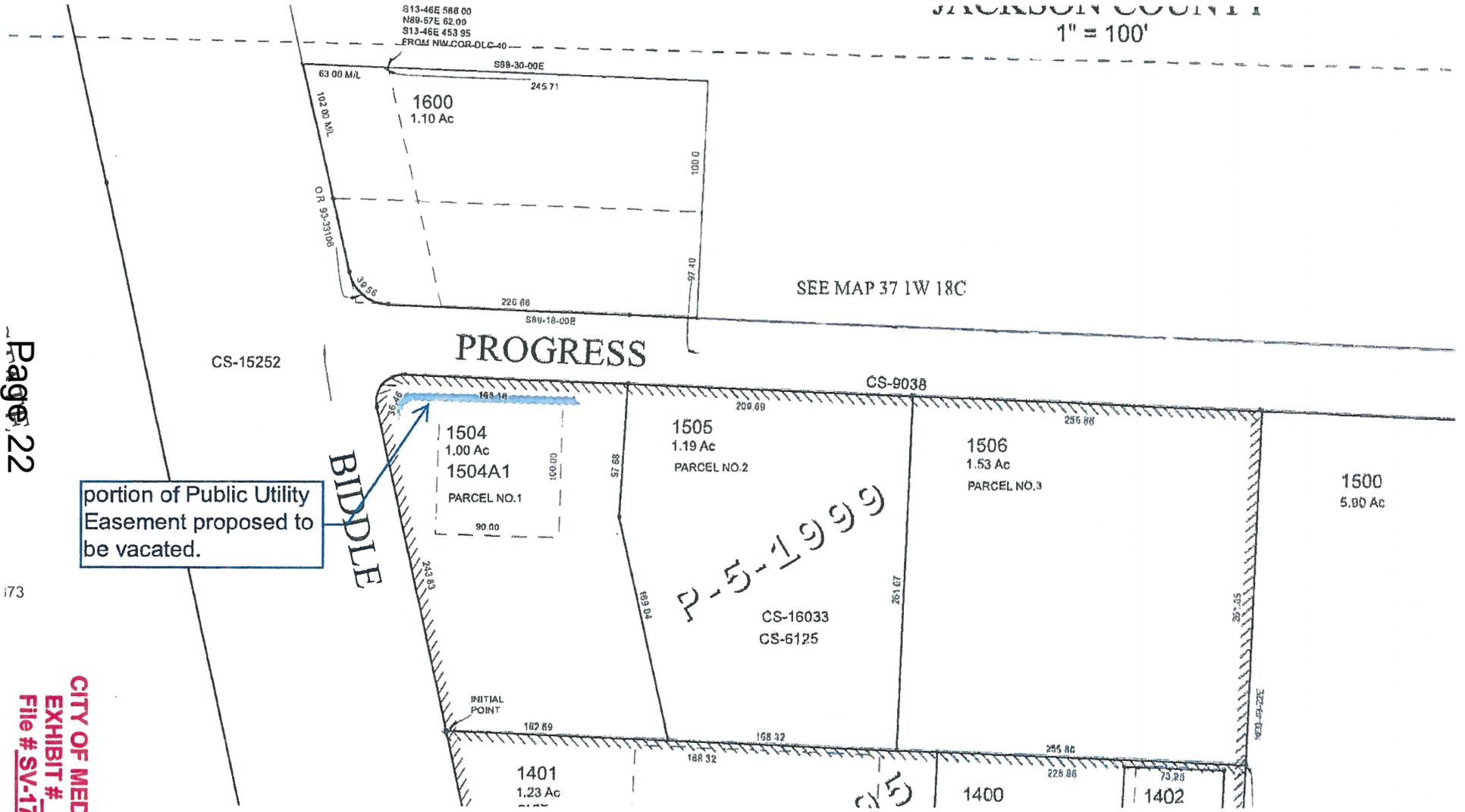
HOFFBUHR & ASSOCIATES, INC.
1082 E. JACKSON MEDFORD, OREGON
(541) 778-4641

BY: DAVID M. MINNECI RPLS NO. 2349
SCALE: 1" = 50' OCTOBER 26, 1998
BASIS OF BEARING: SURVEY NUMBER 14203
(SOUTH LINE OLD NO. 40)

- O = SET 5/8" X 24" IRON PIN WITH PLASTIC CAP STAMPED "D. MINNECI LS 2349"
- II = SET 5/8" X 30" IRON PIN WITH PLASTIC CAP STAMPED "D. MINNECI LS 2349"
- = SET LEAD PLUG & TACK WITH METAL WASHER STAMPED "LS 2349" IN CONCRETE SIDEWALK.
- = FOUND MONUMENT AS NOTED.
- ⊙ = FOUND BRASS DISK MONUMENT AS NOTED.
- S/N = SURVEY NUMBER
- PSE = PRIVATE SANITARY SEWER EASEMENT
- PUE = EASEMENT FOR PUBLIC UTILITIES, STORM DRAINAGE GAS, WATER, ELECTRIC, CABLE TELEVISION AND SANITARY SEWER CONSTRUCTION AND MAINTENANCE.

CITY OF MEDFORD
EXHIBIT # 6
File # SV-17-084

S13-46E 586 00
N89-57E 62.09
S13-46E 453 95
FROM NW COR. D.C. 40



portion of Public Utility Easement proposed to be vacated.



CITY OF MEDFORD PLANNING DEPARTMENT

CONSENT TO VACATION

As the property owner(s) of:

Map and Tax Lot: 371w19bb - 1506

Address: 1166-1174 Progress Drive

I/We hereby consent to a vacation within the city limits of Medford described as:

a portion of the current PUE, completely contained within the property owned by People's Bank of Commerce. See attached exhibit for legal location & description.

DATED this _____ day of _____, 20_____.

Owner *[Signature]*

Owner _____

Date 9/11/17

Date _____

"Working with the Community to Shape a Vibrant and Exceptional City"

Lausmann Annex • 200 South Ivy Street • Medford OR 97501

Phone (541)774-2380 • Fax (541)618-1708

www.ci.medford.or.us

CITY OF MEDFORD

EXHIBIT # I (1 of 2)

File # SV-17-084



CITY OF MEDFORD PLANNING DEPARTMENT

CONSENT TO VACATION

As the property owner(s) of:

Map and Tax Lot: 371w19bb - 1505

Address: 1112-1164 Progress Drive

I/We hereby consent to a vacation within the city limits of Medford described as:

a portion of the current PUE, completely contained within the property owned by People's Bank of Commerce. See attached exhibit for legal location & description.

DATED this _____ day of _____, 20_____.

Owner *[Signature]*

Owner _____

Date 9/11/17

Date _____

"Working with the Community to Shape a Vibrant and Exceptional City"

Lausmann Annex • 200 South Ivy Street • Medford OR 97501

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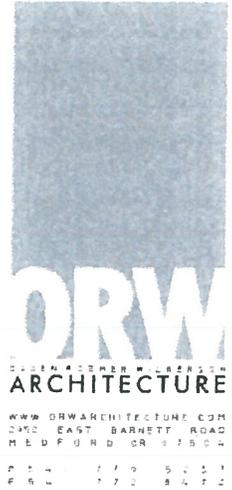
www.ci.medford.or.us

CITY OF MEDFORD

EXHIBIT # I (2 of 2)

File # SV-17-084

RECEIVED
JUL 12 2017
PLANNING DEPT.



February 10, 2017

Utility Providers

RE: Peoples Bank, Progress Drive & Biddle Road

Dear Utility Providers:

Attached is an exhibit of the aforementioned project. There is currently a 15' PUE dedicated along Progress Drive which we would like to reduce to a standard 10' PUE to allow for the proposed construction. Both Medford Public Works and Planning Departments are fine with this provided we obtain approval from each utility provider. Also attached is the topographic survey showing where the existing utilities are in relationship to the proposed 10' PUE. There is an existing underground power line shown outside the proposed 10' PUE that would have to be abandoned or relocated (whichever is appropriate) at the Owner's expense as would any other utilities discovered outside the proposed 10' PUE.

If this is agreeable with you, please sign this document in the appropriate location below and return to me. Please call if you have any questions, comments or need additional information in this regard.

Pacific Power - Rylan Woods

Charter Communications - Brad Dill



Avista Utilities - David McFadden

DAVID McFADDEN
AVISTA UTILITIES
541-941-4055

Century Link - Jim Martin

Andrew Owen,
ORW Architecture
541.779.5237 x25

February 10, 2017

Utility Providers

RE: Peoples Bank, Progress Drive & Biddle Road

Dear Utility Providers:

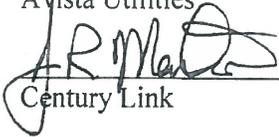
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Pacific Power - Rylan Woods

Charter Communications - Brad Dill

Avista Utilities - David McFadden



Century Link - Jim Martin

Andrew Owen,
ORW Architecture
541.779.5237 x25





February 10, 2017

Utility Providers

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Pacific Power - Rylan Woods



Charter Communications - Brad Dill

Avista Utilities - David McFadden

Century Link - Jim Martin

Andrew Owen,
ORW Architecture
541.779.5237 x25

CITY OF MEDFORD
EXHIBIT # 3 (3 of 4)
File # SV-17-084

February 10, 2017

Utility Providers

RE: Peoples Bank, Progress Drive & Biddle Road

Dear Utility Providers:

Attached is an exhibit of the aforementioned project. There is currently a 15' PUE dedicated along Progress Drive which we would like to reduce to a standard 10' PUE to allow for the proposed construction. Both Medford Public Works and Planning Departments are fine with this provided we obtain approval from each utility provider. Also attached is the topographic survey showing where the existing utilities are in relationship to the proposed 10' PUE. There is an existing underground power line shown outside the proposed 10' PUE that would have to be abandoned or relocated (whichever is appropriate) at the Owner's expense as would any other utilities discovered outside the proposed 10' PUE.

If this is agreeable with you, please sign this document in the appropriate location below and return to me. Please call if you have any questions, comments or need additional information in this regard.

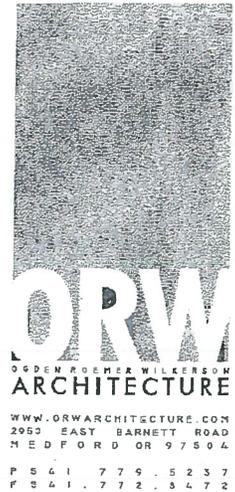

Pacific Power - Rylan Woods

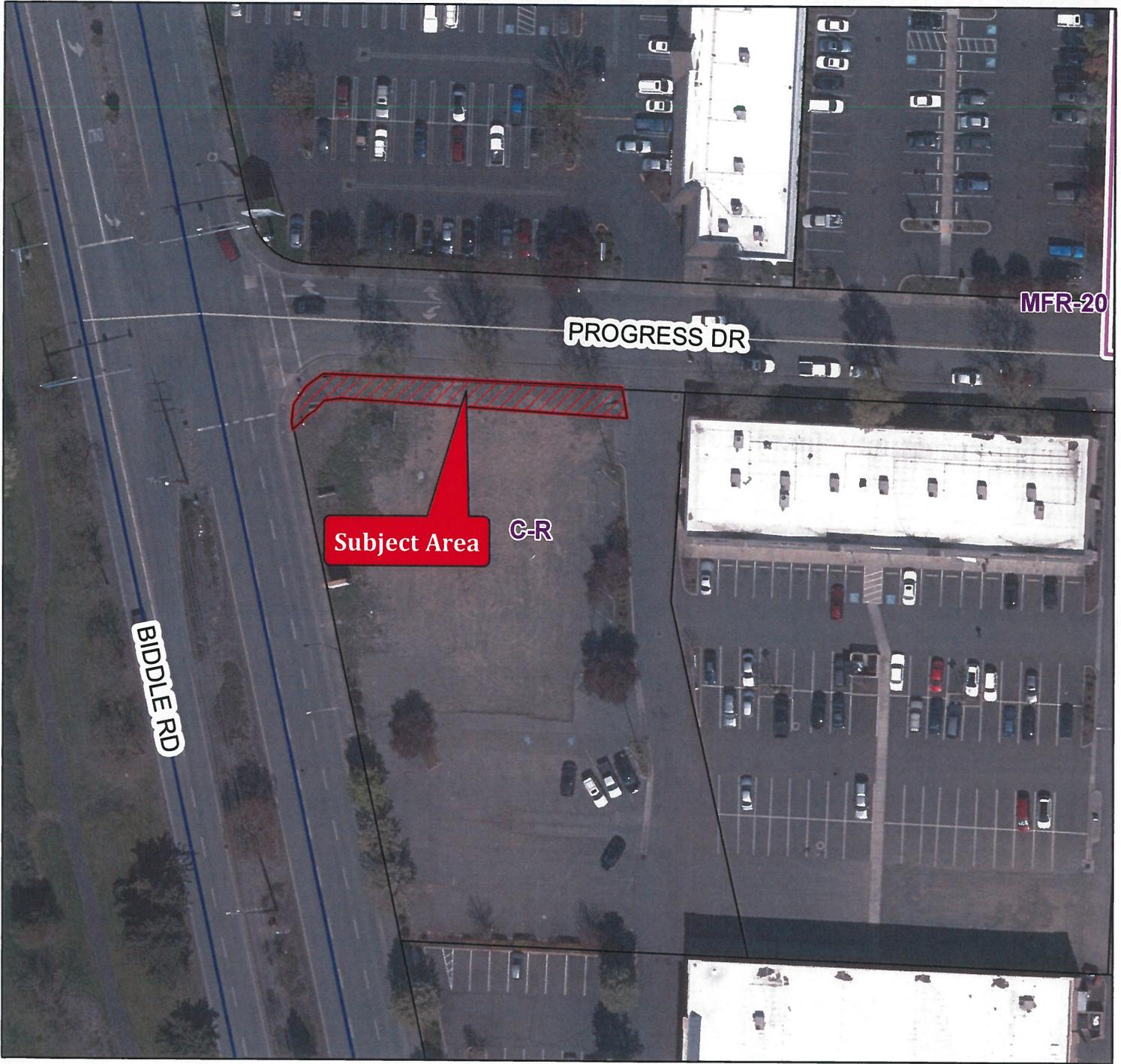
Charter Communications - Brad Dill

Avista Utilities - David McFadden

Century Link - Jim Martin

Andrew Owen,
ORW Architecture
541.779.5237 x25





Project Name:

Public Utility Vacation

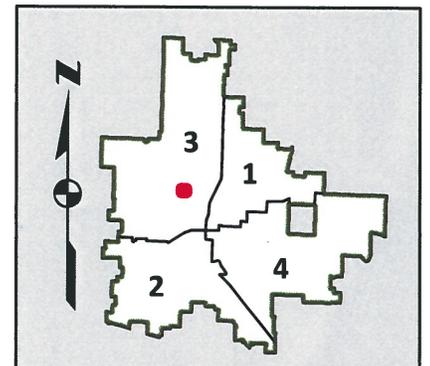
Map/Taxlot:

371W19BB TL 1504



Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots



07/20/2017

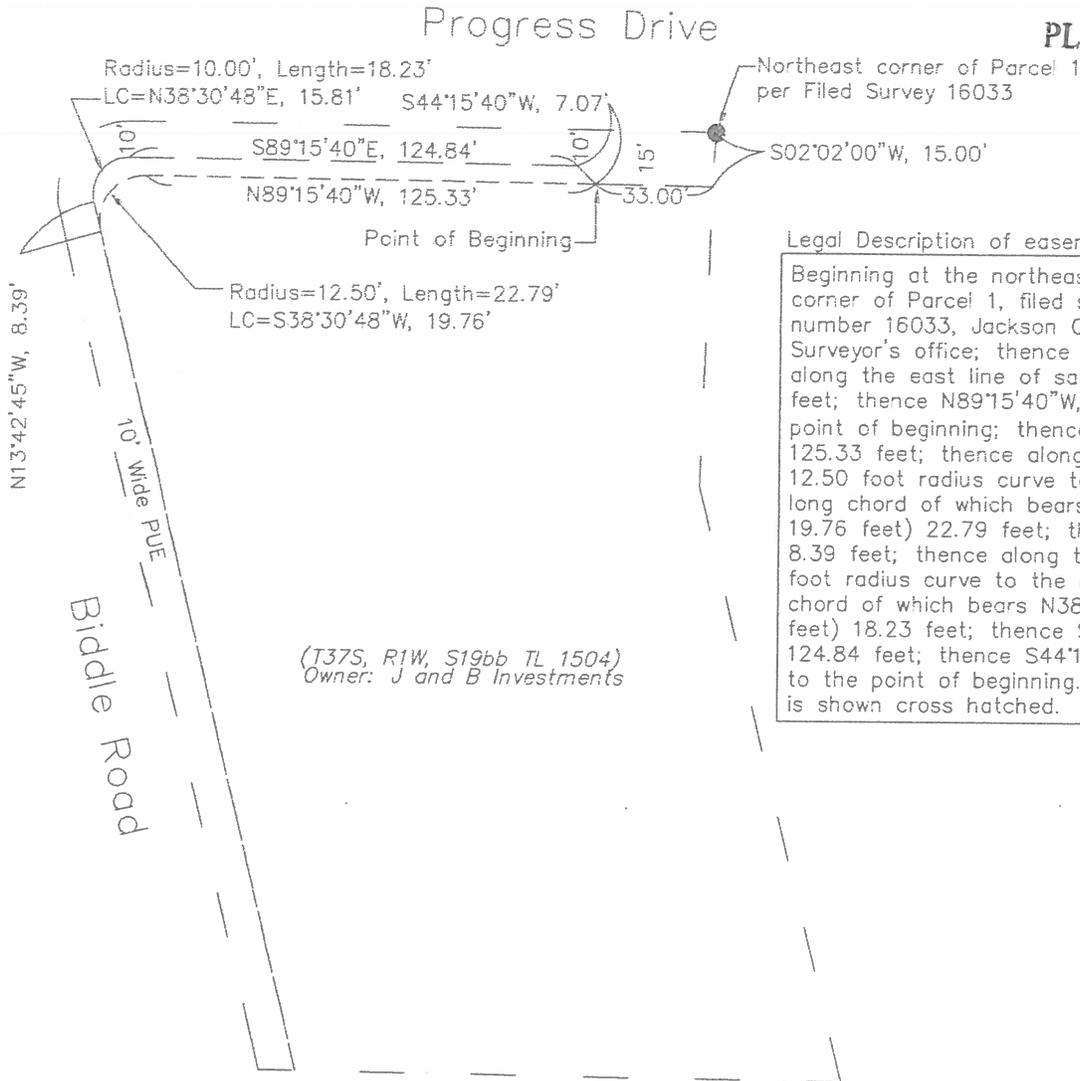
Legal Description and Exhibit Map

Located In:
 NW1/4, NW1/4 of Section 19
 Township 37 South, Range 1 West, W.M.,
 Medford, Jackson County, Oregon

RECEIVED

JUL 29 2017

PLANNING DEPT.



Legal Description of easement vacation area:

Beginning at the northeast corner of Parcel 1, filed survey number 16033, Jackson County Surveyor's office; thence S02°02'00"W, along the east line of said Parcel 1, 15.00 feet; thence N89°15'40"W, 33.00 feet to the point of beginning; thence N89°15'40"W, 125.33 feet; thence along the arc of a 12.50 foot radius curve to the left (the long chord of which bears S38°30'48"W, 19.76 feet) 22.79 feet; thence N13°42'45"W, 8.39 feet; thence along the arc of a 10.00 foot radius curve to the right (the long chord of which bears N38°30'48"E, 15.81 feet) 18.23 feet; thence S89°15'40"E, 124.84 feet; thence S44°15'40"E, 7.07 feet to the point of beginning. Vacated area is shown cross hatched.

(T37S, R1W, S19bb TL 1504)
 Owner: J and B Investments



REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

John R. Pariani

OREGON
 July 13, 1999
 JOHN R. PARIANI
 #51382

Renews: Dec. 31, 2018

per CS 16033

Legal Description and Exhibit Map

Pariani Land Surveying

10558 Highway 62, Suite B-1
 Eagle Point, OR 97524
 541-890-1131

ParianiLS@yahoo.com

Date: July 29, 2017	Scale: 1" = 50'	Job No.: 2016-	Sheet: CITY OF MEDFORD
------------------------	--------------------	-------------------	---------------------------

EXHIBIT # A
 File # SV-17-084



CITY OF MEDFORD AGENDA ITEM COMMENTARY

Item No: 80.1

www.ci.medford.or.us

DEPARTMENT: Public Works
PHONE: (541) 774-100
STAFF CONTACT: Cory Crebbin, Public Works Director

AGENDA SECTION: Ordinances and Resolutions
MEETING DATE: January 18, 2018

COUNCIL BILL 2018-07

An ordinance awarding a contract in an amount of \$577,790.05 to Michels Corporation for installation of Cured in Place Pipe lining of failing sewer pipes.

SUMMARY AND BACKGROUND

Council is requested to consider awarding a contract in the amount of \$577,790.05 to Michels Corporation for installation of Cured in Place Pipe (CIPP) lining in failing sewer pipes at various locations in the City of Medford. The City is contracting this project due to the specialized nature of the work.

PREVIOUS COUNCIL ACTIONS

On January 5, 2017, Council approved Council Bill 2017-02 awarding a contract to Insituform Technologies, LLC for the lining of 12,079 feet of pipes.

On June 15, 2017, the Council approved Council Bill 2017-57 adopting the Biennial Budget 2017-2019 which includes this project on page 8-38.

ANALYSIS

Two bids were received and Michels Corporation was the apparent low bidder with a bid of \$577,970.05. The other bid was submitted by Insituform Technologies, LLC in the amount of \$626,964.70. The engineers estimate was \$726,574.00.

A total of 51 sewer pipes, equaling 12,112 feet, will be lined as shown on the exhibit "Special Provisions: Work To Be Done" and Pipe Segment Location Map Index. Rehabilitation of failing sewer pipes maintains flow and reduces potential for failures in the future. Trenchless technologies such as CIPP are less disruptive for citizens and have minimal impact on street pavement life.

FINANCIAL AND/OR RESOURCE CONSIDERATIONS

Expenditure of \$577,970.05, which is included on page 8-38 of the 2017/2019 biennium budget.

TIMING ISSUES

The work will start after February 20, 2018, and is scheduled to be complete by June 8, 2018.

COUNCIL OPTIONS

- Approve the ordinance as presented.
- Modify the ordinance.
- Deny the ordinance and provide direction to staff regarding rehabilitation of the wastewater collection system.

STAFF RECOMMENDATION

Approve the ordinance for a contract with Michels Corporation

SUGGESTED MOTION

I move to approve the ordinance for a contract in the amount of \$577,970.05 to Michels Corporation to line 51 sewer pipes with CIPP.

EXHIBITS

Ordinance
Bid Tabulation
Special Provisions: Work To Be Done
Pipe Segment Location Map Index
Contract on file in the City Recorder's Office

ORDINANCE NO. 2018-07

AN ORDINANCE awarding a contract in an amount of \$577,790.05 to Michels Corporation for installation of Cured in Place Pipe lining of failing sewer pipes.

THE CITY OF MEDFORD ORDAINS AS FOLLOWS:

That a contract in an amount of \$577,790.05 for installation of Cured in Place Pipe lining of failing sewer pipes, which is on file in the City Recorder's Office, is hereby awarded to Michels Corporation.

PASSED by the Council and signed by me in authentication of its passage this _____ day of _____, 2018.

ATTEST: _____
City Recorder

Mayor

APPROVED _____, 2018.

Mayor

BID TABULATIONS 2018 Wastewater Collection System Project In the City of Medford MSC-1802

Project; 2018 Wastewater Collection System Project In the City of Medford MSC-1802

Location: Various Streets in the City of Medford

Project No: MSC-1802

Date of Bid Opening: December 14, 2017

CITY OF MEDFORD

PUBLIC WORKS - OPERATIONS

**Peter Brown
Public Works Operations
Engineering Tech IV**



Bidder Name	Total Bid
Michels Corp.	\$577,970.05
Insituform Technologies	\$626,964.70

Item No.	Item Description	Unit of Measure	Estimated Quantity	Low Bidder Michels Corp.		Insituform Technologies
				Unit Bid	Amount	Unit Bid
1	MOBILIZATION	LS	1	\$22,535.00	\$22,535.00	\$54,000.00
2	TEMPORARY WORK ZONE TRAFFIC CONTROL, COMPLETE	LS	1	\$19,338.00	\$19,338.00	\$128,000.00
3	EROSION CONTROL	LS	1	\$813.00	\$813.00	\$2,200.00
4	POLLUTION CONTROL PLAN	LS	1	\$909.00	\$909.00	\$2,200.00
5	MAINLINE VIDEO INSPECTION	LS	1	\$38,610.00	\$38,610.00	\$55,750.00
6	INTERNAL SERVICE REINSTATEMENT	EACH	251	\$159.00	\$39,909.00	\$167.00
7	CIPP LINER, 6 INCH	FOOT	4089.7	\$35.00	\$143,139.50	\$20.00
8	CIPP LINER, 8 INCH	FOOT	5862.3	\$28.50	\$167,075.55	\$20.00
9	CIPP LINER, 10 INCH	FOOT	841.5	\$38.00	\$31,977.00	\$25.00
10	CIPP LINER, 12 INCH	FOOT	442	\$39.00	\$17,238.00	\$26.00
11	CIPP LINER, 24 INCH	FOOT	876.6	\$110.00	\$96,426.00	\$127.00
				Total Bid =	\$577,970.05	\$626,964.70

SPECIAL PROVISIONS

WORK TO BE DONE

The Work to be done under this Contract consists of rehabilitating existing pipes by furnishing and installing cured-in-place lining as shown, in the City of Medford, Oregon.

1. Cleaning of pipes.
2. Mainline video inspection.
3. Install cured-in-place lining
4. Internal service reinstatement
5. Perform additional and incidental work as called for by the specifications and plans.

APPLICABLE SPECIFICATIONS

The Specification that is applicable to the work on this project is the 2008 edition of the "Oregon Standard Specifications for Construction".

All number references in these Special Provisions shall be understood to refer to the sections and subsections of the Standard Specifications and Supplemental Specifications bearing like numbers and to sections and subsections contained in these Special Provisions in their entirety.

CLASS OF PROJECT

This is a City of Medford Project.

