

PLANNING COMMISSION

AGENDA

MARCH 23, 2017



Commission Members

David Culbertson
Joe Foley
Bill Mansfield
David McFadden
Mark McKechnie
E. J. McManus
Patrick Miranda
Jared Pulver

Regular Planning Commission meetings
are held on the second and fourth
Thursdays of every month
Meetings begin at 5:30 PM

City of Medford

City Council Chambers
411 W. Eighth Street, Third Floor
Medford, OR 97501
541-774-2380



Planning Commission

Agenda

Public Hearing
March 23, 2017
5:30 PM

Council Chambers, City Hall, Room 300
411 West Eighth Street, Medford, Oregon

-
10. **Roll Call**
 20. **Consent Calendar/Written Communications (voice vote)**
 - 20.1 **LDS-17-005** Final Order of a tentative plat for a 21 lot residential subdivision on 4.1 acres zoned SFR-6 (Single Family Residential, 6 dwelling units per gross acre) located on the west side of Kings Highway approximately 300 feet north of Halvorsen Street and east of the Aspen Street terminus and south of the Brock Way terminus. (372W36DA TL 5002) (Vision Homes, Applicant; Neathamer Surveying Inc., Agent)
 - 20.2 **GF-17-024** A Parks & Recreation Department initiated request to consider a code amendment to create standards related to the construction and implementation of greenway trails. (City of Medford)
 30. **Minutes**
 - 30.1 Consideration for approval of minutes from the March 9, 2017, hearing.
 40. **Oral and Written Requests and Communications**

Comments will be limited to 3 minutes per individual or 5 minutes if representing an organization. **PLEASE SIGN IN.**
 50. **Public Hearings**

Comments are limited to a total of 10 minutes for applicants and/or their representatives. You may request a 5-minute rebuttal time. All others will be limited to 3 minutes per individual or 5 minutes if representing a group or organization. **PLEASE SIGN IN.**

New Business

 - 50.1 **CP-17-013** A Comprehensive Plan Amendment to incorporate the 2016 Leisure Services Plan into the Public Facilities element and update the Goals, Policies, and Implementation strategies within the Comprehensive Plan. (City of Medford, Applicant)
 - 50.2 **LDS-16-156** Consideration of tentative plat approval for Stonegate Estates Phase 5, a 20-lot (and reserve acreage) residential townhome subdivision on an approximate 5.39-acre site located on the east side of North Phoenix Road, within an SFR-10/PD/SE (Single Family Residential – 10 dwelling units per gross acre/Planned Development/Southeast Plan Overlay) zoning district (371W342000). (Dan Mahar, Applicant; Neathamer Surveying, Inc., Agent)

- 50.3 PUD-17-003 / ZC-17-004** Consideration of a revision to the approved Preliminary PUD Plan for Stewart Meadows Village Planned Unit Development, including the addition of property, located on a resulting approximate 121-acre site bounded generally by Stewart Avenue, South Pacific Highway, Garfield Avenue, and Myers Lane, within an SFR-6, SFR-10, C-C, I-L and I-G zoning districts, including a request for a change of zone on an approximate 0.62-acre tract from SFR-6 to SFR-10, an approximate 0.62-acre tract from SFR-10 to MFR-30, an approximate 0.26-acre tract from I-G to I-L, an approximate 0.26-acre tract from I-L to I-G, an approximate 9.8-acre tract from C-C to I-L, and an approximate 9.8-acre tract from I-L to C-C. (371W31A TL 2802, 2000, 2190, 2200, 2300, 4000, 3900; 371W31D TL 200, 1001, 2500, 1000, 2501, 2800, 900, 2900, 3000; 371W32C TL 5503, 5400). (KOGAP Enterprises, Inc., Applicant; Maize & Associates, Inc., Agent)

60. Reports

60.1 Site Plan and Architectural Commission

60.2 Joint Transportation Subcommittee

60.3 Planning Department

70. Messages and Papers from the Chair

80. Remarks from the City Attorney

90. Propositions and Remarks from the Commission

100. Adjournment

BEFORE THE MEDFORD PLANNING COMMISSION
STATE OF OREGON, CITY OF MEDFORD

IN THE MATTER OF TENTATIVE PLAT APPROVAL FOR _____)
FRANKLIN PLACE _____ [LDS-17-005] _____) **ORDER**

ORDER granting approval for tentative plat for *Franklin Place*, described as follows:

A 21 lot residential subdivision on 4.1 acres zoned SFR-6 (Single Family Residential, 6 dwelling units per gross acre) located on the west side of Kings Highway approximately 300 feet north of Halvorsen Street and east of the Aspen Street terminus and south of the Brock Way terminus. (372W36DA TL 5002).

WHEREAS:

1. The Planning Commission has duly accepted the application filed in accordance with the Medford Land Development Code, Sections 10.265 through 10.267; and
2. The Medford Planning Commission has duly held a public hearing on the request for tentative plat for *Franklin Place*, as described above, with the public hearing a matter of record of the Planning Commission on March 9, 2017.
3. At the public hearing on said tentative plat, evidence and recommendations were received and presented by the developer and Planning Department Staff; and
4. At the conclusion of said hearing, after consideration and discussion, the Medford Planning Commission, upon a motion duly seconded granted tentative plat for *Franklin Place*, as described above and directed staff to prepare a final order with all conditions and findings set forth for the granting of the tentative plat approval.

THEREFORE LET IT BE HEREBY ORDERED that the tentative plat for *Franklin Place* stands approved per the Planning Commission Report dated March 9, 2017, and subject to compliance with all conditions contained therein.

AND LET IT FURTHER BE OF RECORD, that the action of the Planning Commission in approving this request for tentative plat approval is hereafter supported by the findings referenced in the Planning Commission Report dated March 9, 2017.

BASED UPON THE ABOVE, the Planning Commission determined that the tentative plat is in conformity with the provisions of law and Section 10.270 Land Division Criteria of the Land Development Code of the City of Medford.

Accepted and approved this 23rd day of March, 2017.

CITY OF MEDFORD PLANNING COMMISSION

Planning Commission Chair

ATTEST:

Planning Department Representative



PLANNING COMMISSION REPORT

for a Type-C quasi-judicial decision: Land Division

Project Franklin Place
Applicant: Vision Homes Inc.; Agent: Neathamer Surveying, Inc.

File no. LDS-17-005

Date March 9, 2017

BACKGROUND

Proposal

Consideration of a tentative plat for a 21 lot residential subdivision on 4.1 acres zoned SFR-6 (Single Family Residential, 6 dwelling units per gross acre) located on the west side of Kings Highway approximately 300 feet north of Halvorsen Street and east of the Aspen Street terminis and south of the Brock Way terminis.

Subject Site Characteristics

Zoning	SFR-6	Single Family Residential – 6 dwelling units per gross acre
GLUP	UR	Urban Residential
Use	Occupied by one single family residence	

Surrounding Site Characteristics

North

Zoning: SFR-6 and SFR-00
Use: Single family homes

South

Zoning: SFR-00 (Single Family Residential – 1 dwelling unit per existing lot)
Use: El Camino Real Mobile Home Park

East

Zoning: SFR-4 (Single Family Residential – 4 dwelling units per gross acre)
SFR-6 (Single Family Residential – 6 dwelling units per gross acre)
Use: Single Family Homes

West

Zoning: SFR-6
Use: Single Family Homes

Related Projects

A-03-28 Annexation
ZC-06-251 Zone Change

Applicable Criteria

Medford Land Development Code §10.270, Land Division Criteria

The approving authority (Planning Commission) shall not approve any tentative plat unless it first finds that, the proposed land division together with the provisions for its design and improvement:

- (1) Is consistent with the Comprehensive Plan, any other applicable specific plans thereto, including Neighborhood Circulation Plans, and all applicable design standards set forth in Article IV and V;
- (2) Will not prevent development of the remainder of the property under the same ownership, if any, or of adjoining land or of access thereto, in accordance with this chapter;
- (3) Bears a name that has been approved by the approving authority and does not use a word which is the same as, similar to, or pronounced the same as a word in the name of any other subdivision in the City of Medford; except for the words "town", "city", "place", "court", "addition", or similar words; unless the land platted is contiguous to and platted by the same applicant that platted the land division bearing that name; or unless the applicant files and records the consent of the party who platted the land division bearing that name and the block numbers continue those of the plat of the same name last filed;
- (4) If it includes the creation of streets or alleys, that such streets or alleys are laid out to be consistent with existing and planned streets and alleys and with the plats of land divisions already approved for adjoining property unless the approving authority determines it is in the public interest to modify the street pattern;
- (5) If it has streets or alleys that are proposed to be held for private use, that they are distinguished from the public streets or alleys on the tentative plat, and reservations or restrictions relating to the private streets or alleys are set forth;
- (6) Will not cause an unmitigated land use conflict between the land division and adjoining agricultural lands within the EFU (Exclusive Farm Use) zoning district.

ISSUES AND ANALYSIS

Project Summary

The subject site is composed of one lot totaling 4.1 gross acres located within the SFR-6 zoning district. The applicant is proposing a tentative plat consisting of a single phase development with 21 lots (Exhibit B).

Code Compliance

Density

The standard density calculation for the SFR-6 zone is between four and six dwelling units per gross acre. The net parcel size is 4.1 acres and the gross parcel size including the fronting half-street is 4.27 acres. Based on the gross acreage, a minimum of 17 dwelling units is required and the maximum number of units permitted is 25. The agent is proposing 21 parcels and single family dwelling units for a total of 21 units. Therefore, the tentative plat meets density standards.

Street Circulation

The subject property fronts Kings Highway and has the terminis of both Aspen Street and Brock Way into the property. The property is within the Southwest Circulation Plan and is proposing the connection of Aspen Street easterly to Kings Highways.

Brock Way will extend south with the terminis at the southern boundary of the subject property. Per the agents supplemental findings (Exhibit F) the subject property has two approved subdivisions to the south, Kings Meadow Subdivision filed December 4, 1997, and Wolff Run Subdivision filed August 5, 1999, which prevent any connectivity of Brock Way past the southern boundary of the subject property.

Block Length and Accessway

The tentative plat exceeds the maximum block length and perimeter length standard of Section 10.426 (C) with a dimension of 2,405 feet. Per the agent's supplemental findings (Exhibit F), a reconfiguration with the extension of Brock Way shows that the block length and perimeter length is 2,403 feet still exceeding the maximum of 2,100 feet. Per the MLDC Section 10.426 (C)(2) The approving authority may find that proposed block that exceed the maximum block and/or perimeter standards are acceptable when it is demonstrated by the findings that one or more of the constraints, conditions exist on the site.

The subject property has existing development on all adjacent parcels which prevents any connectivity to existing streets or allows for an accessway pursuant to Section 10.464 (1) (b).

Street Dedications & Improvements

Kings Highway is classified as a minor arterial street and Section 10.248 (2) requires a total right-of-way width of 78 feet, which include a 48 foot wide paved section. Per the

Public Works Staff Report (Exhibit G) the applicant shall dedicate for public right-of-way sufficient width of land along the frontage of the proposed tentative plat and shall comply with the half width of right-of-way which is 39 feet as well as improve the west half plus 12 feet east of centerline, or to the far edge of the existing pavement, whichever is greater.

Aspen Street and Brock Way are proposed as minor residential streets. The applicant shall dedicate for public right-of-way, sufficient with the land along the frontages to comply with the full width of right-of-way, which is 55 feet and shall be developed in accordance with MLDC Section 10.430.

In accordance to MLDS Section 10.471, the applicant shall dedicate 10 feet wide, public utility easements along the street frontage of all lots within the development.

Minimum Access Easement

The tentative plat proposes a Minimum Access Easements to serve Lots 10 and 11. It shall be developed in accordance to MLDC Section 10.430 (1) and 10.450 with proper width and turn-around dimensions. Per the Public Works Staff Report (Exhibit G) the applicant shall record a shared access maintenance agreement for the mutual benefit and responsibility of all the respective parcels, including the storm water run-off from the asphalt.

Per the Staff Memo from the Address technician (Exhibit L), the applicant shall install a minimum access drive sign. A condition of approval has been included requiring the applicant comply with the Address Technician Staff Memo (Exhibit L).

Lot Standards

According to the MLDC Section 10.710, the minimum lot depth for SFR-6 zoned parcels is 90 feet. The tentative plat shows a dimension of 89 feet 6 inches which does not meet the minimum standards.

The agent has provided additional information has been provided (Exhibit O) depicting Lot 1 of the tentative plat. The lot depth is measured at 90.1 feet, therefore meeting the minimum requirements of MLDC 10.710.

Storm Drainage

The subject property is located in what appears to be Type B hydrologic soils. The applicant may elect to test the soil to determine classification; otherwise the applicant shall implement Low Impact Development techniques for all storm drainage systems. The applicant shall provide storm water detention according to Section 10.486. A condition of approval has been included requiring the applicant to comply with the Public Works Staff Report (Exhibit G).

Sanitary Sewer

The subject property is within the Rogue Valley Sewer Services service area. A condition of approval has been included requiring the applicant to comply with the Rogue Valley Sewer Services Report (Exhibit J).

Water Facilities

The subject property is within the Medford Water Commission service area. A condition of approval has been included requiring the applicant to comply with the Medford Water Commission Report (Exhibit H).

Public Comment

An adjacent property owner submitted a letter (Exhibit P) objecting to the current configuration of the tentative plat. Mr. Hess states that the proposed tentative plat will prevent him from developing the remainder of his property. Mr. Hess requests that access continue to be provided for access to the undeveloped portion of his property.

More information will be provided at the public hearing by City of Medford Legal Counsel.

The Planning Department received three additional comments regarding the access to Mr. Hess' property located at 1420 Kings Hwy (Exhibits R, S, and T).

Per the comments from in Exhibit T, all concerns and objects regarding access to Mr. Hess' property have been resolved. No Commission action on this issue was necessary.

No other issues were identified by staff.

FINDINGS AND CONCLUSIONS

Staff has reviewed the subdivision plat and finds it consistent the Comprehensive Plan and all applicable design standards set forth in Article IV and V. Staff recommends the Commission adopt the findings as presented (Exhibit B).

ACTION TAKEN

Adopted the findings as recommended by staff and directed staff to prepare a Final Order for approval of LDS-17-005 per the Commission Report dated March 9, 2017, including Exhibits A through T.

EXHIBITS

- A Conditions of Approval, dated February 28, 2017
- B Tentative Plat
- C Conceptual Grading and Drainage Plan
- D Conceptual Utility Plan

- E Agent's findings and conclusions received January 10, 2017
- F Agent's supplemental findings and conclusions received February 7, 2017
- G Public Works Department Staff Report received February 15, 2017
- H Medford Water Commission Memo received February 8, 2017
- I Medford Fire Department Land Development Report received February 3, 2017
- J Rogue Valley Sewer Services Report received February 6, 2017
- K Medford Building Department Memo received February 8, 2017
- L Address Technician Memo received February 8, 2017
- M Density Calculation
- N Adopted Southwest Medford Circulation Plan
- O Lot 1 Depiction received February 15, 2017
- P Letter from Greg Hess received February 28, 2017
- Q Jackson County Assessor's Page
- R Letter from Vision Homes Attorney received March 7, 2017
- S Letter from Mr. and Mrs. Franklin received March 8, 2017
- T Correspondence from Eric Stark and Mark Bartholomew received March 9, 2017
Vicinity map

MEDFORD PLANNING COMMISSION

Patrick Miranda, Chair

PLANNING COMMISSION AGENDA:

MARCH 9, 2017
MARCH 23, 2017

HORNECKER COWLING LLP

Attorneys at Law

John Blackhurst
Joseph E. Kellerman, LL.M.
James A. Wallan
Charles E. Bolen
Ryan J. Vanderhoof
Stefanie L. Burke*
Mark S. Bartholomew
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RECEIVED

MAR 07 2017

Planning Dept.
OF COUNSEL

R. Ray Heysell

RETIRED

Robert L. Cowling
John R. Hassen

Gregory T. Hornecker 1933-2009
B. Kent Blackhurst 1922-2007
Ervin B. Hogan 1927-2000

*Also admitted in California

March 7, 2017

Medford Planning Commission
c/o Medford Planning Department
200 S. Ivy Street
Lausmann Annex, Room 240
Medford, OR 97501

RE: *Planning File LDS-17-005*

Dear Planning Commissioners:

We represent Vision Homes, the applicant in file LDS-17-005. We have received a copy of a letter dated February 28, 2017 from Greg Hess, an adjacent landowner. Mr. Hess objects to the proposal because it would impede access to his property. He implies that he has an easement over the applicant's property.

Mr. Hess' assertion that he has an easement is false and should be disregarded. Included with this letter is a preliminary title report, which proves that Mr. Hess does not have an easement over Vision Homes' property. In the event that Mr. Hess alleges that he has a prescriptive easement over the Vision Homes property, that assertion should also be disregarded. A prescriptive easement must be adjudicated in circuit court, not through the land use planning process. We are confident that Mr. Hess' claims would fail should they be adjudicated.

Finally, the Planning Commission should not evaluate the proposal in light of any alleged loss of development rights to Mr. Hess due to loss of access. Vision Homes has no obligation to provide access to Mr. Hess to facilitate his development ambitions. Mr. Hess already has legal and physical access on Kings Highway. Any consideration of Mr. Hess' claims is an improper deviation from pertinent criteria and discretion. See ORS 197.835(10)(a) and *Stewart v. City of Salem*, 58 Or LUBA 605 (2009) (LUBA shall reverse a denial based on a nonexistent criterion).

CITY OF MEDFORD
EXHIBIT # R of 11
File # LDS-17-005

HORNECKER COWLING LLP

Medford Planning Commission
March 7, 2017
Page 2

Thank you for your attention to this matter.

Very truly yours,

HORNECKER COWLING LLP

A handwritten signature in black ink, appearing to read 'Mark S. Bartholomew', with a long horizontal line extending to the right.

MARK S. BARTHOLOMEW

MSB:snc
Enclosure

H: USER FILES 25235 Letter to Medford Planning Commission (3.3.17).docx



1501 E McAndrews Rd., Medford, OR 97504
PHONE (541)779-7660 FAX (541)779-3506

PRELIMINARY TITLE REPORT ATTACHED

Date: September 7, 2016 **File No.:** 127670AM
Property: 1470 Kings Highway, Medford, OR 97501
Buyer: Vision Homes, Inc.
Seller: Duane D. Franklin and Darlene K. Franklin

In connection with the above referenced transaction, we are delivering copies of the Preliminary Title Report to the following parties:

Listing Agent:
John L Scott
871 Medford Center
Medford, OR 97504
Attn: Skye Flora

Selling Agent:
John L Scott
871 Medford Center
Medford, OR 97504
Attn: Deidra Ripsom

Lender:

Attn:

Attn:

CITY OF MEDFORD
EXHIBIT # R 3 of 11
File # LDS-17-005



1501 E McAndrews Rd., Medford, OR 97504
PHONE (541)779-7660 FAX (541)779-3506

Preliminary Title Report

Subject to conditions and stipulations contained therein

Your contacts for this transaction are as follows:

Escrow Officer:

Kelli Hogenson
1501 E McAndrews Rd.
Medford, OR 97504
kelli.hogenson@amerititle.com
(541) 779-7660

Title Officer

Cynthia Simpson
1501 E McAndrews Rd.
Medford, OR 97504
cynthia.simpson@amerititle.com
(541) 779-7660

Email escrow closing documents to:

medforddocs@amerititle.com

CITY OF MEDFORD
EXHIBIT # R 4 of 11
File # LDS-17-005



1501 E McAndrews Rd., Medford, OR 97504
PHONE (541)779-7660 FAX (541)779-3506

In an effort to assure that your transaction goes smoothly, please review the following checklist and contact your Escrow Officer or Title Officer if you answer "Yes" to any of the following:

- ❖ **Will you be using a Power of Attorney?**
- ❖ **Are any of the parties in title incapacitated or deceased?**
- ❖ **Has there been any recent change in marital status of the principals?**
- ❖ **Will the property be transferred into or from a trust, partnership, corporation or Limited Liability Company?**
- ❖ **Has there been any construction on the property in the last six months?**

Remember, all parties signing documents must have a current driver's license or other valid, government issued photo I.D.



1501 E McAndrews Rd., Medford, OR 97504
PHONE (541)779-7660 FAX (541)779-3506

September 7, 2016
File Number: 127670AM
Report No.: 1
Title Officer: Cynthia Simpson
Email Address: cynthia.simpson@amerititle.com
Phone No.: (541)779-7660
Escrow Officer: Kelli Hogenson

PRELIMINARY TITLE REPORT

Property Address: 1470 Kings Highway, Medford, OR 97501

<u>Policy or Policies to be issued:</u>	<u>Liability</u>	<u>Premium</u>
OWNER'S STANDARD COVERAGE	\$450,000.00	\$1,250.00
Proposed Insured: Vision Homes, Inc.		

ALTA RESIDENTIAL (X) EXTENDED () STANDARD (Simultaneous)	TBD	\$0.00
Proposed Insured: To be determined		
Endorsements 209.10-06, 222-06 and 208.1-06		\$100.00
Local Government Lien Search		\$90.00

We are prepared to issue ALTA (06/17/06) title insurance policy(ies) of Stewart Title Guaranty Company, in the usual form insuring the title to the land described as follows:

Legal description attached hereto and made a part hereof marked Exhibit "A"

and dated as of 25th day of August, 2016 at 7:30 a.m., title is vested in:

Duane D. Franklin and Darlene K. Franklin, as tenants in common

The estate or interest in the land described or referred to in this Preliminary Title Report and covered herein is:

FEE SIMPLE

CITY OF MEDFORD
EXHIBIT # R 6 of 11
File # LDS-17-005

Except for the items properly cleared through closing, Schedule B of the proposed policy or policies will not insure against loss or damage which may arise by reason of the following:

GENERAL EXCEPTIONS:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
3. Easements, or claims of easement, not shown by the Public Records; reservations or exceptions in patents or in Acts authorizing the issuance thereof; water rights, claims or title to water.
4. Any encroachment (of existing improvements located on the subject Land onto adjoining Land or of existing improvements located on adjoining Land onto the subject Land) encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the subject Land.
5. Any lien, or right to a lien, for services, labor, material, equipment rental or workers compensation heretofore or hereafter furnished, imposed by law and not shown by the Public Records.

EXCEPTIONS 1 THROUGH 5 ABOVE APPLY TO STANDARD COVERAGE POLICIES AND MAY BE MODIFIED OR ELIMINATED ON AN EXTENDED COVERAGE POLICY.

SPECIAL EXCEPTIONS:

Tax Information:

Taxes assessed under Code No. 49-01 Account No. 1-044182-8 Map No. 372W36DA 5002

NOTE: The 2015-2016 Taxes: \$3,892.61, are Paid

6. The 2016-2017 Taxes: A lien not yet due or payable.
7. City liens, if any, of the City of Medford and Medford Utility Department.
(An inquiry has been made, and the status of such liens, if any, will follow)
8. The property lies within the boundaries of Rogue Valley Sewer Services and is subject to any charges or assessments levied by said District and pipeline easements in connection therewith.
(An inquiry has been made, and the status of such liens, if any, will follow)
9. Regulations, including levies, assessments, water and irrigation rights and easements for ditches and canals of Medford Irrigation District.
(An inquiry has been made, and the status of such liens, if any will follow)

(Quit Claim Deed to Transfer Water Rights,

Recorded: February 15, 2011

Instrument No.: 2011-005177

(Affects a portion of said property)

10. The rights of the public in and to that portion of the herein described property lying within the limits of public roads, streets or highways.
11. An easement including the terms and provisions thereof, affecting the portion of said premises and for the purposes stated therein as set forth in instrument:
Granted To: California Oregon Power Company
Recorded: April 18, 1955
Book: 408. Page: 437
(General Area Description)

CITY OF MEDFORD
EXHIBIT # R 7 of 11
File # 1DS-17-005

12. An easement including the terms and provisions thereof, affecting the portion of said premises and for the purposes stated therein as set forth in instrument:
Granted To: Pacific Power & Light Company, a Maine corporation
Recorded: May 25, 1966
Instrument No.: 66-06147
(General Area Description)
13. An easement including the terms and provisions thereof for the purpose shown below and rights incidental thereto as set forth in instrument:
Granted To: City of Medford, Oregon, a municipal corporation
Purpose: Storm sewer
Recorded: July 1, 1993
Instrument No.: 93-21577
14. A Deed of Trust, including the terms and provisions thereof, to secure the amount noted below and other amounts secured thereunder, if any:
Amount: \$268,000.00
Trustor/Grantor: Duane D. Franklin and Darlene K. Franklin, husband and wife, as tenants by the entirety
Trustee: First American
Beneficiary: Washington Mutual Bank
Dated: June 28, 2007
Recorded: July 10, 2007
Instrument No.: 2007-031884

The beneficial interest under said Deed of Trust was assigned of record to JPMorgan Chase Bank, National Association, by assignment
Recorded: November 25, 2014
Instrument No.: 2014-031141
15. A Mortgage, including the terms and provisions thereof, to secure the amount noted below and other amounts secured thereunder, if any:
Amount \$35,000.00
Mortgagor: Duane D. Franklin and Darlene K. Franklin
Mortgagee: Oregon Affordable Housing Assistance Corporation
Dated: July 17, 2014
Recorded: August 15, 2014
Instrument No.: 2014-021499
(Said document contains an incorrect legal description)
16. The company will require the following document in order to insure a conveyance, lease, exchange, other disposition or encumbrance by the corporation named below:
Corporation: Vision Homes, Inc., a corporation. An original or certified copy of the resolution of the Board of Directors authorizing the subject transaction.
17. Discrepancies, conflicts in boundary lines, shortage in area, encroachments or any other facts, which a correct survey would disclose.
18. Any statutory lien for labor or material, which now has gained, or hereafter may gain priority over the lien of the insured mortgage.

To remove this item, the Company will require an affidavit and indemnity on a form supplied by the Company.

IF THE ABOVE EXCEPTION IS TO BE REMOVED FROM A FORTHCOMING POLICY PRIOR TO THE EXPIRATION OF THE STATUTORY LIEN PERIOD, THE COMPANY MUST BE CONTACTED REGARDING ITS UNDERWRITING REQUIREMENTS FOR EARLY ISSUE.

CITY OF MEDFORD
EXHIBIT # R 8 of 11
File # LDS-17-005

19. Persons in possession or claiming the right of possession.

To remove this item, the Company will require an affidavit and indemnity on a form supplied by the Company.

INFORMATIONAL NOTES:

NOTE: As of the date hereof, there are no matters against the party(ies) shown below which would appear as exceptions to coverage in a title insurance product:

Parties:

Vision Homes, Inc.

NOTE: We find no activity in the past 24 months regarding transfer of title to subject property.

NOTE: JACKSON COUNTY Recording Fees are as follows:

The fee will be \$68.00 (includes e-recording fee of \$5.00) for the 1st page plus \$5.00 per page thereafter (Deeds transferring title will be \$59.00 (includes e-recording fee) for the 1st page plus \$5.00 per page thereafter for most documents.

NOTE: Any map or sketch enclosed as an attachment herewith is furnished for information purposes only to assist in property location with reference to streets and other parcels. No representation is made as to accuracy and the company assumes no liability for any loss occurring by reason of reliance thereon.

NOTE: The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than the amount, if any, set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties.

NOTE: Your application for title insurance was placed by reference to only a street address or tax identification number. Based on our records, we believe that the legal description in this report covers the parcel(s) of Land that you requested. If the legal description is incorrect, the parties to the transaction must notify the Company and/or the settlement company in order to prevent errors and to be certain that the correct parcel(s) of Land will appear on any documents to be recorded in connection with this transaction and on the policy of title insurance.

This report is preliminary to the issuance of a policy of title insurance and shall become null and void unless a policy is issued and the full premium paid.

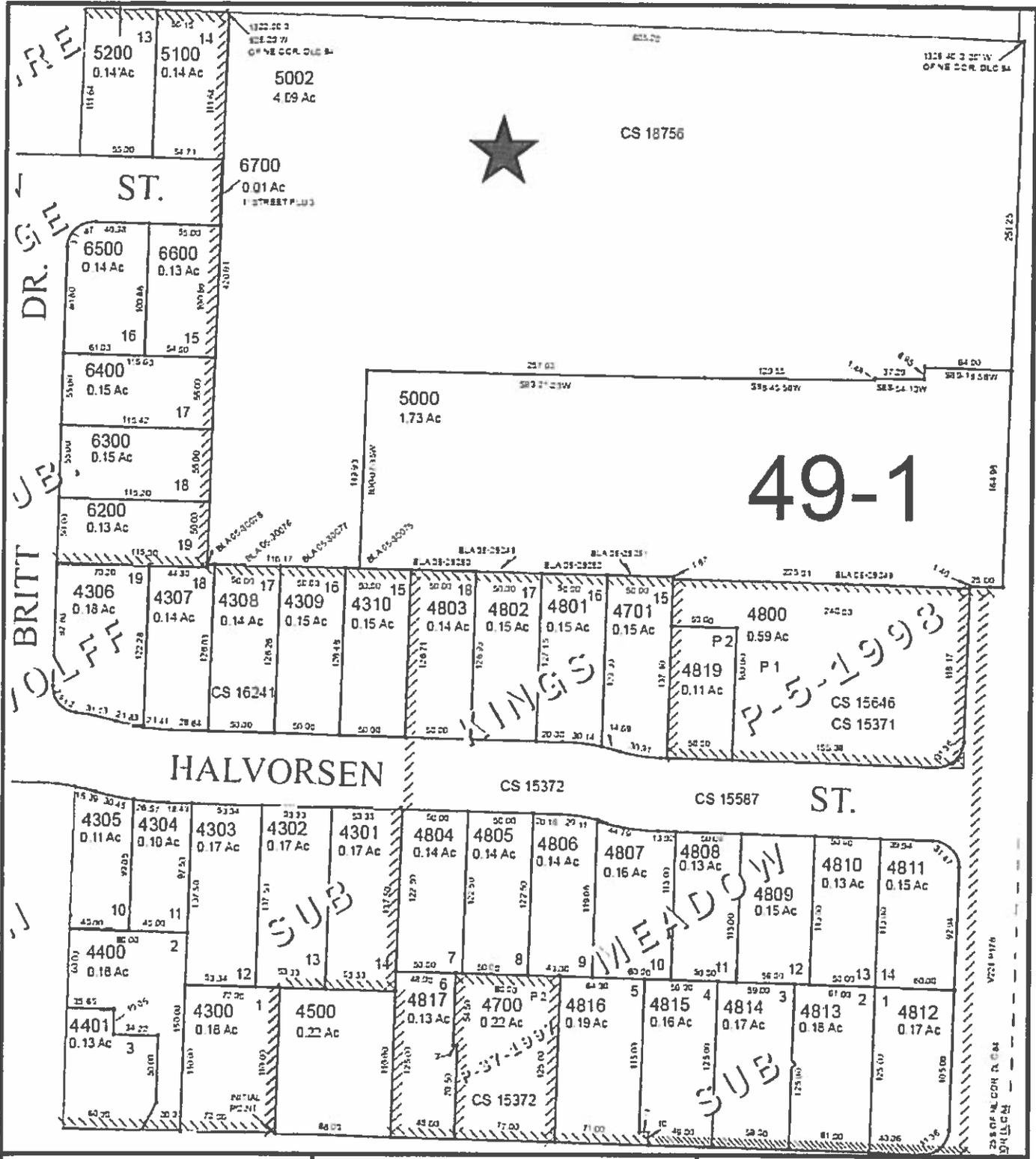
End of Report

"Superior Service with Commitment and Respect for Customers and Employees"

EXHIBIT "A"
LEGAL DESCRIPTION

A portion of that certain real property described in Documents Numbered 00-18933 and 00-18938 of the Official Records of Jackson County, Oregon, being located within Donation Land Claim Number 84 (DLC 84) in the Northeast One-quarter of the Southeast One-quarter of Section 36, Township 37 South, Range 2 West of the Willamette Meridian, in the City of Medford, Jackson County, Oregon, more particularly described as follows:

Commencing at the Northeast corner of that certain real property described in Volume 144, Page 599 of the Deed Records of Jackson County, Oregon, said point being on the East Line of said DLC 84, 1326.40 feet southerly of the Northwest Corner of said DLC 84; thence North 89°55'56" West, a distance of 20.00 feet to the Right-of-Way of Kings Highway, a public road and True Point of Beginning; thence along said right-of-way South 00°07'35' West, a distance of 251.25 feet; thence South 89°18'58" West, a distance of 64.00 feet; thence South 01°54'40" West, a distance of 8.95 feet; thence South 88°54'10" West, a distance of 37.29 feet; thence South 15°26'46" West, a distance of 1.48 feet; thence South 88°45'56" West, a distance of 129.55 feet; thence South 89°21'23' West, a distance of 257.60 feet; thence South 00°07'35' West, a distance of 149.93 feet to that certain Boundary Line Agreement, as recorded in Document Number 05-30075 of the Official Records of Jackson County, Oregon; thence along said Boundary line agreement and Boundary Line Agreements contained in Documents Numbered 05-30077, 05-30076 and 05-30078 South 89°42'35" West, a distance of 116.17 feet to the westerly line of said Document Number 00-18938; thence along said west line North 00°07'35' East, a distance of 420.01 feet to the North of that certain real property described in said Volume 144, Page 599 ; thence along said North Line South 89°55'56" East, a distance of 605.20 feet to the True Point of Beginning.



1470 Kings Highway
Medford, OR 97501

THIS MAP IS FURNISHED AS AN ACCOMMODATION STRICTLY FOR THE PURPOSES OF GENERALLY LOCATING THE LAND. IT DOES NOT REPRESENT A SURVEY OF THE LAND OR IMPLY ANY REPRESENTATIONS AS TO THE SIZE, AREA OR ANY OTHER FACTS RELATED TO THE LAND SHOWN THEREOF.

CITY OF MEDFORD
EXHIBIT # R-11 of 11
File # LDS-17-005

RECEIVED

MAR 08 2017

Planning Dept.

To Whom It May Concern,

We, Duane and Darlene Franklin, the previous owners of 1470 Kings Hwy Medford Oregon 97501, confirm that only within the last year and a half have we allowed our neighbor, Greg Hess at 1420 Kings Hwy, permission to drive through our property to park his RV on his property. We allowed this only to be a gracious neighbor. It was not allowed as a permanent use or easement on our property. With the sale of this property, any previous access we had allowed becomes null and void.

Sincerely,

Dated: *3/8/17*

Duane and Darlene Franklin

*Darlene Franklin
Duane D. Franklin*

CITY OF MEDFORD
EXHIBIT # *S 10f2*
LDS-17-009

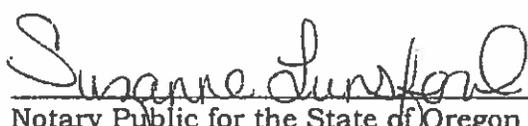


STAMP
F LUNSFORD
NOTARY PUBLIC-OREGON
NO. 933244
OCTOBER 20, 2018

State of Oregon} ss
County of Jackson}

On this 8 day of March, 2017, before me, Suzanne Marie Lunsford, a Notary Public in and for said state, personally appeared Duane Franklin and Darlene Franklin, known or identified to me to be the persons whose names are subscribed to the within Instrument and acknowledged to me that they executed same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



Notary Public for the State of Oregon
Residing at: Medford
Commission Expires: 10/20/2018

OFFICIAL STAMP
SUZANNE MARIE LUNSFORD
NOTARY PUBLIC-OREGON
COMMISSION NO. 933244
MY COMMISSION EXPIRES OCTOBER 20, 2018

CITY OF MEDFORD
EXHIBIT # 5 2 of 2
File # LNS-17-005

Liz A. Conner

From: Mark S. Bartholomew <msb@roguelaw.com>
Sent: Thursday, March 09, 2017 8:57 AM
To: Liz A. Conner; Kevin R. McConnell; 'markatvhomes@aol.com'; 'Bob Neathamer'
Cc: Joe Kellerman
Subject: FW: Franklin Place

All: Mr. Hess' objection regarding the access, etc. has been resolved, as you can see below in the letter from his counsel.

Bob: please put this in the record and advise the PC if the issue come up at the hearing.

Thank you.

Mark S. Bartholomew
Hornecker Cowling LLP
14 N. Central Avenue, Suite 104
Medford, OR 97501
541-779-8900 voice
541-773-2635 fax
<http://www.roguelaw.com>



To ensure compliance with requirements imposed by the IRS, we inform you that any U.S. federal tax advice contained in this communication (including any attachments) is not intended or written to be used, and cannot be used, for the purpose of (i) avoiding penalties under the Internal Revenue Code or (ii) promoting, marketing or recommending to another party any transaction or matter addressed herein.

From: Eric Stark [mailto:ers@starkhammack.com]
Sent: Wednesday, March 08, 2017 4:52 PM
To: Mark S. Bartholomew <msb@roguelaw.com>
Subject: RE: Franklin Place

Hey Mark. Well you were right. That does not take long to figure out, especially with that statement. Can you confirm on behalf of your client that Mr. Hess can have until 5/1/17 to remove the 40 foot motor home, using your client's access? We have discussed that he will not be attending the hearing and you are free to convey that the objection has been resolved and will not be pursued. Let me know. Thanks. E

Eric R Stark
Stark and Hammack, PC
100 E Main St, Suite M
Medford, OR 97501
Tel. 541-773-2213
Fax. 541-773-2084

IMPORTANT/CONFIDENTIAL

CITY OF MEDFORD
EXHIBIT # I 1 of 2
File # LDS-17-005

This message contains information which may be privileged, confidential, and exempt from disclosure under applicable law. If the reader of this message is not the intended recipient, or the employee or agent responsible for delivering the message to the intended recipient, you are hereby notified that any dissemination, distribution, or copying of this communication is strictly prohibited. IF YOU HAVE RECEIVED THIS COMMUNICATION IN ERROR, PLEASE NOTIFY THIS OFFICE IMMEDIATELY.

From: Mark S. Bartholomew [<mailto:msb@roguelaw.com>]
Sent: Wednesday, March 08, 2017 4:31 PM
To: Eric Stark <ers@starkhammack.com>
Subject: FW: Franklin Place

Mark S. Bartholomew
Hornecker Cowling LLP
14 N. Central Avenue, Suite 104
Medford, OR 97501
541-779-8900 voice
541-773-2635 fax
<http://www.roguelaw.com>



To ensure compliance with requirements imposed by the IRS, we inform you that any U.S. federal tax advice contained in this communication (including any attachments) is not intended or written to be used, and cannot be used, for the purpose of (i) avoiding penalties under the Internal Revenue Code or (ii) promoting, marketing or recommending to another party any transaction or matter addressed herein.

From: Bob Neathamer [<mailto:Bob@neathamer.com>]
Sent: Wednesday, March 08, 2017 1:36 PM
To: Liz A. Conner <Elizabeth.Conner@cityofmedford.org>
Cc: Mark S. Bartholomew <msb@roguelaw.com>
Subject: Franklin Place

Elizabeth,

Attached is a copy of the response to Mr. Hess' letter from the previous owners, Duane and Darlene Franklin, of the property for the subject project. Please provide to the Planning Commission members and Senior Assistant City Attorney Kevin McConnell. Thank you.

Robert V. Neathamer / President / Neathamer Surveying, Inc.
Professional Land Surveyor – Water Right Examiner – NSPS Oregon Director
☎ (541) 732-2869 | 📠 (541) 732-1382 | ✉ bob@neathamer.com
3126 State St., Suite 203 | Medford, OR 97504 | www.neathamer.com

CITY OF MEDFORD
EXHIBIT # T 2 of 2
File # LDS-17-005



MEMORANDUM

Subject Initiation of a code amendment related to greenway trails
File no. GF-17-024
To Planning Commission *for 3/23/2017 meeting*
From Carla Angeli Paladino, Principal Planner – Long Range
Date March 8, 2017 *C. Paladino*

INITIATION REQUEST

The Parks and Recreation Department wants to amend the Municipal Code and necessary sections of the Comprehensive Plan to create standards for construction and implementation of greenway trails as development occurs. The Parks Department has CSA Planning on contract to work on the proposed changes and coordinate the language with the appropriate agencies and commissions.

This topic was discussed at the Planning Commission Study Session on February 27, 2017. The Planning Commission is being asked to initiate this amendment.

CONSENT CALENDAR

Staff is requesting that the Commission pull this item from the consent calendar and provide direction to staff on how to proceed.

1. Initiate the amendment.
2. Do not initiate the amendment.

ATTACHMENT

- Planning Commission study session minutes from February 27, 2017

**Planning Commission Minutes
Study Session 2/27/2017**

Excerpt

The study session of the Medford Planning Commission was called to order at noon in the Lausmann Annex Room 151-157 on the above date with the following members and staff in attendance:

Commissioners Present

Patrick Miranda, Chair
David McFadden, Vice Chair
Joe Foley
Bill Mansfield
Mark McKechnie
Jared Pulver

Staff Present

Matt Binkley, Planning Director
Kevin McConnell, Deputy City Attorney
Larry Masterman, Emergency Mgt. Coordinator
Carla Paladino, Principal Planner
Chris Olivier, GSI Coordinator
Kyle Kearns, Planner II

Commissioners Absent

David Culbertson, Excused Absence
E. J. McManus, Excused Absence

Guests

Tricia Sears
Jay Harland

20.1 Greenway Trails Amendment Initiation

This request came out of the City's Parks and Recreation Department seeking changes. Jay Harland with CSA Planning is on a retainer with the Parks Department to help with the code amendment.

Currently the code does not talk about trail implementation, construction, maintenance, and dedication.

Mr. Harland reported that the City has stated where they would like the trails. Trails are in the City's Comprehensive Plan. Developers have shown them on their plans and it is usually a condition of approval. Moving forward, after the trails are built the Parks Department will maintain them.

Ms. Paladino stated the 2016 Leisure Services Plan has a complete chapter on paths and trails. Nationally, over the past ten years hiking and walking are basically top outdoor recreation activity that people are saying they want to do more of. Locally, it is the same trend. Eighty-one percent of respondents of the community survey indicated a need for City wide trails and improved connectivity. Seventy-four percent identified the need for bicycle facilities. The Plan indicates that residents want enhancements such as

lighting, benches, line of site, etc. The Leisure Services Plan will be incorporated into the Comprehensive Plan.

There was a slide presentation of examples of trail segments.

The next steps would be that on March 9, 2017, the Planning Commission would initiate the amendment under the consent calendar. CSA Planning will begin their work. Drafts will be brought forward for review and comment. Hearing process begins.

Commissioner McKechnie stated that the developers have to pay a fee to the Parks Department. Where does that money go? Matt Brinkley, Planning Director, stated that they are SDC fees that get spent for Parks and Recreation facilities.

Commissioner McKechnie stated that he is opposed to saddling the developers with these kinds of fees for a number of reasons. He understands the need. Would it not make sense to assess the developer fee and let the Parks Department develop as they see fit? Mr. Harland stated that is a good idea but where in the code does it say that is how it works? That is an option they have thought about. They are contemplating SDC credits. The Parks Department would rather build the trails themselves.

Commissioner Mansfield asked Commissioner McKechnie what were the reasons he opposed saddling the developers with the fees. Commissioner McKechnie reported that it seems that the philosophy in the state of Oregon is that the public does not build anything for anyone. They wait around for the developer to propose a project then they saddle them with their "wish list". They put a lot of upfront cost that could easily, if planned ahead, been built in and just assessed.

Commissioner Mansfield stated that the reverse would be to have the public taxpayers pay for it. Commissioner McKechnie replied maybe it is a combination but they could bond for those. Commissioner Mansfield stated that the public taxpayers pay for those bonds in a delayed way.

Mr. Brinkley reported that there are different financing mechanisms that are available. These are things staff can look at. There may be times when trail dedication is something to get out of a project and a payment in lieu system or something like that may be appropriate. Consistency is important.

Mr. Brinkley asked Mr. Harland, does staff need to wait on adopting the Leisure Services Plan until the standards are done? Mr. Harland replied that he does not think so.



Planning Commission

Minutes

From Public Hearing on **March 9, 2017**

The regular meeting of the Planning Commission was called to order at 5:35 PM in the City Hall Council Chambers on the above date with the following members and staff in attendance:

Commissioners Present

Patrick Miranda, Chair
David McFadden, Vice Chair
Joe Foley
Bill Mansfield
E. J. McManus
Jared Pulver

Staff Present

Matt Brinkley, Planning Director
Kelly Akin, Assistant Planning Director
Kevin McConnell, Deputy City Attorney
Alex Georgevitch, City Engineer
Greg Kleinberg, Fire Marshal
Terri Rozzana, Recording Secretary
Carla Paladino, Principal Planner
Kyle Kearns, Planner II
Liz Conner, Planner II

Commissioners Absent

David Culbertson, Excused Absence
Mark McKechnie, Excused Absence

10. Roll Call
20. Consent Calendar/Written Communications. None.
30. Minutes
 - 30.1. The minutes for February 23, 2017, were approved as submitted.
40. Oral and Written Requests and Communications. None.

Kevin McConnell, Deputy City Attorney, read the Quasi-Judicial Statement.

50. Public Hearings – Continuance Request

50.1 LDS-16-152 Consideration of Lilybrook, a 14 lot residential subdivision on a 1.64 acre parcel located at the northeast corner of Agate Street and Hart Avenue, within an SFR-10 (Single-Family Residential, ten dwelling units per acre) zoning district (382W01AB700). (Clyde Akins, Applicant; CSA Planning, Ltd., Mike Savage, Agent). **The applicant has requested that this item be continued to the April 13, 2017, Planning Commission meeting.**

Chair Miranda stated that if there are members in the audience that have come to testify on this agenda item and cannot attend the Thursday, April 13, 2017, Planning Commission hearing, please come forward and the Planning Commission will hear your testimony at this time. Please keep in mind that it is possible that your questions may be answered when staff presents their staff report on Thursday, April 13, 2017. There will be no decisions made this evening on this agenda item.

The public hearing was opened and there being no testimony the public hearing was closed.

Motion: The Planning Commission continued LDS-16-152, as per the applicant's request to the April 13, 2017, Planning Commission meeting.

Moved by: Vice Chair McFadden

Seconded by: Commissioner Foley

Roll Call Vote: Motion passed, 6-0.

New Business

50.2 CP-17-010 Consideration of a minor amendment to the Transportation Element of the Comprehensive Plan, or the Transportation System Plan, to update the project description for the proposed expansion of Foothill Road. Inconsistencies have been brought to Staff's attention and the amendment is needed to be eligible for Federal funds. (City of Medford, Applicant)

Kyle Kearns, Planner II, reviewed the purpose, procedural requirements, read the approval criteria and gave a staff report.

Commissioner McManus asked, will the denial of the grant funding affect future grants? He is wanting to make sure the inconsistencies that staff found that there would not be any potential inconsistencies that might affect grant requests. Alex Georgevitch, City Engineer, stated they were denied the opportunity to apply for the current round of funding. It would occur again if the change does not take place. Making the change will allow building a consistent road with what the City Council has directed Public Works to build and what the Transportation System Plan envisions for this facility. It will also allow Public Works to compete for Federal funds.

Commissioner Pulver assumes the multi-use path is not in the definition of what a major arterial improvements associated with major arterial is. Is that an add-on? Mr. Kearns stated yes to better match the project that is being developed.

The Public Hearing was opened and there being no testimony the public hearing was closed.

Motion: The Planning Commission based on the findings and conclusions that all of the approval criteria are either met or are not applicable, initiate the amendment and forwards a favorable recommendation for adoption of CP-17-010 to the City Council, per the Staff Report dated March 2, 2017, including Exhibits A through E.

Moved by: Vice Chair McFadden

Seconded by: Commissioner McManus

Roll Call Vote: Motion passed, 6-0.

50.3 ZC-17-006 Consideration of a zone change from SFR-00 (Single Family Residential – one dwelling unit per existing lot) to SFR-6 (Single Family Residential – six dwelling units per gross acre) on two lots totaling 3.25 acres. The subject site addresses are 1806 Thomas Road, located on the west side of Thomas Road approximately 460 feet north of Sunset Drive (372W35DC Tax Lot 800) and 2214 Sunset Drive, located on the north side of Sunset Drive approximately 415 feet west of Thomas Road (372W35DC Tax Lot 3300). (Timothy McFarlane, Applicant; Scott Sinner Consulting, Agent)

Chair Miranda inquired whether any Commissioners have a conflict of interest or ex-parte communication they would like to disclose. None were disclosed.

Chair Miranda inquired whether anyone in attendance wishes to question the Commission as to conflicts of interest or ex-parte contacts. None were disclosed.

Liz Conner, Planner II, stated that staff received a letter from the Fair Housing Council of Oregon. A copy was emailed to the Planning Commission and will entered into the record as Exhibit G. Ms. Conner reviewed the content of the letter and stated that Statewide Planning Goals are addressed at the time the General Land Use Plan map designation is approved. There is no action needed. Ms. Conner corrected the address on Thomas Road to be 1796 not 1806. The tax lot remains the same. Ms. Conner read the zone change criteria and gave a staff report.

The public hearing was opened.

a. Scott Sinner, Scott Sinner Consulting, Inc., 4401 San Juan Drive, Medford, Oregon, 97504-9343. Mr. Sinner reported that they agree with the staff report. It meets the approval criteria and locational standards. It is consistent with the Transportation rule System Plan. Category "A" facilities are available. The correction of the address has be stated.

Mr. Sinner reserved rebuttal time.

The public hearing was closed.

Motion: The Planning Commission adopts the findings as recommended by staff and adopts a Final Order for approval of ZC-17-006 per the staff report dated February 28, 2017, including Exhibits A through G.

Moved by: Vice Chair McFadden

Seconded by: Commissioner Foley

Roll Call Vote: Motion passed, 6-0.

50.4 LDS-17-005 Consideration of a tentative plat for a 21 lot residential subdivision on 4.1 acres zoned SFR-6 (Single Family Residential, 6 dwelling units per gross acre) located on the west side of Kings Highway approximately 300 feet north of Halvorsen Street and east of the Aspen Street terminus and south of the Brock Way terminus. (372W36DA TL 5002) (Vision Homes, Applicant; Neathamer Surveying Inc., Agent)

Chair Miranda inquired whether any Commissioners have a conflict of interest or ex-parte communication they would like to disclose. None were disclosed.

Chair Miranda inquired whether anyone in attendance wishes to question the Commission as to conflicts of interest or ex-parte contacts. None were disclosed.

Liz Conner, Planner II, stated that there have been additional exhibits submitted after the publication of the staff report. They were emailed to the Planning Commission for their review and will be submitted into the record as Exhibits R, S and T. Also, the recommended action in the staff report states to adopt a Final Order. Staff recommends that the Planning Commission directs staff to prepare a Final Order to be presented at the next Planning Commission meeting. Ms. Conner read the land division criteria and gave a staff report.

The public hearing was opened.

a. Bob Neathamer, Neathamer Surveying, Inc., 3126 State Street, Suite 203, Medford, Oregon, 97504. Mr. Neathamer reported that the owners of Vision Homes are in the audience this evening. Ms. Conner did a good job explaining the issues. This is an infill project with limitations. The City's Transportation Manager is in agreement with the findings the applicant presented.

Mr. Neathamer reserved rebuttal time.

The public hearing was closed.

Motion: The Planning Commission adopts the findings as recommended by staff and directs staff to prepare a Final Order for approval of LDS-17-005 per the staff report dated February 29, 2017, including Exhibits A through T.

Moved by: Vice Chair McFadden

Seconded by: Commissioner Foley

Roll Call Vote: Motion passed, 6-0.

60. Reports

60.1 Site Plan and Architectural Commission.

Kelly Akin, Assistant Planning Director reported that the Site Plan and Architectural Commission met on Friday, March 3, 2017. They considered plans for the construction of a 20,000 square foot, three-story building on a one acre parcel located at the southeast corner of Biddle Road and Progress Drive. They approved the application

60.2 Report of the Joint Transportation Subcommittee.

Commissioner Pulver reported that the Joint Transportation Subcommittee has not met. Commissioner Pulver asked, when the draft of the Transportation System Plan is completed, does it come to the Planning Commission for recommendation to the City Council? Matt Brinkley, Planning Director, stated that procedurally, the Joint Transportation Subcommittee is not the only body reviewing the TSP. The Bicycle and Pedestrian Advisory Committee is also reviewing it. There will be public outreach meetings to talk about the goals and objectives. The goals and objectives will be forwarded to the consultant. They will use those to start developing the project list. Once staff has the entire document it will come to the Planning Commission for formal review then recommendation to the City Council of the entire updated TSP. In the meantime, there will be a study session with the Planning Commission to discuss the goals and objectives.

Commissioner Pulver stated that the public side of the Joint Transportation Subcommittee are interested in bike lanes, public transit and those sorts of interest. He is looking for input from the Planning Commissioners. They will have their opportunity at the study session.

Chair Miranda reported that if there are any comments from the Planning Commission to let him or Commissioner Pulver know so they can take back to the Joint Transportation Subcommittee.

Chair Miranda stated that the Joint Transportation Subcommittee is still down one Planning Commission liaison. Right now they meet once a month but after the TSP is completed they will go back to meeting quarterly.

Mr. Brinkley reported they want to conclude the TSP by the end of this summer meaning getting it to a point where the Planning Commission is formally reviewing it for recommendation to the City Council.

60.3 Planning Department

Mr. Brinkley announced that the Jackson County Planning Commission recommended that the Board of Commissioners adopt the City of Medford's UGB amendment application as presented. It was a 2 to 1 vote. Chair Green of the Jackson County Planning Commission raised several concerns. Those concerns will be able addressed in the record in front of the Board of Commissioners. The Board of Commissioners should convene in

approximately 8 weeks. After that it will go to the Land Conservation and Development Commission.

Vice Chair McFadden asked, can the County submit those to the State one city at a time or since it was all a Regional Plan, does all the cities have to be approved and then sent to the State? Mr. Binkley reported no. Each individual city is able to make its UGB amendment however it sees fit. They are approved one at a time. Medford is the first of all the signatory communities. There are some other RPS things that have to be done with the Regional partners, such as Regional Housing which staff is currently working on.

70. Messages and Papers from the Chair. None.

80. Remarks from the City Attorney. None.

90. Propositions and Remarks from the Commission. None.

Adjournment

The meeting was adjourned at 6:29 p.m. The proceedings of this meeting were digitally recorded and are filed in the City Recorder's office.

Submitted by:

Terri L. Rozzana
Recording Secretary

Patrick Miranda
Planning Commission Chair

Approved: March 23, 2017



STAFF REPORT

for a Class-A legislative decision: Comprehensive Plan Amendment

Project Adoption of the 2016 Leisure Services Plan into the Comprehensive Plan
File no. CP-17-013
To Planning Commission *for 03/23/2017 hearing*
From Carla Angeli Paladino, Principal Planner, Long-Range Planning *CPaladino*
Reviewer Kelly Akin, Assistant Planning Director
Date March 16, 2017

BACKGROUND

Proposal

A legislative amendment to incorporate by reference the 2016 Leisure Services Plan into the Public Facilities element of the Comprehensive Plan and update the Conclusions, Goals, Policies, and Implementation Strategies. (See Exhibits A, B, and C)

Note: The 2016 Leisure Services Plan can be viewed on the City’s website at <http://www.ci.medford.or.us/Page.asp?NavID=1203>

History

In 2016, the Parks and Recreation Department completed the ten-year Leisure Services Plan for Medford. The plan was completed through input and guidance from stakeholders and residents. Citizen input was collected through completion of a community survey. The information received helped shape the goals and improvements to be completed over the next decade.

On October 20, 2016, the City Council approved Council Bill 2016-130 initiating an amendment to the City’s Comprehensive Plan to include the updated Leisure Services Plan which also includes the 10-year Capital Facilities Plan.

Authority

This proposed plan authorization is a Class-A legislative Comprehensive Plan Amendment. The Planning Commission is authorized to recommend, and the City Council to approve, amendments to the Comprehensive Plan under Medford Municipal Code §§10.102–122, 10.164, and 10.184.

ANALYSIS

Medford is the regional provider of park and recreation services in Southern Oregon. As such there is an increased demand for parks, recreation facilities, and programs throughout the community. The 2016 Leisure Services Plan update is a guide to address community needs and provide direction for the development of parks and leisure services over the next ten years. As the city and region continue to grow the plan helps support improvements to existing facilities and looks ahead to acquire and build new parks, trails, and facilities to serve the community.

The City received comments from the Medford Irrigation District dated February 24, 2017. (See Exhibit D)

FINDINGS AND CONCLUSIONS

Applicable criteria

For the applicable criteria the Medford Municipal Code §10.184(1) redirects to the criteria in the “Review and Amendments” chapter of the Comprehensive Plan. The applicable criteria in this action are those for conclusions, goals and policies, and implementation strategies. The criteria are set in *italics* below; findings and conclusions are in roman type.

Comprehensive Plan, Review and Amendments chapter: Amendments [to Conclusions] shall be based on the following:

1. *A change or addition to the text, data, inventories, or graphics which substantially affects the nature of one or more conclusions.*

Findings

The 2016 Leisure Services Plan has been updated to replace the prior plan completed in 2006. This new Plan serves as a forward looking guide that promotes outdoor recreation, public health, and environmental stewardship. It serves to support appointed and elected officials as well as staff in making decisions when planning and implementing parks, open spaces, paths, trails, and recreational programs and facilities. The Plan is revised every ten years to remain up-to-date with the community’s recreational interests and provides the relevance and data for the City to use when pursuing funding at all levels.

The Plan covers the timeframe from 2016-2025. It provides an array of updated figures, numbers, projections, and capital improvement timelines. The Plan includes goals, objectives, and action items for developing and maintaining the parks facilities throughout the community and over the next planning period.

The existing conclusions noted in the 2006 Plan have been revised to reflect the changes identified in the 2016 Plan.

Conclusions

The sixteen conclusions related to Parks, Recreation, and Leisure Services have been revised to reflect the changes identified in the 2016 Plan. Thirteen conclusions now summarize some of the key points from the updated Leisure Services Plan. Criterion 1 is found to be satisfied.

Comprehensive Plan, Review and Amendments chapter: Amendments [to Goals and Policies] shall be based on the following [criteria 1–6]:

1. *A significant change in one or more Conclusion.*

Findings

The conclusions section currently contains sixteen conclusions reflective of the 2006 Plan. The conclusions have been reviewed and revised to correspond to the information in the 2016 updated Plan.

The revised conclusions include changes to the planning period from 2016–2025. The plan envisions Medford neighborhoods being served by either a neighborhood or community park. To fulfill this, the City will need to acquire approximately 45 acres of neighborhood parkland and 91 acres of community parkland in the future. The top ranked responses from the community survey included rehabilitating older parks, developing a new indoor recreation center/pool, and expanding programming for youth under 18 years of age. The conclusions also discuss the need for facility upgrades to Jackson Aquatic Center, the development of Prescott Park, and the need to provide better trail connectivity between parks and major destinations.

Conclusions

The conclusions section has been revised to reflect the changes noted in the 2016 Leisure Services Plan. Criterion 1 is found to be satisfied.

2. *Information reflecting new or previously undisclosed public need.*

Findings

Generally, the Leisure Services Plan notes a need for updating and rehabilitating existing parks and acquiring and developing new parks and trail networks.

The capital facilities plan identifies proposed park upgrades and development within seven of the existing parks. Future upgrades include items such as new playground equipment, renovated restrooms, trails, Americans with Disabilities Act (ADA) enhancements, and signage and lighting. Path and trail development within Prescott

Park and within southeast Medford along Larson Creek and other trail sections are noted. In addition, future acquisition of neighborhood and community parks in all wards are proposed over the planning period.

Conclusions

The 2016 Leisure Services Plan provides an inventory of existing assets and identifies new facilities needed over the next ten years. The capital facilities plan is updated to reflect needed upgrades to existing parks and the development of new parks to serve the community into the future. Criterion 2 is found to be satisfied.

3. *A significant change in community attitudes or priorities.*

Findings

Citizen input and feedback helped establish community priorities for parks, trails, and recreation facilities and programs. The responses helped to shape policy statements within the plan and prioritize needed improvements identified in the capital facilities plan.

The plan describes the creation and distribution of the community survey to the public. The Parks and Recreation Department received 685 completed surveys which represented a total of 1,854 Medford residents. Some of the key findings include:

- 77% of respondents are satisfied with the physical condition of Medford's neighborhood parks but improvements or maintenance needs exist at Jackson School Park, Cedar Links Park (undeveloped), and Union Park (recently renovated).
- The top two park improvements noted by respondents included new or upgraded restrooms (62%) and picnic table/benches or shelters (46%).
- 83% of those surveyed support the construction of a new aquatic facility.

Nearly 80% of respondents noted the City's neighborhood parks either meet or exceed their expectations and 75% had a positive view of community parks. On the other hand, 40% noted personal safety and a sense of poor facility maintenance as reasons why they do not use parks. These findings translate into making maintenance and renovation of parks top priorities to ensure public satisfaction remains at a high level. The capital facilities plan carries these findings forward into an action plan.

Conclusions

The plan notes that the community values and appreciates parks and the recreational programming provided by the City. However to maintain this level of service for current and future residents, the City will need to maintain and upgrade its exist-

ing facilities, enhance and expand its programming, and acquire and develop new park land to accommodate a growing community. Criterion 3 is found to be satisfied.

4. *Demonstrable inconsistency with another Plan provision.*

Findings

The Leisure Services Plan is a Category “B” public facility in the Comprehensive Plan and is one that both enhances development and occurs in response to development. Some of the other Category “B” facilities include schools, police and fire protection, and solid waste management. No inconsistencies have been identified with other plan provisions.

Conclusions

The Leisure Services Plan is a noted public facility in the Comprehensive Plan. The summary, goals, policies, and conclusions sections have been amended to reflect the 2016 plan. There are no identified inconsistencies in the Comprehensive Plan. Criterion 4 is found to be satisfied.

5. *Statutory changes affecting the Plan.*

Findings

Local park planning is identified in Statewide Planning Goal 8 and Oregon Administrative Rule (OAR) 660-034-0040. The Comprehensive Plan makes reference to both of these state requirements and is found to be consistent with the provisions.

The Leisure Services Plan also addresses compliance with the Americans with Disabilities Act (ADA) of 1990 which prohibits discrimination on the basis of disability. Titles II and III of the ADA require local government facilities and places of public accommodation and commercial facilities be readily accessible and usable by individuals with disabilities. Recreation facilities are among the types of facilities covered by these titles of the ADA.

The plan also references the U.S. Department of Justice 2010 ADA Standards for Accessible Design that provides guidelines intended to remove barriers preventing use of recreation facilities to all users. As upgrades are made to existing facilities and new parks are developed, the City will need to keep ADA compliance in the forefront. The City initiated an ADA Transition Plan in 2016 to help document barriers to outdoor recreation accessibility. The Transition Plan will outline phasing, cost estimates, and implementation measures over a period of time to address ADA compliance issues.

Conclusions

The Comprehensive Plan and the Leisure Services Plan both address federal and state regulations that must be followed. The Comprehensive Plan specifically addresses state regulations related to local park planning. The Leisure Services Plan specifically addresses ADA compliance related to park facilities. Criterion 5 is found to be satisfied.

6. *All applicable Statewide Planning Goals.*

Goal 1—Citizen Involvement

Findings

The City has an adopted Citizen Involvement Element in compliance with Statewide Planning Goal 1. Notice of the amendment was provided to the Department of Land Conservation and Development for review and comment. The review bodies (Planning Commission and City Council) will consider and vote on the proposed amendment during televised public hearings, providing an additional forum to discuss the proposal.

Citizen input and involvement were the cornerstone for updating the Leisure Services Plan. A number of tools were used to gather feedback from the public, stakeholder groups, and Parks and Recreation staff to inform the plan. These methods included a mail and on-line community survey, five stakeholder discussions, four community meetings, mySidewalk online engagement, social media content and e-mails, and Parks and Recreation Commission meetings.

Conclusions

Based on the public engagement during the creation of the Leisure Services Plan and the public process provided through the adoption of the plan, it is found that Goal 1 is satisfied.

Goal 2—Land-use Planning

Findings

Goal 2 ensures compliance and incorporation of various plans into the City's Comprehensive Plan. The 2016 Leisure Services Plan reflects national and local recreation trends and identifies facility needs over the planning period in order maintain and expand parks services for the community. The plan has been reviewed and portions of the plan incorporated into the various elements of the Comprehensive Plan. The addition of the entire 2016 plan will be incorporated by reference into the Comprehensive Plan.

Conclusions

The proposal is found to comply with Goal 2.

Goal 3—Agricultural Lands does not apply in this case.

Goal 4—Forest Lands does not apply in this case.

Goal 5—Natural Resources, Scenic & Historic Areas, and Open Spaces

Findings

The Leisure Services Plan discusses paths, trails, and greenways in Chapter 6. A section is dedicated specifically to recognizing Medford's natural greenways and open spaces located along Bear Creek, Larson Creek and within Prescott and Chrissy parks. The linear corridors along the creeks include riparian areas and floodplains that are better protected from development. These natural surroundings provide habitat for birds, wildlife, and plants as well as stormwater and air quality benefits to the community. Connectivity to the existing trail network and creation of new trails along these natural corridors should be the focus as land develops over time. Likewise, a commitment to protecting, enhancing, and restoring these areas is also noted in the plan.

Conclusions

The plan addresses the specific components related to natural resources and open spaces and the importance of maintaining and protecting existing and new segments into the future. Goal 5 is satisfied.

Goal 6—Air, Water, and Land Resources Quality does not apply in this case.

Goal 7—Areas Subject to Natural Hazards does not apply in this case.

Goal 8—Recreation Needs

Findings

Medford is responsible for meeting the community's recreational needs today and into the future in the appropriate quantity, quality, and location as available. Eleven guidelines are outlined in the statewide goal regarding how to plan for these facilities. The 2016 Leisure Services Plan meets these guidelines because the plan takes into consideration the needs and wants of the community, has inventoried existing recreational resources, and is conscientious of a number of factors such as meeting the needs of those with disabilities, recognizing the health, environmental and transportation benefits of these integrated systems, and looking to the future to develop and acquire lands in order to meet a growing demand.

Conclusions

The Leisure Services Plan meets the local requirements for planning for recreational facilities. Goal 8 is satisfied.

Goal 9—Economic Development

Findings

The plan makes the connection between walkable and bike-able communities/neighborhoods with an increase in home values and the desire of residents to live in locations that provide these amenities. Several national associations including the National Association of Realtors and the National Association of Homebuilders recognize the economic benefits of creating such neighborhoods. The City's trail and park system and their proximity to businesses and neighborhoods enhance real estate values and the overall economic well-being of the community.

Conclusions

The Leisure Services Plan identifies the connection between strong parks and trail systems and the economic benefits they provide to a community. Goal 9 is satisfied.

Goal 10—Housing does not apply in this case

Goal 11—Public Facilities and Services

Findings

Parks and recreation facilities are identified as a public facility in the statewide goal and within the City's Comprehensive Plan. Existing parks and trail systems provide a range of benefits including built in transportation facilities that allow walking and biking to destinations. As noted previously, the greenway areas provide areas of shade to protect stream functions and other storm water benefits. The plan serves the recreational needs of the community while also providing ancillary benefits that support transportation and environmental functions.

Conclusions

The Leisure Services Plan is one of the public facilities the City provides. Goal 11 is satisfied.

Goal 12—Transportation

Findings

A goal of the plan is to focus on making more trail and greenway connections not only as a health benefit but as a transportation benefit to the community. The location of park sites near neighborhoods also is a factor in providing opportunities for

residents to walk, bike, and reduce vehicle miles traveled to schools and other destinations.

Conclusions

The plan recognizes the benefits of having an interconnected trail system and identifies walkshed distances from neighborhoods to existing trails and paths located throughout the city. Goal 12 is satisfied.

Goal 13—Energy Conservation does not apply in this case.

Goal 14—Urbanization does not apply in this case.

Goals 15–19 do not apply to this part of the State.

Comprehensive Plan, Review and Amendments chapter: Amendments [to Implementation Strategies] shall be based on the following [criteria 1–6]:

1. *A significant change in one or more Goal or Policy.*

Findings

The Goals, Policies, and Implementation Strategies have been revised based on the updated Leisure Services Plan. They are categorized under seven main headings: System Growth & Stewardship, Natural Areas Management, Bicycle & Pedestrian Opportunities, Management & Maintenance, Partnerships, Aesthetics, and Engagement & Communications. Revisions have been made to almost all of the identified policies or new ones have been added. Two new goals under Partnerships and Engagement & Communications have been included as well.

Conclusions

The goals and policies have been revised to reflect the changes in the Leisure Services Plan. This criterion is found to be satisfied.

2. *Availability of new and better strategies such as may result from technological or economic changes.*

Findings

It is noted that implementation of the parks and recreation services will require funding beyond what is identified in the capital facilities plan. Chapter 11 of the plan identifies partnerships and strategies to help bring the plan to its fullest potential. Sustaining the existing park system and looking at the creation of new parks, trails, and programs will require partnerships with public and private entities, donations from citizen donors, developer assistance, and volunteers. Funding from a wide variety of sources (grants, system development charges (SDC), and fees) will also need to be used to make projects happen.

Conclusions

A combination of factors will help to bring the Leisure Services Plan to fruition. The strategies and options noted in the plan provide guidance to help implement the park and recreational needs and desires of the community. Criterion 2 is found to be satisfied.

3. *Demonstrable ineffectiveness of present strategy(s).*

Findings

The Leisure Services Plan was last updated in 2006. In order to stay current with demographic and recreational services and needs, the plan has been updated. There is no finding that the present strategy was ineffective.

Conclusions

This criterion is found to be not applicable to the proposal.

4. *Statutory changes affecting the Plan.*

Findings

This criterion has been addressed in Criterion 5 above.

Conclusions

This criterion is found to be satisfied based on the findings noted in Criterion 5 above.

5. *Demonstrable budgetary constraints in association with at least one of the above criteria.*

Findings

The Leisure Services Plan includes a capital facilities plan that outlines proposed projects and estimated costs. The amended goals and policies reflect actions that require funding. The plan prioritizes the specific improvements that will occur over the next decade.

Conclusions

The plan outlines a set of goals and policies to meet the needs and wants of the community. In order to achieve these objectives, capital projects have been identified to fulfill these goals. Criterion 5 is found to be satisfied.

6. *All applicable Statewide Planning Goals.*

Findings

The relevant Statewide Planning Goals have been addressed in detail under Criterion 6 above. The plan is found to be in compliance with the goals.

Conclusions

The Statewide Planning Goals have been addressed above. This criterion is found to be satisfied.

RECOMMENDED ACTION

Based on the findings and conclusions that all of the applicable criteria are either satisfied or not applicable, forward a favorable recommendation for approval of CP-17-013 to the City Council per the staff report dated March 16, 2017, including Exhibits A through D.

EXHIBITS

- A 2016 Leisure Services Plan (electronic version found at link below)
- B Amended Public Facilities Element
- C Amended Conclusions, Goals, Policies, and Implementation Strategies
- D Medford Irrigation District comments dated February 24, 2017

The 2016 Leisure Services Plan can be viewed on the City's website at <http://www.ci.medford.or.us/Page.asp?NavID=1203>

PLANNING COMMISSION AGENDA:

MARCH 23, 2017

Exhibit A

2016 Leisure Services Plan Document

Electronic Version of the document found at
<http://www.ci.medford.or.us/Page.asp?NavID=1203>

Exhibit B

Amended Public Facilities Element

[Cover sheet]

PARKS, RECREATION, AND LEISURE SERVICES

The Parks, Recreation, and Leisure Services section of the Public Facilities Element (hereinafter called “Parks Element”) is a component of the City of Medford *Comprehensive Plan*.

This section is intended to comply with statewide planning policies and requirements that govern recreational planning, including Goal 8 (Recreational Needs), and OAR 660 Division 34. The primary purpose of this section is to (1) describe characteristics of the existing park system, (2) project the need for parks in Medford for the 210-year period between 2010~~6~~ and 2030~~25~~ based upon research and analysis of public wants and funding ability, and (3) provide the City with Goals and Policies, ~~based on Conclusions derived from the analysis of existing conditions and future needs~~ as well as Strategies to implement those policies.

This section summarizes core aspects of the 2016 Leisure Services Plan, which was adopted by City Council in October 2016 and is incorporated by reference into the Comprehensive Plan. The 2016 Leisure Services Plan creates a vision for an innovative, inclusive and interconnected system of parks and open spaces that promotes outdoor recreation, health and environmental stewardship as integral elements of a livable community. The Plan is a document that will guide City elected and appointed officials, management and staff when making decisions or taking actions regarding planning, acquiring, developing or implementing parks, open space, paths and trails, recreation programs or recreational facilities.

Introduction

~~Medford is the largest city in Southern Oregon and a regional provider of park and recreation services. Rapid population growth has increased the demand for parks, recreation facilities, and programs community wide, and the City has developed this new plan to address existing financial challenges while expanding recreation opportunities and maintaining existing resources.~~

~~In the past, the City has shown vision in acquiring and developing park and recreation facilities to meet community needs. Facilities such as numerous sports fields, U.S. Cellular Community Park, the Bear Creek Greenway and Bear Creek Park have become great community assets, attracting residents from all parts of Jackson County. In addition, through a cooperative effort with the Medford School District, the City has developed one of the best neighborhood school/park systems in the Northwest. However, a funding deficit has created problems in maintaining many park sites, and some parks are underdeveloped. Moreover, the City continues to utilize outdated facilities, such as Hawthorne and Jackson pools, which accrue operations costs that are not offset due to lower than typical user fees. Past levels of recreation programming and community participation in City programs were lower than comparable communities; particularly for youth, teens, and seniors, driving a recent priority to increase recreation programs and services.~~

~~As Medford continues to grow and the City looks to the future, this plan will address community needs and provide direction for the development of parks and leisure services for the twenty year period. The City has an excellent foundation for a thriving park system and the potential to provide comprehensive recreation programming for the entire community. However, to provide a higher level of service to residents, this plan supports both improvements to the existing system and early acquisition of new park~~

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~~land while the opportunity exists to do so.~~

The City of Medford Parks and Recreation Department is Southern Oregon's largest provider of recreation services and is a nationally accredited agency through the National Recreation and Parks Association. The City currently provides over 2,500 acres of public parkland and recreation facilities distributed among 36 park sites and numerous open space parcels. This system of parks supports a range of active and passive recreation experiences. The Department is responsible for the maintenance and programming of the U.S. Cellular Community Park and the Santo Community Center, and its staff coordinate over 300 programs, services and events each year.

Medford's shining star is the U.S. Cellular Community Park. This sport field complex is the largest synthetic turf sports park in the United States. Since its opening in 2008, the U.S. Cellular Community Park has generated over \$67 million in economic benefit for the Medford community. MPRD is well known locally and regionally for coordination of youth and adult sports leagues and tournaments. Medford also boasts the largest adult softball program in Oregon.

Medford is preparing for continued growth tied to the planned expansion of the urban growth boundary. As the City grows, new investments in parks and recreation will be necessary to meet the needs of the community, support youth development, provide options for residents to lead healthy, active lives and foster greater social and community connections.

State Recreational Planning Laws

Statewide Planning Goal 8 – Recreational Needs

Oregon's Statewide Planning Goal for Recreational Needs (~~Goal 8~~) states:

“To satisfy the recreational needs of the citizens of the state and visitors and, where appropriate, to provide for the siting of necessary recreational facilities including destination resorts.”

Goal 8 requires recreation planning, including an inventory of needs and existing opportunities, and a long-range plan with an action program. It recommends that the highest priority be given to facilities that: meet the needs of high density population centers; meet the needs of persons of limited mobility and finances; conserve energy; minimize environmental deterioration; are available to the public at nominal cost; and meet the needs of visitors to the state.

Goal 8 recommends that unique areas or resources that also meet recreational needs be inventoried and protected, or acquired, with high priority given to enhancing recreational opportunities on the public waters of the state and Oregon Recreational Trails. The Bear Creek Greenway path is a designated “Oregon Recreation Trail”. Recreational plans should consider the carrying capacity of the air, land and water resources of the planning area, and actions should not exceed the capacity of such resources. It also recommends that parks and recreation planning take into account various techniques for acquisition, such as easements, cluster developments, preferential assessments, development rights acquisition, subdivision park land dedication that benefits the subdivision, etc.

The Parks Element includes an inventory of areas and resources unique to Medford including special use areas, natural open space areas, trails, paths, bikeways, and greenways.

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OAR Division 660 Division 34 – State and Local Park Planning

660-034-0040 – Planning for Local Parks:

- (1) Local park providers may prepare local park master plans, and local governments may amend acknowledged comprehensive plans and zoning ordinances pursuant to the requirements and procedures of ORS 197.610 to 197.625 in order to implement such local park plans. Local governments are not required to adopt a local park master plan in order to approve a land use decision allowing parks or park uses on agricultural lands under provisions of ORS 215.213 or 215.283 or on forestlands under provisions of OAR 660-006-0025(4), as further addressed in sections (3) and (4) of this rule. If a local government decides to adopt a local park plan as part of the local comprehensive plan, the adoption shall include:
 - (a) A plan map designation, as necessary, to indicate the location and boundaries of the local park; and
 - (b) Appropriate zoning categories and map designations (a "local park" zone or overlay zone is recommended), including objective land use and siting review criteria, in order to authorize the existing and planned park uses described in local park master plan.
- ~~(2) Unless the context requires otherwise, this rule does not require changes to:
 - (a) Local park plans that were adopted as part of an acknowledged local land use plan prior to July 15, 1998; or
 - (b) Lawful uses in existence within local parks on July 15, 1998.~~
- ~~(3) All uses allowed under Statewide Planning Goal 3 are allowed on agricultural land within a local park and all uses allowed under Statewide Planning Goal 4 are allowed on forest land within a local park, in accordance with applicable laws, statewide goals, and rules.~~
- ~~(4) Although some of the uses listed in OAR 660-034-0035(2)(a) to (g) are not allowed on agricultural or forest land without an exception to Goal 3 or Goal 4, a local government is not required to take an exception to Goals 3 or 4 to allow such uses on land within a local park provided such uses, alone or in combination, meet all other statewide goals and are described and authorized in a local park master plan that:
 - (a) Is adopted as part of the local comprehensive plan in conformance with Section (1) of this rule and consistent with all statewide goals;
 - (b) Is prepared and adopted applying criteria comparable to those required for uses in state parks under OAR chapter 736, division 18; and
 - (c) Includes findings demonstrating compliance with ORS 215.296 for all uses and activities proposed on or adjacent to land zoned for farm or forest use.~~

The City of Medford complies with ORS 660-034-0040(1)(a) and (b) through the adoption and implementation of a Parks and Schools designation on the *General Land Use Plan Map*, which depicts existing public parks and schools. There is no specific zoning district associated with this designation. Instead, parks and schools are permitted conditionally in all single-family residential zones, multi-family residential zones, commercial and light industrial zones. The City intends to pursue the development of objective land use and siting review criteria for parks.

Needs Assessment

Citizen Involvement

~~One of the nineteen Statewide Planning Goals that must be addressed in a comprehensive plan is Citizen Involvement (Goal 1). The development of this Parks Element update incorporated citizen involvement in several ways, including: a community workshop, a sports group questionnaire, a city-wide recreation survey, and steering committee and Parks Commission involvement.~~

Community Workshop

~~A community workshop was held on September 14, 2004, in the Santo Community Center to obtain the attendees' vision for parks, recreation facilities, and programs in Medford.~~

~~Key findings are summarized below:~~

- ~~• Participants identified the following as the top facilities for priority development:~~
 - ~~• Sports field complex~~
 - ~~• Indoor recreation center~~

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- ~~City-wide path and trail system~~
- ~~Preservation of Prescott Park as a natural area was emphasized. Greater notoriety, easier access, additional parking and a trail head were desired, along with improved trail systems for pedestrians, bicycles, and horses.~~
- ~~Participants supported the expansion of recreational programming.~~
- ~~The top three issues identified for Medford parks and recreation were:
 1. ~~Funding~~
 2. ~~Park and facility maintenance~~
 3. ~~Upgrades to existing parks~~~~

Sports Group Questionnaire

~~In Fall 2004, organizations providing sports leagues in Medford were asked to fill out a questionnaire regarding the number of teams and players in the league, season of play, and field requirements. The sports group survey obtained information regarding twenty seven different programs for adults and youth provided by both the City and private providers in Medford. This data was used to determine sports field and facility needs.~~

City-Wide Recreation Survey

~~A city-wide survey of public attitudes, recreation interests, and recreation participation was conducted in Fall 2004. Completed questionnaires were obtained from 438 households from the four quadrants of the City.~~

Key findings included:

- ~~Neighborhood parks were the most frequently visited type of park or facility by respondents.~~
- ~~Of all park and recreation services, respondents wanted most:
 - ~~Upgrades to existing parks~~
 - ~~Sports field development~~
 - ~~More trails and paths~~~~
- ~~Respondents clearly preferred an indoor aquatic center to meet future needs.~~
- ~~The respondents supported increased programming for seniors, one of the fastest growing segments of the City of Medford population.~~
- ~~The respondents supported increases to youth and teen programming. A growing national trend and awareness associating relatively minor teen programming costs with exponentially greater reduced law enforcement costs point to a substantial City cost benefit.~~
- ~~Respondents wanted more off-street, paved multi-purpose paths throughout Medford.~~

Committee and Commission

~~A Steering Committee consisting of key City staff and citizens representing a variety of community interests met regularly throughout the planning process. This group provided advice and insight by discussing critical issues facing Medford parks and recreation and by reviewing key reports in the development of this Parks Element. Similarly, the Medford Parks and Recreation Commission also provided direction during the planning process.~~

Community engagement and input played an important role in establishing a clear planning framework

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that reflects current community priorities. Public outreach provided a baseline of demand and need, and outreach methods were varied and extensive, including:

- A mail- and online-based community survey
- Stakeholder discussions
- Community meetings
- mySidewalk online engagement
- Social media content & email blasts
- Parks & Recreation Commission meetings

Throughout the planning process for the 2016 Leisure Services Plan, the public provided information and expressed opinions about their needs and priorities for parks, trails and recreation facilities and programs in Medford. This feedback played an important role in updating policy statements and prioritizing the capital facilities project list contained within this Element.

Classifications & Standards

PARKLAND CLASSIFICATIONS

Parkland is classified to assist in planning for the community's recreational needs. The Medford park system is composed of a hierarchy of various park types, each offering recreation and/or natural area opportunities. Separately, each park type may serve only one function, but collectively the system will serve the full range of community needs. Classifying parkland by function allows the City to evaluate its needs and to plan for an efficient, cost effective and usable park system that minimizes conflicts between park users and adjacent uses. The classification characteristics are meant as general guidelines addressing the intended size and use of each park type. The following seven classifications are in effect in Medford and are defined as follows.

- Community Parks
- Neighborhood Parks
- Linear Parks
- Greenways & Natural Open Space Areas
- Special Use Areas
- Beautification Areas
- Paths & Trails

Community Parks

Community parks are larger sites developed for organized play, containing a wider array of facilities and, as a result, appealing to a more diverse group of users. They are planned to provide active and structured recreation opportunities, as well as passive and non-organized opportunities for individual and family activities. Community parks are generally 15 to 50 acres in size, should meet a minimum size of 15 acres when possible and serve residents within a 2-mile drive, walk or bike ride from the site. In areas without neighborhood parks, community parks can also serve as local neighborhood parks. In general, community park facilities are designed for organized or intensive recreational activities and sports, although passive components such as pathways, picnic areas and natural areas are highly encouraged and complementary to active use facilities. Community parks may provide pools, community gardens or indoor facilities to meet a wider range of recreation interests. Since community parks serve a larger area and offer more facilities than neighborhood parks, parking and restroom facilities should be provided. Fichtner-Mainwaring Park, U.S. Cellular Community Park and Hawthorne Park are examples of community parks.