Pipe ID #	Map Page #	Pipe Segment Page #	Diameter / Length					Upstream Manhole	Depth	Downstream Manhole	Depth	Pipe Type	Laterals to Reinstale	Protruding Laterals	Street / Cross Street	Comments
			6"	8"	10"	12"	24"									
1	30391	2	1	241.4				3493	4'	1758	3.5'	CP	7	1	Alley C-11 North of E 4th St West of N Central Av	
2	30424	7	1	313.7				1370	6'	1523	7'	VCP/CP	5		King St from Dakota Av to W 14th St	
3	30732	7	1	198.5				1368	3'	1369	4'	CP	3		King St 200' North of Catherine St to Alley A-108	
4	30733	7	2	80.0				1350	3'	1368	3'	CP	5		Alley A-109 North of Catherine St West of Park Ave	
5	30736	7	2	278.3				1359	1'	1368	3'	CP	1		Alley A-108 between King and Park N. of Catherine to Alley A-110 South of Catherine	
6	30900	6	2	363.5				1603	5'	1653	5'	CP	7		Union St. from manhole in park to 357' North	
7	31089	1	3	350.4				1870	7'	7002	6'	CP	9		Court St. from Manzahita St to 347' South	
8	31090	1	3	349.8				1907	7'	1870	7'	CP	11		Court St. from 347' South of Manzanita St to 704' South	
9	31091	1	3	141.2				1855	6.5'	1907	7'	CP	3		Court St. from 704' South of Manzanita St to 70' N of Edwards St	
10	31094	1	4	112.1				1910	7'	1877	7.5'	CP	3		Edwards St from 112' W. of Niantic St to Niantic St	
11	31127	2	4	286.5				1895	4.5'	1897	4'	CP	7		Iowa St from Narregan St to Cedar St	
12	32103	7	4	204.6				3086	2.5'	10540	4'	CP	1		Oakdale Ave 315' N of Stewart Ave to Alley E-25	
13	32844	8	4	273.3				7406	5.5'	3951	5'	CP	5		Lyman Ave from Hillcrest Rd to 272' North of Hillcrest Rd	
14	32845	8	5	214.2				3907	4'	7406	5.5'	CP	2		Lyman Av from 272' North of Hillcrest Rd to 100' W. of Scheffel Av	
15	32846	8	5	259.1				7407	4.5'	3907	4'	CP	5		Lyman Av from 100' W of Scheffel Av to 115' E of Scheffel Av	
16	32847	8	5	183.0				3978	1.5'	3906	5'	CP	1		Easement at 2511 Lyman Av. to 245' E of Scheffel Av on Lyman Av	
17	34227	4	5	106.4				5536	2'	5491	6'	CP	4		Bennet Av from Howard St to 105' West of Howard Av	
18	36078	8	6	133.7				3906	5'	7407	4.5'	CP	2		Lyman Av from 115' E of Scheffel Av to 245' E of Scheffel Av	
19	30116	3	6	313.4				5197	5.5'	5458	5'	CP	8		Wabash Ave 231' N of Skeeters to Easement 1221 Skeeters Ln	
20	30619	6	6	336.5				1300	5'	1294	5.5'	CP	8		Murray Av from Plum St to 336' East of Plum St	
21	30933	5	7	313.6				1711	6.5'	1686	6'	CP	15		Kenwood Ave from Sunset Ave to 315' South of Sunset Ave	
22	30934	5	7	297.0				1688	7'	1711	6.5'	CP	6		Kenwood Av from 315' South of Sunset Av to 610' South of Kenwood Av	
23	30935	5	7	56.8				1687	7'	1688	7'	CP	1		Kenwood Av from 610' South of Kenwood Av to Locust St	
24	31054	2	8	156.1				1788	7.5'	1787	7'	VCP	3		E Jackson St from N Front St to 156' to the East on E Jackson St	
25	31101	2	8	238.2				1917	4.5'	1915	4.5'	CP	7		Clark St 175' East of Broad St to Easement at 812 Broad St	
26	31102	2	8	219.3				1887	3.5'	1917	4.5'	CP	11		Easement at 812 Broad St to Mary Pl 140' East of Broad St	
27	32395	2	9	293.1				3491	6.5'	3490	8.5'	CP	15		Alley C-12 North of E 4th St West of N Bartlett St	
28	32623	9	9	319.2				3664	4'	3665	2'	CP	1		Dellwood Ave at S Modoc Ave to 315' West on S Modoc Ave	
29	32822	8	9	161.9				3967	6.5'	3920	6'	CP	3		E Main St 100' East of N Groveland Av to Easement 11 Valley View Dr	
30	32823	8	10	161.7				3968	2'	3967	6.5'	CP	5		Easement 11 Valley View Dr to Easement to Easement 16 N Groveland Ave	
31	32828	8	10	127.6				3920	6'	3919	6'	CP	1		E Main St at N Groveland Av to 100' East of N Groveland Av	
32	33124	10	10	207.0				4333	3'	4317	1'	CP	4		Jack Nicklaus Dr from Chandler Egan Dr to 207' to the South	
33	33142	10	10	442.9				4295	4.5'	4298	3.5'	CP	7		Fairview Dr 260' East of S Greenway Dr to 702' East of S Greenway Dr	
34	34187	3	11	114.8				5472	7.5'	7156	3'	CP	3		Easement 1118 Spring St to Parking lot 1050 Spring St	
35	34193	4	11	279.4				5519	6.5'	5518	8'	CP	2		Sailing Ave 125' West of Pearl St to 120' East of Pearl St	
36	34204	3	11	317.2				7156	3'	5512	3'	CP	12		Parking lot 1050 Spring St to Easement 1050 Spring St	
37	34209	3	12	179.8				5512	3'	5511	5'	CP	5		Crater Lake Ave 250' South of Spring St to Easement 1050 Spring St	
38	34366	3	12	209.2				7158	9'	5699	7'	CP	1		McAndrews Rd 205' East of Corona Ave to 415' East of Corona Ave	
39	34367	3	12	93.3				5718	9'	7158	9'	CP	1		McAndrews Rd 415' East of Corona Ave to 510' East of Corona Ave	
40	35924	8	12	145.5				3960	5'	3968	2'	CP	4		Easement 16 N Groveland Ave to Easement 17 N Groveland Av	
41	35976	5	13	292.8				1597	2.5'	1505	5'	CP	11		W 10th St. at Hamilton St to 255' West of Hamilton St	
42	36134	10	13	347.3				4327	4'	4326	5.5'	CP	3		Littrell Dr at S Foothill Rd to 350' North East of S Foothill Rd	
43	37501	3	13	238.7				5699	7'	5701	8.5'	CP	1		McAndrews Rd at Corona Ave to 205' East of Corona Ave	
44	31208	1	14	246.5				2022	9'	2002	8'	CP	5		Court St 560' North of Manzanita St to Easement 781 Beatty St	
45	31209	1	14	243.7				2013	8'	2022	9'	CP	5		Easement 781 Beatty St to Beatty St at Walnut St	
46	31355	11	14	57.2				2199	5'	2198	5'	CP	0		North Pacific Hwy / Hwy 99 between Lynn St and Hazel St	
47	31356	11	15	115.1				2198	5'	2197	6'	CP	0		North Pacific Hwy / Hwy 99 between Lynn St and Hazel St	
48	31357	11	15	179.0				2197	6'	2196	7'	CP	2		North Pacific Hwy and Hazel St to Easement at 2330 N Pacific Hwy	
49	32259	12	15		442.0			3353	8'	3354	8'	CP	2		S Front St from E 13th St to E 12th St	
50	34263	1	15			545.5	7420	8'	5594	11'	RCP	12			Easement 1016 N Riverside Ave to Easement 824 N Riverside Ave	
51	34264	1	16			331.1	5584	5'	7420	8'	RCP	6			Easement 824 N Riverside Ave to Easement 758 N Riverside Ave	
				6"	8"	10"	12"	24"								
				4089.7	5862.3	841.5	442.0	876.6				251	1			
ABBREVAITONS AND DEFFINITIONS																
CP	CONCRETE PIPE															
RCP	REINFORCED CONCRETE PIPE															
TSP	TRANSITE PIPE															
VCP	VETRIFIED CLAY PIPE															

WW Manhole 3968 is not accessible and will be abandoned after the liner is installed. The City of Medford will expose the manhole one week in advance of the work upon Contractor request. The Contractor shall line thru this manhole.

WW Manhole 3968 is not accessible and will be abandoned.



CITY OF MEDFORD
AGENDA ITEM COMMENTARY

Item No: 80.2

www.ci.medford.or.us

SUGGESTED MOTION

I move to approve the resolution to update Medford's Municipal Code to reflect the State adopted building codes.

EXHIBITS

Ordinance
2017 ORSC Changes – Quick Summary
Inspector Training Program

ORDINANCE NO. 2018-08

AN ORDINANCE amending sections 9.101, 9.200, and 9.250 of the Medford Municipal Code pertaining to the adoption of Oregon Specialty Codes for compliance with state law.

Section 1. Section 9.101 of the Medford Municipal Code is hereby amended:

9.101 Adoption of Oregon Residential Specialty Code, as Modified.

(1) The ~~2014~~ 2017 Oregon Residential Specialty Code and State adopted appendices as published and copyrighted by the International Code Council, Inc., as modified and adopted by the Director of the State Department of Consumer and Business Services are hereby adopted and incorporated as an ordinance of the City of Medford to be administered and enforced along with such further amendments contained herein, such code to be referred to as the Residential Code.

Section 2. Section 9.200 of the Medford Municipal Code is hereby amended:

9.200 Adoption of Oregon Plumbing Specialty Code, as Modified.

(1) The ~~2014~~ 2017 Oregon Plumbing Specialty Code and State adopted appendices as published and copyrighted by the International Association of Plumbing and Mechanical Officials, and as modified by the Director of the State Department of Business and Consumer Services is hereby adopted and incorporated as an ordinance of the City of Medford to be administered and enforced along with such further amendments as are contained herein, such code to be referred to as the Plumbing Code.

Section 3. Section 9.250 of the Medford Municipal Code is hereby amended:

9.250 Adoption of State of Oregon Electrical Specialty Code, as Modified.

(1) The ~~2014~~ 2017 Oregon Electrical Specialty Code as published by the National Fire Protection Association and as modified by the Director of the State Department of Business and Consumer Services is hereby adopted and incorporated as an ordinance of the City of Medford to be administered and enforced along with such further amendments as are contained herein, said code to be referred to as the Electrical Code. At least one copy of such code is on file in the City of Medford Building Safety Department.

PASSED by the Council and signed by me in authentication of its passage this _____ day of _____, 2018.

ATTEST: _____

City Recorder

Mayor

APPROVED _____, 2018.

Mayor

2017 ORSC Changes - Quick Summary

Section	Quick Summary
R104.9.1	Public proposal allows more flexibility for used/salvaged lumber
R105.2	Public proposal changes to Items #1 and #3, added #21
R301.2.1	Wind design - change from ASD to Vult
Fig R301.2(4)	Updated accordingly (wind)
Table R301.2(1)	Changes throughout table - "white paper" from SEA0 for snow has been adopted
R301.2.1.1.1	Sunrooms - new subsection
R301.3	Clarifications to max story heights
Table R302.1	Solid fireblocking permitted in lieu of eave underside projection protection
R302.2.1	Maintenance agreements are no longer required by the ORSC for townhouses
R302.13	Fire protection of floors moved from R501.3
R303.4.1	Intake openings within 10' of a contaminant source must now be 3' below the termination
R304.1	The minimum 120 sq ft room per dwelling unit has been removed (model code)
R308.4.6 & 7	Hazardous glazing locations near stairways have been modified
R310	Significant clarifications regarding EERs, throughout R310
R311.7.5.1	Open risers now permitted at or below 30" above grade/floor below
R311.7.11 & 12	ATDs and ships ladders now permitted (not as element of MOE)
R312.2	Window fall protection moved from R612
R314	Reconfiguration to smoke alarm provisions
R315	CO alarms require hard wiring as base requirement (see exceptions as usual)
R325	New section on mezzanines (model)
R329	<i>Independent sleeping loft amendments via temporary rule R329 - separate from 2017 ORSC process</i>
R403.1.2	Continuous footings in SDC D1 and D2 clarified
R403.1.6	Foundation anchorage flexibility - proprietary anchors
R403.1.6	Foundation anchor bolts must be in middle third of width
R408.3	Unvented crawlspaces now added (model)
R507	More robust and prescriptive deck provisions
R602.7	Headers moved from Chapter 5 - new provisions, modifications, prescriptive requirements
R602.10	Wall bracing changes - mostly clarification - BWL length extents have been modified (less restrictive)
R602.12	Simplified bracing method - limited use in Oregon (SDC C, Vult ≤ 120)
R703.15	Prescriptive fastening requirements for exterior covering fastened over foam sheathing
R802.11	Prescriptive roof framing uplift resistance significantly modified
R806.5	Unvented attic space provisions are now more robust
Chapter 11	Significant changes - thermal envelope base requirements and additional measures are included
M1502.4.4	Dryer exhaust power ventilators now allowed
M1502.4.6	Dryer duct length identification - only when equiv length exceeds 35'
M1503.5	Makeup air for large exhaust hoods can be via natural means
M1804.4	Protection of vent terminals now includes door swing (shall not swing within 12")
G2415.7	Protection of concealed gas piping (CSST) is revised - does not apply to galvanized or black steel
G2419.4	Sediment traps clarified - aligns with 2014 OMSC

OREGON RESIDENTIAL SPECIALTY CODE 2017

GENERAL:

Clarifications added to terms or scope defined elsewhere

Appendix Chapters adopted: E, F, G, H, K, R, S, and T. Appendix J is allowed for municipal adoption, however appendix A, B, C, D, I, L, M, N, O, P, Q, and U are not adopted and not available for municipal adoption.

CHAPTER 1

- Used materials and equipment
- Alternative materials
- Work exempt from permits

CHAPTER 2

Definitions

- Accessory structure
- Basement
- Elevator Code
- Historic Building
- Mezzanine
- Jurisdiction
- Municipality
- Person
- Registered Design Professional
- Repair
- Roof Replacement
- Stairway, spiral

CHAPTER 3

- Wind Design Criteria
- Mapped Wind Speeds
- Wind Speed Conversion
- Climate and Geographic Design Criteria
- Sunrooms
- Wind Exposure Category
- Maximum Story Heights
- Fire Separation & Exterior Walls
- Townhouses

- Garage to Dwelling Door
- Fire protection of floors
- Ventilation Intake openings
- Stairway Illumination
- Minimum Room areas
- Glazing and Hazardous locations
- Emergency Escape and rescue openings
- Means of Egress to public way / open risers / spirals / handrails / ATD and ships ladders / Ramps
- Window Fall protection
- Smoke Alarms
- Carbon Monoxide Alarms
- Mezzanines

CHAPTER 4

- Continuous Footings
- Foundation Anchorage
- Masonry Foundation Wall reinforcement
- Vented and unvented crawlspaces
- Floor joist spans
- Decks

CHAPTER 6

- Fastening Schedule
- Tall walls
- Headers
- Single member headers
- Rim Board headers
- Prescriptive span table for open porches
- Support for headers
- Wall bracing
- Braced wall line length
- Locations of braced wall panels
- Bracing requirement based on wind speed
- Bracing methods table
- Minimum BWP length
- Cripple wall bracing
- Simplified wall bracing

CHAPTER 7

- Flashing wall cover
- Drainage plane
- Cladding attachment over foam sheathing
- Ceiling joist and rafter spans

CHAPTER 8

- Prescriptive uplift resistance
- Attic Ventilation
- Unvented Attics

CHAPTER 9

- Roof drip edge
- Reroofing
- Chimney Caps
- Factory built chimney offsets

CHAPTER 11

- Prescriptive envelope requirements
- Table N1101 revisions and new measures
- Air sealing
- Whole house ventilation
- Attic doors and pull downs
- Heating, ventilation and air-conditioning system efficiency
- High efficiency lighting
- Exterior lighting efficiency
- Solar ready electrical panel
- Electric vehicle charging
- Shower heads and water closets

CHAPTER 15

- Dryer duct exhaust
- Dryer duct length
- Makeup air for range hoods
- Hood above broiler unit
- Exhaust duct length and outlets

CHAPTER 16

- Duct construction
- Return air openings

CHAPTER 18

- Protection of vent terminals

CHAPTER 24

- Condensation pumps
- Maximum gas demand
- Plastic pipe tubing and fittings
- Fittings in concealed location
- Sediment traps
- Medium pressure regulators
- Prohibited location of cooking appliances
- Prohibited source for return air

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Building
the foundation
for Oregon's future

INSPECTOR TRAINING PROGRAM

**Oregon Building Codes
Code Change Course
2017 Oregon Residential Specialty Code,
Based on the 2015 International Residential Code**

PART 1

Updated: 10/2/17
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Presenters

Rex Turner, Structural Program Chief
Jeremy Williams, P.E., Structural Program Engineer
Tony Rocco, Sr. Building Codes Specialist
Mark Heizer, P.E., Mechanical/Energy Code Specialist

Class Objective

Uniform application of the code statewide by informing all Oregon certified plans examiners and inspectors of the **significant** code changes for the 2017 Oregon Residential Specialty Codes for Structural, Mechanical, and Energy.

Code Change Process

- Residential and Manufactured Structures Board selects base model code and a code review committee
- Public proposals are accepted during open period
- Code Review Committee reviews model code, public proposals, current Oregon amendments, Statewide Alternate Methods, Statewide Interpretations, and receives public testimony
 - BCD staff provides technical support

Code Change Process (cont.)

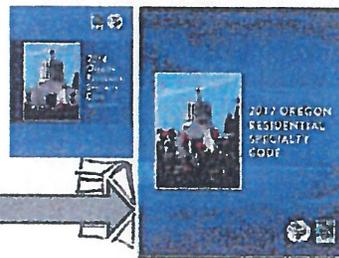
- Board reviews code committee work, receives public testimony and makes a recommendation to the division
- Rulemaking hearing is held and public testimony is received
- Division Administrator makes final decisions and code is published
- Effective date: October 1, 2017 with grace period through end of 2017

Presentation Format

Model code revisions from the 2009 IRC in either the 2012 or the 2015 IRC are shown as red underline for new provisions and as red ~~strikethrough~~ for deletions.