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Neighborhood Parks

Neighborhood parks are generally considered the basic unit of traditional park systems. They are small park areas designed for unstructured, non-organized play and limited active and passive recreation. They are generally 2-5 acres in size, depending on a variety of factors including neighborhood need, physical location and opportunity, and should meet a minimum size of 3 acres in size when possible.

Neighborhood parks are intended to serve residential areas within close proximity (up to ½-mile walking or biking distance) of the park and should be geographically distributed throughout the community.

Access to neighborhood parks is mostly pedestrian, and park sites should be located such that people living within the service area can reach the park safely and conveniently. Neighborhood parks should be located along road frontages to improve visual access and community awareness of the sites. Connecting and frontage streets should include sidewalks or other safe pedestrian access. Additionally, street plans should encourage maximum connectivity and public access to park sites.

Generally, developed neighborhood parks typically include amenities such as pedestrian paths, picnic tables, benches, play equipment, open field area for informal play, sport courts or multi-purpose paved areas and landscaping. When neighborhood parks are designed in conjunction with school sites, these sites typically include multi-use sport fields. Restrooms and parking are generally provided. Donahue-Frohnmayer Park and Lone Pine School Park are examples of neighborhood parks.

Linear Parks

Linear parks are developed, landscaped areas that follow linear corridors such as street rights-of-way, creeks and other elongated features. This type of park usually contains a paved path, landscaped areas, viewpoints and seating areas. The Biddle Road Pathway is an example of a linear park.

Greenways & Natural Open Space Areas

Greenways are undeveloped lands primarily left in a natural state with recreation use as a secondary objective. Greenways provide for connected or linked open space corridors that can support broader ecological functions than stand-alone properties. Natural areas are individual or isolated tracts of open space that are not connected to a larger greenway network.

These conserved open spaces are usually owned or managed by a governmental agency and may or may not have public access. This type of land often includes wetlands, steep hillsides or other similar spaces. In some cases, environmentally sensitive areas are considered greenways and can include wildlife habitats, stream and creek corridors, or unique and/or endangered plant species. Greenways may serve as trail corridors, and low-impact or passive activities, such as walking, nature observation and fishing may be allowed, where appropriate. No standards exist or are proposed for greenways. The Bear Creek Greenway is an example of the greenway classification.

Special Use Areas

Special use areas include single-purpose recreational areas or stand-alone sites designed to support a specific, specialized use. This classification includes stand-alone sport field complexes, arenas, community centers, community gardens or sites occupied by buildings. Specialized facilities may also be provided within a park of another classification. No standards exist or are proposed concerning special facilities, since facility size is a function of the specific use. The portion of Railroad Park used by the train clubs would be an example of a special use area.

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Beautification Areas

Beautification areas may include landscaped areas around buildings, entry ways, street islands and maintained strips along street rights-of-way and pathways. The landscaping in these areas may vary widely, ranging from low maintenance trees and mulch to high maintenance flowerbeds and facilities, such as fountains, picnic tables, hanging baskets, sculpture/artwork, gardens and signage.

Paths & Trails

Trails are non-motorized recreation and transportation networks generally separated from roadways. These corridors can be developed to accommodate multiple or shared uses, such as pedestrians and bicyclists, or a single use. Recreational path and trail alignments aim to emphasize a strong relationship with the natural environment and may not provide the most direct route from a practical transportation viewpoint. The City has the foundation to a path and trail system with the Bear Creek Greenway. It connects Medford to adjacent cities from Ashland to Central Point, as well as parks within the City. Four classifications exist within the Medford network: regional path, connector path, local/park path or trail and equestrian trail. These path and trail classes serve as the primary linkages across and through the City. The differences between the classifications are based on purpose, intensity of use and connections, rather than on width, material or user. The 2016 LSP contains detailed descriptions and characteristics for the four classifications.

Existing Park Facilities and Functions

~~The Medford park system consists of both active and passive recreational areas, including a variety of park types, paths, trails and facilities. As can be seen in *Figure 1, Existing Park & Recreation Resources*, the City of Medford manages approximately 2,500 acres of park land, including nearly 75 acres leased from the Medford and Phoenix/Talent School Districts. The park land inventory includes over 454 acres of active parks, 14 acres of linear parks, nearly 1,923 acres of natural areas and greenways, and more than 124 acres of undeveloped sites. In addition, the City maintains nearly 15 acres of beautification areas, including greenways, roadway strips and islands, and landscaped areas around buildings.~~

~~Per *Figure 2, Path and Trails Plan*, the City has the foundation to a path and trail system. The Bear Creek Greenway path connects the City to adjacent cities from Ashland to Central Point as well as parks within the City. The path and trail system includes two standards: ten foot wide asphalt multi-use paths and five foot wide gravel or native soil multi use trails built to the International Mountain Bike Association standards. Maintenance of paths and trails includes repairs from root damage, occasional flooding and erosion, removal of trees that have fallen, and general wear from use. The City has entered into a Joint Powers Agreement with Jackson County for the maintenance of the portion of the Bear Creek Greenway Path that is within the City of Medford Urban Growth Boundary. Development and maintenance of the Bear Creek Greenway Path is overseen by the Bear Creek Greenway Foundation. Adopted in January 2003, the Bear Creek Master Plan is an action plan for current and future redevelopment of the corridor.~~

~~PARKS & RECREATION FIGURE 1 Existing Park & Recreation Resources~~

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PARKS & RECREATION FIGURE 2 — Path and Trails Plan

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The City of Medford is a significant provider of recreation and sport facilities. Additional facilities are provided by other entities as well, such as school districts and private providers. When all resources are counted, the total inventory for all recreation facilities in Medford is relatively high. However, some sports fields suffice as practice fields only, because they are inadequate for games. Other facilities have scheduling restrictions. The City provides many sports fields, but depends on school facilities for use of gymnasiums and adult baseball fields. The City has two outdoor pools, but the community relies on private providers to meet indoor swimming needs.

The following facilities in Medford were counted as part of Medford's unrestricted inventory in 2006, meaning they were considered adequate for games/practice at that time:

- One adult baseball field
- Six adult softball fields
- Six youth softball/baseball fields
- Twelve soccer fields
- One football field
- Two gymnasiums
- Zero square feet of pool space

Medford's 2010 unrestricted inventory is listed below. As a note, the new artificial turf fields at the U.S. Cellular Community Park (USCCP) all are rated as having the capacity of three natural grass fields. This equivalency has been promoted by the industry for many years and was demonstrated by the Tualatin Hills Parks and Recreation District in their *HMT Complex, Field One "Artificial Surface" Usage Comparison*. This has more recently been confirmed by the increase in usage of the artificial turf fields at the USCCP during the 2009-2010 season and the information is documented in the *2010 Parks & Recreation Artificial Turf Comparison to Natural Grass Ball Fields Use*.

- One natural grass and one artificial turf adult baseball field (four equivalent fields)
- Five natural and five artificial* turf (60% use) adult softball fields (fourteen equivalent fields)
- Eight natural and five artificial** turf (40% use) youth softball/baseball fields (fourteen equivalent fields)
- Fifteen natural turf and five artificial turf soccer fields (thirty equivalent fields)
- Five artificial turf football fields (fifteen equivalent fields)
- One gymnasium
- Zero square feet of indoor pool space

* Adults share use of these five fields with youth leagues. Adult use is 60% of the total use. Five fields multiplied by three and then by 60% equal thirteen equivalent fields when the four natural fields are added in.

** Youth share use of these five fields with adult leagues. Youth league use is 40% of the total use. Five fields multiplied by three and then by 40% equal thirteen equivalent fields when the four natural fields are added in.

Additional inventory exists in a restricted capacity which is not considered readily available or adequate for games/practice.

In addition to park lands, path/trails, and sports facilities, the City of Medford has a public arts program,

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~~an urban forestry program and Tree Committee. As well, the Parks Department reviews landscape plans for all multi-family, commercial and industrial developments in the City for the Site Plan and Architectural Commission.~~

~~The Arts Commission was formed in 2000 to begin the process of bringing to fruition the vision for arts and culture in Medford. The Commission has developed a master plan which was adopted in 2009 (Public Art Selection and Acquisition Policy) to improve existing City sites with the addition or incorporation of public art. The plan includes funding sources and a priority listing for existing sites. The Arts Commission administers a Partnership Program whereby non-profit organizations, and their affiliates, may apply twice a year to partner with the Arts Commission on art-related projects/programs that serve Medford residents. By providing access to art they hope to create an environment of enrichment and pride for all citizens. Public art within our City adds a sense of discovery and vibrancy to public spaces.~~

~~The City of Medford recognizes the benefits and importance of its trees and urban forest. Therefore, the City has instituted an Urban Forestry Program and hired a Certified Professional Arborist in 2005 to manage that resource. One of the goals of the Urban Forestry Program is to inventory the current tree population and develop a system that is composed of a wide variety of species and age classes that will protect the urban forest from insect and disease outbreaks. The Urban Forestry Program manages trees on public rights-of-ways, in parks, and open spaces. Education on tree care is also provided to residents, and all tree care and maintenance is performed to currently accepted professional standards. The program is funded through the City's general fund with the goal to develop an urban forest that will be an environmental and economic asset and a source of community pride.~~

~~The City of Medford's ongoing excellence in urban forestry has been awarded with two prestigious honors from the Arbor Day Foundation. Medford received "Tree City USA" status for the fourteenth consecutive year as a result of meeting four required standards: having a tree board, a tree care ordinance, a comprehensive community forestry program and an Arbor Day observance and proclamation. Medford's municipal urban forestry efforts also earned a Growth Award for the fifth year, an accolade that hails environmental improvement and higher levels of tree care as a result of excellence in providing education programs, effective public relations, fruitful partnerships and wildland fire prevention coordination. The City's tree program has spurred the planting of 1,233 trees and pruning of 2,133 others on civic property along with an overall investment of over \$1.46 million from a variety of funding sources since 2005.~~

~~The Tree Committee is a sub-committee of the Parks and Recreation Commission. It was formed to advise the Commission on matters regarding trees in the right of ways and in park lands. The Committee strives to maintain and enhance the livability of the community through education on the benefits of trees, proper tree maintenance and fostering planting and preservation of trees where appropriate. Each year they plan and develop an Arbor Day observance and celebration for the City.~~

~~The Site Plan and Architectural Commission consists of seven City residents, including one Planning Commissioner. The Commission's duties include making quasi-judicial decisions on proposed multi-family, commercial and industrial development projects relative to architecture, landscaping, and site design. The Parks and Recreation Director is charged with ensuring that a department review of landscape code requirements occurs to assist the Commission. A Parks Planner currently serves as staff to the Commission, providing said reviews.~~

PUBLIC FACILITIES ELEMENT

Inventory of Existing Parks

PARKS & RECREATION TABLE 1: EXISTING PARKS

Park Type-Site Number ¹	Area
NP-16	Alba Park
OSG-8	Bear Creek Greenway
OSG-3	Bear Creek Greenway Park
CP-22	Bear Creek Park
LP-30	Biddle Road Path
SU-14	Carnegie Building
NP-60/SU	Chrissy Park
NP-34	Delta Waters School Park
NP-37	Donahue-Frohnmyer Park
MP-32	Earhart Park
LP-52	East McAndrews Path
CP-23	Fichtner-Mainwaring Park
CP-34	Hawthorne Park
NP-40	Holmes Park
NP-41	Hoover School Park
NP-5	Howard School Park
SU-39	IOOF/Eastwood Historic Cemetery
NP-11	Jackson School Park
NP-24	Jefferson School Park
NP-35	Kennedy School Park
OSG-44	Larson Creek Greenway
OSG-42	Lazy Creek Greenway
NP-17	Lewis Park
NP-46	Lone Pine School Park
CP-26/OSG	U.S. Cellular Community Park
CP-36	North Medford High School Park
NP-43	Orchard Hill School Park
NP-54	Oregon Hills Park
OSG-61	Prescott Park
NP/SU-7	Railroad Park
OSG-6	Railroad Park Greenway
NP-33	Roosevelt School Park
MP-38	Ruhl Park
SU-48	Summerfield Park
SU-9	Santo Community Center
NP-2/OSG	Table Rock Park
NP-18	Union Park
NP-25	Veterans Park
SU-15	Virginia Vogel Plaza
NP-19	Washington School Park

¹ Each site is coded with letters and numbers (such as NP-12). The letter represents the park type, the legend to these abbreviations can be found at the bottom of the Table. Some sites have more than one designation. For example, CP/OSG is a Community Park with Open Space Areas within part of the park land. The site number is for site identification only. These site numbers are included in *Figure 3, Facilities Plan*.

PUBLIC FACILITIES ELEMENT

Park Type- Site Number¹	Area
NP-20	Wilson School Park

Park Type Legend:

- NP — Neighborhood Park
- CP — Community Park
- SU — Special Use Area
- LP — Linear Park
- OSG — Natural Open Space Areas/Greenways
- UD — Undeveloped Park Land
- P — Path

PARKS & RECREATION TABLE 2: EXISTING PATH/TRAILS

Site Number ²	Index of Existing Path/Trail Name	Linear Park (LP) and/or Open Space Greenway (OSG)	Comments
NP-16	Alba Park	NP	Minimal path system
P-13	Bear Creek Greenway	OSG	North/south through Medford
CP-22	Bear Creek Park	CP	Numerous paved paths & trails
LP-30	Biddle Road	LP	Hawthorne Park to Morrow Lane
NP-34	Delta Waters School Park	NP	Moderate loop path & trail
NP-37	Donahue-Frohnmyer Park	NP	Moderate loop path & trail
LP-52	East McAndrews Rd. Path	LP	North side of McAndrews Road
NP-40	Holmes Park	NP	Path & trails
NP-5	Howard Park	NP	Moderate loop path
NP-11	Jackson Park	NP	Moderate path system
OSG-44	Larson Creek Path/Trail	OSG	Black Oak Dr. to N. Phoenix Rd.
OSG-42	Lazy Creek Path	OSG	Burgundy to Siskiyou Blvd.
NP-46	Lone Pine Park	NP	Moderate loop path
CP-55	Prescott Park Trail system	OSG	Numerous trails
NP-48	Summerfield	NP	Short loop path
NP-38	Rhul Park	NP	Short path
P-16	Lone Pine Creek Path	OSG	Lone Pine Creek at Navigators' Landing
NP-18	Union Park	NP	Short path

Prescott and Chrissy Parks

During the public involvement process, citizens expressed a desire to improve trails within Prescott Park and envisioned a path/trail system within Chrissy Park once brought into the UGB.

Prescott Park, located on and around Roxy Ann Peak, totals 1,740 acres. The park was established with an initial gift of 200 acres purchased by the Lions Club and donated to the City of Medford in 1930. An additional 1,500 acres was acquired by the City through the Federal Lands to Parks Act of 1931. An additional 40 acre parcel was later purchased by the City and added to the park holdings. Prescott Park

² The site number is for site identification only. These site numbers are included in *Figure 3, Facilities Plan*.

PUBLIC FACILITIES ELEMENT

~~in its entirety has been set aside and reserved for exclusive park use and federal regulations restrict the land from being used for other than public park purposes. Prescott Park is largely undeveloped but has a network of hiking trails, overlooks, and picnic areas with restrooms. Communication facilities are located near the summit. Efforts to more fully improve and utilize the land as an urban public park has been hampered by its being located outside but adjacent to Medford's corporate jurisdiction. That Prescott Park is located outside Medford, has made land use permitting and public facility extensions difficult, time consuming and costly, requiring the City of Medford to obtain land use approvals for park improvements through Jackson County.~~

~~Chrissy Park, located east of Medford, south of Hillcrest Road on Cherry Lane, totals 160 acres. The site, located just outside City limits, was donated to the City in 1997 by a Medford resident. The park is undeveloped, and the City will have to reverse damage done to the land over the past century due to orchard operations, development and open grazing. Mitigation of soil and water problems due to the site's steep, unstable slopes also needs to occur throughout the park.~~

~~In the future, Prescott and Chrissy Parks, currently outside but abutting the current Urban Growth Boundary, will serve to meet a variety of park needs for Medford residents. These include provisions of open space that is conveniently located and economically accessible to all City residents. Medford has a policy to pursue inclusion of Prescott and Chrissy Parks in the Medford Urban Growth Boundary for eventual inclusion within the City limits. This will enable the City to extend needed urban infrastructure and services, such as police and fire protection, streets and sanitary sewer, to these parks.~~

~~Medford's policy of striving to acquire parkland having natural features or resources, or that is of significant interest to the public, is partially met through these parks. Prescott Park is given special consideration in protecting the City's most significant natural and recreational resource and most significant scenic view and viewpoint for the enjoyment of present and future generations. Prescott Park contains 1,725 acres of natural open space.~~

~~The identified need for nature trails, trailheads, and overlooks/viewpoints can also be well accommodated in these parks. By the year 2030, Medford will need an additional 15 miles of recreational trails. Upon annexation, the City plans to develop Chrissy Park, as both a Neighborhood Park and a Special Use Area, combining path/trail uses with a Neighborhood Park. An interconnected system of trails, paved paths and bikeways will provide a safe place for non-motorized transportation in east Medford.~~

~~Thus, both Prescott and Chrissy Parks, upon inclusion into the City of Medford UGB, are planned to include an integrated park environment that includes both intensive urban park elements and natural park elements. The urban park elements are expected to function as activity centers that attract concentrations of urban populations into these unique areas where City residents can enjoy recreation experiences with urban and natural dimensions in immediate proximity to the largest population center in Jackson County. The special mix of land uses expected for these parks can be better administered pursuant to the objectives of Statewide Planning Goal 8 where the urban park elements may be freely planned to support intensive urban elements and appropriate planning for the natural areas. This will assure the parks are planned under the City's Comprehensive Plan to include use intensities that balance the unique resources and assets these parks represent in a manner that advances the City's Statewide Planning Goal 8 objectives.~~

PUBLIC FACILITIES ELEMENT

FACILITY INVENTORY

Parks and open space represent the basic foundation of a healthy park and recreation system, providing opportunities for residents of all ages to meet, play, grow and thrive. Medford's parks provide residents with a diverse array of active and passive recreational amenities and options. They are a place to come together with family and friends, to exercise and play, to learn and explore, and to engage with the City's landscape, history and culture.

Medford provides and maintains a growing system of parks that supports a range of active and passive experiences. The park and open space inventory identifies the recreational assets within Medford. The City provides over 2,500 acres of public parkland and recreation facilities distributed among 36 park sites and numerous open space parcels. The following tables summarize the current land inventory in Medford.

Figure 1. Existing Inventory: City-owned Community Parks

Park Name	Status	Acres (Total)	Acres (Developed)
Bear Creek Park	Developed	62.44	61.03
Fichtner-Mainwaring Park	Developed	30.95	30.95
Hawthorne Park	Developed	14.22	14.22
Prescott Park (F)*	Undeveloped	15.00	0.00
U.S. Cellular Park	Developed	125.34	120.34
Total Community Park Acreage		247.95	226.54

(F) Future Park

* Remainder of acreage for Prescott Park is noted in the Greenway & Natural Open Space category

PUBLIC FACILITIES ELEMENT

Figure 2. Existing Inventory: City-owned Neighborhood Parks

Park Name	Status	Acres (Total)	Acres (Developed)
Alba Park	Developed	1.51	1.51
Cedar Links (F)	Undeveloped	5.42	0.00
Chrissy Park (F)	Undeveloped	10.00	0.00
Donahue-Frohnmayr	Developed	14.03	10.19
Earhart Park	Developed	1.69	1.69
Holmes Park	Developed	18.35	18.35
Howard Park	Developed	9.22	9.22
Jackson Park	Developed	10.50	10.50
Jefferson Park	Developed	4.93	4.93
Kennedy Park	Developed	8.11	8.11
Lewis Park	Developed	7.33	7.33
Liberty Park	Developed	0.23	0.23
Lone Pine Park	Developed	4.82	4.38
Midway Park (F)	Undeveloped	3.00	0.00
Orchard Hill Park	Developed	4.16	4.16
Oregon Hills Park	Developed	14.91	3.00
Pear Blossom Park 1	Developed	0.70	0.70
Pear Blossom Park 2	Developed	0.68	0.68
Railroad Park	Developed	2.18	2.18
Ruhl Park	Developed	1.22	1.22
Summerfield Park	Developed	1.56	1.56
Union Park	Developed	2.13	2.13
Veterans Park	Developed	1.74	1.74
Total Neighborhood Park Acreage		128.42	93.81

(F): Future Park

PUBLIC FACILITIES ELEMENT

Figure 3. Existing Inventory: Special Use Areas

Park Name	Status	Acres (Total)	Acres (Developed)
Carnegie Building	Developed	1.48	1.48
Chrissy Park	Undeveloped	20.00	0.00
City Hall	Developed	3.06	3.06
IOOF Cemetery	Developed	19.32	19.32
Railroad Park	Developed	9.03	9.03
Santo Community Center	Developed	3.80	3.80
Service Center	Developed	2.35	2.35
Vogel Plaza	Developed	0.24	0.24
Total Special Use Acreage		59.28	39.28

Figure 4. Existing Inventory: City-wide Parks, Greenways & Natural Areas

Park Name	Classification	Acres (Total)	Acres (Developed)
Bear Creek Greenway (BCG)	Linear Park	22.10	
BCG: Hawthorne to USCCP	Greenway	9.40	
BCG: W McA - Hawthorne	Greenway	0.00	
Bear Creek Park	Greenway	37.40	
Biddle Road	Linear Park	7.10	
Chrissy Park	Greenway	136.10	
E. McAndrews	Linear Park	5.34	
Larson Creek Greenway	Linear Park	3.66	7.24
Larson Creek Greenway	Greenway	7.18	
Lazy Creek Greenway	Linear Park	1.08	
Lazy Creek Greenway	Greenway	2.07	
Lewis Park	Greenway	0.90	
Lone Pine Creek	Linear Park	1.66	
Lone Pine Creek Greenway	Greenway	1.23	
Midway Park	Greenway	8.70	
Oregon Hills	Greenway	11.91	
Prescott Park	Greenway	1,725.00	
Railroad Park	Greenway	24.20	
U.S. Cellular Park	Greenway	53.50	
Total Greenway & Linear Park Acreage		2,058.53	7.24

PUBLIC FACILITIES ELEMENT

Parkland Walksheds

A gap analysis of the park system was conducted to examine and assess the current distribution of parks throughout the city to better understand where acquisition efforts should be directed. The analysis reviewed the locations and types of existing facilities, land use classifications, transportation/access barriers and other factors as a means to identify preliminary acquisition target areas. In reviewing parkland distribution and assessing opportunities to fill identified gaps, residentially zoned lands were isolated, since neighborhood and community parks primarily serve these areas.

Walksheds were defined for neighborhood parks using a ¼-mile primary and ½-mile secondary service area with travel distances calculated along the road network starting from known and accessible access points at each park. Walksheds for community parks were derived using ¼-mile, ½-mile, 1-mile and 2-mile travel distances to acknowledge that community parks serve a wider array of users and driving to such sites is typical.

Gaps in parkland distribution appear in nine main areas of the city:

- Central Medford, between North Medford High School and Wilson Elementary School
- Southwest Medford, near South Medford High School
- West Medford, generally near Rossanley Drive and N Ross Lane
- South Medford, east of I-5 from U.S. Cellular Community Park
- Southeast Medford, near N Phoenix Road in the Larson Creek area
- Southeast Medford, southwest of Hillcrest Road and Foothill Road
- Southeast Medford, northwest of Hillcrest Road and Foothill Road
- Southeast Medford, near Hillcrest Road between Prescott Park and Chrissy Park
- North Medford, near Abraham Lincoln Elementary School

Meeting the intent to provide a neighborhood or community park within a reasonable walking distance (e.g., ½-mile) will require both acquiring new park properties in currently under-served locations, improving multi-modal transportation connections to allow local residents to safely and conveniently reach their local park and re-evaluating the potential use of school sites as surrogates for local neighborhood parks. As the City of Medford continues to grow and acquisition opportunities diminish, the City will need to be prepared to take advantage of acquisition opportunities in strategic locations to better serve the community.

In years past, the City of Medford had an interlocal agreement with the Medford School District for access to certain school sites for off-hour and weekend usage as parkland. The agreement expired, and several school sites were removed from the parks inventory, which exacerbated existing gaps in parkland access. Several of the gaps areas noted above can be served through the re-establishment of certain school sites as neighborhood parks during non-school hours. Specifically, the City should re-initiate conversations with the District for the renewed usage of, at least, the following sites to serve as proxy neighborhood parks and as a means to enhance public access to recreational lands within reasonable walking distances:

- Abraham Lincoln Elementary School
- Wilson Elementary School
- Roosevelt Elementary School
- Lone Pine Elementary School (to improve access from the west)

PUBLIC FACILITIES ELEMENT

Resulting from this assessment, potential acquisition areas are identified for future parks and are noted in the Capital Facilities Plan component. The greatest documented need is for additional neighborhood and community parks to improve overall distribution and equity, while promoting active-use recreational spaces that can accommodate field sports, court sports and open play.

Parks Facilities Plan

~~A new planning concept involves improving pedestrian and bicycle access and connectivity for parks and facilities in Medford. Strategies include developing bike lanes and paths connecting into the existing Bear Creek Greenway path and adding east-west connections, along with connections between parks.~~

~~The strategies in the facility plan are designed, in part, to provide facilities that will accommodate new programs and services, as the City expands its role in providing recreation programs and services to the Medford community and the region overall.~~

~~The Facilities Plan Map is a graphic representation of the park system at build-out. *Figure 3, Facilities Plan*, illustrates the conceptual location and routing of proposed park sites and paths/trails, along with the location of existing facilities. This conceptual plan takes into account general land use patterns, the expertise of key City staff, and existing plans for parks (i.e., the Southeast Plan). However, the map does not pinpoint exact locations for these sites. Some important notes about the Facility Plan include:~~

- ~~1. Each site is coded with letters and numbers (such as NP-12). The letter represents the park type, and the number is for site identification only. These references are included on the *Figure 3, Facilities Plan* and with project descriptions for each site. Some sites have more than one designation (CP/OSG, a Community Park with Open Space Areas within part of the park land).~~

~~NP ——— Neighborhood Park
CP ——— Community Park
SU ——— Special Use Area
LP ——— Linear Park
OSG ——— Natural Open Space Areas/Greenways
UD ——— Undeveloped Park Land
P ——— Path~~

- ~~2. On *Figure 3, Facilities Plan*, colored asterisks indicate proposed neighborhood parks, community parks, and special use areas. The symbols show a general location for each proposed park. The final location of park sites will be determined later in the development of City plans and will be influenced by land availability, acquisition costs, and property ownership. When possible, the proposed location matches existing City plans.~~

- ~~3. Names for proposed sites are for reference only and have not been approved by City staff, the Parks Commission, or the City Council.~~

PARKS & RECREATION FIGURE 3—Facilities Plan

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PUBLIC FACILITIES ELEMENT

Key points of the facilities plan are summarized below:

- Improvements are proposed to most of the City's parks. Improvements include replacement or repair of aging facilities, changes to facilities to reduce maintenance costs, repair due to vandalism, and the addition of new facilities to reflect the changing needs of a maturing park system. These projects are not growth-related, and therefore not eligible for System Development Charge (SDC) funding.
- Significant upgrades are proposed for the outdoor pools at Hawthorne and Jackson parks. Maintenance costs for these two pools (which have aged beyond a pool's typical lifecycle) have become extreme. It recommends that the City evaluate the feasibility of replacing Hawthorne Pool with a water park at some location within the City.
- The plan also recommends that the City develop an indoor recreation center/aquatic facility in the long term to meet swimming and gymnasium needs.
- One new gymnasium with two courts was funded in the 2005–2007 biennial budget at the existing Santo Community Center, and was completed in 2009.
- Four new community park sites have been identified to meet future service area needs as well as community needs for sports facilities.
- The plan identifies U.S. Cellular Community Park as having mixed park uses.
- The acquisition and development of several small greenway connectors is planned to support the intra-community path/trail system and to increase park connectivity.
- A joint plan for developing Alba Park and the Carnegie Building is contemplated.
- The plan supports efforts for funding and implementing the *Bear Creek Master Plan* and completing path/trail linkages along Bear Creek.
- Existing City park land will be utilized for new parks whenever park service area requirements can be met.
- Working with partner agencies to help meet the demand for indoor and outdoor sports facilities will be a high priority.
- The City will seek to acquire park land in advance of need to reduce land acquisition costs.
- Opportunities for program marketing and public information will continually be sought out.
- An increase in the following recreation programs and services is anticipated: aquatics, instructional classes, special interest programs, outdoor programs, special events, and senior programs.
- The Plan anticipates increasing recreation programs fees in alignment with fees charged by other providers community-wide, while implementing scholarship programs and discounted services for residents in need.
- Improved maintenance management through cost tracking to improve maintenance levels of service at parks and recreation facilities is identified as a priority.
- The City will consider all sources of funding, including bonds, levies, grants, donations, and sponsorships, to address existing financial challenges.

Level of Service Assessment

Medford's current level of service (LOS) is examined using the existing, adopted standard of 1.56 acres per 1,000 residents for neighborhood parks, 2.75 acres per 1,000 residents for community parks and 20 acres per 1,000 residents for greenways and open space. When current populations of the City is compared to the park acreage standards for measuring park land needs, the difference between existing acreage and "demand" for park acreage to meet the standard is considered the "need" in future acreage.

PUBLIC FACILITIES ELEMENT

The tables below highlight the measurements for the City’s current level of service (LOS) at the existing standards.

In examining Medford’s neighborhood park acreage, the City has reached 105% of its adopted standard for park acreage. This performance measurement weighs the existing acreage (128.4 acres) against the “demand” (121.1 acres) at the current population (77,655). A surplus of 7.28 acres exists today for neighborhood parks. As the regional industrial, medical and service center, Medford can expect significant population changes in coming years, especially with the proposed UGB expansion, planned developments in southeast Medford and proposed residential density increases. Using the current park land inventory and the projected increase in population, the level of service for neighborhood parks will decrease from 1.65 acres per 1,000 to 1.16 acres per 1,000. In order to reach the existing standard of 1.56 acres per 1,000 for neighborhood parks, Medford will need to acquire nearly 45 acres in the coming ten years.

Figure 5. Medford Level of Service Performance for Neighborhood Parks

Metric	Measurement			
Existing Level of Service (LOS) Standard	1.56 acres per 1,000 residents			
2015 Population	77,655 residents			
2026 Population Projection	111,025 residents			
Parkland Acreage (Neighborhood Parks)	Total		Developed	
City-owned & maintained	127.08 acres		93.81 acres	
Total	128.42 acres		93.81 acres	
Level of Service	2015	2026	2015	2026
Effective Level of Service based on total acreage (acres/1,000 residents)	1.65	1.16	1.21	0.84
Net LOS to Standard (acres/1,000 residents)	0.09	(0.40)	(0.35)	(0.72)
Performance to Standard	106%	74%	77%	54%
Acreage surplus (deficit)	7.28	(44.78)	(27.33)	(79.39)

The removal of 65.4 acres of school lands classified as neighborhood parks has reduced the City’s level of service, and the relationship with the school district should be re-assessed to include school sites into the inventory to help address both the acreage need projected for the future, as well as the parkland distribution need to fill the identified watershed gaps in the system.

The City currently is meeting its adopted service standard for community parks, as well, and has reached 116% of its adopted standard for park acreage. However, with projected population growth, the current surplus of 34.4 acres will turn to a deficit of 57 acres by 2026. Population growth will create a demand for an additional 91 acres of community parkland to meet this adopted standard.

PUBLIC FACILITIES ELEMENT

Figure 6. Medford Level of Service Performance for Community Parks

Metric	Measurement			
Existing Level of Service (LOS) Standard	2.75 acres per 1,000 residents			
2015 Population	77,655 residents			
2026 Population Projection	111,025 residents			
Parkland Acreage (Core Parks - City + MUGA)	Total		Developed	
City-owned & maintained	247.95 acres		226.54 acres	
Total	247.95 acres		226.54 acres	
Level of Service	2015	2026	2015	2026
Effective Level of Service based on total acreage (acres/1,000 residents)	3.19	2.23	2.92	2.04
Net LOS to Standard (acres/1,000 residents)	0.44	(0.52)	0.17	(0.71)
Performance to Standard	116%	81%	106%	74%
Acreage surplus (deficit)	34.40	(57.37)	12.99	(78.78)

Community and neighborhood parks are the ‘work horse’ parks of the Medford park system, inasmuch as they provide the land base to accommodate a range of mixed recreational uses, park infrastructure (i.e., parking, restroom, etc) and the potential for sport fields. As such, the City’s priority should be to secure adequately-sized properties to design as neighborhood or community parks to maximize the recreational utility value of those sites for the future.

A similar approach was used to examine the level of service for the City’s greenways and natural open space. The performance to the standard is 127%, representing 1,978 acres of existing open space in relation to the demand at the adopted standard of 1,553 acres. If the open space inventory were held constant, the existing surplus of 424 acres will grow to a deficit of 242 acres by 2026, which represents a growth-based demand for an additional 667 acres of greenway and open space in the coming decade. The 2016 LSP eliminated the acreage standard for greenways and open space lands and recommended the development of a specific conservation and greenways plan to assess and identify key targets for future land conservation and corridor linkages.

As noted above, the City should consider re-establishing an interlocal agreement with the Medford School District for the usage of school sites to serve as proxy parks during non-school hours. While this option may not be ideal, it can illustrate the power of cooperation between the organizations for the benefit of the residents of Medford. The inclusion of at least some of the previously delisted school sites into the inventory will substantially aid Medford in attaining the service standards for both neighborhood and community parks. Additionally, the City should continue to coordinate and negotiate with residential developers to secure, set-aside and construct future parks in areas with planned residential growth.

PUBLIC FACILITIES ELEMENT

Park Land and Facility Needs

Proposed Park Land

Ten additional neighborhood park sites and four community park sites were identified by the community to meet Medford's vision for parks. However, the 25-year project list adopted on January 19, 2006 did not include a number of the proposed sites because the City could not support a Parks System Development Charge (SDC) large enough to include all park projects. As these are typical facilities for a city the size of Medford, additional creative funding sources will be pursued for these facilities. As opportunities to develop greenways and linear parks along creeks, canals, utility corridors, and roadways arise, the City will seek to develop a path/trail system that will interconnect parks, schools, and recreation facilities. The City will also seek opportunities to add linear park and open space/greenways to include trails and paths.

PARKS & RECREATION TABLE 3: PROPOSED PARKS

Park Type-Site Number ³	Area
NP-47	Brookdale Park
NP-45	Cedar Links Park
NP-56	Cherry Park
NP-21	Columbus Park
NP-49	Country Club Park
NP-51	Foothills Park
CP-55	Hillcrest Park
CP-27	Hopkins Creek Park
SU-62	Larson Creek (Middle Fork) Park
SU-50	Larson Creek (North Fork) Park
SU-59	Larson Creek (South Fork) Park
NP-12	Liberty Park
NP-4	Midway/Merriman Park
NP-13	Oak Grove Park
NP-58	Oak Tree Park
CP-53	Orchard Park
NP-10	Ross Lane Park
CP-57	Shamrock Park
CP-20	Sunset Park
NP-28	Whittle Avenue Park

Legend:

- NP — Neighborhood Park
- CP — Community Park
- SU — Special Use Area
- LP — Linear Park
- OSG — Natural Open Space Areas/Greenways
- UD — Undeveloped Park Land
- P — Path

³ Each site is coded with letters and numbers (such as NP-12). The letter represents the park type, the legend to these abbreviations can be found at the bottom of the Table. Some sites have more than one designation. For example, CP/OSG is a Community Park with Open Space Areas within part of the park land. The site number is for site identification only. These site numbers are included in *Figure 3, Facilities Plan*.

PUBLIC FACILITIES ELEMENT

Proposed Paths and Trails

The following table lists the proposed paths/trails that are noted in the Path and Trails Plan. Each proposed path/trail should be assessed for its suitability to develop as part of a linear park or greenway, in order to meet community needs for these park types. Preliminary indications for path/trail inclusion as a linear park (LP) or open space greenway (OSG) are noted in the table, along with any applicable comments. Each proposed path/trail should also be assessed to determine its type. As new parks are developed, internal paths/trails will be constructed in addition to those noted in the following Table 4.

Figure 2, Path and Trails Plan shows the proposed path/trails, including existing paths and conceptual routes for proposed multi-use paths, planned sidewalks, and planned bicycle lanes. Park trails are typically too short to be visible on a City wide map, at the scale shown. Note that bike lanes not only provide connections where off-street paths are not possible, but they also support commuter bicycle travel. The 2009 project list funds a new category of “trails” to be constructed in Prescott Park.

PARKS & RECREATION TABLE 4: Proposed Paths

Site Number ⁴	Name	Linear Park (LP) and/or Open Space Greenway (OSG)	Comments
P-2	East Vilas Road Path		
P-3	Medco Haul/Cedar Links Road Path	LP	Connects P-2, Kennedy School, NP-45 and P-6
P-4	Crater Lake Hwy Path		
P-5	Hopkins Creek Path	OSG	Follows the Hopkins Canal
P-6	Foothill Road/Main Canal Path	LP/OSG	Connects Prescott, East McAndrews Path, SU-48, SU-50, and Larson Creek Greenway
P-7	North Fork Lazy Creek Path	OSG	Connects Prescott, East McAndrews Path, Oregon Hills Park, SU-48, P-6, and P-8
P-8	East McAndrews Path Extension	LP	Connects East McAndrews Path, Oregon Hills Park, and CP-55
P-9	Prescott/Chrissy/SE Area Path	LP	Connects Prescott and Chrissy Parks
P-10	Larson Creek (North Fork) Path	OSG	Connects P-9, NP-56, CP-57, and SU-50
P-11	Larson Creek (Middle Fork) Path	OSG	Connects the Bear Creek Greenway to the two existing OSG for Larson Creek
P-12	Larson Creek (South Fork) Path	OSG	South Larson Creek
P-14	Garfield Street Path	LP	Connects Jefferson School Park to Bear Creek Greenway
P-15	S. Stage Road Path	OSG	Connects Bear Creek Greenway at the Medford US Cellular Community Park along S. Stage Road
P-16	Table Rock Path	OSG	Connects Biddle Rd. to Table Rock Rd.

⁴ The site number is for site identification only. These site numbers are included in *Figure 3, Facilities Plan*.

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Proposed Specialized Facilities

Aquatic Facilities

As of summer 2010, the City of Medford is involved in a multi-year evaluation of the City's aquatic facility needs. Therefore, this 2010 update does not report any final conclusions from the multi-year aquatic facilities study because it is still underway. Although outdated, 2006 aquatic facility needs have been included for historical reference, and will be updated upon the conclusion of the current evaluation of the City of Medford aquatic facility needs.

In January 2007, the City retained ORW Architecture and Councilman Hunsaker to evaluate an aquatic master plan (called the Aquatic Facility Planning Study) to focus on the future of aquatics for the community. Seven concepts for continuing aquatic improvement for the City of Medford were developed for consideration.

In November of 2008, REMI Northwest completed an analysis evaluating fiscal regional economic impacts of pool facilities improvement alternatives for the City. In November of 2009, the City of Medford contracted Ogden, Roemer Wilkerson Architecture (ORW) with the following scope of work:

Follow a public input process along with major considerations that have been made through recommendations to the City of Medford through the 2007 Aquatic Facility Planning Study and REMI Northwest Feasibility Study in developing a master plan for a regional water park facility. Identify necessary land use studies that will need to be completed and develop cost estimates associated with the facility. Identify possible sites for relocation of the current dog park and BMX facilities along with cost estimates for those relocations.

- 1. Indoor Swimming Pool:** For many years, City residents have desired an indoor swimming pool. In 1999, a bond measure was introduced to fund such a facility, but it failed. The 2004 recreation survey, conducted as part of the Parks Element update effort, showed continued support for an indoor pool. The needs assessment identified market support for an indoor swimming pool. However, it was recognized that an indoor aquatic complex would have a regional draw and should be developed and funded by either a regional agency or a partnership with adjoining cities. The City has identified a need for one indoor pool, and the future need for two additional indoor pools.
- 2. Outdoor Swimming Pool:** Currently, both outdoor pools managed by the City are old and have reached the end of their useful life. The future of Hawthorne and Jackson pools will depend on the timing of the construction of an indoor swimming pool. In the near term, the City will seek to keep both pools operational. In the long term, they will become prohibitively expensive to maintain, and the pools will need to be replaced. Replacement of these pools will not be eligible for System Development Charge (SDC) funds.
- 3. Large Water Park/Playground:** This Parks Element proposes the development of a large water park/playground. The proposed water park/playground may replace one or both of the aging outdoor pools in a manner that recognizes the most contemporary trends for outdoor pool facilities.

Youth Activity Center

Youth activities that were formerly offered at the Jackson Park Activity Center have been moved across

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~~the street to the Santo Community Center into an existing building which has been converted for this purpose. This facility compliments the existing meeting/class rooms and gymnasium at the Santo Center.~~

Jefferson Nature Center

~~A natural resource center has been developed at the U.S. Cellular Community Park. This facility utilized an existing farmhouse located on the site. The facility houses offices, exhibits, and educational opportunities focusing on local ecosystems, as well as the current and historic aspects of the Rogue Valley. This facility is operated and managed by the Jefferson Nature Center, a non-profit special interest group.~~

Indoor Recreation Center

~~Because of the demand for indoor recreation space including gymnasiums, the City has adopted a project list that includes the development of three multi purpose indoor recreation centers, twelve gymnasium courts, and a 10,500 square foot indoor swimming pool. Currently, access to school facilities has become difficult because of the demands of other user groups. Such indoor facilities would expand recreation opportunities considerably and help meet community needs for gymnasium and programming space. According to the 2004 survey and input at the public meetings, recreation centers would have substantial community support.~~

~~Desired amenities within or adjacent to a recreation center include:~~

- ~~• Indoor pool/outdoor water park~~
- ~~• Gymnasium space for basketball, volleyball and similar activities, and organized sports~~
- ~~• Fitness space (exercise/aerobics areas and weight training rooms)~~
- ~~• Places for large group gatherings~~
- ~~• Multi purpose classrooms and meeting space~~
- ~~• Specialized activity areas, such as dance studios, stage for performing arts, and other indoor recreation activities. An indoor recreation center could become a part of an indoor aquatic complex described above.~~

Public Restrooms

~~The public has clearly requested that restrooms be placed in public parks. Although public restrooms in parks are expensive to construct and maintain, they provide a convenience to the park user.~~

- ~~• Permanent restrooms will be provided in Neighborhood and Community parks~~
- ~~• Portable restrooms may be provided to facilitate seasonal uses of parks~~

Sports Facilities

~~The current deficiencies in sports facilities are:~~

- ~~• Two adult natural turf or one artificial turf baseball fields~~
- ~~• One additional indoor pool to meet the current need~~

~~The need for additional sports fields and facilities were noted in the survey and documented in the Needs Assessment. The following is a list of objectives for the development and management of sports facilities:~~

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Sports Facility Development Objectives

- ~~Work with partner agencies, especially schools, to help meet demand for indoor and outdoor sports facilities. Develop and maintain inventories and evaluations of shared sports facilities.~~
- ~~Continue partnering with the school districts to ensure community access to school gymnasiums.~~
- ~~Assess existing and proposed sites for the feasibility of developing additional sports fields, particularly adult softball fields, youth baseball/softball fields, and adult and youth soccer fields.~~
- ~~Design soccer fields to accommodate related field sports, such as lacrosse, ultimate Frisbee, and rugby.~~
- ~~Provide all weather field surfaces and outdoor lighting to expand usability and playing seasons in community parks, special use facilities, or in shared school/park facilities. Consider lighting impacts to nearby residences when developing plans for these facilities.~~
- ~~Design sports fields in complexes to facilitate tournament play and league play, as well as to improve maintenance and programming efficiencies.~~
- ~~Pursue partnerships to develop a multi-use, indoor aquatic complex (in the long term).~~

Sports Facility Management and Operations Objectives

- ~~Consider a three-tier maintenance schedule for sport fields with tournament fields receiving the highest level of maintenance and practice fields receiving the lowest level of maintenance.~~
- ~~Create a field scheduling committee to maintain the most efficient use of fields. This committee should be headed by City staff, but include representatives of the user groups and school officials. The procedure for scheduling should follow the methodology created in the Needs Assessment.~~
- ~~To maintain the fields for quality playing conditions, a rest and rotation schedule should be developed and followed.~~

Path and Trails Plan

~~The Path and Trails Plan identifies potential routes for recreational trails, paths, and bikeways to provide a safe path network that links neighborhoods, parks, schools, recreation sites, and other community attractions.~~

~~The plan includes:~~

- ~~Off-street paved, multi-purpose paths for walking and recreational biking.~~
- ~~A geographic distribution of path/trails balanced throughout the City. Acquisition of additional routes for future trails and paths can be extremely challenging and/or expensive, especially in West Medford where development is extensive.~~
- ~~Creation of a path and trail system will require inter-departmental cooperation for successful development of off-street paths during the construction of new streets.~~

~~The Path and Trails Plan includes a major intra-community system to provide linkages between parks, community facilities, residential areas, schools, and open space sites. The system is based on providing east-west linkages to connect to the Bear Creek Greenway path.~~

~~Some of the path pieces are already owned and maintained by the City. However, most of the system is~~

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not in place. Much of Medford will have to be retrofitted to accommodate paths. With an aggressive approach toward connecting existing and future pieces, Medford could create an extensive network to provide a wide variety of path/trail experiences. The focus of path/trail development should be placed on undeveloped areas with consideration for development in “future growth areas” outside the current Urban Growth Boundary. Since the City’s undeveloped areas are fast being developed, these paths/trails are most urgent. Medford also needs to place more emphasis on the maintenance of paths and trails already in existence.

In public involvement venues, the community expressed a preference for off street, paved paths for pedestrian and bicycle use. However, where path opportunities have been lost to development, it may be necessary to construct on-street sidewalks and bike lanes to complete specific segments. The plan also contemplates coordinating with Jackson County the joint planning and/or development of paths or trails that lay outside of the City’s Urban Growth Boundary.

Several of the proposed paths may be developed within linear parks and greenways, where wider corridors (minimum fifty feet) can be acquired. This development will help meet identified community needs for open space, greenways, and linear parks.

Paths will have concrete or asphalt surfacing, with their width varying from five feet to twelve feet. Paths currently exist throughout the City, within parks, along streets, and adjacent to greenways. The Parks Element identifies the need for 18.7 miles of paths. The 2009 SDC Capacity Improvements Plan has included thirteen miles of paths for development to serve future needs.

Trails will have gravel or natural soil surfacing, with their width varying from five feet to twelve feet. Trails currently exist within Prescott Park and are scattered throughout a few Neighborhood and Community Parks, such as Bear Creek, Donahue Frohnmayer and Holmes Park. The Parks Element identifies the need for 13.2 miles of trails. The 2009 SDC Capacity Improvements Plan has included 11.3 miles of trails for development to serve future needs.

Path and Trail Types

The purpose of the *Path and Trails Plan*, shown in *Figure 2*, is to show how existing and proposed park and recreation facilities can be interconnected via a path system. The proposed plan identifies conceptual routes for paths. However, park trails would require a level of detail that can not be made visible on a City wide map, at the scale shown.

Paths within Public Street Rights-of-Way

• The easiest walkways and bikeways to build are those within public street rights of way. These include three types:

- *Sidewalks and on-street bicycle lanes:* Pedestrian/bicycle ways within public street rights-of-way are typically sidewalks and on-street bicycle lanes. By state law, all new streets must have sidewalks and all new major streets must have bicycle lanes. Medford also requires sidewalks to be set back from traffic lanes by a planter strip. The adopted *Medford Transportation System Plan (TSP)* indicates existing and planned bicycle lanes and sidewalks. The planned walkways and bikeways will be part of new streets or improvement projects. The Medford Bicycle and Pedestrian Advisory Committee have developed recommendations regarding funding priorities.

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- ~~*Paths within street rights of way but separated:* Paths that are within street rights of way but separated have two major concerns: (1) they can be dangerous, and (2) they result in having to acquire a much wider right of way. These separated paths are undesirable because they are not perceived as a sidewalk, yet they cross many driveway and street intersections. These paths require very detailed design for even minimal safety. Paths that are along a continuous feature, such as the Biddle Road Path, can be safer since there are few intersections. These routes are ideal within linear parks; however, they are unsafe for cyclists if they do not have suitable locations to enter or exit from the street without causing the cyclist to ride against traffic. Additional on-street bicycle lanes are needed when a path abuts a major street to avoid conflicts between walkers and faster cyclists. This results in the need for a very wide right of way which can be nearly impossible to acquire in a developed area due to cost and impact. A separated path along a street, if necessary, can be accommodated more easily in undeveloped areas and would have to be coordinated very closely with street design engineers.~~
- ~~*Accessways:* Accessways are short public paths that serve as connections for non-vehicular travel. The City requires accessways to be constructed when cul-de-sacs are necessary or where there are overly long blocks. They are also useful to provide access to parks and schools if they do not abut a street.~~

Paths Not Within Street Rights-of-Way

- ~~Rights of ways for paths that are not within streets are very difficult to acquire unless done at the time of initial land planning and development. Property owners are often reluctant to grant or sell easements or land, and often object to having the public near their property if not on a street. These issues can be reduced if a detailed path and trail plan is adopted prior to any development. Studies have shown that properties near paths/trails have higher values. Paths should not be crossed frequently by at-grade intersections, so the best locations are along linear features that have few access points or crossings such as creeks, canals, freeways, airports, railroads, etc. Several proposed paths have been adopted in the *Medford Transportation System Plan*. Many irrigation canals exist in Medford, usually within easements granted to the Irrigation Districts. The City should work with the property owners and districts to obtain public access easements along the canals as some other Southern Oregon cities are doing. This opportunity will peak when the canals are piped to reduce evaporative loss from the open ditch that exists today. The path can then be developed over the piped irrigation canal.~~

Paths/Trails in Greenways

- ~~Greenways are typically linear open space areas and contain natural habitat or vegetation, and most often, a waterway or wetland. Greenways can be less difficult to acquire since they are undevelopable, and property owners may be willing to donate or sell them. Medford already has regulations that restrict disturbance within fifty feet of the top of bank of Bear Creek, Larson Creek, and other fish-bearing streams. Medford also has an adopted Greenways and Paths Plan for the Southeast Plan Area. Policies to guide the management of these existing greenways are needed.~~

~~To meet community needs for both path/trails and greenways, it is recommended that the City Council set a policy to strive to acquire all remaining natural areas that lend themselves to being greenways. Eugene has similar policies in place to protect riparian habitat. A Riparian Area Inventory and Assessment has already been prepared for the Medford UGB. In the past, Medford has~~

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~~avoided acquiring natural areas or their maintenance responsibility due to a lack of committed funding. However, public agencies may be the best stewards of such areas and greenways lend themselves to outdoor education/recreation opportunities as well as creating open space and separation between residential areas. Greenway path/trails also provide opportunities for many top ranking recreational activities, both in terms of measured local participation and national and state trends.~~

~~Greenways often contain paths/trails, which can conflict with habitat preservation. However, path/trails in greenways are less objectionable to property owners because few greenway path/trails directly abut private properties. It is recommended that the City Council set a policy to acquire public access easements when storm water maintenance easements are acquired within and along waterways. This dual purpose use is required within the Southeast Area.~~

Needs / Priorities

Community Parks

With the exception of Prescott Park, all of Medford's community parks are developed and in good condition. The City should improve community parks as needed to ensure proper maintenance, usability and quality of park features and grounds. Future enhancements or upgrades to community parks should include shaded picnic areas or picnic tables, shade structures for playgrounds, nature play areas, community gardens and accessibility improvements. The City should also pursue the development of a fully-inclusive, accessible playground to provide play opportunities for people with physical or mobility disabilities.

The pending development of Prescott Park is a long-awaited improvement for the Medford community. The site was master planned in 1984 with updates in 1999, 2008 and 2010. Improvements to the park are planned to include an all-weather loop road, trails for hiking, bicycling and horseback riding, overlooks, interpretive signs, restrooms, equestrian/auto parking, lodge for classes and covered pavilions, off-leash dog area, caretaker residence and maintenance yard. Beyond the improvements noted in the master plan, Prescott Park could provide regional value via connections to the Pacific Crest Trail (PCT) and connections to Chrissy Park and the Bear Creek Greenway, among others.

Neighborhood Parks

Medford currently has three undeveloped neighborhood park sites. Development of these parks would greatly improve recreational access for nearby communities.

The City purchased a 5.4-acre piece of the former Cedar Links golf course in 2011 to create a neighborhood park. The site was master planned to include playground equipment, a restroom, parking and a picnic shelter, as well as two half-court basketball areas. Much of the interior of the park on the west side will be a large open play area with a looped walking trail.

Midway Park is a 3-acre site located adjacent to Railroad Park and immediately west of I-5. The park was master planned as a neighborhood park to provide outdoor recreation opportunities for nearby residents. The park will include a dog park, playground, basketball court, restrooms, picnic areas and parking. The park will also include a berm along the east side of the park, adjacent to I-5. The park will connect the neighborhood to Railroad Park and the Bear Creek Greenway.

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Chrissy Park is a large and unique park property on Medford's eastern edge. The site is 166 acres in size and will serve multiple purposes. A 10-acre portion of the site along Cherry Lane will provide neighborhood park amenities for nearby residents. The park will also serve as both a special use area with hiking and equestrian trails and as a natural open space area. The park has been master planned, and amenities include sport courts, cycle cross, picnic areas, hiking trails, equestrian trails, disc golf, a playground, restrooms and parking. Chrissy Park is also planned to connect to Prescott Park and link with corridors along the riparian alignments of the Middle and North Forks of Larson Creek.

In general, the City should make improvements to neighborhood parks as needed to ensure proper maintenance, usability and quality of park features and grounds. The City could also consider adding playground shade structures, half-court basketball courts, small skate park elements and other recreation features in the development of new or existing neighborhood parks to expand recreational opportunities.

School Parks

School grounds in Medford play a role in its overall park system. While school sites may offer an open field or play equipment, daytime access is restricted by school use and limited for security concerns. During non-school hours, public elementary and middle school properties provide functions very similar to neighborhood parks. Unfortunately, and as noted earlier in this chapter, the expiration of the agreement between the City and the Medford School District resulted in several school parks being removed from the inventory.

The City should re-initiate and revitalize its relationship with the District and seek agreement on a new usage arrangement that can benefit the residents of Medford. Specifically, such an agreement should consider options for the following:

- Utilize school grounds during non-school hours in areas where there are no other opportunities to provide parks for the service area
- Accommodate sport field usage for league practices and recreational programs (e.g., Wilson) and consider options for joint redevelopment or renovation of field turf to improve playability and safety
- Consider cost-sharing for maintenance and security, as well as improvements
- Re-examine options for reduced or waived fees for indoor facilities and priority access for scheduling, in balance with an option for shared renovation costs for outdoor facilities

Paths & Trails

Recreational path and trail connections, improvements and relationships to streets, sidewalks and bike lanes have been cited in numerous Medford plans. The Transportation System Plan identifies future needs in the multi-modal, non-motorized transportation system for the community.

The proposed path and trail network plan is illustrated on Map 2, and it includes the following proposed segments:

- Prescott Park trails
- Alignments along the Middle and South Forks of Larson Creek
- Alignments along Lone Pine Creek, Lazy Creek and sections of the irrigation canal

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- Lateral connections from U.S. Cellular Community Park to Larson Creek
- Alignment connecting Prescott Park to the Lone Pine Creek corridor along PP&L property
- Alignments along the Upton Slough and portions of the Hopkins Canal

In addition to the proposed recreational path and trail alignments noted in this Plan, Medford may want to consider a stand-alone trail plan to identify and reinforce the need for off-street, recreational trail improvements to improve community connectivity.

Cooperation with Jackson County in conducting a unified regional trail plan for both the City and the greater Medford region could further planning efforts as the community grows and may provide valuable implementation strategies for a better connected path and trail system, while improving project eligibility for both transportation and recreation grant funding.

Also, such a plan could explore and consider alignment options to connect to lands held by the Bureau of Land Management. For example, regional connections to the Pacific Crest Trail (PCT) could enable better PCT access and better options for PCT hikers to stop for services or choose section hiking waypoints. Additionally, a regional planning effort could also support the vision to extend the Bear Creek Greenway farther north and south and to further enhance the significance of the pathway.

Recreation Centers & Aquatics

Interest and participation in the City's recreation programs are increasing annually. However, the number and types of activities the City can offer in its facilities are limited by a lack of facility capacity. Although school facilities provide additional activity space, these partnerships no longer meet the needs of Medford's residents. Additional recreation, fitness and community space is needed to promote wellness, active recreation and social engagement.

To meet this need, the City should pursue a multi-use indoor facility to enable comprehensive recreation programs for Medford residents. Such a facility would allow the City to control facility design, programming, scheduling and fees to more effectively meet community needs. Development of an indoor recreation facility requires extensive planning, including a feasibility analysis, appropriate site, and management and operation plans, as well as exploration of potential financial and programming partnerships. The facility should include gymnasiums, classrooms and multifunctional rooms, fitness rooms and a lap swimming and leisure aquatics facility. The facility may also include civic space (i.e., library, city service center/offices, etc.) or other leasable office space depending on the potential to secure funding partners with interest in co-locating at the facility.

Partnerships may be necessary to offset development and operational costs. Given that the region recently lost the pool at Southern Oregon University and strong demand remains, the Department should take the lead role in soliciting assistance from other agencies and organizations, as needed. Potential partners may include the Medford School District, Jackson County, nearby municipalities (e.g., Ashland, Shady Cover, Butte Falls, Grants Pass, White City), nearby school districts (Crater, Phoenix), Rogue Community College and Southern Oregon University.

It is recognized that funding will be a challenge and there is a real and significant need to balance what the community says it wants with what the community is willing to fund. Although several past City bond attempts for a pool failed, it was voted down by the same percentage as the sports park did during its first attempt at public financing. There is potential to pursue a combined bond between the City and the Medford School District, which would demonstrate the partnership potential and due diligence by

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both agencies to develop a facility that jointly meets needs for recreational program space. Also, if the school district were willing to co-sponsor a financing package, the Oregon Legislature recently approved legislation for bond funding of aquatic facilities that is a competitive grant program for school districts to access state funds. Additionally, the Parks and Recreation Department should seek private construction capital and seek the potential re-use of existing bond repayment funds to lessen the total funding request of voters.

Funding

The following 25-Year Capital Improvement Plan was adopted by the City Council on January 19, 2006, funded by a three-step Parks System Development Charge (SDC) increasing over three years. A Parks SDC fee for new single family residences of \$2,544 started at 80% of this amount in 2006, moved to 90% in 2007, and 100% in 2008.

PARKS & RECREATION TABLE 5: CAPITAL IMPROVEMENT PLAN, 2007-2032

Capital Improvement Plan, 2007-2032	
Item	Cost
2007-2012 Budget	
Neighborhood Parks	\$1,860,000
Community/Urban Parks	\$2,718,765
Recreation Facilities	\$444,300
Sub-total:	\$5,023,065
2012-2017 Budget	
Neighborhood Parks	\$1,200,000
Community/Urban Parks	\$3,000,000
Recreation Facilities	\$549,000
Sub-total:	\$4,749,000
2017-2022 Budget	
Neighborhood Parks	\$1,860,000
Community/Urban Parks	\$2,589,300
Recreation Facilities	\$596,700
Sub-total:	\$5,046,000
2022-2027 Budget	
Neighborhood Parks	\$1,207,500
Community/Urban Parks	\$2,589,300
Recreation Facilities	\$889,000
Sub-total:	\$4,685,800
2027-2032 Budget	
Neighborhood Parks	\$2,835,000
Community/Urban Parks	\$0
Recreation Facilities	\$1,916,420
Sub-total:	\$4,751,420
25-year Compliance Costs	\$1,575,000
TOTAL	\$27,822,500

The total cost for the 2005 preliminary 25-Year Parks Master Plan was estimated to be \$118,951,250, requiring an SDC for new single family residences of \$5,900. This was far more than the City financed through SDC at that time. The City adopted a reduced project list in 2006 totaling \$27,822,500 by eliminating a standard for Special Use Areas and linear parks; eliminating five Neighborhood and two Community Parks; eliminating five Adult Baseball/softball fields, two Football fields, nine Soccer Fields, and one Gymnasium; and by not including Community Centers, an Aquatic Center, and many

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~~proposed path/trails. These eliminated facilities may be developed using alternative funding sources or developed with an increase to current SDC rates.~~

~~The 2006 25-Year Plan identifies five new Neighborhood Parks for City Council funding, three utilizing existing park land. It also funds the completion of three existing and unfinished Neighborhood Parks. One additional new Neighborhood Park, Summerfield Park, was completed in 2007.~~

~~The plan also identifies the sports fields at the existing U.S. Cellular Community Park, the development of one Community Park adjacent to the existing park land at Prescott Park, and the acquisition and development of two new Community Parks for City Council funding.~~

~~The following recreational facilities are also included the 2006 25-Year Plan:~~

- ~~Eighteen Youth Baseball/Softball Fields (\$628,200)~~
- ~~Thirteen Adult Softball Fields (\$1,006,200)~~
- ~~Ten Soccer Fields (\$1,941,800)~~
- ~~Two Gymnasium Basketball Courts (\$1,500,000)~~
- ~~Two and forty five hundredths (2.45) miles of trails (\$1,126,000)~~

~~Summary of Costs for SDC Eligible Growth Required and Deficiency Projects~~

Item	Cost
1) SDC Eligible Growth Cost	\$23,940,720
2) Park SDC Deficiency	\$3,881,780
TOTAL	\$27,822,500

~~As the City's population increases, new facilities must be built to maintain the City's current level of park, recreation and leisure services. Growth required facilities that were not built in the past become deficiency projects which can no longer be funded through park SDC funds. The 2006 25-year cost of deficiency projects totals \$3,881,780, which, when spread out over a 25-year period, will require \$155,271 per year to complete. This is considered achievable, anticipating grants, donations through the Parks and Recreation Foundation, volunteer efforts, as well as non SDC funding sources, both existing and proposed, such as the Car Rental Tax, the Park Utility Fee, and a \$10,000,000 bond which is assumed in the January 2009 Parks and Recreation System Development Charges Methodology Update.~~

~~The City Council established a Park Utility Fee to be paid by the responsible party for each developed property within the corporate limits of the City. Such fee shall not be imposed in amounts greater than that which is necessary, in the judgment of the City Council, to provide sufficient funds to properly maintain parks, facilities, beautification and right of way areas. Collection of the fee for each property shall be made by a monthly charge which shall commence on the first day of August, 2005. The City Council may, from time to time, by ordinance, change the fee based upon revised estimates of the cost of properly maintaining parks, facilities, beautification and right of way areas, or other factors identified in the ordinance.~~

~~In 2009, the Medford City Council adopted an update to the 2006 project list with a proportional increase to the Park SDC. The SDC for new single family residences increased May 1, 2009 to~~

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~~\$2,986.00 and May 1, 2010 to \$3,433.00. The 2009 project list added the following projects to the 2006 project list:~~

- ~~• Twenty-eight acres of Neighborhood Park Acquisition and fifty-nine acres of existing and/or new park development~~
- ~~• Fifty acres of Community Park Acquisition and sixty-five acres of existing and/or new park development~~
- ~~• Three Youth and three Adult ball fields~~
- ~~• Nine Gym courts~~
- ~~• Eleven miles unpaved and thirteen miles of paved paths~~
- ~~• 10,500 square feet of indoor swimming pool~~
- ~~• Two Santo-size Community Centers and one small Neighborhood Center~~

~~The Parks Element contemplates all future park funding needs, both required and hoped for. It includes current maintenance and deferred maintenance from past funding shortfalls; replacement of aging facilities; upgrades needed to reduce maintenance costs; and new facilities expected of a vital and contemporary park system. The Parks and Recreation Department proposes a number of innovative funding strategies for the creation and maintenance of a park system the citizens of Medford have envisioned and need for their health and welfare.~~

Guidelines for Site Selection and Development of Parks

~~The following design guidelines apply to the acquisition and/or development of parks within each park classification. Each park classification includes a description of the park type, site selection and development guidelines, features to consider, and features to avoid:~~

Mini Parks

Mini Parks Description:

- ~~• The typical mini park user:
 - ~~○ Comes from within a quarter mile or half mile of the park.~~
 - ~~○ Arrives on foot or by bicycle.~~
 - ~~○ Visits the park on a short time basis.~~~~

Mini Parks Site Selection and Development Guidelines:

- ~~• Mini parks may be considered when they are privately developed and maintained, or in neighborhoods where there are no other viable options.~~
- ~~• Typical size is less than one (1) acre~~
- ~~• Access to the site should be provided via a local street with sidewalks.~~
- ~~• Mini parks fronting on arterial streets are discouraged.~~
- ~~• The site should have a minimum of 100-150 feet of street frontage.~~
- ~~• Parking Requirements: On street parking should be provided as street frontage allows.~~

Mini Parks Features and Amenities to Consider:

- ~~• General landscape improvements (including tree planting)~~

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- Children's playground or tot lot
- Path connecting park elements
- Picnic tables and/or small picnic shelter
- Interpretive signage

Mini Parks Features to Avoid:

- Indoor recreation facilities
- Active sports facilities

Neighborhood Parks

Neighborhood Parks Description:

- Neighborhood parks provide nearby residents with access to basic recreation opportunities.
- These parks are designed to enhance neighborhood identity, preserve or provide neighborhood open space, and improve the quality of life of nearby residents.
- They are designed for passive and unstructured activities.
- The typical neighborhood park user:
 - Comes from within a half mile of the park.
 - Arrives on foot or by bicycle.
 - Visits the park on a short time basis.

Neighborhood Parks Site Selection and Development Guidelines:

- Optimum size is three to five acres, depending upon the availability of land.
- At least 50% of site should be relatively level and usable, providing space for both active and passive uses.
- The site should have at least 200 feet of street frontage.
- Access to the site should be provided via local streets with sidewalks.
- Neighborhood parks fronting on arterial streets are discouraged.
- Parking Requirements: A minimum of three spaces per acre of usable active park area. Generally, if on-street parking is available, this guideline can be reduced by one car per 25 feet of street frontage. City code requirements may provide more specific parking requirements.
- Active and noise producing facilities, such as tennis and basketball courts, should be located at least 100 feet from nearby homes or property zoned for a residential use.

Neighborhood Parks Features and Amenities to Consider:

- Open turf area for unstructured play
- General landscape improvements (including tree planting)
- Children's playground
- Basketball (full or half) court
- Path connecting park elements
- Internal trail system
- Picnic tables
- Small picnic shelter
- Volleyball court
- Multi-use fields for practice

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- ~~Interpretive signage~~
- ~~Natural area/green space~~
- ~~Permanent restrooms~~
- ~~Community Garden~~

Neighborhood Parks Features to Avoid:

- ~~High maintenance horticultural or annual plantings, unless sponsored and maintained by a neighborhood or community group~~
- ~~Indoor recreation facilities~~
- ~~Wading pools and similar types of amenities that require staff supervision or highly specialized maintenance~~

Additional Considerations for School Parks:

- ~~The City may encourage joint acquisition and use of contiguous school and park sites for recreational purposes that are beneficial to both City and School agencies.~~
- ~~Because of jointly developed school/park sites, facilities will be a mixture of active and passive uses.~~
- ~~This could include:~~
 - ~~Paths systems~~
 - ~~Picnic areas/facilities~~
 - ~~Multi purpose paved court~~
 - ~~Small playground equipment~~
 - ~~Baseball and soccer fields~~
- ~~Because these sites are adjacent to school grounds, landscaping will address safety and security issues.~~
- ~~Facilities generating crowds and/or noise will be located in a manner so as not to disturb adjoining residential areas.~~
- ~~When sport fields utilized for league play are located on school grounds, the City should assist in maintaining these fields.~~

Community Parks

Community Parks Description:

- ~~Community Parks (CP) provide visitors with active and passive recreation opportunities.~~
- ~~These parks often accommodate large group activities and include major recreation facilities, such as sports fields.~~
- ~~Community Parks are designed to enhance neighborhood and community identity, preserve open space, and enhance the quality of life of community residents.~~
- ~~Typical community park users:~~
 - ~~Come from within one mile of the park.~~
 - ~~Arrive by auto, bus, bicycle or foot.~~
 - ~~Visit the park for one to three hours.~~

Community Parks Site Selection and Development Guidelines:

- ~~Average site size will be 15 acres with the optimum at 20 to 30 acres, but may exceed 50 acres.~~

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- ~~Due to their size requirements, the acquisition of CP park sites will occur far in advance of need. Park development should occur when the area it serves becomes 50% developed.~~
- ~~When possible CP sites will be located adjacent to middle or high schools.~~
- ~~At least two-thirds of the site will be available for active recreation use. Adequate buffers or natural open space areas will separate active recreation areas from nearby homes.~~
- ~~The site will be visible from adjoining streets and have a minimum of 400 feet of street frontage.~~
- ~~Parking Requirements: Dependent upon facilities provided. Generally, 50 off street spaces per ball field are required, plus five spaces per acre of active use areas. City code requirements may provide more specific parking requirements.~~
- ~~Permanent restrooms are appropriate for this type of park.~~
- ~~Access to the site will be provided via a collector or arterial street with sidewalks and bicycle lanes.~~

Community Parks Facilities and Amenities to Consider:

- ~~Tot and youth playground~~
- ~~Designated sports fields for baseball, softball, and soccer. Fields may be in a complex within the park~~
- ~~Open turf area for unstructured play~~
- ~~General landscape improvements~~
- ~~Looped path system~~
- ~~Internal trails system~~
- ~~Picnic shelters, including at least one capable of accommodating groups of 25 to 50 people~~
- ~~Permanent restrooms~~
- ~~Volleyball courts~~
- ~~Tennis courts~~
- ~~Basketball courts~~
- ~~Horseshoe pits~~
- ~~Other sporting facilities (lawn bowling, croquet, bocce court)~~
- ~~Community scale skate park~~
- ~~Water playground~~
- ~~Off leash dog area or designated dog park~~
- ~~Community gardens~~
- ~~Concessions or vendor space~~
- ~~Interpretive signage~~
- ~~Natural area/green space~~
- ~~Indoor recreation center or other indoor recreation space~~
- ~~Public art~~
- ~~Performance space, such as a stage area or band shell~~
- ~~Special facilities such as an indoor recreation center or swimming pool~~
- ~~Storage or maintenance buildings. If visible, these will be architecturally compatible with other park elements and any exterior work areas will be screened from view~~

Special Use Areas

Special Use Areas Description:

- ~~Special use areas are unique sites often occupied by a specialized facility.~~

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- ~~Some uses that fall into this category include waterfront parks, boat ramps, botanical gardens, memorials, community gardens, single purpose sites used for a particular field sport, or sites occupied by buildings.~~
- ~~Typical users of special use areas:~~
 - ~~May come from throughout the city or beyond (depends on use).~~
 - ~~Arrive by auto, bus, bicycle or foot.~~
 - ~~May visit the park for one hour to more than three hours (depends on use)~~

~~Special Use Areas Site Selection and Development Guidelines:~~

- ~~Siting criteria depend on the types of facilities proposed.~~
- ~~Prior to the development of any specialized recreation facility, such as a pool, recreation center, sports complex, etc., the City will prepare a detailed cost/benefit analysis and maintenance impact statement.~~
- ~~Size will depend upon the facilities to be provided.~~
- ~~Site should front on a public street.~~
- ~~Parking Requirements: Depends on facilities provided.~~

~~Special Use Areas Facilities and Amenities to Consider:~~

- ~~Facilities and amenities will depend on the proposed activities and site use.~~

Linear Parks

~~Linear Parks Description:~~

- ~~Linear parks are developed or landscaped areas and other lands that follow linear corridors such as railroad rights-of-way, creeks, canals, power lines, and other elongated features. This type of park usually contains path/trails, landscaped areas, viewpoints, and seating areas. Activities are generally passive in nature, such as walking, biking, wildlife watching, etc.~~
- ~~Typical linear park users:~~
 - ~~May come from throughout the city (depends on site).~~
 - ~~Arrive by auto, bus, bicycle, or foot.~~
 - ~~May visit the park for one (1) or more hours.~~

~~Linear Parks Site Selection and Development Guidelines:~~

- ~~Linear parks should generally follow continuous special feature strips, with a minimum corridor width of fifty (50) to seventy five (75) feet.~~
- ~~Due to the shape, configuration, and potential for user noise in linear parks, user impacts on adjoining neighbors will be considered. Fences, walls, or landscaping may be used to provide some privacy for neighbors, but the provision of these features will consider user safety.~~
- ~~Paved paths will be designed to accommodate maintenance and patrol vehicles.~~

~~Linear Parks Facilities and Amenities to Consider:~~

- ~~Paved paths~~
- ~~Trails~~
- ~~Landscaped areas~~
- ~~Maintained natural vegetation~~

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- ~~Picnic tables~~
- ~~Orientation and information signage~~
- ~~Trailhead or entry/ kiosk~~
- ~~Turf areas~~
- ~~Ornamental plantings~~
- ~~Fences, landscaping, or other features to control access near adjoining residential areas~~
- ~~Viewpoints~~
- ~~Seating areas~~
- ~~On street or off street parking at trailheads. Amount depends on facilities and anticipated use of the path/trails~~

~~Linear Parks Facilities to Avoid:~~

- ~~Active use areas (sport fields, paved courts, etc.)~~

~~Natural Open Space/Greenways~~

~~Natural Open Space/Greenways Description:~~

- ~~Natural open space/greenways are publicly owned or controlled natural resources that are managed for conservation, environmental education, and passive recreational use, such as walking and nature viewing. This type of land may include wetlands, steep hillsides, or other similar spaces.~~
- ~~Environmentally sensitive areas are considered open space and can include wildlife habitats, stream and creek corridors, or areas with unique and/or endangered plant species.~~
- ~~Typical open space/greenway users:~~
 - ~~Come from throughout the city.~~
 - ~~Arrive by auto, bus, bicycle or foot.~~
 - ~~Visit the park for one (1) or more hours.~~

~~Natural Open Space/Greenways Site Selection and Development Guidelines:~~

- ~~Site size will be based on natural resource needs. Acreage will be sufficient to preserve or protect the resource.~~
- ~~The City will consider alternative ways of preserving natural open space besides outright purchase, such as acquiring conservation easements, encouraging donations of land, land trades, etc.~~
- ~~Emphasis for acquisition will be on lands offering unique features or have the potential to be lost to development.~~
- ~~An analysis should be made to determine if unique qualities and conditions exist to warrant acquisition.~~
- ~~Development and site improvements should be kept to a minimum, with the natural environment, interpretive and educational features emphasized.~~
- ~~Natural open space areas should be managed and maintained for a sense of solitude, separation, or environmental protection.~~
- ~~Parking and site use should be limited to the numbers and types of visitors the area can accommodate while still retaining its natural character and the intended level of solitude.~~
- ~~Where feasible, public access and use of these areas should be encouraged, but environmentally sensitive areas should be protected from overuse.~~

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Natural Open Space/Greenways Facilities and Amenities to Consider:

- ~~Interpretive signage~~
- ~~Off street parking if a trail is located within the site~~
- ~~Picnic shelters~~
- ~~Picnic areas~~
- ~~Path and trail system~~
- ~~Trailhead or entry/ kiosk~~
- ~~Viewpoints or viewing blinds~~
- ~~Interpretive or educational facilities~~

Natural Open Space/Greenways Facilities and Amenities to Avoid:

- ~~Turf areas~~
- ~~Ornamental plantings~~
- ~~Active use areas~~

Recreation Path and Trails

Recreation Path and Trails Description:

- ~~Recreation path, as described here, provide off street bicycle and pedestrian links to parks, with recreation emphasized. These include paths within greenways and linear parks. Guidelines are not presented for on street bikeways or accessways intended mainly for transportation.~~
- ~~Typical trail and path users:
 - ~~May come from throughout the city (depends on site).~~
 - ~~Arrive by auto, bus, bicycle, or foot.~~~~

Recreation Path Site Selection:

- ~~Non motorized routes provide the following primary purposes: 1) recreation off street paths providing a recreation experience; or 2) non motorized transportation links which may be identified in the *Medford Transportation System Plan*; 3) on street bike lanes.~~
- ~~The city will seek to develop non motorized routes to provide linkages to parks, schools, and other destination points.~~
- ~~Recreation paths will be located outside street rights of ways, or will be separated by traffic lanes by a generous landscaped separation.~~
- ~~Where routes use street rights of way, the street should be designed to minimize potential conflicts between motorists and pedestrians and bicyclists.~~
- ~~Paths that are within street rights of way but separated will be designed, when possible, along continuous features, so that they do not pose hazards when crossing driveways and intersections.~~
- ~~If possible, path crossings by streets should occur at signalized intersections.~~
- ~~Paths may need to utilize street rights of way in order to complete a segment link.~~
- ~~Since paths are so difficult to provide after an area has been developed, advanced detailed path planning for developing areas is essential.~~
- ~~Developers should be encouraged to provide public paths through proposed developments, where such improvements would provide needed linkages between path/trail routes and access to public destinations.~~

Recreation Paths and Trails Facilities and Amenities to Consider:

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- ~~Staging areas for path/trail access~~
- ~~Picnic sites~~
- ~~Seating areas~~
- ~~Trailhead or entry/ kiosk~~
- ~~Interpretive signage~~
- ~~Orientation and information signage~~
- ~~Amenities should be site specific~~

Trail Guidelines:

- ~~Trail alignments should take into account soil conditions, steep slopes, surface drainage and other physical limitations that could increase construction and/or maintenance costs.~~
- ~~Trail alignments should avoid sensitive environmental areas such as wetlands, riparian vegetation, large trees, etc.~~
- ~~Trails should be planned, sized, and designed for non-motorized multiple uses, developed to the standard necessary to minimize potential user conflicts.~~
- ~~Centralized and effective staging areas should be provided for trail access. Trailheads should include parking, orientation and information, and any necessary specialized unloading features.~~
- ~~Trails should be looped and interconnected to provide a variety of trail lengths and destinations. They should link various parts of the community, as well as existing park sites.~~
- ~~Recreation trails should be interesting to the user and maximize the number and diversity of enjoyable viewing opportunities.~~
- ~~Trails should be located and designed to provide a diversity of challenges. Enhance accessibility wherever possible.~~
- ~~Linkages and trail location and orientation should encourage users to walk or bicycle to the trail, depending upon the expected and desired level of use.~~

Parks Conclusions

The following are conclusions about the provision of parks, open space and leisure services in Medford based on community input and technical analysis. ~~drawn from public involvement activities, a community needs assessment, and analysis of existing facilities and operations.~~ These conclusions provide a foundation for the Parks Goals, Policies, and Implementation Strategies.

1. Medford's population is growing ~~rapidly~~ and will continue to do so over the planning period of ~~201605~~ to ~~202530~~. This pPopulation increase and expanding cultural demographics are is the primary reasons for the increasing demands for parks and recreation services.
2. In the past, the City has shown great vision in acquiring and developing park and recreation facilities to meet the growing need. As Medford grows, new investments in existing and future parks will be needed to meet the needs of the community, support youth development, and provide a range of recreational options for its residents and visitors. ~~the City will need to meet existing financial challenges in order to build new parks, facilities, and paths/trails and adequately maintain current ones.~~
3. Medford is a ~~very active~~ growing community, home to many families with children as well as

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older adults. Population growth creates new demand for park and recreation services. An individual's demographic characteristics such as age, employment, and income play a role in recreational interests and participation. The recreation programs and facilities within the City need to adjust with higher measured recreation participation levels than the average of other Northwest cities surveyed. This level of participation would support an expansion of recreation programs and facilities to meet existing and future community needs.

4. The basic concept of the proposed park system is to assure that every neighborhood in Medford is served by a neighborhood or community park. Thirteen Medford will need to acquire nearly 45 acres of neighborhood parks and 91 acres of community parkland in the next ten years. ~~additional neighborhood parks and five community parks are needed to meet community needs in the years 2005-2030. Some of the facilities are not on the 2009-25 year Project List because the city will not support a park system development fee large enough to include all proposed park facilities.~~
5. Of all park and recreation services, the top three actions ranked as "very supportive" by respondents were to rehabilitate older parks, develop a new indoor recreation center/pool, and expand programming for youth under 18. ~~surveyed residents mostly want the City to upgrade existing parks, provide more sports fields, and develop a city-wide path/trail system.~~
6. The City of Medford is a significant provider of recreational programs in the region. Programs and services need to be expanded in nearly all areas, especially for youth, teens, adults, and seniors, to meet increasing community needs.
7. In order to remain the primary provider of recreational programs in the community, the Parks and Recreation Department needs to focus on youth, adult, and aquatics programming. In addition, emphasis needs to focus on community and special events, special needs participants, seniors, and arts and cultural programs. ~~To increase program participation, recreation programs could be expanded in several areas identified by survey respondents, including arts and crafts, cultural arts, concerts, special events, and family activities.~~
8. ~~Recreation programs are often subsidized by the City to keep programs affordable. According to the results of the survey, residents would like program subsidies to continue, particularly for youth and seniors. However, recreation programming must be more cost-effective.~~
9. ~~Future park and recreation services in Medford must reflect the needs of a changing population. Medford has an above average and increasing proportion of senior citizens.~~
- 10.8. ~~The City needs to replace the deteriorating swimming pools at Hawthorne Park and Jackson Park.~~ The Jackson Aquatic Center built in 1960 provides a wide variety of water activities but is nearing the end of its useful life cycle. The City should pursue a multi-use indoor facility that includes an aquatics component.
- 11.9. ~~While Prescott Park is valued as a natural area, community residents want park access improved, with overlooks/viewpoints and trailheads developed at the site.~~ The development of Prescott Park has been pending for several decades. Improvements include amenities such as trails for hiking, bicycling, and horseback riding, interpretive signs, and covered pavilions. Prescott Park has the potential to become an important asset to the City and region.

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- ~~12.10. Medford has several creek corridors that offer exceptional recreation and conservation opportunities. The City has a series of open space and greenway systems that need to be protected, expanded, and enhanced over time.~~
- ~~13.11. By the year 2030, Medford will need an additional 15 miles of paved paths and 11 miles of trails. A system of recreational trails, paths, and bikeways would provide a safe place for walking, biking, and non-motorized transportation. Based on a mileage per capita metric of 0.46 miles per 1,000 population, the City is deficient of over 4 miles of paved paths and 10 miles of unpaved park trails. Rather than continuing to use this measurement, the City will work toward improving path and trail connectivity between parks and major destinations as allowable.~~
- ~~14.12. City of Medford General Fund, grants, and donations are the primary sources of funding for improvements, maintenance, and the expansion of facilities in existing parks.~~
- ~~15. An increase in the use of concessionaires in the City's parks would generate needed revenue for the park and recreation system, while providing user support services and business opportunities.~~
- ~~16.13. Parks System Development Charges (SDCs) are an important source of funding for the acquisition, planning, and development of new parks and open space areas. The City will periodically update the methodology and rate structure, as appropriate, to be best positioned to obtain future acquisition and development financing from residential development. Parks SDCs need to be prioritized to secure new park properties and finance park or trail development consistent with the Leisure Services Plan. Since SDCs are paid by new residential development, the fees are meant to fund capacity enhancement projects. The City regularly updates its SDC methodology and increases the SDC rate for all housing units. SDC funds will be particularly important to fund new parkland in Southeast Medford, where the City is rapidly growing.~~

Parks Goals, Policies, and Implementation Strategies

~~The goals, planning policies, and implementation strategies listed below create a framework for the realization of the Parks Element and also will help measure its success.~~

SYSTEM GROWTH & STEWARDSHIP

Goal 1: To provide for a full range of recreational activities and opportunities to meet the needs of all residents of Medford.