Oregon amendments from the 2014 ORSC are shown as blue underline where provisions are added or revised and blue ~~strikethrough~~ for deletions.



General

CHANGE SUMMARY: Clarifications added for terms or scope defined elsewhere.

- Various references to “*jurisdiction*” have been changed to “*municipality*” or “*building official*”. *Municipality* is defined in Chapter 2.
- Various references to plumbing and electrical provisions are removed, or replaced with a pointer to the *Plumbing Code* or *Electrical Code*.
- Various revisions to remove references to provisions outside of the scope of the state building code and other editorial improvements.

Appendix Chapters

CHANGE SUMMARY: Appendix chapters classified into one of three categories.

R102.5 Appendices. Provisions in the appendices shall not apply unless specifically adopted as noted below. ~~Appendices E, F, G, H, K, R and T are adopted and made part of this code.~~

- Adopted
- Available for municipal adoption
- Not available for municipal adoption

Appendix Chapters

CHANGE SUMMARY: Appendix chapters adopted.

R102.5.1 Appendices adopted. The following appendices are adopted as part of the Oregon Residential Specialty Code.

1. Appendix E (Manufactured Housing Used as Dwellings)
2. Appendix F (Radon Control Methods)
3. Appendix G (Swimming Pools, Spas and Hot Tubs)
4. Appendix H (Patio Covers)
5. Appendix K (Sound Transmission)
6. Appendix R (Light Straw-Clay Construction) NEW
7. Appendix S (Strawbale Construction)
8. Appendix T (Dwelling Unit Fire Sprinkler Systems)

Appendix Chapters

CHANGE SUMMARY: Appendix chapters not adopted but available for local adoption.

102.5.2 Appendices available for municipal adoption.
The following appendix is not adopted by the State of Oregon but may be adopted by local municipalities by local ordinance. Such adoptions shall comply with the requirements specified in the adopted appendix unless otherwise approved under the provisions of ORS 455.040.

1. Appendix J (Existing Building and Structures)

Appendix Chapters

CHANGE SUMMARY: Appendix chapters not adopted and not available for municipal adoption.

102.5.3 Appendices not available for municipal adoption.
The following appendices are not adopted by the State of Oregon and municipalities may not adopt the same.

1. Appendix A (Sizing and Capacities of Gas Piping)
2. Appendix B (Sizing of Venting Systems Serving Appliances Equipped with Draft Hoods, Category 1 Appliances, and Appliances listed for use with Type B Vents)
3. Appendix C (Exit Terminals of Mechanical Draft and Direct-Vent Venting Systems)
4. Appendix D (Recommended Procedure for Safety Inspection of an Existing Appliance Installation)

Appendix Chapters

CHANGE SUMMARY: Appendix chapters not adopted and not available for municipal adoption. (cont.)

- 5. Appendix I (Private Sewage Disposal)
- 6. Appendix L (Permit Fees) - \$\$\$\$
- 7. Appendix M (Home Day Care – R-3 Occupancy)
- 8. Appendix N (Venting Methods)
- 9. Appendix O (Automatic Vehicular Gates) NEW not adopted
- 10. Appendix P (Sizing of Water Piping System)
- 11. Appendix Q (RESERVED)
- 12. Appendix U (Solar-Ready Provisions – Detached One- and Two-Family Dwellings, Multiple Single-Family Dwellings (Townhouses))

Used Materials and Equipment

CHANGE SUMMARY: Public proposal – Adds general guidance for used or salvaged lumber.

R104.9.1 Used materials and equipment. Used materials, *equipment* and devices shall not be reused unless *approved by the building official*. Used or salvaged dimensional lumber shall be permitted to be used in accordance with all of the following:

1. Used or salvaged dimensional lumber shall be in generally good condition and free of any obvious areas of decay.

Used Materials and Equipment

CHANGE SUMMARY: Public proposal – Provides standard for properties or used or salvaged lumber.

2. Where used or salvaged dimensional lumber is identified by a grade mark or where a certificate of inspection is provided from a lumber grading or inspection agency approved by an accreditation body that complies with DOC PS 20, structural properties for the used or salvaged lumber shall be as determined by the approved agency in accordance with the grade stamp or certificate provided.



Used Materials and Equipment

CHANGE SUMMARY: Public proposal – Establishes default structural properties for used or salvaged lumber not bearing a grade stamp.

Exception: In lieu of the grade mark or certificate described in number 2 above, used or salvaged dimensional lumber not bearing a grade stamp or provided with a certificate shall be assumed to be Douglas Fir-Larch No. 2 grade and shall have structural properties assigned in accordance with current adopted standards.

Alternative materials, design

CHANGE SUMMARY: No change to methodology.

R104.11 Alternative materials, design and methods of construction and equipment. The provisions of this code are not intended to prevent the installation of any material or to prohibit any design or method of construction not specifically prescribed by this code, provided that any such alternative has been *approved*. An alternative material, design or method of construction shall be *approved* where the *building official* finds that the proposed design is satisfactory and complies with the intent of the provisions of this code, and that the material,

Alternative materials, design..... (cont.)

CHANGE SUMMARY: When proposed alternatives are not approved, the reason for the disapproval must be stated in writing by the building official.

method or work offered is, for the purpose intended, not less than the equivalent of that prescribed in this code in quality, strength, effectiveness, fire resistance, durability and safety. Compliance with the specific performance-based provisions of the International current editions of the Oregon Specialty Codes shall be an alternative to the specific requirements of this code. Where the alternative material, design or method of construction is not approved, the building official shall respond in writing, stating the reasons why the alternative was not approved. For the process governing alternate rulings acceptable statewide see ORS 455.060.

Work exempt from permit

CHANGE SUMMARY: Public proposal - R105.2 Work exempt from permit. Height measurement for exemption of nonhabitable accessory changes to top of top plate.

Building:

1. Nonhabitable one-story detached *accessory structures*, provided that the floor area does not exceed 200 square feet (18.58 m²) and a height of 10 feet (3048 mm) measured from the finished floor level, to the average height of the roof surface and a wall height of 10 feet (3048 mm) measured from the finished floor level, to the top of the top plate.



Work exempt from permit (cont.)

CHANGE SUMMARY: Public proposal - R105.2 Work exempt from permit. New Exception is added for large parcels.

Exception: Where the structure is located on a parcel of 2.0 acres or greater in area, and the structure is located a minimum of 20 feet from all property lines, floor area may be increased to 400 square feet.



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Work exempt from permit (cont.)

CHANGE SUMMARY: Public proposal - R105.2 Work exempt from permit. Revised to reflect Statewide Interpretation No. 14-03 – Regulation of Retaining Walls.

3. Retaining walls. Retaining walls that are not over 4 feet (1219 mm) in height measured from the bottom of the footing to the top of the wall, unless supporting a surcharge do not support a regulated building and do not retain material which, if not restrained, could impact a regulated building.



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Work exempt from permit (cont.)

CHANGE SUMMARY: Public proposal - R105.2 Work exempt from permit. New exemption for flagpoles, antennas, and similar items. References to permit exemptions for plumbing and electrical removed for clarity.

21. Ground mounted flagpoles, antennae, and similar items that do not exceed 25 feet in height.




Electrical: See the *Electrical Code*.
Plumbing: See the *Plumbing Code*.

Definitions – Chapter 2: General

CHANGE SUMMARY: Model Code removed area limitation. Oregon retains R328 methodology.

ACCESSORY STRUCTURE. A structure not greater than 3,000 square feet (279 m²) in floor area, and not over two stories in height, the use of which is customarily accessory to and incidental to that of the dwelling(s) and which is located on the same *lot*. Accessory structures include, but are not limited to garages, carports, cabanas, storage sheds, tool sheds, playhouses and garden structures. See Section R328 for allowable area increases.

APPROVED. Acceptable to the ~~code official or authority having jurisdiction~~ building official.

Definitions – General (cont.)

CHANGE SUMMARY: General clarification.

BASEMENT. ~~A story that is not a story above grade plane (see "Story above grade plane").~~ That portion of a building that is partially or completely below-grade. A basement shall be considered as a *story above grade plane* where the finished surface of the floor above the basement is:

1. More than 6 feet (1829 mm) above grade plane; or
2. More than 12 feet (3658 mm) above the finished ground level at any point.

BOILER. A closed heating appliance intended to supply hot water or steam for space heating, processing or power purposes. ~~Low-pressure boilers operate at pressures less than or equal to 15 pounds per square inch (psi) ...~~

Definitions – General (cont.)

CHANGE SUMMARY: General clean-up and model code additions.

ELEVATOR CODE. Shall mean the *Oregon Elevator Specialty Code* as adopted by OAR 918-400-0455.

HISTORIC BUILDING. Buildings that are listed in or eligible for listing in the National Register of Historic Places, or designated as historic under an appropriate state or local law.

MEZZANINE. An intermediate level or levels between the floor and ceiling of any story.

Definitions – General (cont.)

CHANGE SUMMARY: Municipality is a defined term in statute.

JURISDICTION. ~~See *municipality*. The government unit that has adopted this code under due legislative authority.~~

MUNICIPALITY. Shall be as defined in ORS 455.010.

ORS 455.010 is not part of this code but is reproduced here for the reader's convenience.

455.010 Definitions for ORS chapter 455. As used in this chapter, unless the context requires otherwise:

(5) "Municipality" means a city, county or other unit of local government otherwise authorized by law to administer a building code.

Definitions (cont.)

CHANGE SUMMARY: General clean-up and clarification.

PERSON. ~~An individual, heirs, executors, administrators or assigns, and a firm, partnership or corporation, its or their successors or assigns, or the agent of any of the aforesaid.~~

REGISTERED DESIGN PROFESSIONAL. An individual who is registered or licensed to practice their respective design profession as defined by the statutory requirements of the professional registration laws of the state. ~~or jurisdiction in which the project is to be constructed.~~

Definitions – General (cont.)

CHANGE SUMMARY: Model code changes and additions.

REPAIR. The reconstruction or renewal of any part of an existing building for the purpose of its maintenance or to correct damage.

ROOF REPLACEMENT. The process of removing the existing roof covering, repairing any damaged substrate and installing a new roof covering.

STAIRWAY, SPIRAL. A stairway with a plan view of closed circular form and uniform section-shaped treads radiating from a minimum-diameter circle.

Definitions – Mechanical / Energy

CHANGE SUMMARY: Model code additions.

DRAIN-BACK SYSTEM... (solar)

FACTORY-MADE AIR DUCT...

FLEXIBLE AIR CONNECTOR...

MECHANICAL JOINT....

REFLECTIVE DUCT INSULATION...



Definitions – Materials / Methods

CHANGE SUMMARY: Model code additions.

CONTINUOUS INSULATION (ci), ...

CROSS-LAMINATED TIMBER, ...

ENGINEERED WOOD RIM BOARD, ...

FIBER-CEMENT PRODUCTS, ...

GYPSUM BOARD, ...

GYPSUM PANEL PRODUCT, ...

INSULATED SIDING, ...

INSULATED VINYL SIDING, ...



Definitions - Materials / Methods (cont.)

CHANGE SUMMARY: Model code additions.

NAILABLE SUBSTRATE,....

PLASTIC COMPOSITE,....

POLYPROPYLENE SIDING,....

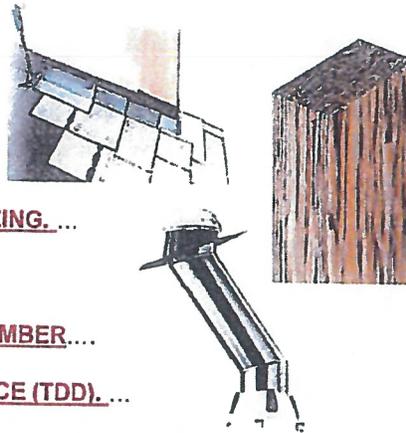
SHINGLE FASHION,...(method)

SKYLIGHT AND SLOPED GLAZING,....

SKYLIGHT, UNIT,....

STRUCTURAL COMPOSITE LUMBER,....

TUBULAR DAYLIGHTING DEVICE (TDD),....



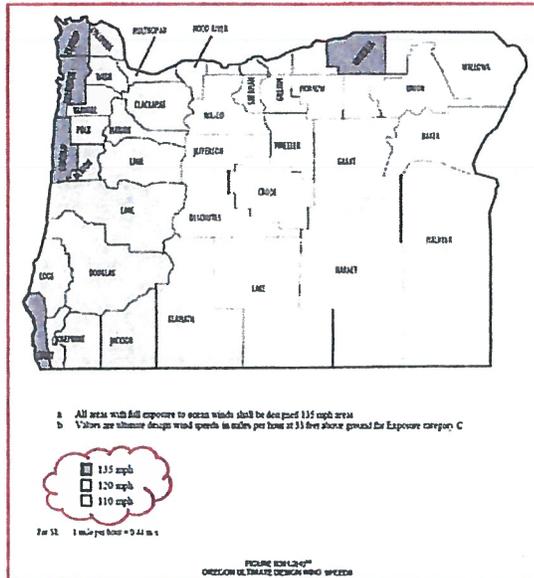
Wind Design Criteria

CHANGE SUMMARY: Ultimate design wind speed values replace nominal wind speed values. This brings the wind provisions of the residential code in line with ASCE 7-10 for consistency between ORSC and OSSC.

R301.2.1 Wind Design Criteria. Buildings and portions thereof shall be constructed in accordance with the wind provisions of this code - using the **ultimate design basis** wind speed in Table R301.2(1) as determined from Figure R301.2(4)A.

Note that all prescriptive tables and provisions that rely on wind speed now refer to V_{ult} values.

Mapped Wind Speeds



Note:
 These mapped wind speeds are now identical to 2014 OSSC Figure 1609A (Ultimate Design Wind Speed, Vult, For Risk Category II Buildings and Other Structures).

Wind Speed Conversion

CHANGE SUMMARY: Model code switch to ultimate design wind speed from nominal design wind speed.

R301.2.1 Wind speed conversion. Where referenced documents are based on **fastest mile nominal design** wind speeds...the **three-second gust basic ultimate design** wind speeds, V_{3s} Vult, of Figure R301.2(4) shall be converted to **fastest-mile nominal design** wind speeds, V_{fm} V_{asd} , using Table R301.2.1.2

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Wind Speed Conversion (cont'd)

CHANGE SUMMARY: Oregon specific value of 135 mph V_{ult} has been added to the table.