Policy 1-A: The City of Medford shall use the Parks Element as a factual basis in the land use decision-making process.

Implementation 1-A (1): Coordinate with the Planning Department to implement the LSP as part of the Comprehensive Plan.

Policy 1-B: The City of Medford shall recognize the social and economic value of other providers in the City and nearby county, state, and national recreation resources that provide recreation for Medford residents, create tourist expenditures within the City of Medford, and attract businesses and industries to the City.

Implementation 1-B(1): Provide park and recreation programs that complement nearby county.

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state, and national recreation resources.

Implementation 1-B(2): Pursue partnerships as a key means for leveraging community resources and minimizing duplications of effort.

Policy 1-C: The City of Medford shall be a primary provider of recreation programs and services community-wide.

Implementation 1-C(1): Provide park and recreation facilities to support community programming needs.

Implementation 1-C(2): Provide program services to all ages, abilities, and economic and cultural backgrounds. ~~Expand the City's role as a primary provider of recreation programs and services and increase programming to meet changing demographics and growing community needs.~~

Implementation 1-C(3): Expand the City's role as a primary provider of recreation programs and services and increase programming to meet changing demographics and growing community needs. ~~Establish more revenue-generating programs to increase program funding to help fund or subsidize other programs and services.~~

Implementation 1-C(4): Monitor local and regional recreation trends to ensure community needs and interests are addressed by available programming. ~~Provide a new water park to generate additional revenue and to meet a growing, community-wide demand for aquatic services.~~

Implementation 1-C(5): Maintain the aquatic facilities at Jackson Pool until it is renovated or replaced. ~~In the long-term, consider an indoor recreation center/aquatic facility to help meet future community needs for swimming, gymnasium, and programming space.~~

Implementation 1-C(6): Pursue opportunities to develop an indoor aquatic facility and recreation center, potentially in partnership with other organizations or agencies. Consider financial feasibility and long term operations needs prior to design or construction of any new facility. ~~Consider other financing approaches, including a general obligation bond, to fund the development of additional facilities and significant park upgrades.~~

Policy 1-D: The City of Medford shall provide and acquire parklands necessary to adequately serve the City's current and future population based on adopted service levels. ~~park land and facilities conveniently located and economically accessible to all members of the community.~~

Implementation 1-D(1): Provide parks to meet the service standard of 1.56 acres of developed neighborhood parks per 1,000 persons and 2.75 acres of developed community parks per 1,000 persons. ~~Locate parks and facilities in underserved areas.~~

Implementation 1-D(2): Strive to provide equitable park distribution and prioritize park acquisition in underserved areas where households are more than ½-mile from a developed park. ~~Provide program services to all ages, abilities, and economic and cultural backgrounds.~~

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Implementation 1-D(3): Seek parkland identified within this plan, in both developed and undeveloped areas, to secure suitable locations for new parks to serve future residents.

Evaluate opportunities to acquire lands declared surplus by other public agencies for park and recreation use if such land is located in an area of need or can expand an existing City property and can be developed with site amenities listed in the Guidelines for Site Selection and Development (see Appendix E).

~~Offer programs at a range of costs (free, low-cost, full-price) and implement other strategies to ensure program affordability, while meeting city financial goals.~~

Implementation 1-D(4): Prioritize park acquisition in areas of the City facing population growth and residential and commercial development.

~~Implement the *Southeast Medford Area Plan Map* with regards to greenway paths/trails, parks, and recreation facilities.~~

Implementation 1-D (5): Implement the Southeast Medford Area Plan Map with regard to greenway paths/trails, parks, and recreation facilities.

Implementation 1-D (6): Evaluate opportunities to acquire lands declared surplus by other public agencies for park and recreation use if such land is located in an area of need or can expand an existing City property.

Policy 1-E: Use traditional and new funding sources to adequately and cost-effectively maintain and enhance the quality of Medford's park and recreation system.

Implementation 1-E (1): Maintain and seek to expand general fund support of parks, recreation programs and maintenance.

Implementation 1-E (2): Offer programs at a range of costs (free, low-cost, full price) and implement other strategies to ensure program affordability, while meeting city financial goals.

Implementation 1-E (3): Maintain and enhance program scholarships and other mechanisms to support recreation access for low-income residents.

Implementation 1-E (4): Pursue alternative funding options and dedicated revenues for the acquisition and development of parks and facilities, such as through private donations, sponsorships, partnerships and grant sources, as well as the retention and reallocation of existing revenue sources currently used for debt service.

Implementation 1-E (5): Consider the use of voter-approved initiatives, such as bonds and levies, to finance the development of additional facilities and significant park upgrades.

Implementation 1-E (6): Examine the feasibility for and potential benefits of a Park & Recreation District to fund and manage certain park and recreation facilities, such as an indoor aquatics facility.

Implementation 1-E (7): Review, and if necessary update, use and rental fees on a periodic

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basis to reflect market rates.

Implementation 1-E (8): Establish more revenue-generating programs to increase program funding to subsidize other programs and services.

Implementation 1-E (9): Consider developing additional rental facilities, such as reservable picnic areas, wedding sites and meeting rooms, to meet community needs and generate additional operating resources.

Implementation 1-E (10): Facilitate compatible, revenue-producing concession facilities and services within parks that enhance visitor use and enjoyment of the City's parks.

NATURAL AREAS MANAGEMENT

Goal 2: To preserve natural resources in the Medford Urban Growth Boundary that provide open space or have unique recreational potential, encouraging development with parks and recreation facilities if appropriate.

Policy 2-A: The City of Medford shall seek to preserve significant natural areas to meet outdoor recreation needs, provide opportunities for residents to connect with nature, and meet habitat protection needs. ~~emphasize acquiring park land having natural features or resources that need protection or are of significant interest to the public.~~

Implementation 2-A(1): ~~The City should seek to acquire riparian corridors where feasible to protect these natural resources and to offer potential sites for path/trail development.~~ Develop a long-range public open space plan in partnership with the Planning and Public Works Departments and RVCOG that provides for an interconnected system of creek corridors, greenways, wetlands, and other significant natural resource areas.

Implementation 2-A(2): Develop and implement ~~effective~~ natural resource management plans for significant natural areas within parks and other City-owned or controlled lands, such as oak savanna, riparian areas, and wetlands, to identify management priorities and to guide acquisition, development, and restoration decisions.

Policy 2-B: The City of Medford shall give special consideration to the Bear Creek corridor in order to protect this dynamic natural and recreational resource for the enjoyment of present and future generations.

Implementation 2-B(1): Maintain and expand partnerships for the ongoing maintenance and restoration of the Bear Creek Greenway. ~~Directly and/or cooperatively acquire and plan appropriate park and recreation sites and public access along the Bear Creek corridor.~~

Policy 2-C: The City of Medford shall give special consideration to Prescott Park in order to protect this dynamic natural and recreational resource and most significant scenic view for the enjoyment of present and future generations.

Implementation 2-C(1): Follow the recommendations of, and periodically update, the *Prescott Park Management Plan* ~~and regularly update the Plan.~~

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Implementation 2-C(2): Pursue land additions or parcel reconfigurations for Prescott Park, ~~as when~~ opportunities become available, to enhance access or site development opportunities.

Implementation 2-C(3): Pursue inclusion of Prescott Park in the Medford Urban Growth Boundary for eventual inclusion within the City of Medford.

Implementation 2-C(4): ~~Increase~~ Enhance access and public enjoyment of Prescott Park by ~~developing~~ implementing the Prescott Trails Plan and developing appropriate facilities to enhance appreciation of natural resources, the outdoors, and Medford's unique environment. ~~Until included within the Medford Urban Growth Boundary, improvements within Prescott Park must comply with Jackson County land use regulations, as well as state rules and statutes, which may limit the extent of improvements on land outside of UGBs.~~

BICYCLE & PEDESTRIAN OPPORTUNITIES

Goal 3: To provide recreational opportunities within parks and connectivity to parks through a path and trail system ~~an interconnected park and recreation system~~ that is well integrated with the community.

Policy 3-A: The City of Medford shall seek to develop a network of shared-use pedestrian and bicycle paths and trails to promote their important recreational uses within parks and enable connectivity between parks, neighborhoods, public amenities, and major pedestrian and bicycle routes identified in the Transportation System Plan and Southeast Circulation Plan. ~~major intra-community system of paths to provide linkages between parks, neighborhoods, community facilities, schools, and open space sites.~~

Implementation 3-A(1): ~~Seek links to other transportation methods, such as developing parks along bus routes or encouraging bus transit to serve the parks.~~ Coordinate recreational path and trail system planning and development with the City's and Jackson County's Transportation System Plan and Southeast Plan to provide a comprehensive pedestrian and bicycle network.

Implementation 3-A(2): ~~Develop a detailed path and trails plan to recommend routes for meeting future community needs for an additional fifteen miles of paths and 11 miles of trails by the year 2030.~~ Integrate the siting of proposed path and trail segments into the development review process; require development projects along designated routes to be designed to incorporate path and trail segments as part of the project.

Implementation 3-A (3): Facilitate and provide for a high degree of pedestrian and bicycle connectivity from major shared-use paths, such as the Bear Creek Greenway, to parks and other destinations.

Implementation 3-A (4): Develop the Southeast Area greenway paths shown in the adopted SE Area Neighborhood Circulation Plan Map.

Implementation 3-A (5): Implement the Prescott Park Trails Plan in phases as funding and park infrastructure are available.

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Implementation 3-A (6): Partner with local utilities, public agencies and private landowners to secure easements and access to open space for path and trail connections.

Implementation 3-A (7): Implement standards for route and wayfinding signage and associated facilities and informational maps and materials identifying existing and planned path and trail facilities.

Implementation 3-A (8): Provide trailhead accommodations, as appropriate, to include parking, signage, restrooms and other amenities.

~~Policy 3-B: The City of Medford shall seek to acquire natural and other corridors to link parks and open space throughout the community.~~

~~Implementation 3-B(1): Develop a long range public open space plan that provides for an interconnected system of creek corridors, greenways, wetlands, and other significant natural resource areas.~~

~~Implementation 3-B (2): Acquire missing links in corridors and parcels that are contiguous to other public open spaces to provide maximum benefits for recreation and wildlife.~~

MANAGEMENT & MAINTENANCE

Goal 4: To coordinate park and recreation planning, acquisition, maintenance, and development in the City of Medford to serve a broad spectrum of citizen and institutional interests.

Policy 4-A: The City of Medford shall design and maintain parks and recreation facilities in a safe, attractive manner, to serve as positive amenities for the community and the neighborhoods in which they are located.

Implementation 4-A(1): ~~Adopt and~~ Utilize and periodically update the *Guidelines for Site Selection and Development* ~~in~~for the acquisition and/or development of parks within each park classification and include the review of development guidelines and site plans by the Parks Maintenance Division.

Implementation 4-A(2): Implement a consistent park signage program for use throughout the system and consider installation of updated standards for park entry signs and specialized signage such as mileage markers along trails and pathways. ~~where needed.~~

Implementation 4-A (3): Consider design elements that enable parks to be used year-round, including picnic shelters and playground shade structures.

Implementation 4-A (4): Design, improve and maintain parks and facilities in a manner that conserves energy and other resources and maximize efficient maintenance practices.

Implementation 4-A (5): Design and maintain parks and facilities to offer universal accessibility for residents of all physical capabilities, skill levels and age.

Implementation 4-A (6): Incorporate sustainable development and low impact design practices

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into the design, planning and rehabilitation of new and existing facilities.

Implementation 4-A (7): Examine opportunities to locate a Parks maintenance facility east of Interstate 5 to facilitate enhanced efficiency in the maintenance of east Medford sites and facilities.

Policy 4-B: The City of Medford shall evaluate and design park and recreation facilities to minimize operation and maintenance costs.

Implementation 4-B(1): Review and consider the ~~include~~ projected maintenance and operations costs when developing new facilities or redeveloping existing facilities prior to initiating design development. ~~in design proposals for parks and recreation facilities.~~

Implementation 4-B(2): Consider maintenance costs, including transportation and loading/unloading of equipment, before acquiring park stand-alone or isolated park sites smaller than one acre.

Implementation 4-B (3): Seek and implement opportunities for acquisition and use of contiguous school and park sites for recreational purposes beneficial to both City and the School District.

Policy 4-C: The City of Medford shall actively manage its park and recreation assets through a regular schedule of maintenance and capital renewal efforts to optimize use, reduce unplanned reactive maintenance and protect public investment. ~~define and standardize maintenance procedures, including cost estimates for maintaining Medford parks, recreation facilities, and beautification areas.~~

Implementation 4-C(1): Allocate an average minimum maintenance cost per acre annually for maintenance of each park type and seek to increase maintenance funds using this guideline as new amenities or facilities ~~-parks~~ are added to the City's system.

Implementation 4-C(2): ~~Develop an Integrated Pest Management Plan to define use of herbicides and pesticides on City owned or controlled properties.~~ Update the Maintenance and Operations Management Standards Plan, as necessary, to ensure parks, facilities and equipment are maintained in a manner that keeps them safe and attractive: repair or remove damaged components immediately upon identification.

Implementation 4-C(3): ~~Develop a parks maintenance management plan that defines maintenance levels, performance standards, and budget allocation.~~ Maintain a standardized and systematic inventory and assessment of park system infrastructure, including quantity, location, condition and expected useful life.

Implementation 4-C (4): Implement and finance the upgrades for ADA compliance as noted in the ADA Transition Plan to ensure a safe, secure and accessible park infrastructure.

Implementation 4-C (5): Consider creation of a Natural Resources Division to focus efforts toward natural area management and restoration, and urban forestry related needs.

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Implementation 4-C (6): Update the Natural Resource Management Plans and Procedures manual, as necessary to address Integrated Pest Management and other best practices for site management of City-owned or controlled properties.

~~Policy 4-D: The City of Medford shall encourage joint acquisition and use of contiguous school and park sites for recreational purposes that are beneficial to both City and School agencies.~~

~~Policy 4-E: The City of Medford shall work with partner agencies, especially schools, to help meet demand for indoor and outdoor sports facilities.~~

~~Implementation 4-E(1): Develop and maintain inventories and evaluations of shared sports facilities.~~

~~Implementation 4-E(2): Continue partnering with the school districts to ensure community access to school gymnasiums and other sports facilities.~~

~~Policy 4-F: The City of Medford shall allow compatible, revenue-producing concession facilities and services within parks that enhance visitor use and enjoyment of the City's parks.~~

~~Policy 4-G: The City of Medford shall have a parks planning process that implements the park uses described herein.~~

~~Implementation 4-G(1): Investigate development of objective land use and siting review criteria.~~

PARTNERSHIPS

Goal 5: To enhance and support partnerships that leverage Medford's human, social and physical capital to improve recreation opportunities for residents.

Policy 5-A: The City of Medford shall continue to pursue and maintain effective partnerships with neighboring cities, Jackson County, Medford School District, other governmental agencies, and private and non-profit organizations to plan and provide recreation activities and facilities and maximize opportunities for public recreation.

Implementation 5-A (1): Develop and maintain inventories and evaluations of shared athletics and recreation facilities.

Implementation 5-A (2): Pursue or enhance partnerships with the Medford School District to maximize public use of recreation facilities on school sites, especially athletic fields and gymnasiums, and to utilize school grounds as parks in areas where parkland distribution deficiencies exist.

Implementation 5-A (3): Attempt to partner with Jackson County, the State of Oregon and others to provide regional facilities.

Implementation 5-A (4): Coordinate with public, private and non-profit providers, such as organized sports leagues, to plan for projects to enhance and maintain athletic field facilities.

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Implementation 5-A (5): Explore partnership opportunities with local hospitals and businesses to develop, fund, and promote park, recreation and wellness activities, programs and amenities.

Implementation 5-A (6): Encourage collaboration among local art, business, education, tourism, city beautification and recreation interests.

Policy 5-B: The City of Medford shall partner with public safety agencies in order to address community perceptions regarding safety in parks and greenways.

Implementation 5-B (1): Coordinate with the Medford Police Department to develop a volunteer program that recruits and trains citizens to serve as park hosts.

AESTHETICS

Goal 56: To maintain and enhance community livability in Medford by promoting the aesthetic quality of the urban environment.

Policy 56-A: The City of Medford shall recognize trees as valuable amenities that contribute to the livability of our city through the proper selection, placement, preservation and maintenance of trees along our streets, in open spaces, and in parks.

~~Implementation 5-A(1): Develop a tree protection ordinance for adoption by the City Council.~~

~~Implementation 5-A(2): Develop a street tree ordinance for adoption by the City Council.~~

Implementation 5-A(31): Provide a mechanism for a tree recognition program.

Policy 56-B: The City of Medford shall require the provision and continued maintenance of appropriate landscaping in conjunction with new development.

Implementation 6-B (1): Consider and advocate for a revision to the Medford Municipal Code to promote sustainable and cost effective maintenance and management of right-of-way landscape areas.

Policy 56-C: The City of Medford shall encourage the establishment of public art in parks, on public grounds, and in public buildings.

Implementation 56-C(1): Investigate mechanisms for displaying art in public places.

ENGAGEMENT & COMMUNICATIONS

Goal 7: To encourage and support active and on-going participation by diverse community members in the planning and decision-making for parks and recreation.

Policy 7-A: The City of Medford shall endeavor to involve residents and stakeholders in park and recreation facility planning, design and recreation program development to solicit community input, facilitate project understanding and build public support.

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Implementation 7-A (1): Use a diverse set of communication and informational materials and employ innovative strategies to improve community involvement in park and recreation planning efforts, including in-person meetings and events, signage, print programs and materials, and electronic communication (e.g. website, newsletters, social media)

Implementation 7-A (2): Promote and distribute information about recreational activities, education programs, community services and events, and volunteer activities sponsored by the City and partner agencies and organizations.

Implementation 7-A (3): Identify under-represented segments of the community and work to improve their capacity to participate in park planning and decision-making.

Implementation 7-A (4): Support the Parks & Recreation Commission as the forum for public discussion of parks and recreation issues.

Implementation 7-A (5): Survey, review and publish local park and recreation preferences, needs and trends at least once every five years.

Implementation 7-A (6): Collaborate with the City's economic development staff and regional tourism staff to promote Medford's events, parks, trails and facilities.

Capital Facilities Plan

The Capital Facilities Plan (CFP) sequences the strategic actions to guide the implementation of this Plan. It assigns proposed timeframes and estimated costs for specific projects grouped by project type. The following CFP lists all park and facility projects considered for the next ten years. The majority of these projects entail the acquisition and development of parks, renovating or enhancing existing facilities and expanding path and trail corridors.

The following CFP project list provides brief project descriptions and priority ranking to assist staff in preparing future capital budget requests. Corresponding maps are provided to illustrate the general locations of CFP projects.

Figure 7. 2016-2025 Capital Facilities Plan (Projects eligible for SDC funding)

Figure 8. 2016-2025 Capital Facilities Plan (Projects not eligible for SDC funding)

Map 1. Proposed Parks and Acquisition Target Areas

Map 2. Proposed Trails and Paths

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Figure 7

Medford Leisure Services Plan Update (2016)
 2016 - 2025 CAPITAL FACILITIES PLAN
 Projects Eligible for SDC Funding (In Whole or In Part)

Project #	Proposed 2015-2025 Projects	Type	2017 FUNDING		2018 FUNDING		2019 FUNDING		2020 FUNDING		2021 FUNDING		10-yr Total	Abbreviated Project Descriptions/Proposed Street Names	
			2017/18	2018/19	2019/20	2020/21	2021/22	2022/23	2023/24	2024/25	2025/26	2026/27			2027/28
Park Enhancements & Development														\$ 10,744,000	
	Clatsop Riverway Park Expansion & Upgrades	D					\$ 2,100,000						\$ 2,100,000	Master plan improvements and expansion, including trail and street improvements	
	Oregon Hills Park, Phase II	D	\$ 100,000										\$ 100,000	Phase II improvements, storm control, maintenance, drainage, and other improvements	
	Orinby Park Development	D	\$ 200,000									\$ 5,900,000	\$ 6,100,000	Phase II improvements, storm control, maintenance, drainage, and other improvements	
	Costa Mesa Park Development	D	\$ 1,400,000										\$ 1,400,000	Park development (see MP) with playground, parking, restroom, picnic shelter, shade structure, and other amenities	
	Home of Schaefer Park	D					\$ 922,000	\$ 922,000					\$ 1,844,000	Restroom, renovated sports court, playground, and other amenities	
	Milvay Park Development	D			\$ 1,100,000								\$ 1,100,000	Parking, pathways, storm drainage, restroom, water play area, bicycle racks, and other amenities	
	Longview Park Development	D								\$ 200,000			\$ 200,000	Park development, community garden, and other amenities	
Parks & Trails														\$ 8,961,832	
	Prescott Park Trail Development	D	\$ -		\$ 1,750,000								\$ 1,750,000	Internal development (see MP)	
	SE Area Plan - Jason Creek Corridor	A/D	\$ -				\$ 1,190,000						\$ 1,190,000	Internal development (see MP)	
	SE Area Plan - Tributary to Medford Canal	A/D	\$ -					\$ 1,572,000					\$ 1,572,000	Internal development (see MP)	
	SE Area Plan Parks & Trails	A/D	\$ -						\$ 2,000,000	\$ 2,271,832			\$ 4,271,832	Parks and trails consistent with SE Area Plan	
Future Acquisitions														\$ 15,106,583	
1-1	Neighborhood Park - N Medford	A	\$ 1,625,000										\$ 1,625,000	Parcels acquisition - North Medford, south of street (1 acre)	
1-2	Neighborhood Park - SE Medford	A	\$ 1,020,000										\$ 1,020,000	Parcels acquisition - Southeast Medford, south of street (1 acre)	
1-3	Community Park - SE Medford	A	\$ 4,875,000										\$ 4,875,000	Parcels acquisition - Southeast Medford, north of street (1 acre)	
1-4	Community Park - W Medford	A		\$ 2,327,000									\$ 2,327,000	Parcels acquisition - West Medford, north of street (1 acre)	
1-5	Neighborhood Park - E Medford	A			\$ 741,935								\$ 741,935	Parcels acquisition - East Medford, north of street (1 acre)	
1-6	Neighborhood Park - SE Medford	A				\$ 1,078,647							\$ 1,078,647	Parcels acquisition - Southeast Medford, north of street (1 acre)	
1-7	Neighborhood Park - SW Medford	A					\$ 1,352,000						\$ 1,352,000	Parcels acquisition - Southwest Medford, north of street (1 acre)	
1-8	Neighborhood Park - SW Medford	A						\$ 1,352,000					\$ 1,352,000	Parcels acquisition - Southwest Medford, north of street (1 acre)	
1-9	Neighborhood Park - SE Medford	A							\$ 750,000				\$ 750,000	Parcels acquisition - Southeast Medford, north of street (1 acre)	
Facilities														\$ 10,000,000	
	Mud Lake Recreation & Aquatics Center	D	\$ 9,700,000	\$ 300,000	\$ 0,000,000								\$ 10,000,000		
Totals per year:			\$ 1,915,000	\$ 16,685,000	\$ 34,170,000	\$ 741,935	\$ 5,486,647	\$ 3,842,000	\$ 3,558,000	\$ 3,021,832	\$ -	\$ 3,500,000	\$ -	\$ 52,892,414	

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Figure 8

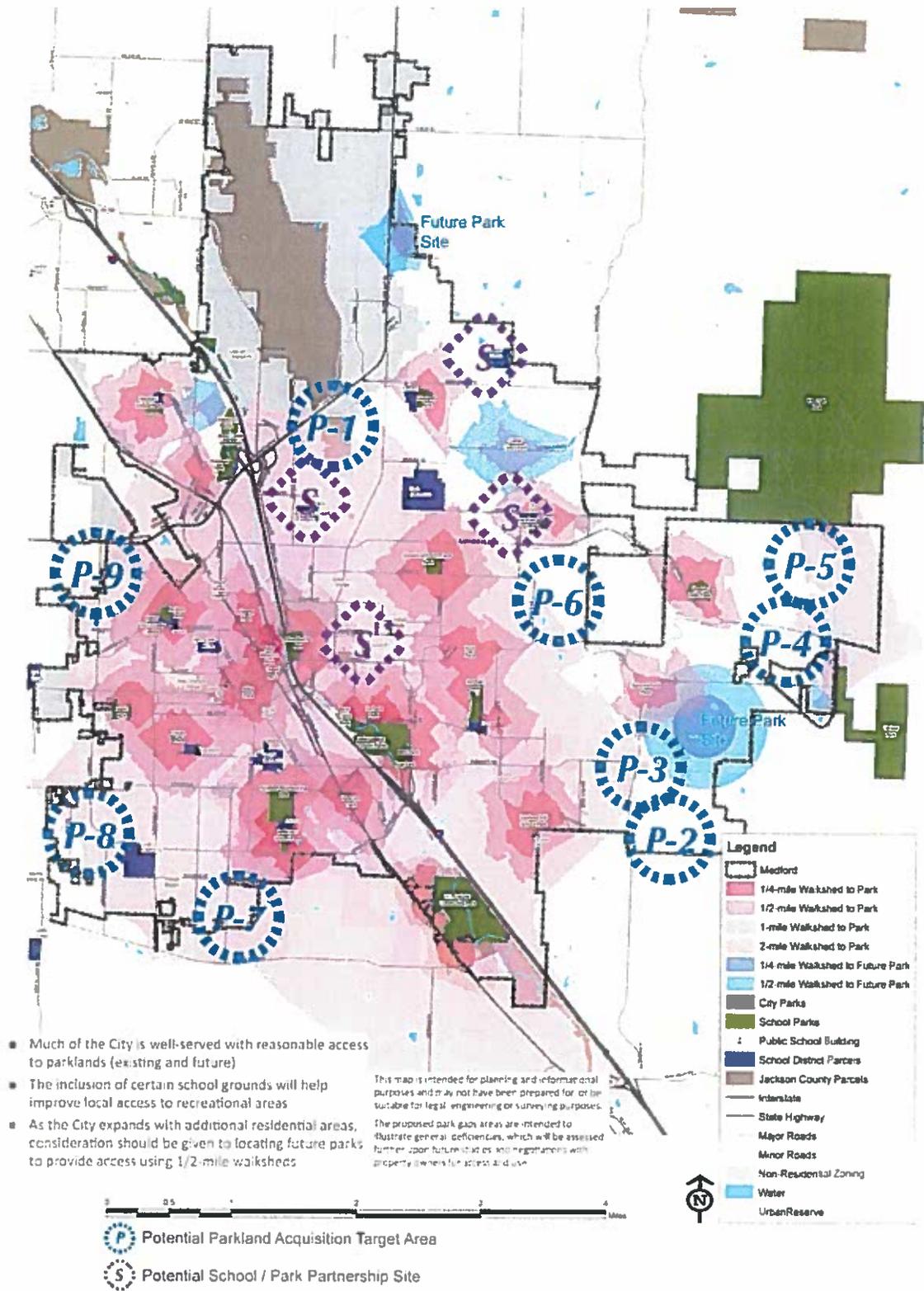
Medford Leisure Services Plan Update (2016)

2016 - 2025 CAPITAL FACILITIES PLAN

Projects Not Eligible for SOC Funding

Project #	Proposed 2015-2025 Projects	Type	2017-18 BIENNIAL		2019-21 BIENNIAL		2021-23 BIENNIAL		2023-25 BIENNIAL		2025-27 BIENNIAL		10-yr Total	Abbreviated Project Descriptions/Potential Grant Sources	
			2017/18	2018/19	2019/20	2020/21	2021/22	2022/23	2023/24	2024/25	2025/26	2026/27			2027/28
Park Enhancements & Development													\$ 7,390,250		
	Restroom Replacement Program	R	\$ 300,000		\$ 80,000		\$ 100,000		\$ 80,000		\$ 80,000		\$ 640,000	Replace restrooms @ Fitch or Mainwaring, Holmes, Bear Creek, Aki, and Union Parks	
	Master Plan Updates	D	\$ 30,000		\$ 30,000		\$ 30,000						\$ 90,000	Update master plans for Jackson, Holmes and Bear Creek Parks	
	U.S. Cellular Community Park Turf Replacement	R	\$ 250,000	\$ 250,000	\$ 40,000	\$ 40,000	\$ 250,000	\$ 250,000	\$ 40,000	\$ 40,000	\$ 250,000	\$ 2,500,000	\$ 4,000,000	Accelerates replacement for artificial turf fields	
	Bear Creek Park Renovations	R			\$ 250,000	\$ 450,000							\$ 700,000	Add formal picnic shelter, improve circulation, restrooms, lighting, shade trees, & storage, & better trail surfacing and playground replacement	
	Safety Improvements, Upgrades and Renovations	R	\$ 150,000	\$ 150,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 1,200,000	Add and upgrade lighting, path repairs, irrigation systems, shelter repairs and parking lot asphalt repairs	
	Wayfinding & Signage Program	R	\$ 12,500	\$ 12,500	\$ 65,000	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 130,000	Unified system for graphics & materials of Park ID and wayfinding signs for parks, trails & special use facilities	
	ACA Renovations & Upgrades	R	\$ 9,250	\$ 159,500	\$ 48,000	\$ 150,000	\$ 122,500	\$ 100,000	\$ 40,500	\$ 41,500	\$ -	\$ -	\$ 690,250	Targeted ACA shelter renovations and upgrades based on ACA transition plan	
Other Capital Enhancements													\$ 150,000		
	Hillier Wall Repair	R	\$ 150,000										\$ 150,000		
Totals per year:			\$ 921,750	\$ 591,000	\$ 611,000	\$ 742,000	\$ 602,500	\$ 458,000	\$ 260,500	\$ 181,500	\$ 430,000	\$ 2,600,000	\$ 140,000	\$ 7,540,250	

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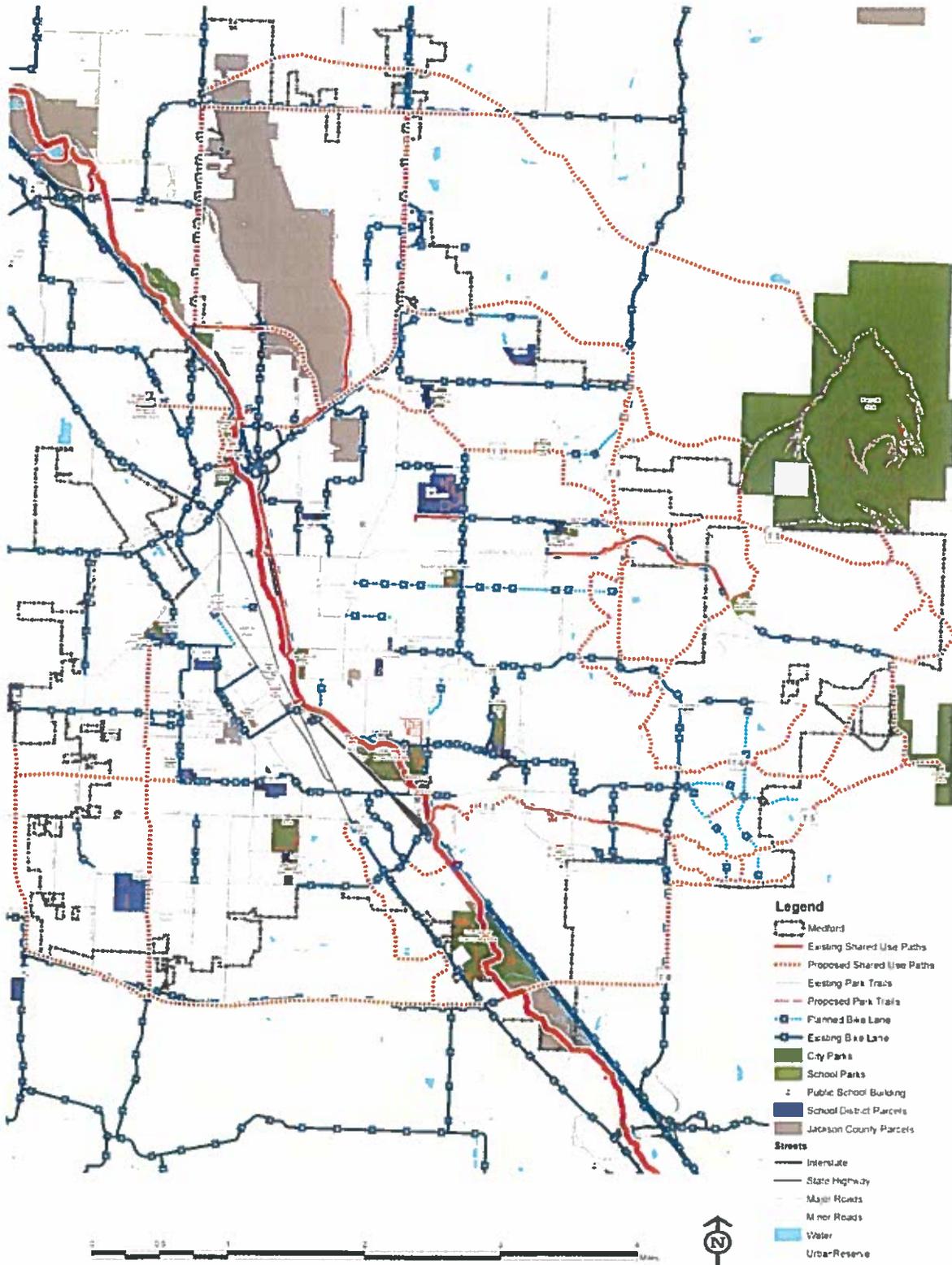


- Much of the City is well-served with reasonable access to parklands (existing and future)
- The inclusion of certain school grounds will help improve local access to recreational areas
- As the City expands with additional residential areas, consideration should be given to locating future parks to provide access using 1/2-mile walksheds

This map is intended for planning and informational purposes and may not have been prepared for or be suitable for legal, engineering or surveying purposes. The proposed parkland areas are intended to illustrate general deficiencies, which will be assessed further upon future studies and negotiations with property owners for access and use.

Map I: Proposed Parkland Acquisition Target Areas

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Map 2: Proposed Trails & Paths

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Implementation Tools

The recommendations for park and recreation services will trigger the need for funding beyond current allocations and for additional staffing, operations and maintenance responsibilities. Additional resources will be needed to leverage, supplement and support the implementation of proposed policies, programs and projects. The following implementation strategies are presented to offer near-term direction to realize these projects. Given that the operating and capital budgets for the Department are limited, the implementation measures identified below look primarily to non-General Fund options.

Partner Coordination & Collaboration

Internal coordination with the Public Works and Planning departments can increase the potential of discrete actions toward the implementation of the proposed trail and path network, which relies heavily on street right-of-way enhancements, and in the review of development applications with consideration toward potential parkland acquisition areas, planned path corridors and the need for easement or set-aside requests. However, to more fully expand the extent of the park system and recreation programs, additional partnerships and collaborations should be sought.

Continued coordination with local school districts and private schools will advance a number of projects in which resources can be leveraged to the benefit of the community. The City should explore options with the Medford School District for joint financing and shared use of a new multi-use recreation and aquatic center that can serve the needs of both organizations.

As an active lifestyles community, Medford should explore partnership opportunities with regional health care providers and services, such as Asante, Providence and the Jackson County Health & Human Services Department, to promote wellness activities, healthy living and communications about the benefits of parks and recreation. For example, this group could more directly cross-market services and help expand communications about local wellness options, and they could sponsor a series of organized trail walks throughout Medford as a means to expand public awareness of local trail opportunities and encourage residents to stay fit. Other communities in the Pacific Northwest have been successful with funding requests to regional hospitals for the development and printing of community walking guides that highlight the health benefits of walking and include trail system maps and descriptions.

Volunteer & Community-based Action

Volunteers and community groups already contribute to the improvement of park and recreation services in Medford. Volunteer projects include wildlife habitat enhancement, invasive plant removal and tree planting, among others. Medford should maintain and update a revolving list of potential small works or volunteer-appropriate projects for the website, while also reaching out to the high schools to encourage student projects. While supporting organized groups and community-minded individuals continues to add value to the Medford parks and recreation system, volunteer coordination requires a substantial amount of staff time, and additional resources are necessary to enable a volunteer coordinator position to more fully take advantage of the community's willingness to support park and recreation efforts.

Local Funding

According to the City budget, Medford maintains reserve debt capacity for councilmanic bonds and voter approved debt. Although past attempts failed to secure voter approval for a new aquatic facility, the City should continue to examine options for a new multi-use recreation and aquatic center. Based on the community feedback conducted as part of the 2016 LSP in support of a new facility, the development of a new recreation center warrants a review of financing alternatives and debt implications, along with polling of voter support for such a project. Additionally, the Department should seek to re-use existing bond repayment funds for a reallocation toward increased staff support or as

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leveraged resources toward a new recreation and aquatic center. Also, the continued collection of the Parks Utility Fee, Transient Lodging Tax and Car Rental Tax are critical to the Department's continued successful operations of its programs and facilities.

System Development Charges

Park System Development Charges (SDCs) are imposed on new development to meet the increased demand for parks resulting from the new growth. SDCs can only be used for parkland acquisition, planning and/or development. They cannot be used for operations and maintenance of parks and facilities. The City of Medford currently assesses Parks SDCs, but the City should periodically update the methodology and rate structure, as appropriate, to be best positioned to obtain future acquisition and development financing from residential development. The City should prioritize the usage of Parks SDCs to secure new park properties and finance park or path/trail development consistent with the priorities within this Plan.

Grants & Appropriations

Several state and federal grant programs are available on a competitive basis, including Oregon State Parks, LWCF and MAP-21. Pursuing grants is not a panacea for park system funding, since grants are both competitive and often require a significant percentage of local funds to match the request to the granting agency, which depending on the grant program can be as much as 50% of the total project budget. Medford should continue to leverage its local resources to the greatest extent by pursuing grants independently and in cooperation with other local partners. Appropriations from state or federal sources, though rare, can supplement projects with partial funding. State and federal funding allocations are particularly relevant on regional transportation projects, and the likelihood for appropriations could be increased if multiple partners are collaborating on projects.

Parkland Donations & Dedications

Parkland donations from private individuals or conservation organizations could occur to complement the acquisition of park and open space lands across the City and UGB. Gift deeds or bequests from philanthropic-minded landowners could allow for lands to come into City ownership upon the death of the owner or as a tax-deductible charitable donation. Parkland dedication by a developer could occur in exchange for Park SDCs or as part of a planned development where public open space is a key design for the layout and marketing of a new residential project. Any potential dedication must be vetted by the Department to ensure that such land is located in an area of need or can expand an existing City property and can be developed with site amenities listed in the Department's Guidelines for Site Selection and Development.

Public-Private Partnerships

Public-private partnerships are increasingly necessary for local agencies to leverage their limited resources in providing park and recreation services to the community. Corporate sponsorships, health organization grants, conservation stewardship programs and non-profit organizations are just a few examples of partnerships where collaboration provides value to both partners. The City has existing partners and should continue to explore additional and expanded partnerships to help implement these Plan recommendations.

Park & Recreation District

Another approach to financing park, recreation and path/trail needs is through the formation of a special

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district. Municipalities across Oregon have favored the creation of Park and Recreation Districts (PRD) to meet the recreational needs of residents, while also being sensitive to the set of demands placed on general purpose property tax funds. Bend and Willamalane are two examples of successful PRDs in Oregon. The Oregon Revised Statutes (Chapter 266) detail the formation and operation of such a district. Upon formation, the district would be managed by an elected board and have the authority to levy taxes, incur debt and issue revenue or general obligation bonds.

In particular, a PRD may be a viable option to help finance the construction and operation of a new multi-use recreation and aquatic center. As a regional facility, the PRD boundary could be enlarged to encompass nearby cities to help spread costs. A feasibility study should be conducted to explore the potential, financial viability and voter support for a PRD.

Other Implementation Tools

Appendix H of the 2016 Leisure Service Plan identifies other implementation tools, such as grants and acquisition tactics that the City could utilize to further the implementation of the projects noted in the CFP.

Works Cited

~~Following is a list of documents that are referred to within this Parks Element. They are listed in the order that they appear in the Parks Element. These documents are available at the City of Medford.~~

- ~~1. Joint Powers Agreement with Jackson County Regarding Maintenance of the Bear Creek Greenway Path within the City's Urban Growth Boundary~~
- ~~2. Bear Creek Master Plan~~
- ~~3. HMT Complex, Field One "Artificial Surface" Usage Comparison~~
- ~~4. 2010 Parks & Recreation Artificial Turf Comparison to Natural Grass Fields~~
- ~~5. Public Art Selection and Acquisition Policy~~
- ~~6. 25 Year Project List Adopted 1/19/06 (can be found in the 2006 Parks and Recreation System Development Charges Methodology Update)~~
- ~~7. 2009 Updated Project List (can be found in the January 2009 Parks and Recreation System Development Charges Methodology Update)~~
- ~~8. Prescott Park Management Plan~~
- ~~9. Prescott Park Management Plan—2008 Update~~
- ~~10. Aquatic Facility Planning Study, ORW Architecture and Councilman Hunsaker~~
- ~~11. REMI Northwest Feasibility Study~~
- ~~12. Medford Transportation System Plan~~
- ~~13. Southeast Plan~~
- ~~14. Riparian Area Inventory and Assessment~~
- ~~15. January 2009 Parks and Recreation System Development Charges Methodology Update~~

Exhibit C

Amended Conclusions, Goals, Policies, and Implementation Strategies

[Cover sheet]

PARKS, RECREATION, AND LEISURE SERVICES—CONCLUSIONS

The following are conclusions about the provision of parks, open space and leisure services in Medford based on community input and technical analysis. ~~drawn from public involvement activities, a community needs assessment, and analysis of existing facilities and operations.~~ These conclusions provide a foundation for the Parks Goals, Policies, and Implementation Strategies.

1. Medford's population is growing ~~rapidly~~ and will continue to do so over the planning period of ~~201605~~ to ~~202530~~. This p~~Population increase and expanding cultural demographics are~~ is the primary reasons for the increasing demands for parks and recreation services.
2. In the past, the City has shown great vision in acquiring and developing park and recreation facilities to meet the growing need. As Medford grows, new investments in existing and future parks will be needed to meet the needs of the community. support youth development, and provide a range of recreational options for its residents and visitors. ~~the City will need to meet existing financial challenges in order to build new parks, facilities, and paths/trails and adequately maintain current ones.~~
3. Medford is a ~~very active~~ growing community. home to many families with children as well as older adults. Population growth creates new demand for park and recreation services. An individual's demographic characteristics such as age, employment, and income play a role in recreational interests and participation. The recreation programs and facilities within the City need to adjust ~~with higher measured recreation participation levels than the average of other Northwest cities surveyed. This level of participation would support an expansion of recreation programs and facilities~~ to meet existing and future community needs.
4. The basic concept of the proposed park system is to assure that every neighborhood in Medford is served by a neighborhood or community park. Thirteen Medford will need to acquire nearly 45 acres of neighborhood parks and 91 acres of community parkland in the next ten years.~~additional neighborhood parks and five community parks are needed to meet community needs in the years 2005-2030. Some of the facilities are not on the 2009 25-year Project List because the city will not support a park system development fee large enough to include all proposed park facilities.~~
5. Of all park and recreation services, the top three actions ranked as "very supportive" by respondents were to rehabilitate older parks, develop a new indoor recreation center/pool, and expand programming for youth under 18. ~~surveyed residents mostly want the City to upgrade existing parks, provide more sports fields, and develop a city-wide path/trail system.~~

City of Medford Comprehensive Plan

6. The City of Medford is a significant provider of recreational programs in the region. Programs and services need to be expanded in nearly all areas, especially for youth, teens, adults, and seniors, to meet increasing community needs.
7. In order to remain the primary provider of recreational programs in the community, the Parks and Recreation Department needs to focus on youth, adult, and aquatics programming. In addition, emphasis needs to focus on community and special events, special needs participants, seniors, and arts and cultural programs. ~~To increase program participation, recreation programs could be expanded in several areas identified by survey respondents, including arts and crafts, cultural arts, concerts, special events, and family activities.~~
- ~~8. Recreation programs are often subsidized by the City to keep programs affordable. According to the results of the survey, residents would like program subsidies to continue, particularly for youth and seniors. However, recreation programming must be more cost-effective.~~
- ~~9. Future park and recreation services in Medford must reflect the needs of a changing population. Medford has an above average and increasing proportion of senior citizens.~~
- ~~10.8.~~ The City needs to replace the deteriorating swimming pools at Hawthorne Park and Jackson Park. The Jackson Aquatic Center built in 1960 provides a wide variety of water activities but is nearing the end of its useful life cycle. The City should pursue a multi-use indoor facility that includes an aquatics component.
- ~~11.9.~~ While Prescott Park is valued as a natural area, community residents want park access improved, with overlooks/viewpoints and trailheads developed at the site. The development of Prescott Park has been pending for several decades. Improvements include amenities such as trails for hiking, bicycling, and horseback riding, interpretive signs, and covered pavilions. Prescott Park has the potential to become an important asset to the City and region.
- ~~12.10.~~ Medford has several creek corridors that offer exceptional recreation and conservation opportunities. The City has a series of open space and greenway systems that need to be protected, expanded, and enhanced over time.
- ~~13.11.~~ By the year 2030, Medford will need an additional 15 miles of paved paths and 11 miles of trails. A system of recreational trails, paths, and bikeways would provide a safe place for walking, biking, and non-motorized transportation. Based on a mileage per capita metric of 0.46 miles per 1,000 population, the City is deficient of over 4 miles of paved paths and 10 miles of unpaved park trails. Rather than continuing to use this measurement, the City will work toward improving path and trail connectivity between parks and major destinations as allowable.
- ~~14.12.~~ City of Medford General Fund, grants, and donations are the primary sources of funding for improvements, maintenance, and the expansion of facilities in existing parks.

City of Medford Comprehensive Plan

- ~~15. An increase in the use of concessionaires in the City's parks would generate needed revenue for the park and recreation system, while providing user support services and business opportunities.~~
- ~~16.~~ **13.** Parks System Development Charges (SDCs) are an important source of funding for the acquisition, planning, and development of new parks and open space areas. The City will periodically update the methodology and rate structure, as appropriate, to be best positioned to obtain future acquisition and development financing from residential development. Parks SDCs need to be prioritized to secure new park properties and finance park or trail development consistent with the Leisure Services Plan. Since SDCs are paid by new residential development, the fees are meant to fund capacity enhancement projects. The City regularly updates its SDC methodology and increases the SDC rate for all housing units. SDC funds will be particularly important to fund new parkland in Southeast Medford, where the City is rapidly growing.

PARKS, RECREATION, AND LEISURE SERVICES—GOALS, POLICIES, AND IMPLEMENTATION MEASURES

The goals, planning policies, and implementation strategies listed below create a framework for the realization of the Parks Element and also will help measure its success.

SYSTEM GROWTH & STEWARDSHIP

Goal 1: To provide for a full range of recreational activities and opportunities to meet the needs of all residents of Medford.

Policy 1-A: The City of Medford shall use the Parks Element as a factual basis in the land use decision-making process.

Implementation 1-A (1): Coordinate with the Planning Department to implement the LSP as part of the Comprehensive Plan.

Policy 1-B: The City of Medford shall recognize the social and economic value of other providers in the City and nearby county, state, and national recreation resources that provide recreation for Medford residents, create tourist expenditures within the City of Medford, and attract businesses and industries to the City.

Implementation 1-B(1): Provide park and recreation programs that complement nearby county, state, and national recreation resources.

Implementation 1-B(2): Pursue partnerships as a key means for leveraging community resources and minimizing duplications of effort.

Policy 1-C: The City of Medford shall be a primary provider of recreation programs and services community-wide.

Implementation 1-C(1): Provide park and recreation facilities to support community programming needs.

City of Medford Comprehensive Plan

Implementation 1-C(2): Provide program services to all ages, abilities, and economic and cultural backgrounds. Expand the City's role as a primary provider of recreation programs and services and increase programming to meet changing demographics and growing community needs.

Implementation 1-C(3): Expand the City's role as a primary provider of recreation programs and services and increase programming to meet changing demographics and growing community needs. Establish more revenue-generating programs to increase program funding to help fund or subsidize other programs and services.

Implementation 1-C(4): Monitor local and regional recreation trends to ensure community needs and interests are addressed by available programming. Provide a new water park to generate additional revenue and to meet a growing, community-wide demand for aquatic services.

Implementation 1-C(5): Maintain the aquatics facilities at Jackson Pool until it is renovated or replaced. In the long term, consider an indoor recreation center/aquatic facility to help meet future community needs for swimming, gymnasium, and programming space.

Implementation 1-C(6): Pursue opportunities to develop an indoor aquatic facility and recreation center, potentially in partnership with other organizations or agencies. Consider financial feasibility and long term operations needs prior to design or construction of any new facility. Consider other financing approaches, including a general obligation bond, to fund the development of additional facilities and significant park upgrades.

Policy 1-D: The City of Medford shall provide and acquire parklands necessary to adequately serve the City's current and future population based on adopted service levels. park land and facilities conveniently located and economically accessible to all members of the community.

Implementation 1-D(1): Provide parks to meet the service standard of 1.56 acres of developed neighborhood parks per 1,000 persons and 2.75 acres of developed community parks per 1,000 persons. Locate parks and facilities in underserved areas.

Implementation 1-D(2): Strive to provide equitable park distribution and prioritize park acquisition in underserved areas where households are more than ½-mile from a developed park. Provide program services to all ages, abilities, and economic and cultural backgrounds.

Implementation 1-D(3): Seek parkland identified within this plan, in both developed and undeveloped areas, to secure suitable locations for new parks to serve future residents. Evaluate opportunities to acquire lands declared surplus by other public agencies for park and recreation use if such land is located in an area of need or can expand an existing City property and can be developed with site amenities listed in the Guidelines for Site Selection and Development (see Appendix E).

Offer programs at a range of costs (free, low-cost, full-price) and implement other strategies to ensure program affordability, while meeting city financial goals.

City of Medford Comprehensive Plan

Implementation 1-D(4): Prioritize park acquisition in areas of the City facing population growth and residential and commercial development.

~~Implement the Southeast Medford Area Plan Map with regards to greenway paths/trails, parks, and recreation facilities.~~

Implementation 1-D (5): Implement the Southeast Medford Area Plan Map with regard to greenway paths/trails, parks, and recreation facilities.

Implementation 1-D (6): Evaluate opportunities to acquire lands declared surplus by other public agencies for park and recreation use if such land is located in an area of need or can expand an existing City property.

Policy 1-E: Use traditional and new funding sources to adequately and cost-effectively maintain and enhance the quality of Medford's park and recreation system.

Implementation 1-E (1): Maintain and seek to expand general fund support of parks, recreation programs and maintenance.

Implementation 1-E (2): Offer programs at a range of costs (free, low-cost, full price) and implement other strategies to ensure program affordability, while meeting city financial goals.

Implementation 1-E (3): Maintain and enhance program scholarships and other mechanisms to support recreation access for low-income residents.

Implementation 1-E (4): Pursue alternative funding options and dedicated revenues for the acquisition and development of parks and facilities, such as through private donations, sponsorships, partnerships and grant sources, as well as the retention and reallocation of existing revenue sources currently used for debt service.

Implementation 1-E (5): Consider the use of voter-approved initiatives, such as bonds and levies, to finance the development of additional facilities and significant park up grades.

Implementation 1-E (6): Examine the feasibility for and potential benefits of a Park & Recreation District to fund and manage certain park and recreation facilities, such as an indoor aquatics facility.

Implementation 1-E (7): Review, and if necessary update, use and rental fees on a periodic basis to reflect market rates.

Implementation 1-E (8): Establish more revenue-generating programs to increase program funding to subsidize other programs and services.

Implementation 1-E (9): Consider developing additional rental facilities, such as reservable picnic areas, wedding sites and meeting rooms, to meet community needs and generate additional operating resources.

City of Medford Comprehensive Plan

Implementation 1-E (10): Facilitate compatible, revenue-producing concession facilities and services within parks that enhance visitor use and enjoyment of the City's parks.

NATURAL AREAS MANAGEMENT

Goal 2: To preserve natural resources in the Medford Urban Growth Boundary that provide open space or have unique recreational potential, encouraging development with parks and recreation facilities if appropriate.

Policy 2-A: The City of Medford shall seek to preserve significant natural areas to meet outdoor recreation needs, provide opportunities for residents to connect with nature, and meet habitat protection needs. ~~emphasize acquiring park land having natural features or resources that need protection or are of significant interest to the public.~~

~~Implementation 2-A(1): The City should seek to acquire riparian corridors where feasible to protect these natural resources and to offer potential sites for path/trail development.~~ Develop a long-range public open space plan in partnership with the Planning and Public Works Departments and RVCOG that provides for an interconnected system of creek corridors, greenways, wetlands, and other significant natural resource areas.

Implementation 2-A(2): Develop and implement effective natural resource management plans for significant natural areas within parks and other City-owned or controlled lands, such as oak savanna, riparian areas, and wetlands, to identify management priorities and to guide acquisition, development, and restoration decisions.

Policy 2-B: The City of Medford shall give special consideration to the Bear Creek corridor in order to protect this dynamic natural and recreational resource for the enjoyment of present and future generations.

Implementation 2-B(1): Maintain and expand partnerships for the ongoing maintenance and restoration of the Bear Creek Greenway. ~~Directly and/or cooperatively acquire and plan appropriate park and recreation sites and public access along the Bear Creek corridor.~~

Policy 2-C: The City of Medford shall give special consideration to Prescott Park in order to protect this dynamic natural and recreational resource and most significant scenic view for the enjoyment of present and future generations.

Implementation 2-C(1): Follow the recommendations of, and periodically update, the Prescott Park Management Plan. ~~and regularly update the Plan.~~

Implementation 2-C(2): Pursue land additions or parcel reconfigurations for Prescott Park, as when opportunities become available, to enhance access or site development opportunities.

Implementation 2-C(3): Pursue inclusion of Prescott Park in the Medford Urban Growth Boundary for eventual inclusion within the City of Medford.

City of Medford Comprehensive Plan

Implementation 2-C(4): ~~Increase~~ Enhance access and public enjoyment of Prescott Park by ~~developing~~ implementing the Prescott Trails Plan and developing appropriate facilities to enhance appreciation of natural resources, the outdoors, and Medford's unique environment. ~~Until included within the Medford Urban Growth Boundary, improvements within Prescott Park must comply with Jackson County land use regulations, as well as state rules and statutes, which may limit the extent of improvements on land outside of UGBs.~~

BICYCLE & PEDESTRIAN OPPORTUNITIES

Goal 3: To provide recreational opportunities within parks and connectivity to parks through a path and trail system ~~an interconnected park and recreation system that is well integrated with the community.~~

Policy 3-A: The City of Medford shall seek to develop a network of shared-use pedestrian and bicycle paths and trails to promote their important recreational uses within parks and enable connectivity between parks, neighborhoods, public amenities, and major pedestrian and bicycle routes identified in the Transportation System Plan and Southeast Circulation Plan. ~~major intra-community system of paths to provide linkages between parks, neighborhoods, community facilities, schools, and open space sites.~~

Implementation 3-A(1): ~~Seek links to other transportation methods, such as developing parks along bus routes or encouraging bus transit to serve the parks.~~ Coordinate recreational path and trail system planning and development with the City's and Jackson County's Transportation System Plan and Southeast Plan to provide a comprehensive pedestrian and bicycle network.

Implementation 3-A(2): ~~Develop a detailed path and trails plan to recommend routes for meeting future community needs for an additional fifteen miles of paths and 11 miles of trails by the year 2030.~~ Integrate the siting of proposed path and trail segments into the development review process; require development projects along designated routes to be designed to incorporate path and trail segments as part of the project.

Implementation 3-A (3): Facilitate and provide for a high degree of pedestrian and bicycle connectivity from major shared-use paths, such as the Bear Creek Greenway, to parks and other destinations.

Implementation 3-A (4): Develop the Southeast Area greenway paths shown in the adopted SE Area Neighborhood Circulation Plan Map.

Implementation 3-A (5): Implement the Prescott Park Trails Plan in phases as funding and park infrastructure are available.

Implementation 3-A (6): Partner with local utilities, public agencies and private landowners to secure easements and access to open space for path and trail connections.

City of Medford Comprehensive Plan

Implementation 3-A (7): Implement standards for route and wayfinding signage and associated facilities and informational maps and materials identifying existing and planned path and trail facilities.

Implementation 3-A (8): Provide trailhead accommodations, as appropriate, to include parking, signage, restrooms and other amenities.

~~Policy 3-B: The City of Medford shall seek to acquire natural and other corridors to link parks and open space throughout the community.~~

~~Implementation 3-B(1): Develop a long-range public open space plan that provides for an interconnected system of creek corridors, greenways, wetlands, and other significant natural resource areas.~~

~~Implementation 3-B(2): Acquire missing links in corridors and parcels that are contiguous to other public open spaces to provide maximum benefits for recreation and wildlife.~~

MANAGEMENT & MAINTENANCE

Goal 4: To coordinate park and recreation planning, acquisition, maintenance, and development in the City of Medford to serve a broad spectrum of citizen and institutional interests.

Policy 4-A: The City of Medford shall design and maintain parks and recreation facilities in a safe, attractive manner, to serve as positive amenities for the community and the neighborhoods in which they are located.

~~Implementation 4-A(1): Adopt and u~~Utilize and periodically update the Guidelines for Site Selection and Development in ~~for~~ for the acquisition and/or development of parks within each park classification and include the review of development guidelines and site plans by the Parks Maintenance Division.

~~Implementation 4-A(2): Implement a consistent park signage program for use throughout the system and consider installation of updated standards for park entry signs and specialized signage such as mileage markers along trails and pathways. where needed.~~

~~Implementation 4-A (3): Consider design elements that enable parks to be used year-round, including picnic shelters and playground shade structures.~~

~~Implementation 4-A (4): Design, improve and maintain parks and facilities in a manner that conserves energy and other resources and maximize efficient maintenance practices.~~

~~Implementation 4-A (5): Design and maintain parks and facilities to offer universal accessibility for residents of all physical capabilities, skill levels and age.~~

~~Implementation 4-A (6): Incorporate sustainable development and low impact design practices into the design, planning and rehabilitation of new and existing facilities.~~

City of Medford Comprehensive Plan

Implementation 4-A (7): Examine opportunities to locate a Parks maintenance facility east of Interstate 5 to facilitate enhanced efficiency in the maintenance of east Medford sites and facilities.

Policy 4-B: The City of Medford shall evaluate and design park and recreation facilities to minimize operation and maintenance costs.

Implementation 4-B(1): Review and consider the ~~include~~ projected maintenance and operations costs when developing new facilities or redeveloping existing facilities prior to initiating design development. ~~in design proposals for parks and recreation facilities.~~

Implementation 4-B(2): Consider maintenance costs, including transportation and loading/unloading of equipment, before acquiring park stand-alone or isolated park sites smaller than one acre.

Implementation 4-B (3): Seek and implement opportunities for acquisition and use of contiguous school and park sites for recreational purposes beneficial to both City and the School District.

Policy 4-C: The City of Medford shall actively manage its park and recreation assets through a regular schedule of maintenance and capital renewal efforts to optimize use, reduce unplanned reactive maintenance and protect public investment. ~~define and standardize maintenance procedures, including cost estimates for maintaining Medford parks, recreation facilities, and beautification areas.~~

Implementation 4-C(1): Allocate an average minimum maintenance cost per acre annually for maintenance of each park type and seek to increase maintenance funds using this guideline as new amenities or facilities ~~parks~~ are added to the City's system.

Implementation 4-C(2): ~~Develop an Integrated Pest Management Plan to define use of herbicides and pesticides on City-owned or controlled properties. Update the~~ Maintenance and Operations Management Standards Plan, as necessary, to ensure parks, facilities and equipment are maintained in a manner that keeps them safe and attractive; repair or remove damaged components immediately upon identification.

Implementation 4-C(3): ~~Develop a parks maintenance management plan that defines maintenance levels, performance standards, and budget allocation. Maintain a~~ standardized and systematic inventory and assessment of park system infrastructure, including quantity, location, condition and expected useful life.

Implementation 4-C (4): Implement and finance the upgrades for ADA compliance as noted in the ADA Transition Plan to ensure a safe, secure and accessible park infrastructure.

Implementation 4-C (5): Consider creation of a Natural Resources Division to focus efforts toward natural area management and restoration, and urban forestry related needs.

City of Medford Comprehensive Plan

Implementation 4-C (6): Update the Natural Resource Management Plans and Procedures manual, as necessary to address Integrated Pest Management and other best practices for site management of City-owned or controlled properties.

~~Policy 4-D: The City of Medford shall encourage joint acquisition and use of contiguous school and park sites for recreational purposes that are beneficial to both City and School agencies.~~

~~Policy 4-E: The City of Medford shall work with partner agencies, especially schools, to help meet demand for indoor and outdoor sports facilities.~~

~~Implementation 4-E(1): Develop and maintain inventories and evaluations of shared sports facilities.~~

~~Implementation 4-E(2): Continue partnering with the school districts to ensure community access to school gymnasiums and other sports facilities.~~

~~Policy 4-F: The City of Medford shall allow compatible, revenue-producing concession facilities and services within parks that enhance visitor use and enjoyment of the City's parks.~~

~~Policy 4-G: The City of Medford shall have a parks planning process that implements the park uses described herein.~~

~~Implementation 4-G(1): Investigate development of objective land use and siting review criteria.~~

PARTNERSHIPS

Goal 5: To enhance and support partnerships that leverage Medford's human, social and physical capital to improve recreation opportunities for residents.

Policy 5-A: The City of Medford shall continue to pursue and maintain effective partnerships with neighboring cities, Jackson County, Medford School District, other governmental agencies, and private and non-profit organizations to plan and provide recreation activities and facilities and maximize opportunities for public recreation.

Implementation 5-A (1): Develop and maintain inventories and evaluations of shared athletics and recreation facilities.

Implementation 5-A (2): Pursue or enhance partnerships with the Medford School District to maximize public use of recreation facilities on school sites, especially athletic fields and gymnasiums, and to utilize school grounds as parks in areas where parkland distribution deficiencies exist.

Implementation 5-A (3): Attempt to partner with Jackson County, the State of Oregon and others to provide regional facilities.

City of Medford Comprehensive Plan

Implementation 5-A (4): Coordinate with public, private and non-profit providers, such as organized sports leagues, to plan for projects to enhance and maintain athletic field facilities.

Implementation 5-A (5): Explore partnership opportunities with local hospitals and businesses to develop, fund, and promote park, recreation and wellness activities, programs and amenities.

Implementation 5-A (6): Encourage collaboration among local art, business, education, tourism, city beautification and recreation interests.

Policy 5-B: The City of Medford shall partner with public safety agencies in order to address community perceptions regarding safety in parks and greenways.

Implementation 5-B (1): Coordinate with the Medford Police Department to develop a volunteer program that recruits and trains citizens to serve as park hosts.

AESTHETICS

Goal ~~56~~: To maintain and enhance community livability in Medford by promoting the aesthetic quality of the urban environment.

Policy ~~56~~-A: The City of Medford shall recognize trees as valuable amenities that contribute to the livability of our city through the proper selection, placement, preservation and maintenance of trees along our streets, in open spaces, and in parks.

~~Implementation 5-A(1): Develop a tree protection ordinance for adoption by the City Council.~~

~~Implementation 5-A(2): Develop a street tree ordinance for adoption by the City Council.~~

Implementation 5-A(31): Provide a mechanism for a tree recognition program.

Policy ~~56~~-B: The City of Medford shall require the provision and continued maintenance of appropriate landscaping in conjunction with new development.

~~1.1.~~ Implementation 6-B (1): Consider and advocate for a revision to the Medford Municipal Code to promote sustainable and cost effective maintenance and management of right-of-way landscape areas.

Policy ~~56~~-C: The City of Medford shall encourage the establishment of public art in parks, on public grounds, and in public buildings.

Implementation ~~56~~-C(1): Investigate mechanisms for displaying art in public places.

City of Medford Comprehensive Plan

ENGAGEMENT & COMMUNICATIONS

Goal 7: To encourage and support active and on-going participation by diverse community members in the planning and decision-making for parks and recreation.

Policy 7-A: The City of Medford shall endeavor to involve residents and stakeholders in park and recreation facility planning, design and recreation program development to solicit community input, facilitate project understanding and build public support.

Implementation 7-A (1): Use a diverse set of communication and informational materials and employ innovative strategies to improve community involvement in park and recreation planning efforts, including in-person meetings and events, signage, print programs and materials, and electronic communication (e.g. website, newsletters, social media)

Implementation 7-A (2): Promote and distribute information about recreational activities, education programs, community services and events, and volunteer activities sponsored by the City and partner agencies and organizations.

Implementation 7-A (3): Identify under-represented segments of the community and work to improve their capacity to participate in park planning and decision-making.

Implementation 7-A (4): Support the Parks & Recreation Commission as the forum for public discussion of parks and recreation issues.

Implementation 7-A (5): Survey, review and publish local park and recreation preferences, needs and trends at least once every five years.

Implementation 7-A (6): Collaborate with the City's economic development staff and regional tourism staff to promote Medford's events, parks, trails and facilities.

SOLID WASTE MANAGEMENT—CONCLUSIONS

1. The City of Medford is required to participate in the preparation and implementation of a regional solid waste management plan developed through a cooperative effort by local governments and the private sector, in compliance with the state solid waste management plan.
2. The most critical solid waste management issues facing the City of Medford and the region are future landfill capacity, rate stabilization, and adequacy of closure funds. A coordinated regional public/private strategy will be needed to address landfill closures and long-term remediation of closed landfills.
3. The Dry Creek Landfill, located approximately two miles northeast of the Medford Urban Growth Boundary adjacent to Prescott Park, is the solid waste facility serving Jackson and Josephine Counties.

Exhibit D

Comments from Medford Irrigation District

[Cover sheet]

MEDFORD IRRIGATION DISTRICT

P.O. BOX 70
5045 Jacksonville Hwy
Jacksonville, Oregon 97502
Office (541) 899-9915

City of Medford
Planning Department
Lausmann Annex, Room 240
200 South Ivy St.
Medford, OR 97501

February 24, 2017

File#: CP-17-013

Project: Leisure Services Plan Comprehensive Plan Amendment

The Medford Irrigation District requests involvement with the plan amendment since our facilities are mentioned as part of the plan in some areas.

There are very important issues to consider before moving forward in relation to the District's canals which we will discuss in detail including canal maintenance Procedures and land ownerships verses easements.

Sincerely,

Carol Bradford

Manager





STAFF REPORT

for a Type-C quasi-judicial decision: **Land Division**

PROJECT Stonegate Estates Phase 5
Applicant: Dan Mahar; Agent: Neathamer Surveying

FILE NO. LDS-16-156

TO Planning Commission *for March 23, 2017 hearing*

FROM Praline McCormack, Planner II

REVIEWER Kelly Akin, Assistant Planning Director *ka*

DATE March 16, 2017

BACKGROUND

Proposal

Consideration of Stonegate Estates Phase 5, a proposed 20-lot (and reserve acreage tract) residential subdivision on an approximate 5.39-acre site located on the east side of North Phoenix Road, within an SFR-10/PD/SE zoning district (Single-Family Residential, ten dwelling units per gross acre/Planned Development/Southeast Plan Overlay).

Subject Site Characteristics

Zoning SFR-10/SE/PD
GLUP UR (Urban Residential)
SE Area 15 (Small Lot)
Use Vacant - approved townhouses and condominiums under construction

Surrounding Site Characteristics

North Zone: SFR-10/SE/PD
Use: Single family dwellings and condominiums

South Zone: SFR-10/SE/PD
Use: Vacant

East Zone: SFR-00/SE (Single Family Residential, one dwelling unit per existing lot/ Southeast Plan Overlay)
Use: Single family dwelling

West Zone: SFR-4 (Single Family Residential, four dwelling units per gross acre)
 Use: Vacant

Related Projects

PUD-00-116 PUD Preliminary and Final Plans
CUP-04-109 Conditional Use Permit to allow vehicle, drainage, and bicycle and pedestrian facilities to encroach within the Larson Creek Riparian Corridor
AC-06-248 Site Plan and Architectural Review

Applicable Criteria

Medford Land Development Code §10.270, Land Division Criteria

The approving authority (Planning Commission) shall not approve any tentative plat unless it first finds that, the proposed land division together with the provisions for its design and improvement:

- (1) Is consistent with the Comprehensive Plan, any other applicable specific plans thereto, including Neighborhood Circulation Plans, and all applicable design standards set forth in Article IV and V;
- (2) Will not prevent development of the remainder of the property under the same ownership, if any, or of adjoining land or of access thereto, in accordance with this chapter;
- (3) Bears a name that has been approved by the approving authority and does not use a word which is the same as, similar to, or pronounced the same as a word in the name of any other subdivision in the City of Medford; except for the words "town", "city", "place", "court", "addition", or similar words; unless the land platted is contiguous to and platted by the same applicant that platted the land division bearing that name; or unless the applicant files and records the consent of the party who platted the land division bearing that name and the block numbers continue those of the plat of the same name last filed;
- (4) If it includes the creation of streets or alleys, that such streets or alleys are laid out to be consistent with existing and planned streets and alleys and with the plats of land divisions already approved for adjoining property unless the approving authority determines it is in the public interest to modify the street pattern;

- (5) If it has streets or alleys that are proposed to be held for private use, that they are distinguished from the public streets or alleys on the tentative plat, and reservations or restrictions relating to the private streets or alleys are set forth;
- (6) Will not cause an unmitigated land use conflict between the land division and adjoining agricultural lands within the EFU (Exclusive Farm Use) zoning district.

ISSUES AND ANALYSIS

Background

The subject subdivision is part of Stonegate Estates Phases 1-5, a 299 dwelling planned unit development that received Preliminary PUD Plan approval on January 10, 2002. On February 16, 2007, the Site Plan and Architectural Commission approved the site plan and architecture for Phase 5, which is comprised of 20 townhomes and 44 condominiums located within three four-plexes and four eight-plexes. On March 16, 2007, the applicant requested and received approval from the Site Plan Commission to convert the open parking areas to garages.

The Final PUD Plan was approved by the Planning Director on July 3, 2007. Since then, a De Minimis Revision to convert the parking garages to covered carports along with other minor revisions relating to the hardscapes thereof was approved by the Planning Director on November 14, 2016.

The scope of this tentative plat is limited to the 20 townhome lots (Lots 40-64), a private and public street, and associated common area. The remainder of the property is to be designated as reserve acreage and intended for the condominium portion of the development. It should be noted that condominiums are processed through the State Department of Real Estate. That portion of Phase 5 will not be discussed here.

Construction on the townhouse units is currently underway based on the prior land use approvals.

Southeast Plan Standards

The subject site is located within the Southeast Plan Overlay (S-E) and is subject to the S-E Overlay regulations and the adopted Southeast Plan, in addition to all other applicable City regulations. In its 2001 decision, the Planning Commission determined that the subject Phase 5 is included in Area 15 of the Southeast Plan, in part because of the density, housing types proposed and the physical constraints of the site.

PUD Consistency

Stonegate Phase 5 was originally approved as a mix of townhouse and condominium units. The townhouses were situated on "pad lots", which are basically lots that closely follow or match the building footprint. Pad lots have not been permitted for residential developments since 2006. Because of the code change, the applicant proposes a

conventional townhouse lot layout. The applicant's findings note that some lots do not meet the minimum lot depth and side yard setback standards. The proposal is otherwise consistent with the approved Preliminary and Final PUD Plans.

The Planning Director has authority in approving Final PUD Plans, which includes making a determination of whether the Final PUD Plan is substantially consistent with the Planning Commission approved Preliminary PUD Plan. In this case, staff has determined that the proposal is consistent with the approved Preliminary PUD plan. The number of units has not changed, nor has the design or layout of the structures. This proposal simply reconfigures the lots to a form that more closely complies with current Code standards. Pedestrian and vehicular access, parking and other design features have not been altered. Should the Planning Commission approve this tentative plat, the Planning Director will rely on the decision when considering a revised Final PUD Plan.

Phasing Request

The applicant proposes to construct the development in two phases and requests that the round-about be able to be constructed in the second phase, Phase 5B. Staff does not object to the request.

Public Improvements

Per the agency comments submitted to staff (Exhibits F through L), it can be found that there are adequate facilities to serve the proposed development.

Committee Comments

No comments were received from committees such as BPAC.

No other issues were identified by staff.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit E) and recommends the Commission adopt the findings with the following modification:

The tentative plat is substantially consistent with the approved Final PUD Plan. The number and configuration of the units is not changed. Access, parking and pedestrian connections to the greenway are unaffected. The proposed lots more closely meet the current standards of the Code and the approved pad lot configuration is no longer permissible for residential uses under MLDC 10.703.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare a Final Order for approval of LDS-16-156 per the staff report dated March 16, 2017, including Exhibits A through P.

EXHIBITS

- A Conditions of Approval dated March 16, 2017
 - B Tentative Plat for Stonegate Estates Phase 5 Townhome Lots received December 9, 2016
 - C Approved PUD Plan for Stonegate Estates Phase 5 received April 19, 2007
 - D Survey of Stonegate Estate Phase 5 & Larson Creek Riparian Corridor received January 24, 2017
 - E Applicant's Findings of Fact and Conclusions of Law received December 9, 2016
 - F Public Works Staff Report received February 22, 2017
 - G Medford Water Commission Staff Memo received March 8, 2017
 - H Land Development Report from Medford Fire Department Report received February 21, 2017
 - I Memo from Medford Building Department received February 22, 2017
 - J Letter from Jackson County Roads received February 23, 2017
 - K Email and Wetland Land Use Notification Response from Oregon Department of State Lands received February 21, 2017
 - L Letter from the Medford Irrigation District received February 16, 2017
 - M Excerpt from the City of Medford Wetland Inventory Map dated September 2002
 - N Jackson County Assessor's Page
 - O Southeast Circulation Plan Map adopted March 7, 2013
 - P Southeast Plan Map adopted March 7, 2013
- Vicinity map

PLANNING COMMISSION AGENDA:

MARCH 23, 2017

Exhibit A
Stonegate Estates Phase 5
LDS-16-156
Conditions of Approval
March 16, 2017

CODE REQUIREMENTS

1. Comply with the Public Works Department Staff Report dated February 22, 2017 (Exhibit F);
2. Comply with the Medford Water Commission Staff Memo received March 8, 2017 (Exhibit G);
3. Comply with the Medford Fire Department Land Development Report received February 21, 2017 (Exhibit H);
4. Comply with the letter from Jackson County Roads dated February 16, 2017 (Exhibit J);
5. Comply with the letter from Medford Irrigation District dated February 16, 2017 (Exhibit L).

**TENTATIVE FOR:
STONEGATE ESTATES, PHASE 3
TOWNHOME LOTS**

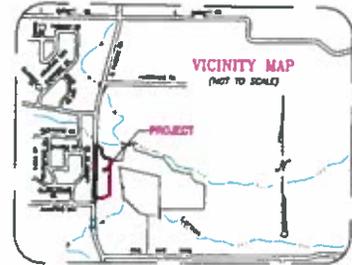
Located with Donation Land Claim Number 57 in the Northwest One-quarter and the Southwest One-quarter of Section 34, Township 31 South, Range 1 West of the Willamette Meridian, in the City of Medford, Jackson County, Oregon.

RECEIVED

PREPARED FOR: DEC 09 2016

**CARRICO FAMILY FOUNDATION
1818 E. MCANDREWS ROAD
MEDFORD, OR 97504**

PLANNING DEPT.



PROJECT INFORMATION

SCHOOL DISTRICT:	544C
IRRIGATION DISTRICT:	MEDFORD
SANITATION DISTRICT:	CITY OF MEDFORD
PROJECT AREA (GROSS)	5.34 ACRES
PROJECT AREA (NET)	4.48 ACRES
EXISTING ZONING:	SPR-10/PD
EXISTING USE:	VACANT
PROPOSED USE:	RESIDENTIAL

BASIS OF BEARINGS:

Geodetic North based on NAD 84 Datum, established by Global Positioning System Observations. Bearing base applied between the land monuments per Survey Number 16046, as filed in the office of the Jackson County Surveyor.

LEGEND:

- SS— Indicates a sanitary sewer line.
- S— Indicates a sanitary sewer lateral.
- SD— Indicates a storm drain line.
- SD— Indicates a storm drain lateral.
- W— Indicates a water line.
- W— Indicates a water line for meters and hydrants.
- M Indicates a water meter.
- F Indicates a fire hydrant.

REDUCED SCALE

**REGISTERED
PROFESSIONAL
LAND SURVEYOR**

Robert V. Neathamer

**OREGON
JULY 19, 1994
ROBERT V. NEATHAMER
2675**

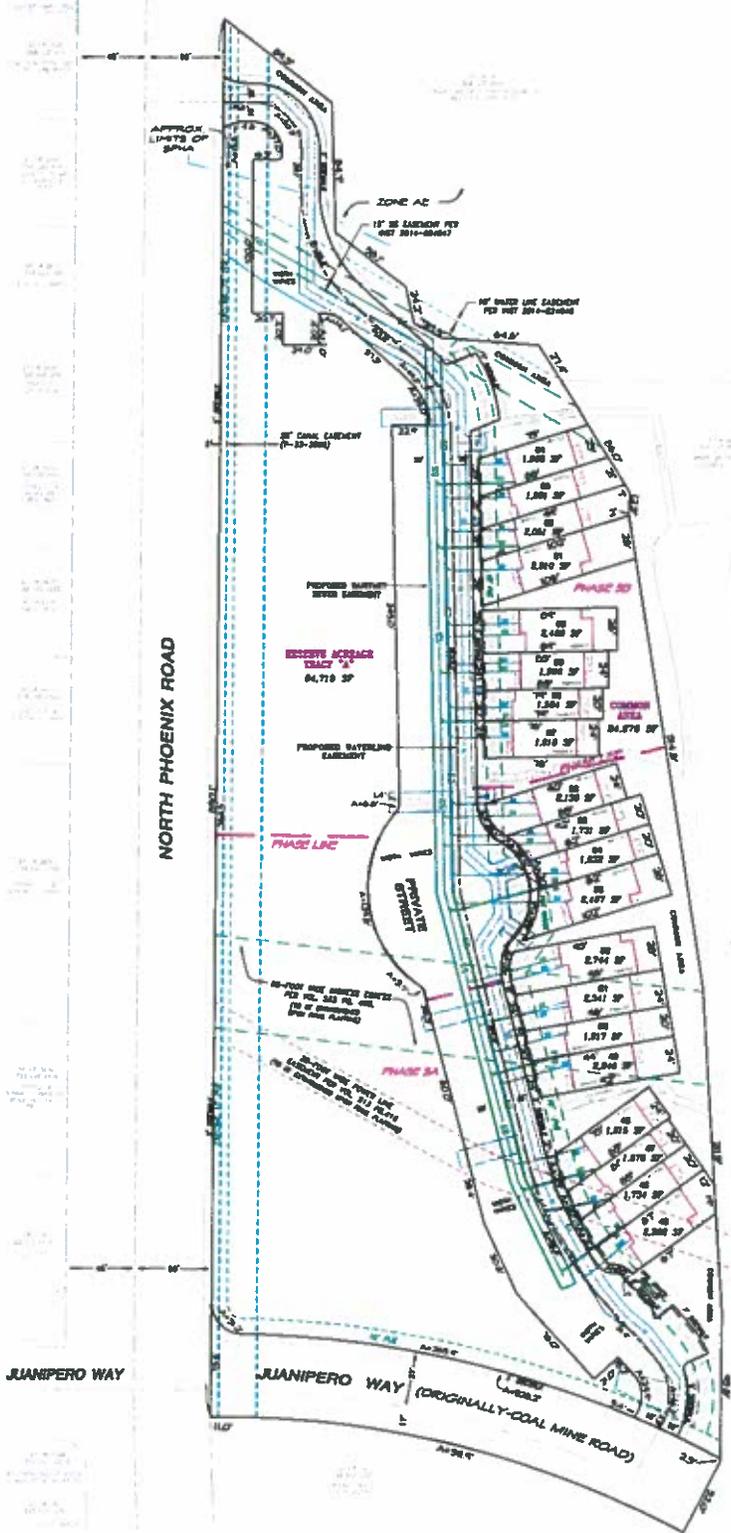
Renewal Date 12/31/16

PREPARED BY: Neathamer Surveying, Inc.
3126 State St, Suite 203
P.O. Box 1584
Medford, Oregon 97501
Phone (541) 732-2889
FAX (541) 732-1382

**CITY OF MEDFORD
EXHIBIT # 6
File # LDS-16-156**

PROJECT NUMBER: 14046-1

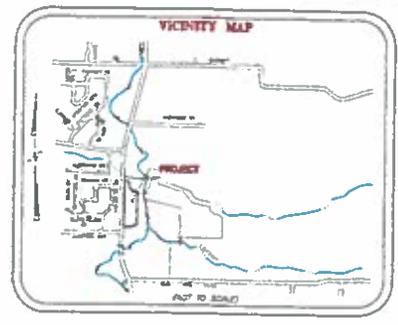
Sheet of 1



FINAL PUD PLAN STONEGATE ESTATES PHASE 5

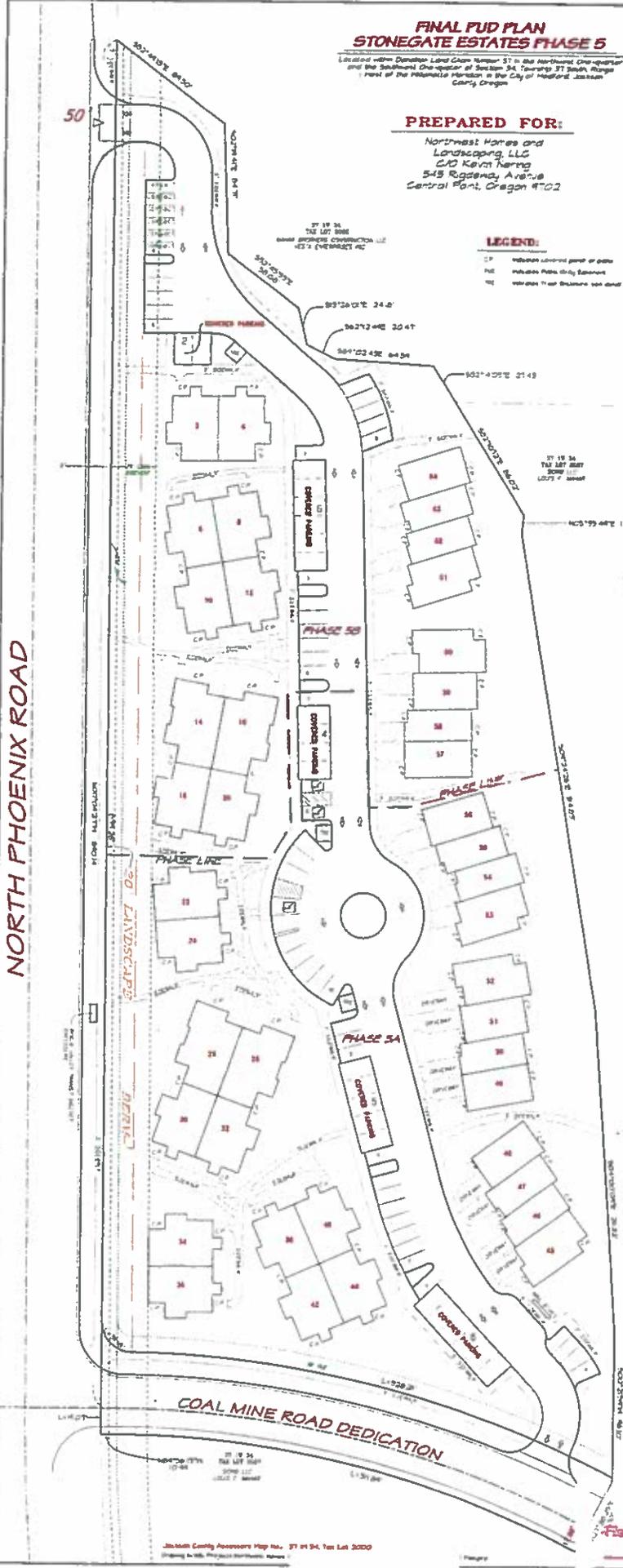
Located within Donation Land Claim Number 57 in the Northwest One-quarter and the Southeast One-quarter of Section 34, Township 37 North, Range 1 West of the Palmetto Meridian in the City of Medford, Jackson County, Oregon