**TABLE R301.2.1.2
WIND SPEED CONVERSIONS^a**

V_{ult} (mph)	110	115	120	130	135	140	150	160	170	180	190
V_{asd} (mph)	85	89	93	101	105	108	116	124	132	139	147

For SI: 1 mile per hour = 0.447 m/s.
 a. Linear interpolation is permitted.

$$V_{asd} = V_{ult} \times \sqrt{0.6}$$

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Climatic and Geographic Design Criteria

CHANGE SUMMARY: Updated our Oregon amended table for consistency with adopted model code provisions.

**TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA^{a,b}**

COUNTY	GROUND SNOW LOAD ^a = 36 psf (Roof snow load = 25 psf below elevation shown (feet))	ULTIMATE DESIGN WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE		
				Weathering ^d	Frost line depth (Inches)	Decay
Baker	3,200	Note b	Note c	Severe	24	Slight
Benton	400	Note b	Note c	Moderate	12	Moderate
Clackamas	500	Note b	Note c	Moderate	12	Moderate
Clatsop	400	Note b	Note c	Moderate	12	Moderate
Washington	400	Note b	Note c	Moderate	12	Moderate
Wheeler	4,100	Note b	Note c	Severe	24	Slight
Yamhill	400	Note b	Note c	Moderate	12	Moderate

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m², 1 pound per square foot = 0.0479 kN/m².

- For locations with elevation higher than the listed values or for a possible reduction in minimum design roof snow load from 25 psf to 20 psf, refer to the Snow Load Analysis for Oregon (including the ground snow load maps) published by the Structural Engineers Association of Oregon, in 2007, in conjunction with the 2010 Oregon Snow Load Map update and Interim Guidelines for Snow Load Determination for the State of Oregon, published in 2011.
- Refer to Figure R301.2(4) for mapped Ultimate Design Wind Speeds. Wind exposure category shall be determined on a site-specific basis in accordance with Section R301.2.1.4.
- Refer to Figure R301.2(2) for mapped Seismic Design Categories.
- A severe classification is where weather conditions result in significant snowfall combined with extended periods during which there is

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Sunrooms

CHANGE SUMMARY: New section in model code. Requires sunrooms to comply with AAMA/NPEA/NSA 2100-12, which establishes minimum performance requirements.



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Sunrooms (cont'd)

CHANGE SUMMARY: New section - Requires sunrooms to comply with AAMA/NPEA/NSA 2100-12, which establishes minimum performance requirements.

R301.2.1.1.1 Sunrooms. Sunrooms shall comply with AAMA/NPEA/NSA 2100...

Related Acronyms:

- **AAMA – American Architectural Manufacturers Association**
- **NPEA – National Patio Enclosure Association**
- **NSA – National Sunroom Association**

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Sunrooms (cont'd)

CHANGE SUMMARY: New section - Requires sunrooms to comply with AAMA/NPEA/NSA 2100-12, which establishes minimum performance requirements.

AAMA/NPEA/NSA 2100-12 is available for download from:
<http://www.nationalsunroom.org/AAMA-NPEA-NSA-2100-12.pdf>

The Voice of the Sunroom Industry

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News & Calendar

[Click to Download AAMA/NPEA/NSA 2100-12](#)

Welcome to the NSA website!

The National Sunroom Association is a professional organization dedicated to the responsible advancement of the sunroom industry. As a group we bring together a diverse set of skilled manufacturers, design professionals, and suppliers and installers. NSA's purpose is twofold: to educate and promote to the consumer, remodeler and builder.

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Wind Exposure Category

CHANGE SUMMARY: Wind Exposure Category A is a legacy category that no longer exists in ASCE 7 and OSSC. This brings the wind exposure categories of the residential code in line with current OSSC for consistency.

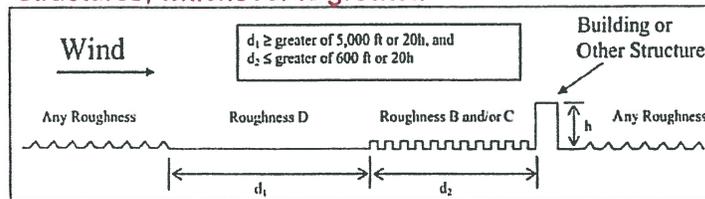
R301.2.1.3 Exposure category...

~~1. Exposure A. Large city centers with at least 50 percent of the buildings having a height in excess of 70 feet (21 336 mm). Use of this exposure category shall be limited to those areas for which terrain representative of Exposure A prevails in the upwind direction for a distance of at least 0.5 mile (0.8 km) or 10 times the height of the building or other structure, whichever is greater. Possible channeling effects or increased velocity pressures due to the building or structure being located in the wake of adjacent buildings shall be taken into account.~~

Wind Exposure Category (cont'd)

CHANGE SUMMARY: Wind Exposure Category D language in R301.2.1.3 has been updated for consistency with ASCE 7-10.

- Exposure D... Flat, unobstructed areas exposed to wind flowing over open water, **smooth mud flats, salt flats and unbroken ice for a distance of not less than 4-mile 5,000 feet (1524 m)**...Exposure D extends downwind from the edge of the unobstructed area a distance of **1500 600 feet (183 m)** or **40 20 times the height of the building or structures, whichever is greater.**



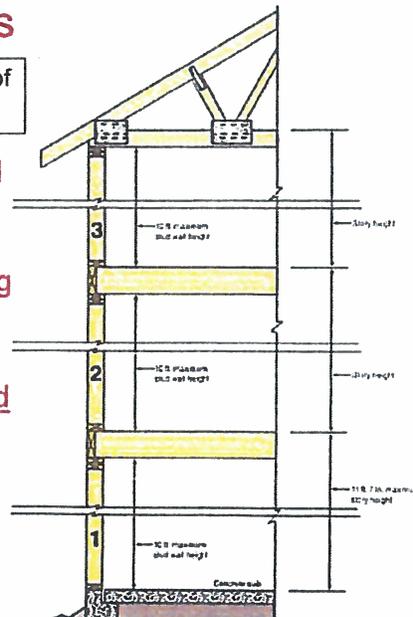
ASCE 7-10 Commentary Figure

Maximum Story Heights

CHANGE SUMMARY: The story height of wood walls may not exceed 11'-7".

R301.3 Story height. The wind and seismic provisions of this code shall apply to buildings with story heights not exceeding the following:

- For wood wall framing, the story height shall not exceed **[11'-4"] 11 feet 7 inches (3531 mm)** and the laterally unsupported bearing wall stud height permitted by Table R602.3(5).



Maximum Story Heights (cont'd)

CHANGE SUMMARY: The story height cold-formed steel walls may not exceed 11'-7". The story height of masonry walls may not exceed 13'-7".

3. For cold-formed steel wall framing, the story height shall be not more than ~~[11'-4"]~~ 11 feet 7 inches (3531 mm) and the unsupported bearing wall stud height shall be not more than 10 feet (3048 mm).
4. For masonry walls, the story height shall be not more than ~~[13'-4"]~~ 13 feet 7 inches (4140 mm) and the bearing wall clear height shall be not greater than 12 feet (3658 mm).

Exception: An additional 8 feet (2438 mm) of bearing wall clear height is permitted for gable end walls

Maximum Story Heights (cont'd)

CHANGE SUMMARY: The story height cold-formed steel walls may not exceed 11'-7". The story height of masonry walls may not exceed 13'-7".

5. For insulating concrete form walls, the maximum story height shall not exceed ~~[11'-4"]~~ 11 feet 7 inches (3531 mm) and the maximum unsupported wall height per story as permitted by Section R608 tables shall not exceed 10 feet (3048 mm).
6. For structural insulated panel (SIP) walls, the story height shall be not greater than ~~[11'-4"]~~ 11 feet 7 inches (3531 mm) and the bearing wall height per story as permitted by Section R610 tables shall not exceed 10 feet (3048 mm).

Fire Separation & Exterior Walls

CHANGE SUMMARY: Footnotes added to Table R302.1 allowing solid fireblocking in lieu of eave underside protection.

**TABLE R302.1
EXTERIOR WALLS**

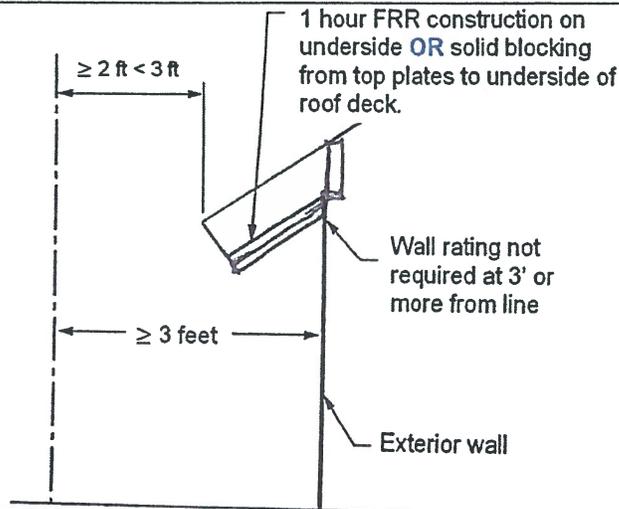
EXTERIOR WALL ELEMENT		MINIMUM FIRE-RESISTANCE RATING	MINIMUM FIRE SEPARATION DISTANCE
Walls	Fire-resistance rated	1 hour—tested in accordance with ASTM E119 or UL 263 with exposure from both sides	< 3 feet
	Not fire-resistance rated	0 hours	≥ 3 feet
Projections	Not allowed	N/A	< 2 feet
	Fire-resistance rated	1 hour on the underside ^{a, b}	≥ 2 feet to < 3 feet
	Not fire-resistance rated	0 hours	≥ 3 feet
Openings in walls	Not allowed	N/A	< 3 feet
	Unlimited	0 hours	≥ 3 feet
Penetrations	All	Comply with Section R302.4	< 3 feet
		None required	≥ 3 feet

a. Roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave if fireblocking is provided from the wall top plate to the underside of the roof sheathing.

b. Roof eave fire-resistance rating shall be permitted to be reduced to 0 hours on the underside of the eave provided gable vent openings are not installed.

Fire Separation & Exterior Walls (cont'd)

CHANGE SUMMARY: Footnotes added to Table R302.1 allowing solid fireblocking in lieu of eave underside protection.



Townhouses

CHANGE SUMMARY: The maintenance agreements and easement requirements have been removed from code. Remainder of R302.2 has been formatted

R302.2.1 Maintenance agreements and utility easements. The formation, approval and recording or maintenance agreements and utility easements shall comply with the requirements of this section.

R302.2.1.1 Maintenance agreements. Where townhouses are separated by real property lines, the building official shall review, approve, cosign and maintain a record of all maintenance agreements as required by this section.

Garage to Dwelling Door

CHANGE SUMMARY: Self closing devices for the garage to dwelling door ~~were not approved~~ by the committee and board.

R302.5.1.1 Opening protections. Other openings between the garage and residence shall be equipped with solid wood doors not less than $1\frac{3}{8}$ inches (35 mm) in thickness, solid or honeycomb-core steel doors not less than $1\frac{3}{8}$ inches (35 mm) thick, or 20-minute fire-rated doors, ~~equipped with a self-closing device.~~

Notes:

- ✓ Prescriptive door options stay the same.
- ✓ Self-closing devices are ~~not~~ required



Fire Protection of Floors

CHANGE SUMMARY: Our longstanding amendment in R501.3 has been relocated to Chapter 3. Additional clarifications added to the provision.

R302.13 Fire protection of floors. Floor assemblies that are not required elsewhere in this code to be fire-resistance rated, shall be provided with a ½-inch (12.7 mm) gypsum wallboard membrane, 5/8-inch (16 mm) wood structural panel membrane, or equivalent on the underside of the floor framing member. Penetrations or openings for ducts, vents, electrical outlets, lighting, devices, luminaires, wires, speakers, drainage, piping and similar openings or penetrations shall be permitted.

ALL EXCEPTIONS REMAIN UNCHANGED

ALSO SEE OUR STATEWIDE INTERP ON THE TOPIC:

<http://www.oregon.gov/bcd/codes-stand/ Documents/Interpretations/interp-15-01-fireprotectionfloors.pdf>

Ventilation Intake Openings

CHANGE SUMMARY: The minimum vertical clearance from a contaminant source to an outdoor air intake has increased from 2 feet to 3 feet, when within 10' horizontally.

R303.4.1 Intake openings. Mechanical and gravity outdoor air intake openings shall be located not less than 10 feet (3048 mm) from any hazardous or noxious contaminant, such as vents, chimneys, plumbing vents, streets, alleys, parking lots, gas meters, and loading docks.

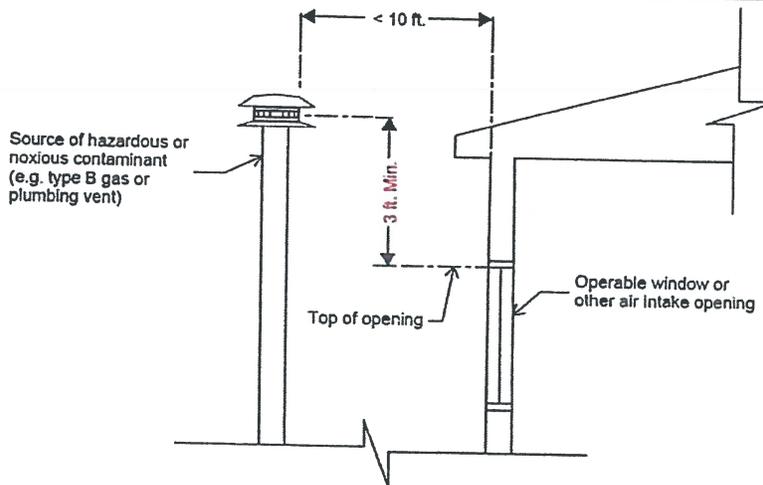
For the purpose of this section, the exhaust from dwelling unit toilet rooms, bathrooms and kitchens shall not be considered as hazardous or noxious.

Exceptions:

1. The 10-foot (3048 mm) separation is not required where the intake opening is located 3 feet (914 mm) or greater below the contaminant source.

Ventilation Intake Openings (cont'd)

CHANGE SUMMARY: The minimum vertical clearance from a contaminant source to an outdoor air intake has increased from 2 feet to 3 feet, when within 10' horizontally.



Stairway Illumination

CHANGE SUMMARY: Interior and exterior stairway illumination requirements are now located in distinct provisions. Clarification, **no significant technical changes.**



R303.6 ORSC

R303.6 Interior stairway illumination. Interior stairways shall be provided with an artificial light source to illuminate the landings and treads. The light source shall be capable of illuminating treads and landings to levels of not less than 1 foot-candle (11 lux) as measured at the center of treads and landings. There shall be a wall switch at each floor level to control the light source where the stairway has six or more risers.

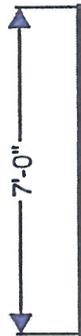
R303.7 Exterior stairway illumination. Exterior stairways shall be provided with an artificial light source located at the top landing of the stairway...