PREPARED FOR:
Northwest Homes and
Landscaping, LLC
c/o Kevin Hering
549 Rodgers Avenue
Central Point, Oregon 97502



LEGEND:
CP Indication of lot center point or other
PC Indication of Public Utility Easement
NE Indication of North Direction
NS Indication of North-South Direction

NORTH PHOENIX ROAD



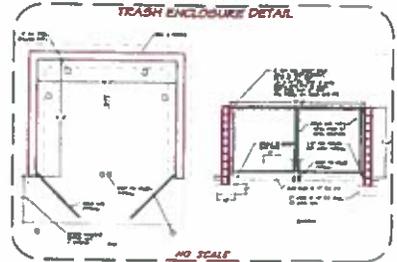
REDUCED SCALE

REGISTERED
PROFESSIONAL
LAND SURVEYOR
Log H
OREGON
JULY 12, 2005
LOGAN MILES
65452
Renewal Date 12/31/06

PROJECT INFORMATION

SECTION DISTRICT	5400
MILWAUKEE DISTRICT	1000-100
LAKEVIEW DISTRICT	1000-100
REG. SEC. AREA NORTH	5.84 ACRES
REG. SEC. AREA SOUTH	4.40 ACRES
EXIST. IMP. RIGHTS	NONE
EXIST. IMP. VALUE	0.00
PROPOSED PD	COMMERCIAL RESIDENTIAL
NUMBER OF UNITS	50 UNITS
BUILDING AREA	10,000 SQUARE FEET
LOT COVERAGE	27.2%
OPEN REC. SPACE	10,214 SQUARE FEET
PHASE 5A	
UNCOVERED	50
COVERED	20
SHADES	20
TOTAL PHASE 5A	90

RECEIVED
APR 19 2007
Planning Dept



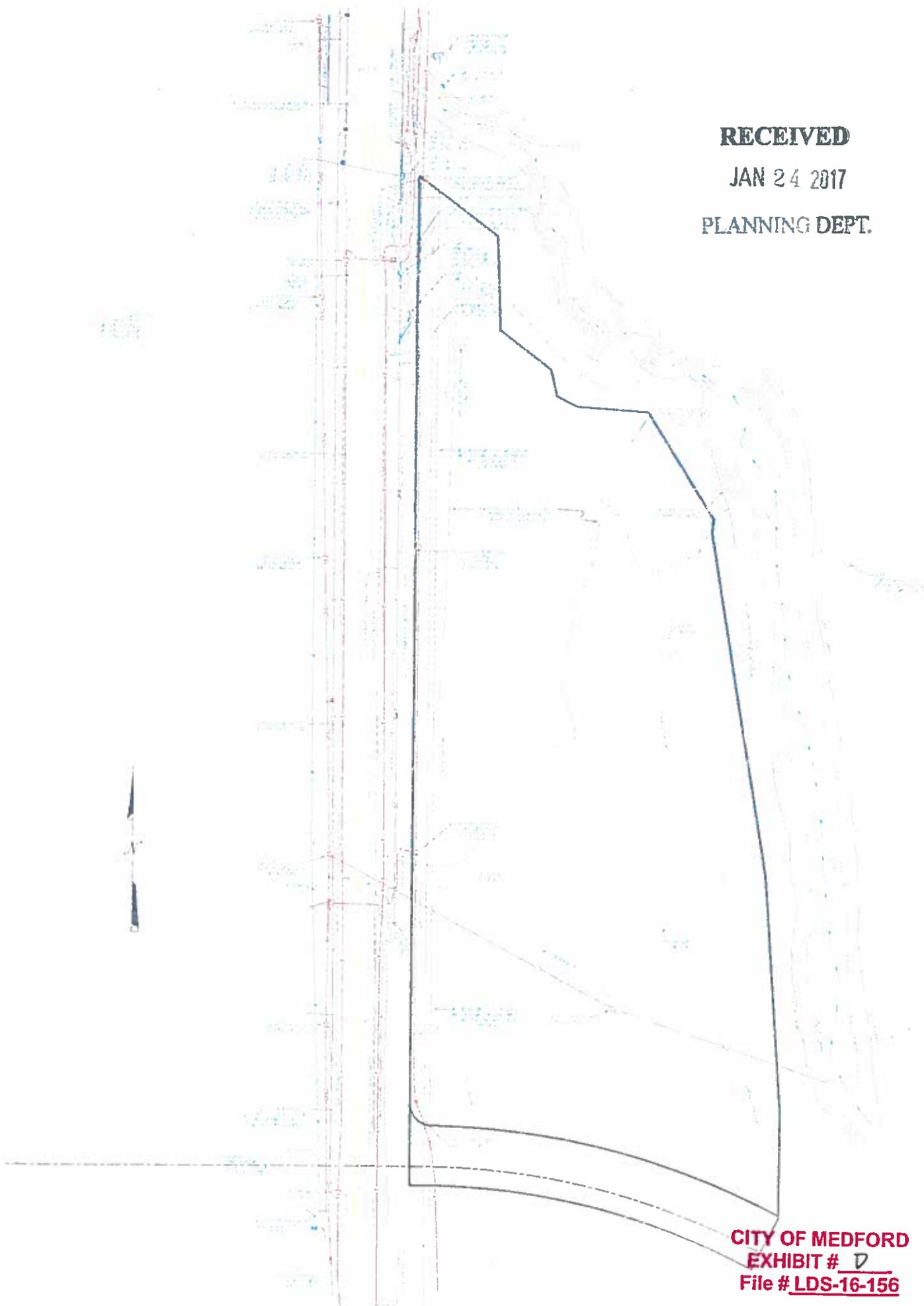
BASIS OF SURVEY:
Basis of Bearings to Publicly Recorded, but not based on a valid or current establishment by Global Positioning System Observations.
Basis of elevations City of Medford Benchmarks, National 89-107, which is purchased as a portion of 84-4747, Town

CITY OF MEDFORD
EXHIBIT # 1
PREPARED BY: Northwest Planning Inc.
2132 State Street, Suite 110
P.O. Box 1584
Medford, Oregon 97501-0120
(541) 758-2869
(541) 752-1382
CITY OF MEDFORD
EXHIBIT # 1
PROJECT NUMBER: 80048 BATH April 16, 2007
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CITY OF MEDFORD
EXHIBIT # D
File # LDS-16-156

FINDINGS OF FACT AND CONCLUSIONS OF LAW

**BEFORE THE CITY OF MEDFORD
PLANNING COMMISSION**

**IN THE MATTER OF AN APPLICATION
FOR THE TENTATIVE PLAT APPROVAL
OF STONEGATE ESTATES, PHASE 5.**

APPLICANT: Dan Mahar
P.O. Box 4428
Medford, OR 97501

AGENT: Neathamer Surveying, Inc.
P.O. Box 1584
Medford, OR 97501

A. BACKGROUND INFORMATION

Stonegate Estgates, Phase 5 is located within a portion of the approved Planned Unit Development (PUD) known as Stonegate Estates PUD. The Final PUD Plan has already been approved per the Staff Report dated, June 25, 2007 (PUD-00-116).

A minor revision was requested and submitted with the associated SPAC application (AC-06-248) which requested the conversion of portions of the original parking spaces into parking garages. The minor revision was approved per the Final report dated, March 16, 2007.

Since then, a de minimis request was submitted to Kelly Akin, the Interim Planning Director, on October 31, 2016, which proposed the conversion of the parking garages to covered carports along with other minor revisions relating the hardscapes thereof. Said de minimis received approval on November 14, 2016.

The following are the Medford Planning Commission Files Numbers associated with the project: PUD-00-116 and AC-06-248.

B. SCOPE, PURPOSE, AND OVERVIEW OF THE APPLICATION

The purpose of this application is for the approval of a Tentative Plat for a 20-lot (and reserve acreage tract) residential subdivision, on an approximate 5.39-acre site located easterly of North Phoenix Road, within an SFR-10/PD (Single-Family Residential - 10 dwelling units per acre/Planned Development) zoning district.

CITY OF MEDFORD
EXHIBIT # E
File # LDS-16-156

The proposed development consists of attached, single-family dwelling units (townhouses) and condominiums. The scope of this application is limited to the approval of the Tentative Plat for the townhome portion of the development consisting of Lots 40-64, a private and public street, and associated common area. The remainder of the property is designated as reserve acreage and is intended for the condominium portion of the development.

C. APPROVAL CRITERIA

CITY OF MEDFORD LAND DEVELOPMENT CODE

SECTION 10.270 – LAND DIVISION CRITERIA

Section 10.270 of the Medford's Land Development Code (MLDC) states that:

The approving authority (Planning Commission) shall not approve any tentative plat unless it first finds that, the proposed land division together with the provisions for its design and improvement:

- 1. Is consistent with the Comprehensive Plan, any other applicable specific plans thereto, including Neighborhood Circulation Plans, and all applicable design standards set forth in Article IV and V;*
- 2. Will not prevent development of the remainder of the property under the same ownership, if any, or of adjoining land or of access thereto, in accordance with this chapter;*
- 3. Bears a name that has been approved by the approving authority and does not use a word which is the same as, similar to, or pronounced the same as a word in the name of any other subdivision in the City of Medford; except for the words "town", "city", "place", "court", "addition", or similar words; unless the land platted is contiguous to and platted by the same applicant that platted the land division bearing that name; or unless the applicant files and records the consent of the party who platted the land division bearing that name and the block numbers continue those of the plat of the same name last filed;*
- 4. If it includes the creation of streets or alleys, that such streets or alleys are laid out to be consistent with existing and planned streets and alleys and with the plats of land divisions already approved for adjoining property unless the approving authority determines it is in the public interest to modify the street pattern;*
- 5. If it has streets or alleys that are proposed to be held for private use, that they are distinguished from the public streets or alleys on the tentative plat, and reservations or restrictions relating to the private streets or alleys are set forth;*
- 6. Will not cause an unmitigated land use conflict between the land division and adjoining agricultural lands within the EFU (Exclusive Farm Use) zoning district.*

D. FINDINGS OF FACT AND CONCLUSIONS OF LAW

CRITERION NO. 1

1. *Is consistent with the Comprehensive Plan, any other applicable specific plans thereto, including Neighborhood Circulation Plans, and all applicable design standards set forth in Article IV and V;*

FINDINGS OF FACT

The proposed layout contained herein is substantially consistent with the original approvals contained in PUD-00-116. However, the originally approved PUD Plan included pad lots for the townhouse portion of the development. Since then, the development standards prohibit the creation of pad lots for residential purposes. As such, this application changes the original pad lot design to be townhouse dwelling lots with street frontage along the private drive in order to accommodate the new standard while still preserving the nature of the originally approved PUD Plan. In doing so, the proposed townhouse dwelling lots are not able to meet all the criteria specified in MLDC, Chapter 10.712, including the minimum lot depth and the minimum side yard building setback. As a result, the applicant asks for leniency regarding said criteria as efforts are being made to alter an already approved PUD Plan that includes pad lots, in order to satisfy the new standards.

It should also be noted that due to the alteration of the pad lots to townhouse dwelling lots, the path was adjusted between proposed Lots 48 and 49 to avoid conflict with the lot boundaries.

As demonstrated on the approved Final PUD Plan, the applicant respectfully requests the proposed development to be divided into two phases (Phase 5A and Phase 5B). However, the applicant would like to change the phase boundary to include the round-about within Phase 5B.

The proposed public street, Juanipero Way, is consistent with the Southeast Circulation Plan Map that was adopted on March 7, 2013 (refer to Criterion No. 4 herein for additional information).

No additional development or changes are being proposed at this time.

CRITERION NO. 2

2. *Will not prevent development of the remainder of the property under the same ownership, if any, or of adjoining land or of access thereto, in accordance with this chapter;*

FINDINGS OF FACT

The Tentative Plat demonstrates consistency with the approved Planned Unit Development. As a result, the approval of the land division contained herein will not prevent the development of the remainder of the property under the same owner, or the adjoining lands.

CRITERION NO. 3

3. *Bears a name that has been approved by the approving authority and does not use a word which is the same as, similar to, or pronounced the same as a word in the name of any other subdivision in the City of Medford; except for the words "town", "city", "place", "court", "addition", or similar words; unless the land platted is contiguous to and platted by the same applicant that platted the land division bearing that name; or unless the applicant files and records the consent of the party who platted the land division bearing that name and the block numbers continue those of the plat of the same name last filed;*

FINDINGS OF FACT

The name of the subdivision, Stonegate Estates, Phase 5, is a name that has already been approved by the Planning Commission. No new subdivision name is being proposed.

CRITERION NO. 4

4. *If it includes the creation of streets or alleys, that such streets or alleys are laid out to be consistent with existing and planned streets and alleys and with the plats of land divisions already approved for adjoining property unless the approving authority determines it is in the public interest to modify the street pattern;*

FINDINGS OF FACT

The layout of the proposed public street, Juanipero Way, is consistent with the proposal contained in PUD-00-116. Furthermore, the street is consistent with the Southeast Circulation Plan Map, adopted on March 7, 2013. However, it should be noted that pursuant to coordination with the City, the name of the street has changed from Coal Mine Road to Juanipero Way (as designated on the subsequent Tentative Plat).

CRITERION NO. 5

5. *If it has streets or alleys that are proposed to be held for private use, that they are distinguished from the public streets or alleys on the tentative plat, and reservations or restrictions relating to the private streets or alleys are set forth;*

FINDINGS OF FACT

There is an unnamed private street proposed in the subject development and is designated as a private street on the Tentative Plat. The private street is intended to provide access to the townhouses and the future development of the condominiums. Provisions regarding the maintenance of the private street will be addressed in the Covenants, Conditions and Restrictions (CCR's).

CRITERION NO. 6

6. *Will not cause an unmitigated land use conflict between the land division and adjoining agricultural lands within the EFU (Exclusive Farm Use) zoning district.*

FINDINGS OF FACT

There are no lands that adjoin the subject plat that have an EFU zoning.

CONCLUSION OF LAW

Based upon the submitted application materials and the above Findings of Facts, the Planning Commission concludes that the application complies with the applicable provisions of all city ordinances.

E. ULTIMATE CONCLUSION

The Planning Commission concludes that the application for Stonegate Estates, Phase 5, is consistent with the relevant criteria for a land division found in Section 10.270 of Medford's Land Development Code, and can therefore be approved.

Respectively Submitted,

Neathamer Surveying, Inc.


Robert V. Neathamer, President

Agent for Applicant:
Dan Mahar

Dated: December 8, 2016



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CITY OF MEDFORD

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LD Date: 2/22/2017
File Numbers: LDS-16-156

PUBLIC WORKS DEPARTMENT STAFF REPORT
Stonegate Estates Phase 5

Project: Consideration of tentative plat approval for Stonegate Estates Phase 5, a 20-lot (and reserve acreage) residential townhome subdivision on an approximate 5.39-acre site.

Location: Located on the east side of North Phoenix Road, within an SFR-10/PD/SE (Single Family Residential – 10 dwelling units per gross acre/Planned Development/Southeast Plan Overlay) zoning district (371W342000).

Applicant: Dan Mahar, Applicant (Neathamer Surveying, Agent). Praline McCormack, Planner.

Applicability:

The Medford Public Works Department’s conditions of Preliminary Plan Approval for Stonegate Estates PUD were adopted by Order of the Medford Planning Commission on January 10th, 2002 (PUD-00-116). A revision to the PUD was approved by the Planning Commission on May 26th, 2016. The approval for Stonegate Estates CUP was adopted by Order of the Medford Planning Commission on November 11th, 2004 (CUP-04-109). A revision to CUP-04-109 was approved by the Medford Planning Commission on May 26th, 2006. The Medford Site Plan and Architectural Commission adopted the Final Order for AC-06-248 on February 16th, 2007. A minor revision to AC-06-248 was approved on March 16th, 2007. **The adopted conditions by each of these actions shall remain in full force as originally adopted except as amended below.**

The following shall be completed and accepted prior to the respective events under which they are listed:

- Issuance of Certificates of Occupancy (C of O) for individual units:
 - All public improvements associated with P1694D; moreover the improvements associated with Juanipero Way shall be completed prior to C of O for Phase 5A and/or Phase 5B (whichever is completed first).

REVISION REQUESTS

- **Change the original pad lot design to be townhouse dwellings lots to accommodate new development standards.**
- **Modify the design of the pathway between proposed Lots 48 and 49 to avoid conflict with the lot boundaries.**
- **Adjust the phase boundary to include the private round-about within Phase 5B.**
- **The name of Coal Mine Road has changed to Juanipero Way per coordination with the City of Medford.**
- **Provisions regarding the maintenance of the private street will be addressed in the Covenants, Conditions and Restrictions (CCR's).**

Public Works has no objections to the proposed revisions/changes stated above for Stonegate Estates Phase 5.

Prepared by: Doug Burroughs



BOARD OF WATER COMMISSIONERS
Staff Memo

TO: Planning Department, City of Medford
FROM: Rodney Grehn P.E., Water Commission Staff Engineer
SUBJECT: LDS-16-156
PARCEL ID: 371W34 TL 200
PROJECT: Consideration of tentative plat approval for Stonegate Estates Phase 5, a 20-lot (and reserve acreage) residential townhome subdivision on an approximate 5.39-acre site located on the east side of North Phoenix Road, within an SFR-10/PD/SE (Single Family Residential – 10 dwelling units per gross acre/Planned Development/Southeast Plan Overlay) zoning district (371W342000), Dan Mahar, Applicant (Neathamer Surveying, Agent), Praline McCormack, Planner.
DATE: February 22, 2017

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PLANNING DEPT.

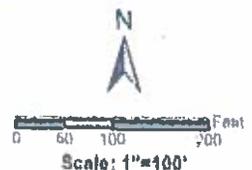
I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. All water mains, water meters, fire hydrants, and fire services have been installed on this project. All paving on this project is required to be completed prior to Medford Water Commission accepting facilities into our inventory. Applicants' contractor shall coordinate with MWC inspectors to verify all new valves, water meters, air valves, fire hydrants, and fire service vaults have been adjusted to finished grade and are full functioning.

COMMENTS

1. Off-site water line installation is not required.
2. Static water pressure is expected to be near 66 psi. Pressure Reducing Valves (PRV's) shall only be installed when static water pressure is over 80 psi.
3. On-site water facility construction is complete, but MWC is waiting for final paving prior to MWC accepting all water distribution facilities into our inventory.
4. MWC-metered water service does exist to this property. All water meters are currently installed to serve domestic water to all units. (See Condition 3 above)
5. Access to MWC water lines is available. There is a 12-inch water line on-site that has been recently installed to serve this development. (See Condition 3 above)



Water Facility Map for LDS-10-150

Legend

- Air Valve
- Sample Station
- Flow Control
- Hydrant
- Reduct
- Blow Off
- Plugs-Caps

Water Meters:

- Active Meter
- On Wall
- Unknown
- Vacant

Water Valves:

- Butterfly Valve
- Gate Valve
- Tapping Valve

Water Mains:

- Active Main
- Abandoned Main
- Reservoir Drain Pipe
- Pressure Zone Line

Boundaries:

- Green Outline Boundary
- Blue Outline Boundary
- Yellow Outline Boundary

MWC Facilities:

- Control Station
- Pump Station
- Reservoir



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CITY OF MEDFORD
EXHIBIT # 6
 File # **LDS-16-156**

This map is a computer-generated map. It is not a legal document. It is intended for informational purposes only. The City of Medford is not responsible for any errors or omissions on this map. The City of Medford is not responsible for any damages or liabilities arising from the use of this map.



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

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FEB 21 2017

LAND DEVELOPMENT REPORT - PLANNING DEPT.

To: Praline McCormack

LD Meeting Date: 02/22/2017

From: Greg Kleinberg

Report Prepared: 02/21/2017

Applicant: Dan Mahar, Applicant (Neathamer Surveying, Agent)

File #: LDS - 16 - 156

Site Name/Description: Stonegate Estates Phase 5

Consideration of tentative plat approval for Stonegate Estates Phase 5, a 20-lot (and reserve acreage) residential townhome subdivision on an approximate 5.39-acre site located on the east side of North Phoenix Road, within an SFR-10/PD/SE (Single Family Residential - 10 dwelling units per gross acre/Planned Development/Southeast Plan Overlay) zoning district (371W342000); Dan Mahar, Applicant (Neathamer Surveying, Agent). Praline McCormack, Planner.

DESCRIPTION OF CORRECTIONS	REFERENCE
----------------------------	-----------

Requirement	ADDITIONAL REQUIREMENTS/COMMENTS	MEDFORD	OTHER
-------------	----------------------------------	---------	-------

Same requirements as AC-06-248, including:

1. Fire hydrant locations
2. Alternate method of protection required (fire sprinklers) for buildings that do not meet the 150' requirement to reach all portions of the exterior walls from fire apparatus access roads.

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.

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EXHIBIT # H
File # LDS-16-156

Memo



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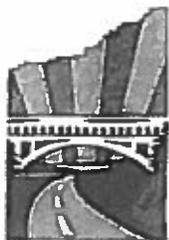
To: Praline McCormack, Planning Department
From: Mary Montague, Building Department
CC: Agent, Bob Neathamer
Date: February 22, 2017
Re: LDS-16-156; Stonegate Estates Ph 5

Building Department:

Please Note: This is not a plan review. These are general notes based on general information provided. Plans need to be submitted and will be reviewed by a residential plans examiner to determine if there are any other requirements for this occupancy type. Please contact the front counter for fees.

1. Applicable Building Codes are 2014 ORSC with additional Oregon amendments to the 2011 ORSC; 2014 OPSC; and 2014 OMSC. For list of applicable Building Codes, please visit the City of Medford website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Design Criteria" on left side of screen and select the appropriate design criteria.
2. All plans are to be submitted electronically. Information on the website: www.ci.medford.or.us Go to "City Departments" at top of screen; click on "Building"; click on "ELECTRONIC PLAN REVIEW (ePlans)" for information.
3. Site Excavation permit required to develop, install utilities.
4. Demo Permit is required for any buildings being demolished.
5. A site specific soils geotech report is required by a Geotech Engineer prior to foundation inspections. The report must contain information on how you will prepare the lot for building and a report confirming the lot was prepared per their recommendations.

CITY OF MEDFORD
EXHIBIT # I
File # LDS-16-156



JACKSON COUNTY

Roads

Roads
Engineering

Kevin Christiansen
Construction Manager

200 Antelope Road
White City, OR 97503
Phone: (541) 774-6255
Fax: (541) 774-6295
loguera@jacksoncounty.org
www.jacksoncounty.org

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PLANNING DEPT.

February 16, 2017

Attention: Praline McCormack
Planning Department
City of Medford
200 South Ivy Street, Lausmann Annex, Room 240
Medford, OR 97501

RE: Subdivision off Coal Mine Road – a county maintained road.
Planning File: LDS-16-156.

Dear Sarah:

Thank you for the opportunity to comment on a request for tentative plat approval of Stonegate Estates Phase 5, a 20 lot (and reserve acreage) residential townhouse subdivision on approximately 5.39 acre site located on the east side of North Phoenix Road, within an SFR-10/PD/SE (Single Family Residential – 10 dwelling units per gross acre/Planned Development/Southeast Plan Overlay) zoning district. Jackson County Roads has the following comments:

1. Any new or improved road approaches off Coal Mine Road shall be permitted and inspected by the City of Medford.
2. The applicant shall submit construction drawings to Jackson County Roads and obtain county permits if required.
3. If frontage improvements are required they shall be permitted and inspected by the City of Medford.
4. Coal Mine Road is a County Local Road, County maintained and has a forty-foot right-of-way. According to the Master Phasing Plan for Stonegate Estates, Coal Mine Road is going to be relocated and reconstructed to have a Medford Street Functional Classification of Major Collector. Please note Jackson County Roads has no plans for future improvements to Coal Mine Road.
5. Jackson County Roads would like to review and comment on the hydraulic report including the calculations and drainage plan. Capacity improvements or on site detention, if necessary, shall be installed at the expense of the applicant. Upon completion of the project, the developer's engineer shall certify that construction of the

CITY OF MEDFORD
EXHIBIT # J
File # LDS-16-156

February 16, 2017
Page 2 of 2

drainage system was constructed per plan and a copy of the certification shall be sent to Jackson County Roads.

6. We recommend the City of Medford take over jurisdiction of Coal Mine Road and this section of North Phoenix Road.

If you have any questions or need further information feel free to call me at 774-6255.

Sincerely,

A handwritten signature in black ink, appearing to read "K. Christiansen". The signature is written in a cursive style with a large initial "K" and a long, sweeping underline.

Kevin Christiansen
Construction Manager

Praline M. McCormack

From: DOWNING Andrea <andrea.downing@state.or.us>
Sent: Tuesday, February 21, 2017 12:59 PM
To: Praline M. McCormack
Subject: WLUN #2017-0048 Response to LDS-16-0156
Attachments: WN2017-0048-Notice.pdf; WN2017-0048-Response.pdf

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FEB 21 2017

PLANNING DEPT.

We have completed our review of the Wetland Land Use Notification that was prepared for Dan Mahar and Carrico Family Foundation. The WLUN form was submitted to the Department for review/response and given the file number **WN2017-0048**.

The results and conclusions from that review are explained in the attached pdf documents. If the attached documents are illegible or difficult to open, you may contact the Department and request paper copies. Otherwise, please review the attachments carefully and direct any questions or comments to Jurisdiction Coordinator, Lynne McAllister at (503) 986-5300 or Lynne.McAllister@dsl.state.or.us. Thank you for your interest in the project.

Aquatic Resource Management Program
Oregon Department of State Lands
775 Summer St. NE, Ste. 100
Salem, OR 97301-1279
Fax: (503) 378-4844
www.oregon.gov/dsl

CITY OF MEDFORD
EXHIBIT # ✓ 102
File # LDS-16-156



WETLAND LAND USE NOTIFICATION RESPONSE
 OREGON DEPARTMENT OF STATE LANDS
 775 Summer Street NE, Suite 100, Salem, OR 97301-1279
 Phone (503) 986-5200
www.oregonstatelands.us

DSL File Number: WN2017-0048

Cities and counties have a responsibility to notify the Department of State Lands (DSL) of certain activities proposed within wetlands mapped on the Statewide Wetlands Inventory. Praline McCormack from city of Medford submitted a WLUN pertaining to local case file # LDS-16-156.

Activity location:

township: 37S	range: 01W	section: 34	quarter-quarter section:
tax lot(s): 2000			
street address: 1351 N Phoenix Rd, Medford			
city: Medford		county: Jackson	
latitude: 42.310453		longitude: -122.814593	

Mapped wetland/waterway features:

The national wetlands inventory shows a wetland on the property.

Oregon Removal-Fill requirement (s):

A state permit is required for 50 cubic yards or more of removal and/or fill in wetlands, below ordinary high water of streams, within other waters of the state, or below highest measured tide where applicable.

Your activity:

It is unlikely that there are jurisdictional wetlands or waterways on the property based upon a review of wetland maps, the county soil survey and other information.

Contacts:

Related permits:

DSL Permit #	Status
31439	Authorized

Related wetland delineations/determinations:

WD #	Status
WD2000-0408	Approved
WD2000-0548	Approved

This is a preliminary jurisdictional determination and is advisory only.

CITY OF MEDFORD
 EXHIBIT # K 2 of 2
 File # LDS-16-156

Comments: The parcel has been highly altered over time, partially under other DSL permits. Larson Creek has been routed around or under the site. There are no signs of jurisdictional wetlands or waters on this parcel presently.

Response by:  date: 02/21/2017

MEDFORD IRRIGATION DISTRICT

P.O. BOX 70
5045 Jacksonville Hwy
Jacksonville, Oregon 97502
Office (541)899-9913

City of Medford
Planning Department
Lausmann Annex, Room 240
200 South Ivy St.
Medford, OR 97501

February 16, 2017

File#: LDS-16-156
Subject: Stonegate Estates Phase 5

The property located on N. Phoenix Rd. (371W34 TL 2000) has 5.39 ac of water rights that will need to be transferred off prior to construction. Also a crossing permit will be required.

The owner/developer will need to contact our office for the crossing agreement and transfer off documents.

Carol Bradford,
Manager

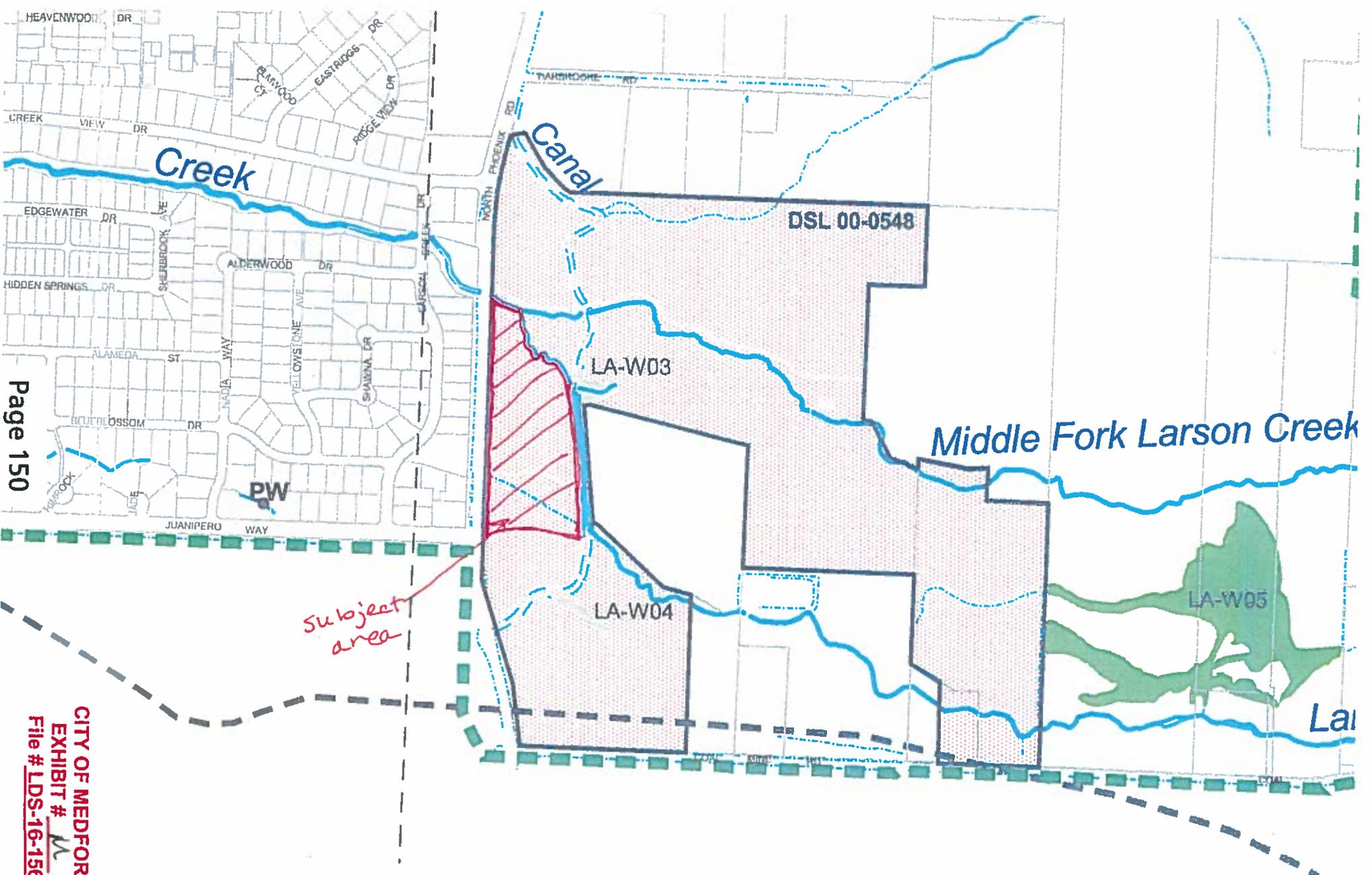


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CITY OF MEDFORD
EXHIBIT # 6
LDS-16-156



SECTION 34, T.37S., R.1W., W.M.
JACKSON COUNTY
1" = 400'

37 1W 34
MEDFORD



AND THERE IS NO OTHER INFORMATION ON THIS MAP.

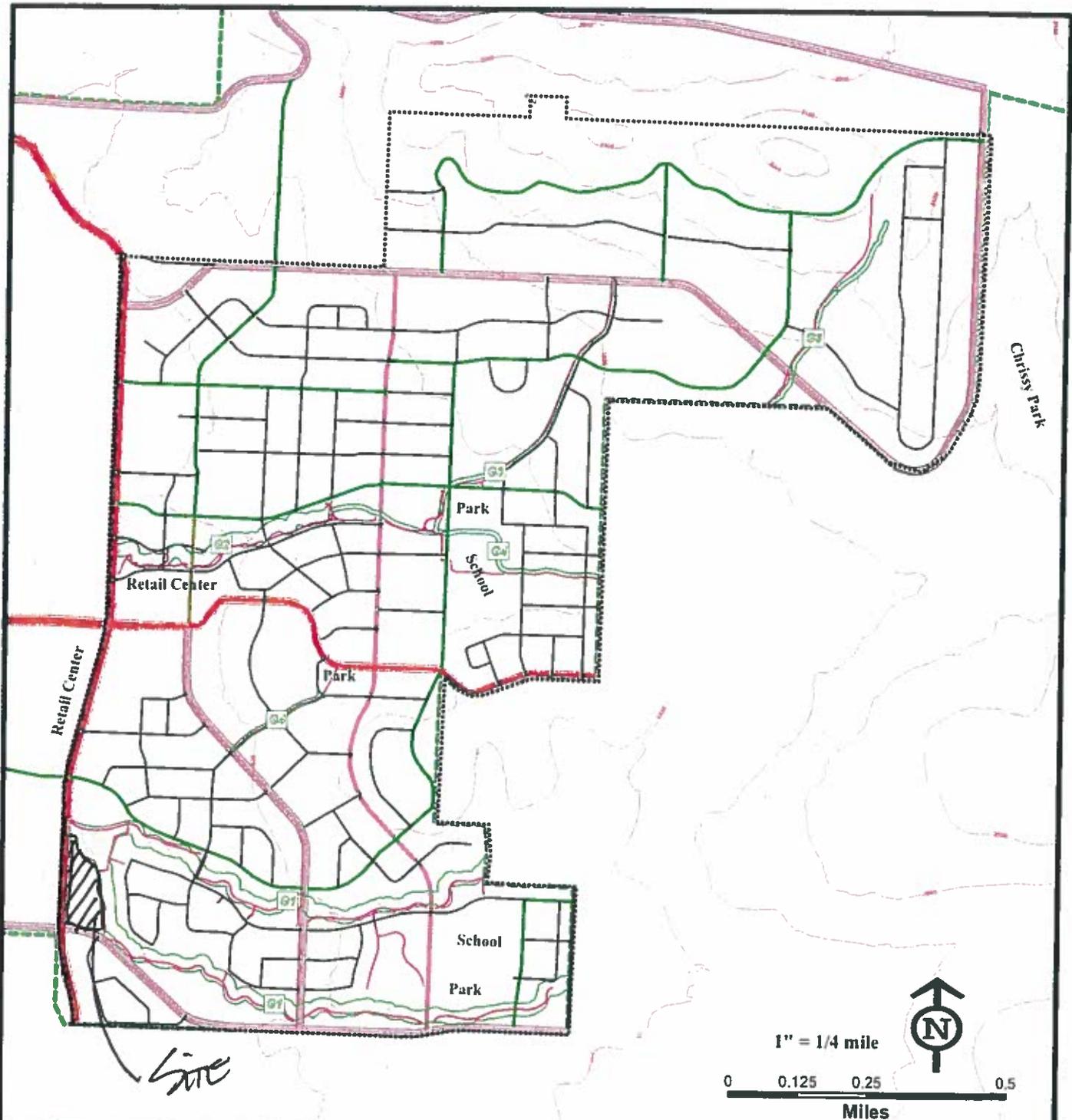
Page 151

SUBJECT SITE

CITY OF MEDFORD
EXHIBIT # N
File # LDS-16-156

37 1W 34
MEDFORD

PLAT MAP OF SECTION 34, T.37S., R.1W., W.M., JACKSON COUNTY, OREGON, SHOWING THE LOTS AND BLOCKS OF THE EASTGATE ESTATES PHASES 2 & 3.



ADOPTED March 7, 2013
ORDINANCE #2013-42

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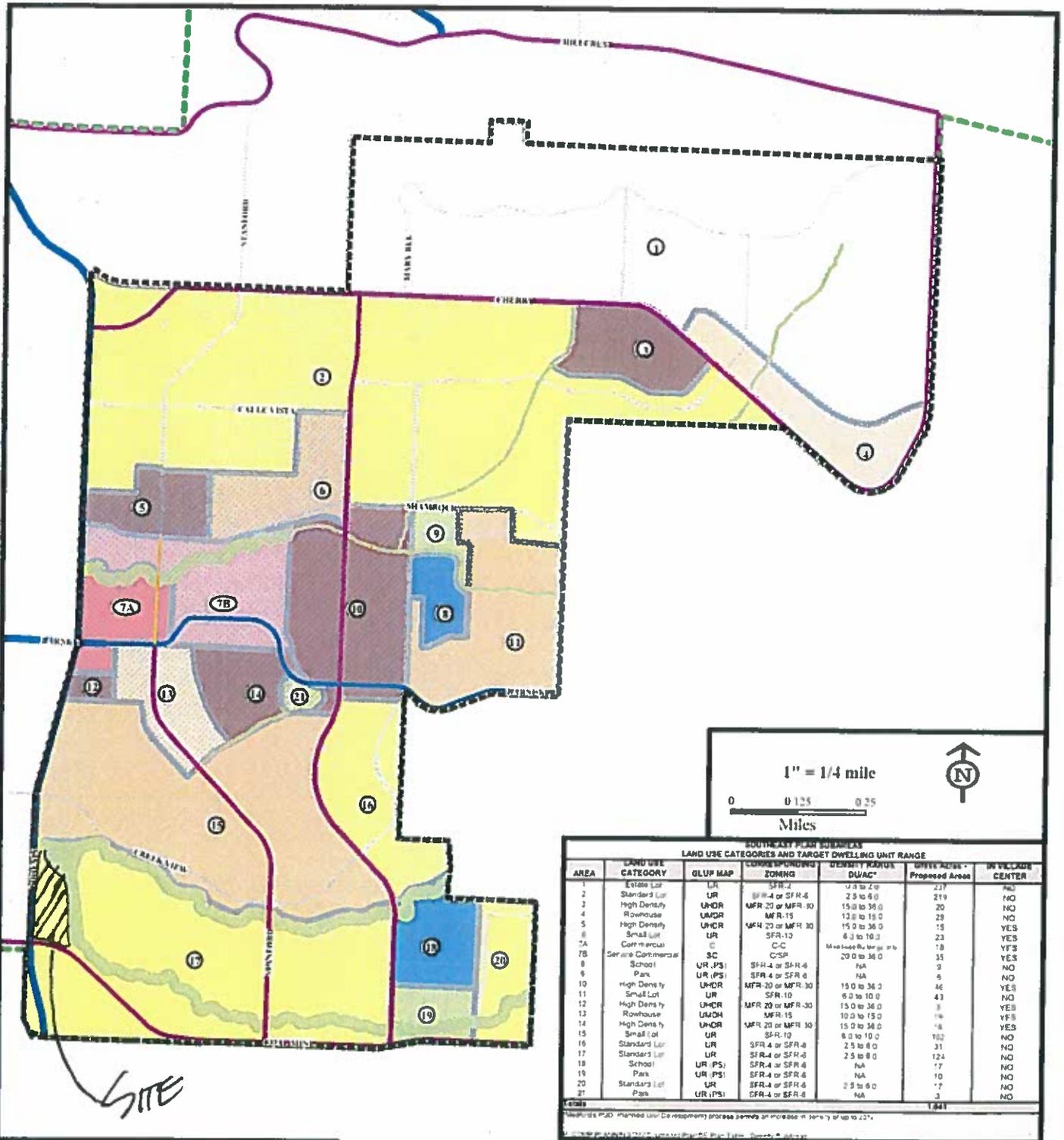
SOUTHEAST CIRCULATION PLAN MAP

- Major Arterial
- Minor Arterial
- Major Collector
- Minor Collector
- Commercial Street
- Standard Residential
- Local Street
- Multi-Use Paths

- Greenway
- Greenway Design Standard
(See Circulation Plan Document)
- UGB
- SE Plan Boundary
- Contours**
- 100 Foot
- 20 Foot



CITY OF MEDFORD
EXHIBIT # 0
File # LDS-16-156



**ADOPTED March 7, 2013
ORDINANCE #2013-42**

**SOUTHEAST
PLAN MAP**

- UGB
- SE Plan Boundary
- Village Center TOD
- Existing Taxlots
- Greenway
- Major Arterial
- Minor Arterial
- Major Collector
- Minor Collector
- Commercial Street
- Standard Residential
- Estate Lot
- Standard Lot
- Small Lot
- Row House
- High Density
- Commercial
- Service Commercial
- Schools
- Parks

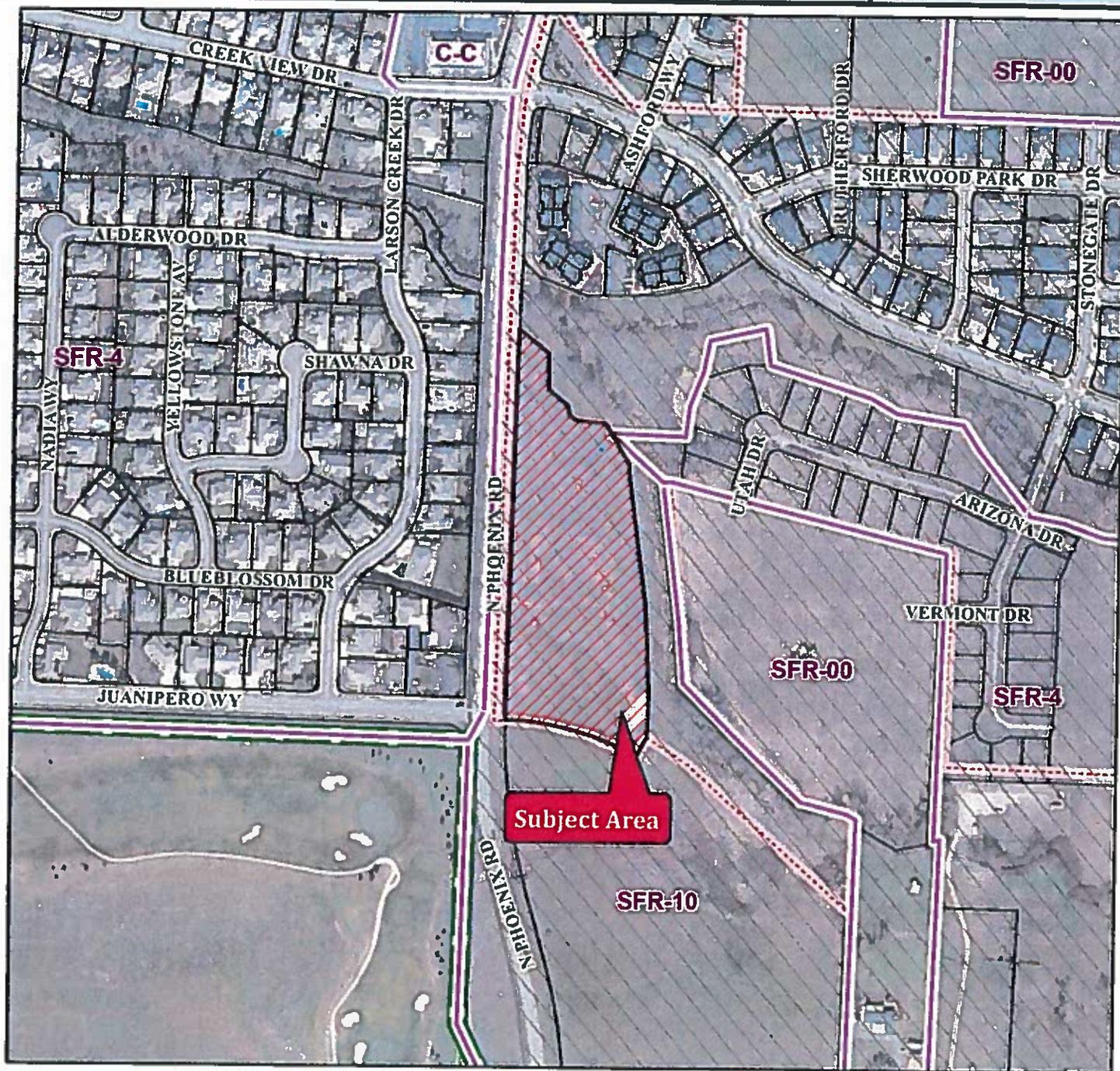
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City of Medford
Planning Department

Vicinity
 Map

File Number:
LDS-16-156



Project Name:

Stonegate Estates Phase 5

Map/Taxlot:

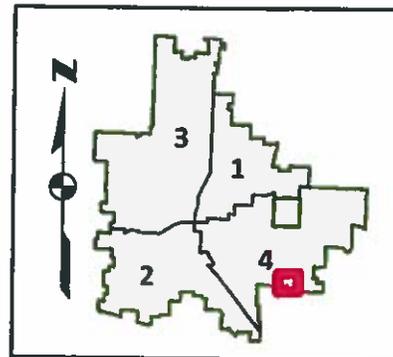
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12/12/2016

Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots
-  Streets
-  PUD





STAFF REPORT

for a Type-C quasi-judicial decision: PUD Revision and Zone Change

PROJECT Stewart Meadows Village - PUD Revision/Zone Change
Applicant: KOGAP Enterprises, Inc.
Agent: Maize & Associates, Inc.