Minimum Room Areas

CHANGE SUMMARY: The requirement for a single room not less than 120 square feet in each *dwelling* has been removed.

R304.1 Minimum area. Habitable rooms shall have a floor area of not less than 70 square feet (6.5 m²).

Exception: Kitchens.



R304.2 Minimum dimensions. Habitable rooms shall be not less than 7 feet (2134 mm) in any horizontal dimension.

Exception: Kitchens.

Glazing and Hazardous Locations

CHANGE SUMMARY: A series of minor changes were made to Section R308, including the specific locations listed under R308.4.

Of note, the requirement at the top landing of a stairway has been removed:

R308.4.6 Glazing adjacent to stairs and ramps. Glazing where the bottom exposed edge of the glazing is less than 36 inches (914 mm) above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered to be a hazardous location.

Exceptions:

1. Where a rail is installed on the accessible side(s) of the glazing 34 to 38 inches (864 to 965 mm) above the walking surface. The rail shall be capable of withstanding a horizontal load of 50 pounds per linear foot (730 N/m) without contacting the glass and have a cross-sectional height of not less than 1½ inches (38mm).
2. Glazing 36 inches (914 mm) or more measured horizontally from the walking surface.

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Glazing and Hazardous Locations

CHANGE SUMMARY: A series of minor changes were made to Section R308, including the specific locations listed under R308.4.

Glazing adjacent stairs and landings between flights of stairs

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Glazing and Hazardous Locations (cont'd)

CHANGE SUMMARY: A series of minor changes were made to Section R308, including the specific locations listed under R308.4.

R308.4.7 Glazing adjacent to the bottom stair landing.
 Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches (914 mm) above the landing and within a 60-inch (1524 mm) horizontal arc less than 180 degrees from the bottom tread nosing shall be considered to be a hazardous location.

Exception: The glazing is protected by a guard complying with Section R312 and the plane of the glass is more than 18 inches (457 mm) from the guard.

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Glazing and Hazardous Locations (cont'd)

CHANGE SUMMARY: A series of minor changes were made to Section R308, including the specific locations listed under R308.4.

FIGURE R308.4.7
PROHIBITED GLAZING LOCATIONS AT BOTTOM STAIR LANDINGS

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Emergency Escape and Rescue Openings

CHANGE SUMMARY: Section R310 has been reorganized and a few clarifications have been added.

Grade floor and below grade openings:

R310.2.1 Minimum opening area. Emergency and escape rescue openings shall have a net clear opening of not less than 5.7 square feet (0.530 m²). The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height opening shall be not less than 24 inches (610 mm) and the net clear width shall be not less than 20 inches (508 mm).

Exception: Grade floor or below grade openings shall have a net clear opening of not less than 5 square feet (0.465 m²).

Emergency Escape and Rescue Openings

CHANGE SUMMARY: Section R310 has been reorganized and a few clarifications have been added.

Sill height measurement clarification has been added specifically to our ORSC:

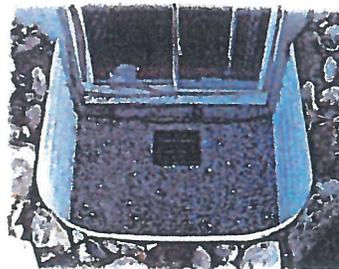
R310.2.2 Window sill height. Where a window is provided as the emergency escape and rescue opening, it shall have a sill height of not more than **44 inches (1118 mm) ~~above the floor~~; measured from the finished floor to the bottom of the clear opening**. Where the sill height is below grade, it shall be provided with a window well in accordance with Section R310.2.3.

Emergency Escape and Rescue Openings

CHANGE SUMMARY: Section R310 has been reorganized and a few clarifications have been added.

Window well drainage:

R310.2.3.2 Drainage. Window wells shall be designed for proper drainage by connecting to the building's foundation drainage system required by **Section R405.1** or by an approved alternative method.



Exception: A drainage system for window wells is not required where the foundation is on well-drained soil or sand-gravel mixture soils in accordance with the United Soil Classification System, Group I Soils, as detailed in **Table R405.1**.

Emergency Escape and Rescue Openings

CHANGE SUMMARY: Section R310 has been reorganized and a few clarifications have been added.

R310.5 Dwelling additions. Where dwelling additions occur that contain sleeping rooms, an emergency escape and rescue opening shall be provided in each new sleeping room.

Where dwelling additions occur that have basements, an emergency escape and rescue opening shall be provided in the new basement.

Exceptions:

1. An emergency escape and rescue opening is not required in a new basement that contains a sleeping room with an emergency escape and rescue opening.

2. An emergency escape and rescue opening is not required in a new basement where there is an emergency escape and rescue opening in an existing basement that is accessible from the new basement.

Emergency Escape and Rescue Openings

CHANGE SUMMARY: Section R310 has been reorganized and a few clarifications have been added.

R310.6 Alterations or repairs of existing basements.
An emergency escape and rescue opening is not required where existing basements undergo alterations or repairs.

Exception: **New sleeping rooms created in an existing basement shall be provided with emergency escape and rescue openings in accordance with Section R310.1.**

Means of Egress – Path to Public Way

CHANGE SUMMARY: Section R311.1 now includes a simple clarification that the single *required* egress door shall ultimately provide a path to a public way.

R311.1 Means of egress. Dwellings shall be provided with a means of egress in accordance with this section. The means of egress shall provide a continuous and unobstructed path of vertical and horizontal egress travel from all portions of the dwelling to the required egress door without requiring travel through a garage or carport. The required egress door shall open directly into a public way or to a yard or court that opens to a public way.

Note: The intent of this clarification is to align with the R310 (EERO) requirements. We do not regulate the path itself to the public way through any cite-it provision.

Means of Egress – Open Risers

CHANGE SUMMARY: Section R311 has been reorganized, including several changes and clarifications.

R311.7.5.1 Risers. The riser height shall be not more than $7\frac{3}{4}$ inches (196 mm) 8 inches (203 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than $\frac{3}{8}$ inch (9.5 mm). Risers shall be vertical or sloped from the underside of the nosing of the tread above at an angle not more than 30 degrees (0.51 rad) from the vertical.

Open risers are permitted provided that the openings located more than 30 inches (762 mm), as measured vertically, to the floor or grade below do not permit the passage of a 4-inch-diameter (102 mm) sphere.

Exceptions:

1. The opening between adjacent treads is not limited on spiral stairways.
2. The riser height of spiral stairways shall be in accordance with Section R311.7.10.1.

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Means of Egress – Open Risers (cont'd)

CHANGE SUMMARY: Section R311 has been reorganized, including several changes and clarifications.

Open risers are only permitted when they are 30 inches or less above the floor.

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Means of Egress - Spirals

CHANGE SUMMARY: Section R311 has been reorganized, including several changes and clarifications.

Definition added for spiral stairway:

STAIRWAY, SPIRAL. A stairway with a plan view of closed circular form and uniform section-shaped treads radiating from a minimum-diameter circle.

R311.7.10.1 Spiral stairways. Spiral stairways are permitted, provided that the clear width at and below walkline radius is not greater than 24½ inches (622 mm). Each tread shall have a depth of not less than 6¾ inches (171 mm) at the walkline.

All treads shall be identical, and the rise shall be not more than 9½ inches (241 mm). Headroom shall be not less than 6 feet 6 inches (1982 mm).

Means of Egress – Handrail as top of Guard

CHANGE SUMMARY: Clarification via public proposal specifying the required height of a handrail that is incorporated as the top of the guard.

In the 2014 ORSC, this requirement only appears in Section R312.2:

R312.2 Height. Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) high measured vertically above the adjacent walking surface, adjacent fixed seating or the line connecting the leading edges of the treads.

Exceptions:

1. Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.

2. Where the top of the guard also serves as a handrail on the open sides of stairs, the top of the guard shall not be not less than 34 inches (864 mm) and not more than 38 inches (965 mm) measured vertically from a line connecting the leading edges of the treads.

Means of Egress – Handrail as top of Guard

CHANGE SUMMARY: Clarification via public proposal specifying the required height of a handrail that is incorporated as the top of the guard.

In the 2017 ORSC, this requirement will now also appear under the handrail provisions:



R311.7.8.1 Height. Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than ~~34 inches (864 mm)~~ 30 inches (762 mm) and not more than 38 inches (965 mm).

Exceptions:

3. When a handrail is incorporated as the top of a guard, the minimum height shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm) as measured vertically from a line connecting the leading edges of the treads.

Means of Egress – ATDs and Ships Ladders

CHANGE SUMMARY: Alternating tread devices and ships ladders are now permitted to serve as a secondary accessing means to occupiable spaces.



R311.7.11 Alternating tread devices. Alternating tread devices shall not be used as an element of a means of egress. Alternating tread devices shall be permitted provided that the required means of egress stairway or ramp serves the same space at each adjoining level or where a means of egress is not required. The clear width at and below the handrails shall be not less than 20 inches (508 mm).



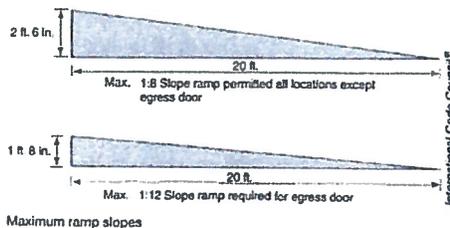
R311.7.12 Ships ladders. Ships ladders shall not be used as an element of a means of egress. Ships ladders shall be permitted provided that a required means of egress stairway or ramp serves the same space at each adjoining level or where a means of egress is not required. The clear width at and below the handrails shall be not less than 20 inches.

Means of Egress – Ramps

CHANGE SUMMARY: Clarifications added regarding ramps serving the required egress door versus ramps serving other doors (1:12 and 1:8).

R311.8.1 Maximum slope. Ramps serving the egress door required by Section R311.2 shall have a slope of not more than 1 unit vertical in 12 units horizontal (8.3-percent slope). All other ramps shall have a maximum slope of 1 unit vertical in 8 units horizontal (12.5 percent).

Exception: Where it is technically infeasible to comply because of site constraints, ramps shall have a slope of not more than 1 unit vertical in 8 units horizontal (12.5 percent).



Window Fall Protection

CHANGE SUMMARY: Window fall protection requirements have been relocated from the back of Chapter 6 to Section R312 with Guards. Technical requirements stay consistent.

R312.2 Window fall protection. Window fall protection shall be provided in accordance with Sections R312.2.1 and R312.2.2.

R312.2.1 Window sills. In dwelling units, where the top of the sill of an operable window opening is located **less than 24 inches (610 mm) above the finished floor and greater than 72 inches (1829 mm) above the finished grade or other surface below on the exterior** of the building, the operable window shall comply with one of the following:

1. Operable windows with openings that will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening where the opening is in its largest opened position.
2. Operable windows that are provided with window fall prevention devices that comply with ASTM F 2090.
3. Operable windows that are provided with window opening control devices that comply with Section R312.2.2.

Smoke Alarms

CHANGE SUMMARY: The provisions have been reorganized and clarified. Several technical changes are included.

R314.1 General. Smoke alarms shall comply with NFPA 72 and Section R314.

R314.3.1 Installation near cooking appliances. Smoke alarms shall not be installed in the following locations unless this would prevent placement of a smoke alarm in a location required by Section R314.3.

1. Ionization smoke alarms **shall not be installed less than 20 feet (6096 mm) horizontally from a permanently installed cooking appliance.**
2. Ionization smoke alarms **with an alarm-silencing switch shall not be installed less than 10 feet (3048 mm) horizontally from a permanently installed cooking appliance.**
3. Photoelectric smoke alarms **shall not be installed less than 6 feet (1828 mm) horizontally from a permanently installed cooking appliance.**

Carbon Monoxide Alarms

CHANGE SUMMARY: Significant reorganization of the section. Hard wiring of devices now required on new construction.

R315.5 Power source. Carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and, where primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection.

Exceptions:

1. Carbon monoxide alarms shall be permitted to be battery operated where installed in buildings without commercial power.
2. Carbon monoxide alarms installed in accordance with Section R315.2.2 shall be permitted to be battery powered.
3. Interconnection and hard-wiring of combination smoke/carbon monoxide alarms in existing areas shall not be required where the alterations or repairs do not result in the removal of interior wall or ceiling finishes exposing the structure.

Mezzanines

CHANGE SUMMARY: A new section has been added regarding mezzanines, including a definition in Chapter 2. Very similar to existing OSSC language.

R325.1 General. Mezzanines shall comply with Section R325.

R325.2 Mezzanines. The clear height above and below mezzanine floor construction shall be not less than 7 feet (2134 mm).

R325.3 Area limitation. The aggregate area of a mezzanine or mezzanines shall be not greater than one-third of the floor area of the room or space in which they are located. The enclosed portion of a room shall not be included in a determination of the floor area of the room in which the *mezzanine* is located.

R325.4 Means of egress. The means of egress for mezzanines shall comply with the applicable provisions of Section R311.

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Continuous Footings in SDC D₁ and D₂

CHANGE SUMMARY: Clarifies the extent of a continuous footing.

R403.1.2 Continuous footing in Seismic Design Categories D₁ and D₂. ...All required interior braced wall panels in buildings located in Seismic Design Categories D₁, and D₂ with plan dimensions greater than 50 feet (15 240 mm) shall be supported by continuous (from beginning to end of any wall line containing braced wall panels) solid or fully grouted masonry or concrete footings in accordance with Section R403.1.4.4, except for two-story buildings in Seismic Design Category D₂, in which all braced wall panels, interior and exterior, shall be supported on continuous foundations...

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Continuous Footings in SDC D₁ and D₂

CHANGE SUMMARY: Clarifies the extent of a continuous footing.

For context from chapter 6:

2017 ORSC **R602.10.1.1 Length of a braced wall line.** The length of a braced wall line shall be the distance between its ends. The end of a braced wall line shall be the intersection with a perpendicular braced wall line, an angled braced wall line as permitted in Section R602.10.1.4 or an exterior wall as shown in Figure R602.10.1.1.

2014 ORSC **R602.10.1 Braced wall lines.** Braced wall lines shall be provided in accordance with this section. The length of a braced wall line shall be measured as the distance between the ends of the wall line. The end of a braced wall line shall be considered to be either:

1. The intersection with perpendicular exterior walls or projection thereof.
2. The intersection with perpendicular braced wall lines.

The end of the braced wall line shall be chosen such that the maximum length results.

Continuous Footings in SDC D₁ and D₂

CHANGE SUMMARY: Clarifies the extent of a continuous footing.

For context from chapter 6:

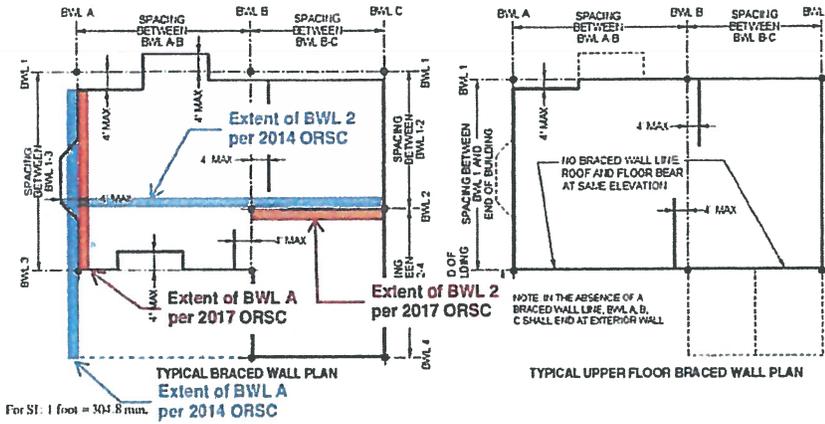
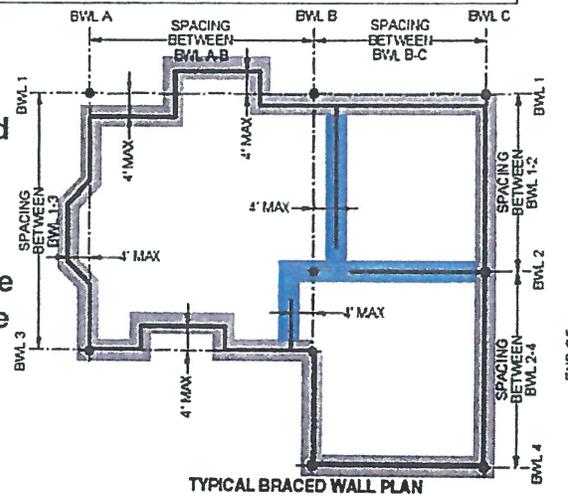


FIGURE R602.10.1.1
BRACED WALL LINES

Continuous Footings in SDC D₁ and D₂ (cont'd)

CHANGE SUMMARY: Clarifies the requirements and moves the provisions that were in Section R602.10.7.1 into this section.

Note that the continuous footing for BWL2 starts and ends at BWL's B & C;
BWL2 is not required to continue the full length of the building:



Continuous Footings in SDC D₁ and D₂ (cont'd)

CHANGE SUMMARY: No change, just moved Section R602.10.7.1 into R403.1.2 as an exception for consistency.

R403.1.2 Continuous footing in Seismic Design Categories D₁ and D₂, ...

Exception: One-story and Two-story buildings shall be permitted to have interior braced wall panels supported on continuous foundations at intervals not exceeding 50 feet (15 240 mm) provided that:

1. The height of cripple walls does not exceed 4 feet (1219 mm).
2. First-floor braced wall panels are supported on doubled floor joists, continuous blocking or floor beams.
3. The distance between bracing lines does not exceed twice the building width measured parallel to the braced wall line.

Foundation Anchorage

CHANGE SUMMARY: 1) *Approved* anchors may be used instead of ½-inch anchor bolts. 2) Anchor bolts are now required to be placed in the middle third of the sill plate.

R403.1.8 Foundation anchorage. Wood sill plates and wood walls supported directly on continuous foundations... shall be anchored to the foundation with minimum ½ inch diameter (12.7 mm) anchor bolts spaced a maximum of 6 feet (1829 mm) on center or approved anchors or anchor straps spaced as required to provide equivalent anchorage to ½ -inch-diameter (12.7 mm) anchor bolts. Bolts shall extend a minimum of 7 inches (178 mm) into concrete or grouted cells of concrete masonry units. The bolts shall be located in the middle third of the width of the plate...

Foundation Anchorage (cont'd)

CHANGE SUMMARY: *Approved* anchors may be used instead of ½-inch anchor bolts per R403.1.8.

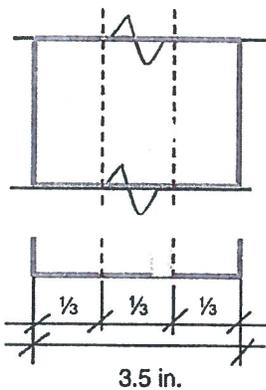
Note: Provides greater flexibility for Building Official to approve new proprietary products entering the market. Pay close attention to limited use applications and manufacturer's installation instructions.



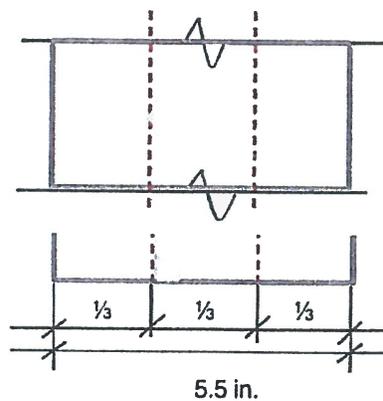
Foundation Anchorage (cont'd)

CHANGE SUMMARY: Anchor bolts are now required to be placed in the middle third of the sill plate per R403.1.8.

2x4 plates



2x6 plates



Foundation Anchorage in SDC C, D₁, and D₂

CHANGE SUMMARY: Clarifies that plate washers aren't required where *approved* anchor straps are used, and changes application of 4-ft o.c. anchor bolt spacing from D₂ only to also include SDC C and D₁.

R403.1.6.1 Foundation anchorage in Seismic Design Categories C, D₁, and D₂. In addition to the requirements of R403.1.6...

1. Plate washers conforming to Section R602.11.1 shall be provided for all anchor bolts over the full length of required *braced wall lines* except where approved anchor straps are used.
2. ...
3. ...
4. ~~In Seismic Design Category D₂,~~ The maximum anchor bolt spacing shall be 4 feet (1219 mm) for buildings over two stories in height.

Masonry Foundation Wall Reinforcement

CHANGE SUMMARY: Increased the minimum size of the vertical reinforcement in masonry foundation walls in SDC D₁ and D₂ from a No. 3 to No. 4 bar.

R404.1.4.1 Masonry foundation walls. In buildings assigned to Seismic Design Category D₁ or D₂ ...

1. ...
2. ...
3. ...
4. Masonry stem walls shall have a minimum vertical reinforcement of one No. ~~3~~ **4** bar located a maximum of 4 feet on center in grouted cells...

Vented and Unvented Crawlspace

CHANGE SUMMARY: Several changes occurred in Section R408.

***NOTE:** 6 mil black poly = Class I vapor retarder

- R408.1 Ventilation.** The under-floor space between the bottom of the floor joists and the earth under any building (except space occupied by a *basement*) shall have ventilation openings through foundation walls or exterior walls. The minimum net area of ventilation openings shall be not less than 1 square foot (0.0929 m²) for each 150 square feet (14 m²) of under-floor space area, ~~unless the ground surface is covered by a Class 1 vapor retarder material. Where a Class 1 vapor retarder material is used,~~ The minimum net area of ventilation openings shall be not less than may be reduced to 1 square foot (0.0929 m²) for each 1,500 square feet (140 m²) of under-floor space area when the ground surface is covered by a Class I vapor retarder or other approved materials, with joints lapped 12 inches (305mm) at seams and extending up the foundation walls 12 inches (305 mm).

The reduction in ventilation area is not allowed for naturally ventilated crawlspaces in new construction in Baker, Clackamas, Hood River, Multnomah, Polk, Washington and Yamhill counties where radon-mitigating construction is required.

Vented and Unvented Crawlspace (cont'd)

CHANGE SUMMARY: Several changes occurred in Section R408.

R408.3 Unvented crawl space. Ventilation openings in under-floor spaces specified in Sections R408.1 and R408.2 shall not be required where the following items are provided:

Exposed earth is covered with a continuous Class I vapor retarder. Joints of the vapor retarder shall overlap by 6 inches (152 mm) and shall be sealed or taped, or overlapped a minimum of 12 inches when joints are not sealed or taped. The edges of the vapor retarder shall extend not less than 6 12 inches (152 mm) up the stem wall and shall be attached and sealed to the stem wall or insulation.

One of the following is provided for the under-floor space:

1. Continuously operated mechanical exhaust ventilation at a rate equal to 1 cubic foot per minute (0.47 L/s) for each 50 square feet (4.7 m²) of crawl space floor area, including an air pathway to the common area (such as a duct or transfer grille), and perimeter walls insulated in accordance with Section N1104.1 of this code.
2. Conditioned air supply sized to deliver at a rate equal to 1 cubic foot per minute (0.47 L/s) for each 50 square feet (4.7 m²) of under-floor area, including a return air pathway to the common area (such as a duct or transfer grille), and perimeter walls insulated in accordance with Section N1104.1 of this code.

Exception: Unvented crawl spaces are not allowed in new construction in Baker, Clackamas, Hood River, Multnomah, Polk, Washington and Yamhill counties where radon-mitigating construction is required.

Floor Joist Spans

CHANGE SUMMARY: Minor changes to all prescriptive span tables based on testing data.

Changes to Southern Pine (SP), Douglas Fir-Larch (DFL), and Hemlock Fir (HF) lumber capacities have changed the floor joist span length in the prescriptive tables of the ORSC. Span lengths for Southern Pine have decreased; lengths for DFL and HF joists have increased.

New design values were approved by the **American Lumber Standards Committee (ALSC)**. This change brings the prescriptive span tables in alignment with national wood standards' design values.

Decks

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.

R507.2 Deck ledger connection to band joist. Deck ledger connections to band joists shall be in accordance with this section, Tables R507.2 and R507.2.1, and Figures R507.2.1(1) and R507.2.1(2). For other grades, species, connection details and loading conditions, deck ledger connections shall be designed in accordance with Section R301.

TABLE R507.2
DECK LEDGER CONNECTION TO BAND JOIST^{a, b}
(Deck live load = 40 psf, deck dead load = 10 psf, snow load ≤ 40 psf)

CONNECTION DETAILS	JOIST SPAN						
	6' and less	6'1" to 8'	8'1" to 10'	10'1" to 12'	12'1" to 14'	14'1" to 16'	16'1" to 18'
	On-center spacing of fasteners						
1/2-inch diameter lag screw with 1/2-inch maximum sheathing ^{c, d}	30	23	18	15	13	11	10
1/2-inch diameter bolt with 1/2-inch maximum sheathing ^d	36	36	34	29	24	21	19
1/2-inch diameter bolt with 1-inch maximum sheathing ^e	36	36	29	24	21	18	16

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square foot = 0.0479 kPa.

a. Ledgers shall be flashed in accordance with Section R703.4 to prevent water from contacting the house band joist.

b. Snow load shall not be assumed to act concurrently with live load.

c. The tip of the lag screw shall fully extend beyond the inside face of the band joist.

d. Sheathing shall be wood structural panel or solid sawn lumber.

e. Sheathing shall be permitted to be wood structural panel, gypsum board, fiberboard, lumber or foam sheathing. Up to 1/2-inch thickness of stacked washers shall be permitted to substitute for up to 1/2 inch of allowable sheathing thickness where combined with wood structural panel or lumber sheathing.

Decks (continued)

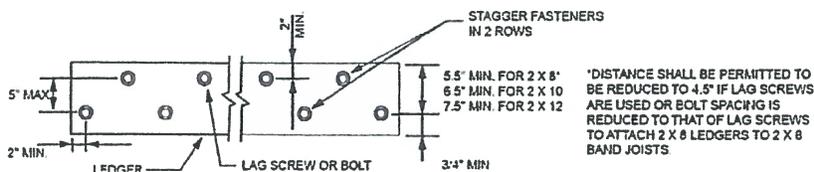
CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.

TABLE R507.2.1
PLACEMENT OF LAG SCREWS AND BOLTS IN DECK LEDGERS AND BAND JOISTS

	MINIMUM END AND EDGE DISTANCES AND SPACING BETWEEN ROWS			
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING
Ledger ^a	2 inches ^d	3/4 inch	2 inches ^b	1 3/8 inches ^b
Band Joist ^c	3/4 inch	2 inches	2 inches ^b	1 3/8 inches ^b

For SI: 1 inch = 25.4 mm.

- a. Lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of the deck ledger in accordance with Figure R507.2.1(1).
- b. Maximum 5 inches.
- c. For engineered rim joists, the manufacturer's recommendations shall govern.
- d. The minimum distance from bottom row of lag screws or bolts to the top edge of the ledger shall be in accordance with Figure R507.2.1(1).

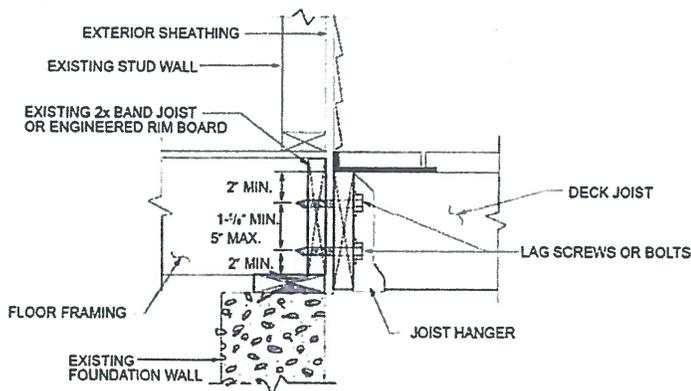


For SI: 1 inch = 25.4 mm.

FIGURE R507.2.1(1)
PLACEMENT OF LAG SCREWS AND BOLTS IN LEDGERS

Decks (continued)

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.



For SI: 1 inch = 25.4 mm.

FIGURE R507.2.1(2)
PLACEMENT OF LAG SCREWS AND BOLTS IN BAND JOISTS

Decks (continued)

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.

Ledger and Band/Rim Material Requirements:

R507.2.1 Ledger details. Deck ledgers installed in accordance with Section R507.2 shall be a minimum 2-inch by 8 inch (51 mm by 203 mm) nominal, pressure-preservative treated southern pine, incised pressure-preservative-treated Hem-fir, or approved, naturally durable, No. 2 grade or better lumber. Deck ledgers installed in accordance with Section R507.2 shall not support concentrated loads from beams or girders. Deck ledgers shall not be supported on stone or masonry veneer.

R507.2.2 Band joist details. Band joists attached by a ledger in accordance with Section R507.2 shall be a minimum 2-inch-nominal (51 mm), solid-sawn, spruce-pine-fir lumber or a minimum 1-inch by 9 ½ -inch (25 mm × 241 mm) dimensional, Douglas fir, laminated veneer lumber. Band joists attached by a ledger in accordance with Section R507.2 shall be fully supported by a wall or sill plate below.

Decks (continued)

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.

Deck attachment for lateral loads:

R507.2.4 Deck lateral load connection. The lateral load connection required by Section R507.1 shall be permitted to be in accordance with Figure R507.2.3(1) or R507.2.3(2).

Where the lateral load connection is provided in accordance with Figure R507.2.3(1), hold-down tension devices shall be installed in not less than two locations per deck, within 24 inches of each end of the deck. Each device shall have an allowable stress design capacity of not less than 1,500 pounds (6672 N).

Where the lateral load connections are provided in accordance with Figure R507.2.3(2), the hold-down tension devices shall be installed in not less than four locations per deck, and each device shall have an allowable stress design capacity of not less than 750 pounds (3336 N).

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Decks (continued)

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.

Where the lateral load connection is provided in accordance with Figure R507.2.3(1), hold-down tension devices shall be installed in not less than two locations per deck, within 24 inches of each end of the deck. Each device shall have an allowable stress design capacity of not less than 1,500 pounds (6672 N).

Notes:

- ✓ 2 devices minimum per deck.
- ✓ 1500# stress capacity each.
- ✓ Remember to check I-joist manufacturer's requirements for blocking and attachment.

FIGURE 507.2.3(1)
DECK ATTACHMENT FOR LATERAL LOADS

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Decks (continued)

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.

Where the lateral load connections are provided in accordance with Figure R507.2.3(2), the hold-down tension devices shall be installed in not less than four locations per deck, and each device shall have an allowable stress design capacity of not less than 750 pounds (3336 N).

Notes:

- ✓ 4 devices per deck.
- ✓ 750# stress capacity each.

A FULLY THREADED 3/4\" DIAMETER LAG SCREW PREDRILLED W/ MIN. 3\" PENETRATION TO CENTER OF TOP PLATE, STUDS, OR HEADER.

Decks (continued)

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.

R507.5 Deck joists. Maximum allowable spans for wood deck joists, as shown in Figure R507.5, shall be in accordance with Table R507.5. Deck joists shall be permitted to cantilever not greater than one-fourth of the actual, adjacent joist span.

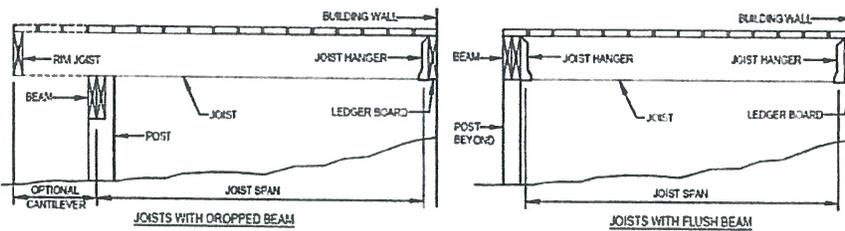


FIGURE R507.5
TYPICAL DECK JOIST SPANS

Decks (continued)

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.

R507.5 Deck joists. Maximum allowable spans for wood deck joists, as shown in Figure R507.5, shall be in accordance with Table R507.5. Deck joists shall be permitted to cantilever not greater than one-fourth of the actual, adjacent joist span.

TABLE R507.5
DECK JOIST SPANS FOR COMMON LUMBER SPECIES^a (ft. - in.)

SPECIES ^a	SIZE	SPACING OF DECK JOISTS WITH NO CANTILEVER ^b (inches)			SPACING OF DECK JOISTS WITH CANTILEVERS ^c (inches)		
		12	16	24	12	16	24
Southern pine	2 x 6	9-11	9-0	7-7	6-8	6-5	6-3
	2 x 8	11-1	11-10	9-8	10-1	10-1	9-8
	2 x 10	16-2	14-0	11-5	14-6	11-0	11-5
	2 x 12	18-0	16-6	12-6	18-0	16-6	12-6
Douglas fir-larch ^d , hem-fir ^d , spruce-pine-fir ^d	2 x 6	9-6	8-8	7-2	6-3	6-3	6-3
	2 x 8	12-6	11-1	9-1	9-5	9-5	9-1
	2 x 10	15-8	13-7	11-1	13-7	13-7	11-1
Redwood, western cedar, ponderosa pine ^e , red pine ^e	2 x 6	8-10	8-0	7-0	5-7	5-7	5-7
	2 x 8	11-8	10-7	8-8	8-6	8-6	8-6
	2 x 10	14-11	13-0	10-7	12-3	12-3	10-7
	2 x 12	17-5	15-1	12-4	16-5	15-1	12-4

For S1: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square foot = 0.0157 kPa, 1 pound = 0.454 kg.

a. No. 2 grade with wet service factor.

b. Ground snow load, live load = 40 psf, dead load = 10 psf, L.S. = 160.

c. Ground snow load, live load = 40 psf, dead load = 10 psf, L.S. = 360 at main span, L.S. = 150 at cantilever with a 270-pound point load applied to end.

d. Incubator incising factor.

e. Northern species with no incising factor.

f. Cantilevered spans not exceeding the nominal depth of the joist are permitted.

Decks (continued)

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.

R507.6 Deck Beams. Maximum allowable spans for wood deck beams, as shown in Figure R507.6, shall be in accordance with Table R507.6. Beam plies shall be fastened with two rows of 10d (3-inch x 0.128-inch) nails minimum at 16 inches (406 mm) on center along each edge. Beams shall be permitted to cantilever at each end up to one-fourth of the actual beam span. Splices of multispans beams shall be located at interior post locations.

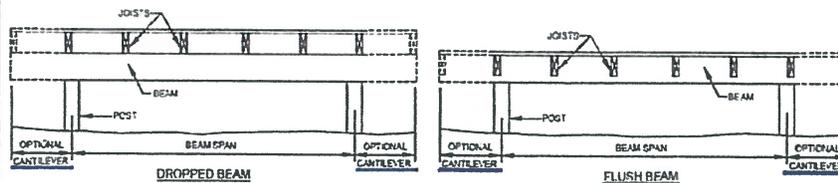


FIGURE R507.6
TYPICAL DECK BEAM SPANS

Decks (continued)

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.

TABLE R507.6
DECK BEAM SPAN LENGTHS^{a,b} (ft. - in.)

SPECIES ^c	SIZE ^d	DECK JOIST SPAN LESS THAN OR EQUAL TO: (feet)						
		6	8	10	12	14	16	18
Douglas fir-larch ^e , hem-fir ^e , spruce-pine-fir ^e , redwood, western cedars, ponderosa pine ^e , red pine ^e	3 x 6 or 2 - 2 x 6	5-5	4-8	4-2	3-10	3-6	3-1	2-9
	3 x 8 or 2 - 2 x 8	6-10	5-11	5-4	4-10	4-6	4-1	3-8
	3 x 10 or 2 - 2 x 10	8-4	7-3	6-6	5-11	5-6	5-1	4-8
	3 x 12 or 2 - 2 x 12	9-8	8-5	7-6	6-10	6-4	5-11	5-7
	4 x 6	6-5	5-6	4-11	4-6	4-2	3-11	3-8
	4 x 8	8-5	7-3	6-6	5-11	5-6	5-2	4-10
	4 x 10	9-11	8-7	7-8	7-0	6-6	6-1	5-8
	4 x 12	11-5	9-11	8-10	8-1	7-6	7-0	6-7
	3 - 2 x 6	7-4	6-8	6-0	5-6	5-1	4-9	4-6
	3 - 2 x 8	9-8	8-6	7-7	6-11	6-5	6-0	5-8
3 - 2 x 10	12-0	10-5	9-4	8-6	7-10	7-4	6-11	
3 - 2 x 12	13-11	12-1	10-9	9-10	9-1	8-6	8-1	

For S1: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square foot = 0.0479 kPa, 1 pound = 0.454 kg.
a. Ground snow load, live load = 40 psf, dead load = 10 psf. L/A = 360 at main span. L/A = 180 at cantilever with a 220-pound point load applied at the end.
b. Beams supporting deck joists from one side only.
c. No. 2 grade, wet service factor.
d. Beam depth shall be greater than or equal to depth of joists with a flush beam condition.
e. Includes incising factor.
f. Northern species, incising factor not included.

Decks (continued)

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.

R507.7 Deck joist and deck beam bearing. The ends of each joist and beam shall have not less than 1 1/2 inches (38 mm) of bearing on wood or metal and not less than 3 inches (76 mm) on concrete or masonry for the entire width of the beam. Joist framing into the side of a ledger board or beam shall be supported by approved joist hangers. Joists bearing on a beam shall be connected to the beam to resist lateral displacement.

R507.7.1 Deck post to deck beam. Deck beams shall be attached to deck posts in accordance with Figure R507.7.1 or by other equivalent means capable to resist lateral displacement. Manufactured post-to-beam connectors shall be sized for the post and beam sizes. All bolts shall have washers under the head and nut.

Exception: Where deck beams bear directly on footings in accordance with Section R507.8.1.

Decks (continued)

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.

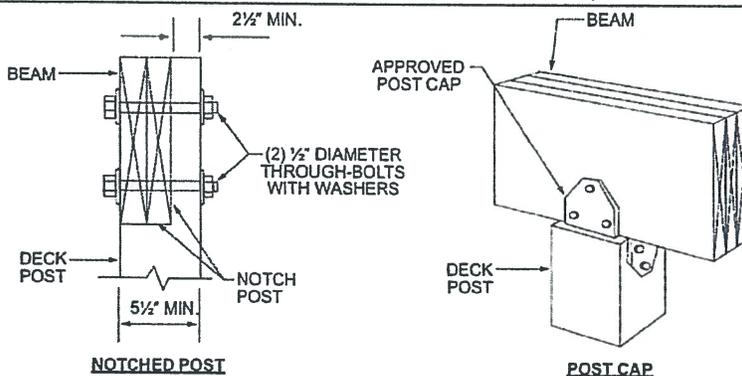


FIGURE R507.7.1
DECK BEAM TO DECK POST

Decks (continued)

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.

R507.8 Deck posts. For single-level wood-framed decks with beams sized in accordance with Table R507.6, deck post size shall be in accordance with Table R507.8.

**TABLE R507.8
DECK POST HEIGHT^a**

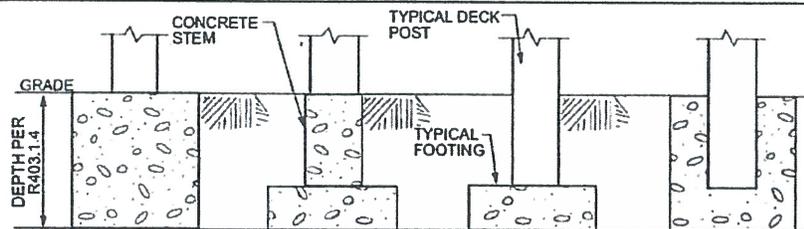
DECK POST SIZE	MAXIMUM HEIGHT ^a
4 × 4	8'
4 × 6	8'
6 × 6	14'

For SI: 1 foot = 304.8 mm.

a. Measured to the underside of the beam.

Decks (continued)

CHANGE SUMMARY: Significant changes to the prescriptive deck provisions in Section R507. Included are the addition of deck joist and beam spans.



**FIGURE R507.8.1
TYPICAL DECK POSTS TO DECK FOOTINGS**

R507.8.1 Deck post to deck footing. Posts shall bear on footings in accordance with Section R403 and Figure R507.8.1. Posts shall be restrained to prevent lateral displacement at the bottom support. Such lateral restraint shall be provided by manufactured connectors installed in accordance with Section R507 and the manufacturers' instructions or a minimum post embedment of 12 inches (305 mm) in surrounding soils or concrete piers.



CITY OF MEDFORD AGENDA ITEM COMMENTARY

Item No: 80.3

www.ci.medford.or.us

DEPARTMENT: Mayor and Council
PHONE: (541) 774-2000
STAFF CONTACT: Donna Holtz, Executive Office Manager

AGENDA SECTION: Ordinances and Resolutions
MEETING DATE: January 18, 2018

COUNCIL BILL 2018-09

A resolution appointing representatives to voting positions as the City representatives on boards and commissions.

SUMMARY AND BACKGROUND

Council is being requested to consider approval of a resolution authorizing City representatives to vote on behalf of the City of Medford per Municipal code 2.436(6).

PREVIOUS COUNCIL ACTIONS

On February 2, 2017, the Council adopted Council Bill 2017-13 to designate Councilmembers and/or citizens as representatives of outside organizations. This resolution authorized those designated in Exhibit A to vote on behalf of the City of Medford.

ANALYSIS

Appointments are made by the Council President. Boards and commissions listed below are not City of Medford boards and commissions, but instead include a member from the governing body of the City as a voting member of the board or commission. In these instances, the council member may act as a voting member of the Board, not as a council liaison. Those council members, when appropriate, should obtain direction from the entire council prior to voting on a matter.

Organization

Hospital Facilities Authority
JaCo Ad-Hoc Homeless Work Group
Rogue Basin Steering Committee
RVACT
RVCOG
Rogue Valley MPO
Regional Rate Comm. (Regional Sewer)
SORED

FINANCIAL AND/OR RESOURCE CONSIDERATIONS

N/A

TIMING ISSUES

N/A

COUNCIL OPTIONS

Approve the resolution as presented.
Modify the resolution as presented.
Deny the resolution and provide direction to staff.

STAFF RECOMMENDATION

Staff makes no recommendation.



CITY OF MEDFORD
AGENDA ITEM COMMENTARY

Item No: 80.3

www.ci.medford.or.us

SUGGESTED MOTION

I move to approve the resolution to appoint City representatives as voting members of the specified outside organizations.

EXHIBITS

Resolution
Exhibit A

RESOLUTION NO. 2018-09

A RESOLUTION appointing representatives to voting positions as the City representatives on boards and commissions.

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MEDFORD, OREGON:

That the Mayor and City Council hereby appoint the following representatives to voting positions as the City representative on the following boards and commissions:

Hospital Facilities Authority Board	Dick Gordon & Kim Wallan
Jackson County Ad-Hoc Homeless Work Group	Lilia Caballero, MPD; Rich Hansen Alternate
Rogue Valley Area Commission on Transportation (RVACT)	Tim Jackle; Kelly Madding Alternate
Rogue Valley Council of Governments	Dick Gordon; Kevin Stine Alternate
Rogue Valley Metropolitan Policy Organization	Kim Wallan; Kelly Madding Alternate
Regional Rate Committee	Mike Zarosinski & Tim D'Alessandro; Kevin Stine & Kim Wallan Alternates
Southern Oregon Regional Economic Development, Inc. (SORED)	Kim Wallan; Tim Jackle Alternate

PASSED by the Council and signed by me in authentication of its passage this _____ day of _____, 2018.

ATTEST: _____
City Recorder

Mayor

Exhibit A

Voting Members of Boards 2017

Organization

Hospital Facilities Authority
JaCo Ad-Hoc Homeless Work Group
Rogue Basin Steering Committee
RVACT
RVCOG
Rogue Valley MPO
Regional Rate Comm.
(Regional Sewer)
SORED

Member

Dick Gordon
Lilia Caballero, MPD

Tim Jackle
Dick Gordon
Mike Zarosinski
Mike Zarosinski &
Tim D'Alessandro
Kim Wallan

Alternate

Kim Wallan
Rich Hansen

Mike Zarosinski
Kevin Stine
Tim Jackle
Kevin Stine &
Kim Wallan
Tim Jackle