FILE NO. PUD-17-003/ZC-17-004

TO Planning Commission *for 03/23/2017 hearing*

FROM Dustin Severs, Planner II

REVIEWER Kelly Akin, Assistant Planning Director

DATE March 16, 2016

BACKGROUND

Proposal

Consideration of a revision to the approved Preliminary PUD Plan for Stewart Meadows Village Planned Unit Development, including the addition of property, located on a resulting approximate 121-acre site bounded generally by Stewart Avenue, South Pacific Highway, Garfield Avenue, and Myers Lane, within an SFR-6, SFR-10, C-C, I-L and I-G zoning districts, including a request for a change of zone on an approximate 0.62-acre tract from SFR-6 to SFR-10, an approximate 0.62-acre tract from SFR-10 to MFR-30, an approximate 0.26-acre tract from I-G to I-L, an approximate 0.26-acre tract from I-L to I-G, an approximate 9.8-acre tract from C-C to I-L, and an approximate 9.8-acre tract from I-L to C-C.

Subject Site Characteristics

Zoning	SFR-6	Single Family Residential – 6 dwelling units per gross acre
	SFR-10	Single Family Residential – 10 dwelling units per gross acre
	C-C	Community Commercial
	I-L	Light Industrial
	I-G	General Industrial
GLUP	UR	Urban Residential
	GI	General Industrial
	CM	Commercial
	HI	Heavy Industrial

Overlay P/D Planned Development
Use(s) Vacant land / Harry & David building

Surrounding Site Characteristics

North Zone: I-G & C-R
Uses: Southern Oregon Sales Packing Company, Costelow's Car Dealership.

South Zone: SFR-00 & Jackson County Exclusive Farm Use (EFU)
Use: Harry & David

East Zone: C-R & I-G
Uses: Walmart Supercenter, National Guard Armory, Veterans Memorial Park, Holiday Inn Express, Rogue Credit Union, Hayes Oil Company, Central Oregon and Pacific Railroad.

West Zone: SFR-6, SFR-00, SFR-10, C-C, & Jackson County EFU
Uses: Stewart Meadows Golf Course

Applicable Criteria

Planned Unit Development, §10.235(D)

The Planning Commission shall approve a Preliminary PUD if it concludes that compliance exists with each of the following criteria:

1. *The proposed PUD:*
 - a. *preserves an important natural feature of the land, or*
 - b. *includes a mixture of residential and commercial land uses, or*
 - c. *includes a mixture of housing types in residential areas, or*
 - d. *includes open space, common areas, or other elements intended for common use or ownership, or*
 - e. *is otherwise required by the Medford Land Development Code.*

2. *The proposed PUD complies with the applicable requirements of this Code, or*
 - a. *the proposed modified applications of the Code are necessary for the project to be consistent with the criteria in Section 10.235(C)(1)(a-e), and*
 - b. *the proposed modifications enhance the development as a whole resulting in a more creative and desirable project, and*
 - c. *the proposed modifications to the limitations, restrictions, and design standards of this Code will not materially impair the function, safety, or efficiency of the circulation system or the development as a whole.*

3. *The property is not subject to any of the following measures or if subject thereto the PUD can be approved under the standards and criteria there under:*

- a. *Moratorium on Construction or Land Development pursuant to ORS 197.505 through 197.540, as amended.*
 - b. *Public Facilities Strategy pursuant to ORS 197.768 as amended.*
 - c. *Limited Service Area adopted as part of the Medford Comprehensive Plan.*
4. *The location, size, shape and character of all common elements in the PUD are appropriate for their intended use and function.*
 5. *If the Preliminary PUD Plan includes uses not allowed in the underlying zone pursuant to Subsection 10.230(D) (8)(c), the applicant shall alternatively demonstrate that either:*
 - 1) *demands for the Category "A" public facilities listed below are equivalent to or less than for one or more permitted uses listed for the underlying zone, or*
 - 2) *the property can be supplied by the time of development with the following Category "A" public facilities which can be supplied in sufficient condition and capacity to support development of the proposed use:*
 - a. *Public sanitary sewerage collection and treatment facilities.*
 - b. *Public domestic water distribution and treatment facilities.*
 - c. *Storm drainage facilities.*
 - d. *Public streets.*

Determinations of compliance with this criterion shall be based upon standards of public facility adequacy as set forth in this Code and in goals and policies of the Comprehensive Plan which by their language and context function as approval criteria for comprehensive plan amendments, zone changes or new development. In instances where the Planning Commission determines that there is insufficient public facility capacity to support the development of a particular use, nothing in this criterion shall prevent the approval of early phases of a phased PUD which can be supplied with adequate public facilities.

6. *If the Preliminary PUD Plan includes uses proposed under Subsection 10.230(D)(8)(c), approval of the PUD shall also be subject to compliance with the conditional use permit criteria in Section 10.248.*
7. *If approval of the PUD application includes the division of land or the approval of other concurrent development permits applications as authorized in Subsection 10.230(C), approval of the PUD shall also be subject to compliance with the substantive approval criteria in Article II for each of the additional development applications.*

Revision or Termination of a PUD, §10.245(A)(3)

3. Burden of Proof; Criteria for Revisions: The burden of proof and supporting findings of fact and conclusions of law for the criteria in Subsections 10.235(D) or 10.240(G), as applicable, shall be strictly limited to the specific nature and magnitude of the proposed revision. However, it is

further provided that the design and development aspects of the whole PUD may be relied upon in reaching findings of fact and conclusions of law for the criterion at Subsection 10.235(D)(5). It is further provided that before the Planning Commission can approve a PUD Plan revision, it must determine that the proposed revision is compatible with existing developed portions of the whole PUD.

Zone Change Approval Criteria, §10.227

The zone change criteria that are not relevant to this particular application are hereby omitted from the following citation and noted by ***.

The approving authority (Planning Commission) shall approve a quasi-judicial zone change if it finds that the zone change complies with subsections (1) and (2) below:

(1) The proposed zone is consistent with the Transportation System Plan (TSP) and the General Land Use Plan Map designation. A demonstration of consistency with the acknowledged TSP will assure compliance with the Oregon Transportation Planning Rule.) Where applicable, the proposed zone shall also be consistent with the additional locational standards of the below sections (1)(a), (1)(b), (1)(c), or (1)(d). Where a special area plan requires a specific zone, any conflicting or additional requirements of the plan shall take precedence over the locational criteria below.

(b) For zone changes to SFR-6 or SFR-10 where the permitted density is proposed to increase, one (1) of the following conditions must exist:

(i) At least one (1) parcel that abuts the subject property is zoned the same as the proposed zone, either SFR-6 or SFR-10 respectively; or

(ii) The area to be rezoned is five (5) acres or larger; or

(iii) The subject property, and any abutting parcel(s) that is (are) in the same General Land Use Plan Map designation and is (are) vacant, when combined, total at least five (5) acres.

c) For zone changes to any commercial zoning district, the following criteria shall be met for the applicable zoning sought:

(ii) The overall area of the C-C zoning district shall be over three (3) acres in size and shall front upon a collector or arterial street or state highway. In determining the overall area, all abutting property(s) zoned C-C shall be included in the size of the district.

(d) For zone changes to any industrial zoning district, the following criteria shall be met for the applicable zoning sought:

(i) The I-L zone may abut residential and commercial zones, and the General Industrial (I-G) zone. The I-L zone is ordinarily considered to be unsuitable when abutting the Heavy Industrial (I-H) zone, unless the applicant can show it would be suitable pursuant to (1)(e) below.

(ii) The I-G zone may abut the Heavy Commercial (C-H), Light Industrial (I-L), and the Heavy Industrial (I-H) zones. The I-G zone is ordinarily considered to be unsuitable when abutting the other commercial and residential zones, unless the applicant can show it would be suitable pursuant to (1)(e) below.

(2) It shall be demonstrated that Category A urban services and facilities are available or can and will be provided, as described below, to adequately serve the subject property with the permitted uses allowed under the proposed zoning, except as provided in subsection (c) below. The minimum standards for Category A services and facilities are contained in the MLDC and Goal 3, Policy 1 of the Comprehensive Plan "Public Facilities Element."

(a) Storm drainage, sanitary sewer, and water facilities must already be adequate in condition, capacity, and location to serve the property or be extended or otherwise improved to adequately serve the property at the time of issuance of a building permit for vertical construction.

(b) Adequate streets and street capacity must be provided in one of the following ways:

(i) Streets which serve the subject property, as defined in Section 10.461(2), presently exist and have adequate capacity; or

(ii) Existing and new streets that will serve the subject property will be improved and/or constructed, sufficient to meet the required condition and capacity, at the time building permits for vertical construction are issued; or

(iii) If it is determined that a street must be constructed or improved in order to provide adequate capacity for more than one proposed or anticipated development, the Planning Commission may find the street to be adequate when the improvements needed to make the street adequate are fully funded. A street project is deemed to be fully funded when one of the following occurs:

(a) the project is in the City's adopted capital improvement plan budget, or is a programmed project in the first two years of the State's current STIP (State Transportation Improvement Plan), or any other public agencies adopted capital improvement plan budget; or

- (b) *when an applicant funds the improvement through a reimbursement district pursuant to the MLDC. The cost of the improvements will be either the actual cost of construction, if constructed by the applicant, or the estimated cost. The "estimated cost" shall be 125% of a professional engineer's estimated cost that has been approved by the City, including the cost of any right-of-way acquisition. The method described in this paragraph shall not be used if the Public Works Department determines, for reasons of public safety, that the improvement must be constructed prior to issuance of building permits.*
- (iv) *When a street must be improved under (b)(ii) or (b)(iii) above, the specific street improvement(s) needed to make the street adequate must be identified, and it must be demonstrated by the applicant that the improvement(s) will make the street adequate in condition and capacity.*
- (c) *In determining the adequacy of Category A facilities, the approving authority (Planning Commission) may evaluate potential impacts based upon the imposition of special development conditions attached to the zone change request. Special development conditions shall be established by deed restriction of covenant, which must be recorded with proof of recordation returned to the Planning Department, and may include, but are not limited to the following:*

 - (i) *Restriction of uses by type or intensity; however, in cases where such a restriction is proposed, the Planning Commission must find that the resulting development pattern will not preclude future development, or intensification of development, on the subject property or adjacent parcels. In no case shall residential densities be approved which do not meet minimum density standards,*
 - (ii) *Mixed-use, pedestrian-friendly design which qualifies for the trip reduction percentage allowed by the Transportation Planning Rule,*
 - (iii) *Transportation Demand Management (TDM) measures which can be reasonably quantified, monitored, and enforced, such as mandatory car/van pools.*

Conditional Use Permit Approval Criteria, §10.248

The approving authority (Planning Commission) must determine that the development proposal complies with either of the following criteria before approval can be granted.

- (1) *The development proposal will cause no significant adverse impact on the livability, value, or appropriate development of abutting property, or the surrounding area when compared to the impacts of permitted development that is not classified as conditional.*

- (2) *The development proposal is in the public interest, and although the development proposal may cause some adverse impacts, conditions have been imposed by the approving authority (Planning Commission) to produce a balance between the conflicting interests.*

Corporate Names

KOGAP Enterprises, Inc. is the owner of the subject property. The Oregon Secretary of State business registry lists KOGAP Enterprises, Inc. as a registered business located at 115 Stewart Ave. in the City of Medford, Oregon, and lists Marvin Hackwell as the registered agent.

ISSUES AND ANALYSIS

Background

Project History

The Planning Commission approved the original Stewart Meadows Village Planned Unit Development (PUD), a mixed use commercial and residential community located on the old KOGAP mill site in South Medford, in November 2007. The approved Preliminary PUD plan consisted of approximately 650,000 square feet of retail and office space, and 297 single family residences and apartment units on 72 acres. The approval of an associated zone change resulted in a combination of zoning designations: C-C (Community Commercial), I-L (Light Industrial), and SFR-10 (Single Family Residential – 10 units per acre) (ZC-06-347). A 21-lot subdivision was also tentatively approved at that time. The approval of the preliminary PUD included a condition of approval that delegated authority to the Site Plan and Architectural Commission (SPAC) for the approval of site plan details for the development, including landscaping of the common areas and building design.

The Planning Commission approved revisions to the PUD in 2009 that included the realignment of Myers Lane to correctly align with Myers Lane south of Garfield Street, realignment of Hansen Creek through the project; increasing the overall net acreage of the PUD to 77.39 acres; adjustments to the cumulative acreages of the underlying zoning based on master plan design revisions; an improved internal circulation system; revised phasing plan; and the reduction in the overall number of residential units from 297 to 190, the reduction of the gross retail square footage by 30,595 square feet, and reduction of the office square footage by 31,629 square feet. The revision also included a zone change that increased the area zoned SFR-10 by 2.05 acres and C-C by 2.94 acres. The overall I-L zoned area was reduced by 4.99 acres. A revised tentative subdivision plat reduced the number of lots from 21 to 18 and reconfigured the internal public street system.

A Final PUD Plan for Phase 1 was approved by the Planning Director in May 2012. This first phase plan approval was for the realignment and restoration of Hansen Creek through the project. The Site Plan and Architectural Commission approved the landscaping as required.

In August of 2013, the Planning Commission approved a second revision to the Planned Unit Development, which amended the design of the commercial streets internal to the site. The approved revision did not affect the required right-of-way widths; rather, it altered the approved street cross-section design. The purpose of the design is to provide improved facilities for bicyclists, pedestrians and motorists while treating a portion of the storm drainage runoff within the right-of-way.

In April of 2014, the applicant received approval from the Site Plan and Architectural Commission for the Stewart Meadows Village Design Guidelines (AC-14-009) to ensure design elements of the development have a consistent design statement and enhanced sense of place.

In June of 2016, the applicant received approval for a third revision to the Stewart Meadows Village PUD, including an expansion of the PUD boundary resulting in the area of the overall PUD increasing to 87.1 acres, and the addition of a proposed three-story 66,837 square foot medical office building to be located at the northeast corner of the site. Other approved revisions included the elimination of Ingmar Drive, modification of the standard design cross section of the Stewart Avenue sidewalk and landscape strip, a revision to the Stewart Meadows Village Design Guidelines, inclusion of a pedestrian promenade along the South Pacific Highway/railroad right-of-way, and a revision to the development phasing plan.

Also in June of 2016, the Site Plan and Architectural Commission (SPAC) approved the 66,837 square foot Providence medical office building, together with a modification to a portion of the approved design guidelines for the development.

Later in August of 2016, the applicant received approval from the Planning Commission for a zone change on 0.42 acres from I-L to I-G and change of zone on 0.42 acres from G-I to I-L.

FILE #	DATE	DESCRIPTION
PUD-06-141 ZC-06-347 LDS-06-348	November 2007	Approval of original preliminary approval of Stewart Meadows Village PUD, including a zone change and a 21-lot tentative subdivision Plat
PUD-06-141 ZC-09-005 LDS-08-161	March 2009	Approval of first PUD revision, including a zone change and a revised tentative plat reducing total lots from the 21 lots approved in 2006 tentative plat to 18 lots
AC-12-012	May 2012	Landscaping approval of Hansen Creek restoration
PUD-06-141	August 2013	Approval of second PUD revision amending design of commercial streets within the project
AC-14-009	April 2014	SPAC approval of design elements of PUD

FILE #	DATE	DESCRIPTION
PUD-16-037	June 2016	Approval of third PUD revision including the incorporation of additional property into the PUD
AC-16-044	June 2016	SPAC approval of 68,000 S.F. medical office building, and approval of revised design guidelines of the PUD.
ZC-16-066	August 2016	Zone Change

Project Update

The restoration and realignment of the creek amenity has been completed by the applicant. The Providence medical office building is currently under construction and the applicant is also in the process of realigning Myers Lane from Stewart Avenue on the north to Garfield Street on the south, with the curb and gutter installation complete.

Current Proposal

The applicant is now seeking a fourth revision to the Stewart Meadows Village PUD with an associated request for several changes of zone. Additionally, the applicant is requesting to expand the PUD boundary, adding an additional 34.12 acres, increasing the overall size of the PUD to 121 acres; add and modify several buildings and uses, including the addition of 81 residential dwelling units; several modifications of Code standards including building height, allowed uses, parking, signage, and the relocation of land use designations; relief from agricultural buffering; and a revision of the Design Guidelines of the PUD.

Addition of adjoining property to the PUD

The applicant is proposing to add 34.12 acres to the PUD. The Revised Preliminary PUD Plan (Exhibit B) identifies the five tax lots to be included: four tax lots south of Garfield Street, which include the Harry & David warehouse building, and a small portion of tax lot 400, currently a part of the Stewart Meadows Golf Course, which will be consolidated into the PUD. As a condition of approval, the applicant will be required to gain approval of a Property Line Adjustment, which is reviewed administratively, prior to the Final PUD Plan approval.

Additional Area Proposed to be Incorporated into PUD

Tax Lot	Zoning	Gross Acreage
371W31D400 (portion)	SFR-6	0.62
2900	C-C	2.50
300	C-C	3.58
377W32C5400	I-L	13.74

Tax Lot	Zoning	Gross Acreage
5503	I-L	6.55
Included R-O-W (Anton/Garfield/Hwy.99)	C-C/I-L	7.13
Total		34.12

Addition and Modification of Buildings and Uses

The subject revision includes an increase of 81 residential dwelling units, which is an increase of 43% over the existing number of residences. The dwelling units consist of a combination of multi-plex family apartments, duplexes and tri-plexes.

In addition to the new residential units, the revised preliminary plan shows the inclusion of the existing Harry & David industrial warehouses, the addition of future industrial warehouses, the addition of retail/commercial developments, and the addition of a clock tower/elevator. The Revised Preliminary PUD Plan shows a reduction in the amount of office buildings and community uses from the previously approved 2016 revision. The location of a future parking structure is also identified.

Use Comparisons

Type	2016 Approval		Proposed Revision	
	Square Footage	Number of Dwelling units	Square Footage	Number of Dwelling units
Residential Units	291,576	190	337,580	271
Office	323,868		279,444	
Retail/Commercial	175,370		408,466	
Industrial	0		384,882	
Community	13,513		2,000	
Clock Tower	0		3,300	
Totals	804,327	190	1,415,672	271
Parking Structure			174,628	

Residential Density

Per MLDC 10.230(I)(2), PUDs larger than five acres are allowed an increase of 20% over the standard maximum density permitted. There are 271 dwelling units proposed in the subject

PUD revision, which is an increase of 10% above the maximum density. The maximum number of dwelling units permitted for the Stewart Meadows Village PUD, at the 20% increase allowed for PUDs per the Code, is 295 dwelling units.

Residential Density

Zone	Gross Acreage	Minimum/Maximum Dwelling Units per Acre	Minimum Dwelling Units	Maximum Dwelling Units	Maximum Dwelling Units + 20%
SFR-10	22.9	6/10	137	229	274
MFR-30	0.6	20/30	12	18	21
Totals				247	295

Proposed Modifications of Standards

Per MLDC 10.230(D), the approval of PUDs may include modifications which vary from the strict standards of the Code which are limited to specific categories. In their submitted findings, the applicant has requested the following modifications from the strict standards of the code.

Building Height

Per the Code, the maximum building height permitted in residential zoning districts is 35 feet. The applicant is proposing two apartment buildings, Nos. 82 and 83, located on the northwesterly corner of Garfield Street and Myers Lane within the SFR-10 zoning district, at 55 feet. The submitted findings state that, "The increased building height will allow the residential density of the PUD to be increased to further the importance of a balanced mixed-use development."

Staff is supportive of the applicant's request to exceed the maximum height for buildings 82 and 83, as the granting of relief from development standards is in harmony with the general purpose and intent of a PUD in promoting flexibility to allow creative and imaginative urban development that would otherwise not be possible under the strict requirements of the Code. It is further staff's view that allowing the two proposed apartment buildings to exceed the maximum height will not adversely affect the surrounding neighborhood, and will serve in the interest of promoting greater density within the City consistent with the goals outlined in the *Housing Element of the Comprehensive Plan*.

Allowed uses

MLDC 10.230(D)(7)(C) allows that uses not permitted in the underlying zone may, nevertheless, be permitted and approved to occupy up to 20% of the gross area of the PUD.

Non-Permitted Use Summary

Building No.	Zoning	Acreage	Use	CUP Findings Required
1	I-L	5.5	MOB	Yes/Completed
2	I-L	5.6	Hotel	No
4	I-L	-----	Hotel	No
16	I-L	6.2	Entertainment	No
20	I-L	-----	Retail	No
21	I-L	-----	Retail	No
28	SFR-10	3.3	Office	Yes
Total		20.6 ac		
		17.0%		

Mixed Land Use Designation

MLDC 10.230(D)(8) allows PUDs that have more than one General Land Use Plan (GLUP) designation the flexibility to mix and relocate the GLUP designations within the boundaries of the PUD in any manner and/or location as may be approved by the Planning Commission. Stewart Meadows Village as approved contains five GLUP designations as shown in the table below.

General Land Use Designations in Approved Stewart Meadows Village PUD

General Land Use (GLUP) Designation	Acreage
General Industrial (GI)	34.1
Urban Residential (UR)	22.4
Heavy Industrial (HI)	1.6
Urban High Density Residential (UH)	0.6
Commercial (CM)	21.6
Total	80.3

The proposed relocation of the existing GLUP designations are illustrated in Exhibit H, which shows the existing GLUP map of the PUD, and Exhibit I, which shows the proposed GLUP map of the PUD.

Size Limitation for Uses in I-L Zone

Per MLDC 10.822(A), *Eating and Drinking Places* are permitted in all industrial zones but are limited to 6,000 square feet, including the outdoor eating area. The applicant requests that the *Eating and Drinking Places* within the I-L zoned portion of the PUD be allowed to have a maximum building size of 15,000 square feet, not to include a permitted outdoor seating area.

Additionally, MLDC 10.822(B) permits *Banking Institutions* within all industrial zones but is limited to 3,500 square feet of gross floor area. The applicant is requesting that any future banking institution within the I-L zoned portions of the PUD be allowed a maximum gross building size of 5,000 square feet.

Permitted Uses in All Industrial Zones (MLDC 10.822)

Eating and Drinking Places		Banking Institutions	
Allowed	Proposed	Allowed	Proposed
6,000 square feet	15,000 square feet	3,500 square feet	5,000 square feet

Staff is supportive of the applicant’s request to exceed the area permitted for these uses within the I-L zone. However, staff disagrees with the applicant’s interpretation of the Code as it pertains to the request. MLDC 10.230(D)(2) states the following:

D. Modified Application of Standards Authorized. To fulfill the purpose and intents of the standards set forth in Section 10.230(A), authority is herewith granted for the approval of PUDs which vary from the strict standards of this Code. The nature and extent of potential modifications shall be limited to the categories below described, provided that the City, in approving such modifications, shall not violate substantive provisions of the Oregon Transportation Planning Rule:

2. Yards, Setbacks and Building Height: Limitations, restrictions and design standards pertaining to the location, size, height, yards and setbacks for buildings and other structures.

It is staff’s view that the above cited section of the Code is not applicable to a request to exceed the permitted square footage for *Eating and Drinking Places* and *Banking Institutions* within the I-L zone, as MLDC 10.230(D)(2) refers to dimensional standards for *buildings and other structures*, not *uses* within a building. Accordingly, any square footage proposed for these uses that exceed the amount permitted as a special use within the I-L zone as outlined in the Code (6,000 square feet for *Eating and Drinking Places*, 3,500 square feet for *Banking Institutions*), should appropriately be calculated into the PUD’s tabulation for non-permitted uses per MLDC 10.230(D)(7)(C).

As a condition of approval, the applicant will be required to calculate the square footage which exceeds the area permitted per MLDC 10.822(A-B) for all future *Eating and Drinking Places* and *Banking Institutions* located within the I-L zone of the development into the tabulation for non-permitted uses of the PUD, currently calculated at 17%.

Signage

MLDC 10.230(D)(4) grants the Planning Commission the authority to approve signage proposed within a PUD to be modified from the strict standards of the Code. The applicant has included a Signage Amendment (Exhibit P) with their application submittal which outlines requests consisting of a combination of adjusted existing codes, new codes, and the allowance of code overlays throughout the site. The stated purpose for the establishment of signage design guidelines is to provide a general design framework that allows flexibility while ensuring that all signage designs are appropriate for the project as a whole.

The submitted Signage Amendment proposes an Architectural Review Committee to review and approve all proposed signs within Stewart Meadows based on the guidelines identified in the Signage Amendment. Upon approval of the Architectural Review Committee, it will be the owner/lessee's responsibility to apply for, and receive all required City of Medford sign, Building Safety and electrical permits.

With the adoption of the submitted Signage Amendment, the authority to regulate signage within the development will not be relinquished by the Planning Department, nor is authority being delegated to the sole discretion of the PUD's Architectural Review Committee; rather, its adoption will permit a range of adjusted code allowances (e.g., height, area, number of signs, etc.), and permit Stewart Meadows to establish design guidelines to ensure consistency throughout. Pursuant to MLDC 10.1020, all signage proposed within the PUD will be subject to the regulatory authority of the Planning Department, and each separate sign will be required to obtain a permit from the Planning Department (except those expressly exempted per MLDC 10.1022).

Staff is generally supportive of the applicant's proposed sign amendments; however, staff does recommend that the applicant be required to submit a revised Stewart Meadows Signage Amendment per the revisions requested by staff (Exhibit BB). Additionally, staff recommends that the applicant be required to submit a site plan showing the proposed locations for all freestanding signs proposed within the PUD prior to final plan approval, to be approved by the Planning Director.

Parking

MLDC 10.230(D)(3) allows PUDs to modify parking requirements. The applicant included a Parking Analysis, conducted by Sandow Engineering, which assesses the anticipated uses to determine an accurate number of parking spaces needed to serve the development (Exhibit Q).

The submitted Parking Analysis concludes the following:

- Stewart Meadows PUD is proposing 3,203 off-street and 149 on-street parking spaces.
- Stewart Meadows has a peak parking demand of 2,771 vehicles. Peak occupancy is about 83% of total spaces provided.
- The peak parking demand occurs from 1:00 to 2:00 PM on typical weekdays. The site will operate near peak demand from 11:00 to 5:00 PM on typical weekdays.

- The land uses of Office, Residential, Retail, Restaurant, and Entertainment have individual peak parking demands that occur at times of the day and do not overlap; i.e. office has a peak parking demand near noon on weekdays and retail has a peak parking demand after 6:00 PM on weekdays. Therefore, providing opportunities for shared parking.
- Each building has adequate parking available within a 5 minute walk during the building’s individual peak parking demand.

Parking Tabulations – by Use

	Parking Spaces Code Required	Parking Spaces Proposed	Difference
Non-Residential Use Parking	2,419	2,186	-233
Residential Use Parking	447	523	+66
Added Acreage Parking (South of Garfield)	439	504	+65

Parking Tabulations – Total

Estimated Peak Parking Demand	Parking Spaces Code Required	Off-Street Parking Spaces Proposed	Off-Street Parking Spaces Proposed + On-Street Parking Spaces
2,771 Vehicles	3,305 Spaces	3,203 Spaces	3,352 Spaces

The tabulations for the parking lots located within the non-residential areas were found to be deficient 233 parking spaces. The non-residential use parking tabulation box provided on the submitted Parking Analysis Plan (Exhibit K) states the following:

Use of shared parking may not be possible as a method for making up the shortfall in parking in certain areas due to the proximity of available spaces for the intended use. Planning for a parking structure may be advisable.

The submitted Revised Preliminary Plan shows a future alternate three-story parking structure, identified as Building No. 90, as a potential solution if parking proves to be inadequate in the future.

However, the Parking Analysis estimated that the anticipated maximum usage on site is well below the available parking spaces on site. It is further stated in the Parking Analysis that the parking numbers do not factor internal trips where people walk to multiple locations on site; therefore, there is opportunity for some land uses to share parking and reduce the overall

number of needed parking spaces. The overall conclusion of the Parking Analysis is that, "Each of the buildings within the PUD has sufficient number of spaces within a reasonable walking distance. Therefore, there is sufficient available parking to meet the parking demand for the site."

Staff concurs with the conclusions of the Parking Analysis conducted by Sandow Engineering. Though the total parking spaces proposed for the PUD do not meet the minimum standards per the Code, it is staff's view that the combination of shared parking and the amount of on-street spaces provided by the internal streets within the development provide sufficient available parking to meet the peak parking demands throughout the site.

Agricultural Buffering

One of the four lots located south of Garfield Street which is proposed to be incorporated into the PUD, tax lot 5503, shares a common boundary of approximately 420 feet along its southerly property line with a property located outside of city limits within the Exclusive Farm Use (EFU) zoning District of Jackson County. Per MLDC 10.801, land proposed for urban development which abuts and has a common lot line with other land which is zoned EFU requires agricultural buffering.

Pursuant to MLDC 10.801(C), the applicant has included an Agricultural Impact Assessment (AIA) Report (Exhibit O) consistent with requirements of MLDC 10.801(A-E). Since the abutting EFU land is not under intensive day-to-day management, the property is classified as Passive Agriculture, requiring that measures be undertaken by the applicant in order to minimize or mitigate the adverse potential impacts associated with the proximity of urban and agricultural land uses. These measures include the following: the construction of a fence or masonry wall to serve as a buffer between the uses, a Deed Declaration identifying the maintenance and care responsibilities for the agricultural buffer consistent with the requirements outlined in MLDC 10.801(D)(2)(c), and irrigation runoff mitigation.

Included in the applicant's submitted Findings, is a request to eliminate the required fence and deed declaration for the following reasons:

- There is not an agricultural use that needs to be protected from trespass and vandalism.
- As there is not an agricultural use, there will be no adverse impact on the urban environment, which in this case is an industrial use.
- The subject EFU land is located within a portion of the MD-6 Urban Growth Boundary Amendment area that has been chosen as urbanizable land for the City of Medford.

Staff concurs with the applicant's findings that the mitigation provisions for Passive Agriculture as identified in the Code, specifically the requirement of a 6-foot high fence and a deed declaration, are not necessary. It is further staff's view that, given the unique circumstances of the location, the granting of relief from the strict application of the Code pertaining to agricultural buffering can be made in keeping with the purpose and intent of the Code.

Zone Change

Consolidated with the revision to the Preliminary PUD Plan for Stewart Meadows Village PUD is an application requesting a change of zone of the subject PUD composed of four parts:

- An approximate 9.8-acre tract of I-L zoning changed to C-C, with an equal-sized tract of C-C zoning changed to I-L.
- An approximate 0.62-acre tract of SFR-10 zoning changed to MFR-30 zoning.
- An approximate 0.62-acre tract of SFR-6 zoning changed to SFR-10 zoning.
- An approximate 0.26-acre tract of I-L changed to I-G, with an equal-sized tract of I-G zoning changed to I-L.

MLDC 10.230(D)(8) allows PUD's that have more than one General Land Use Plan (GLUP) designation the flexibility to mix and relocate the GLUP designations within the boundaries of the PUD; however, the resultant modifications must maintain the same GLUP designations, and at the same coverage area, as what existed prior to the changes. Accordingly, as the result of mixing and relocating the boundary lines of the GLUP designations with a PUD, changes to the underlying zoning classifications often must follow in order to maintain consistency with their land use designation. The proposed zone changes follow and are consistent with the proposed mix and relocation of the PUD's GLUP designations in order to better coincide with the PUD uses as proposed in the revised Preliminary PUD Plan.

Of the four proposed parts, two consist of adjustments of the boundaries separating two adjacent zones, C-C and I-L, and I-L and I-G, with the resulting zoning districts maintaining the same area, consistent with the Code.

The proposal also includes an additional land use designation, a small tract of approximately 0.62 acres of Urban High Density Residential, currently a part of the Stewart Meadows Golf Course, and which will be subsequently consolidated with tax lot 900 within the PUD. The incorporation of the 0.62-acre tract of land from the golf course effectively counterbalances the 0.62-acre tract of land changed from SFR-10 to MFR-30, consistent with the Code.

Analysis

An itemized analysis of the proposed rezone request based on the criteria outlined in Medford Land Development Code (MLDC) Section 10.227 cited below is as follows:

The approving authority (Planning Commission) shall approve a quasi-judicial zone change if it finds that the zone change complies with subsections (1) and (2) below:

(1) The proposed zone is consistent with the Transportation System Plan (TSP) and the General Land Use Plan Map designation. A demonstration of consistency with the acknowledged TSP will assure compliance with the Oregon Transportation Planning Rule.) Where applicable, the proposed zone shall also be consistent with the additional locational standards of the below sections (1)(a), (1)(b), (1)(c), or (1)(d).

I-L to C-C: The overall size of the C-C-zoned area of the PUD is greater than three acres, and is fronted by Garfield Avenue, classified as a major arterial street, consistent with the locational requirements outlined in MLDC 10.227(1)(c)(ii).

SFR-10 to MFR-30: There are no additional locational requirements for a rezone to a MFR zoning district.

SFR-6 to SFR-10: The area proposed to be changed to SFR-10 abuts additional land within the subject PUD that is zoned SFR-10, consistent with the locational requirements as outlined in MLDC 10.227(1)(b)(1).

C-C to I-L: The area proposed to be changed to I-L does not abut the I-H zone, consistent with the requirements as outlined in MLDC 10.227(1)(d)(i).

I-L to I-G: The area proposed to be changed to I-G does not abut any commercial or residential zones, consistent with the requirements as outlined in MLDC 10.227(1)(d)(ii).

(2) It shall be demonstrated that Category A urban services and facilities are available or can and will be provided, as described below, to adequately serve the subject property with the permitted uses allowed under the proposed zoning, except as provided in subsection (c) below. The minimum standards for Category A services and facilities are contained in Section 10.462 and Goal 2 of the Comprehensive Plan "Public Facilities Element" and Transportation System Plan.

Per the agency comments submitted to staff (Exhibits S-U), including Rogue Valley Sewer Services (Exhibit V), it can be found that there are adequate facilities to serve the PUD.

Staff concurs with the applicant's findings that the proposed zone changes are consistent with the Transportation System Plan (TSP) and the General Land Use Map as modified by the subject Preliminary PUD Plan revision application, meeting both the locational standards as outlined in Criterion No. 1, and demonstrating that all Category "A" urban facilities are available and will be provided to adequately serve the property, as outlined in Criterion No. 2.

Conditional Use Permit

MLDC 10.230(D)(7)(c) states the following:

Use(s) not permitted in the underlying zone may, nevertheless, be permitted and approved to occupy up to 20% of the gross area of the PUD provided that no portion of the use(s), including its parking, is located nearer than 200 feet from the exterior boundary of the PUD. If any portion of the use(s) is nearer than 200 feet from the exterior PUD boundary, then said use(s) shall be considered to be a conditional use and may be approved subject to compliance with the conditional use permit criteria in Section 10.248. However, this provision shall not apply where the land outside the PUD which is nearer than 200 feet from proposed use(s) is inside a zone in which the proposed use(s) is permitted.

The office building identified as building No. 28 on the submitted revised Preliminary PUD Plan is not a permitted use within the underlying SFR-10 zone, but is allowed under the provision of MLDC 10.230(D)(7)(c). However, a portion of the parking and maneuvering area of building No. 28 is located within 200 feet of the PUD's boundary along Myers Lane. As such, the Planning Commission must conclude that the CUP criteria identified in MLDC 10.248 is met with the proposed development. MLDC 10.248 states the following:

The approving authority (Planning Commission) must determine that the development proposal complies with either of the following criteria before approval can be granted.

(1)The development proposal will cause no significant adverse impact on the livability, value, or appropriate development of abutting property, or the surrounding area when compared to the impacts of permitted development that is not classified as conditional.

(2)The development proposal is in the public interest, and although the development proposal may cause some adverse impacts, conditions have been imposed by the approving authority (Planning Commission) to produce a balance between the conflicting interests.

Staff concurs with the applicant's submitted findings (Exhibit R, page 37) stating that the potential impacts from traffic, lighting, aesthetics, noise, air pollution, etc., are not significantly more than those from single-family residential uses that are permitted in the SFR-10 zone, and that there is no evidence to show that the office building and its parking area will cause a significant adverse impact on the livability, value, or appropriate development of the abutting property, when compared to the impacts of other development types permitted in the SFR-10 zoning district. Therefore, the office building and its parking area can be found to meet Criterion No. 1 cited above, and, by extension, Criterion No. 6 of MLDC 10.235(D) has likewise been met.

Traffic Impact Analysis (TIA)

MLDC 10.461(3) requires a Traffic Impact Analysis (TIA) to be conducted to evaluate development impacts to the transportation system if a proposed application has the potential of generating more than 250 net average daily trips (ADT) or the Public Works Department has concerns due to operations or accident history.

A TIA was included in both the 2009 PUD approval that included a zone change, and the 2016 PUD revision; both traffic studies analyzed the peak trip generation at 974 pm hour trips. The proposed revised plans have both intensified the commercial and industrial uses, as well as increased the residential density of the PUD – requiring an updated TIA.

The applicant submitted a new TIA (Exhibit N – includes only the executive summary due to the bulk of the document) with their PUD revision request, conducted by Sandow Engineering, with the study concluding the following:

- *The increase in PM peak hour trips from the site plan modification will not degrade any of the study intersections included in this report to below acceptable mobility standards.*

- *The increase in PM peak hour trips from the site plan modification will not substantially increase the queuing conditions over the future year background conditions.*
- *The intersection of Garfield Street at Center Drive does not meet ODOT mobility standards for the PM peak hour. Intersection improvements have been approved for an adjacent property as part of their development approvals. With the proposed and approved improvements, the intersection of Garfield Street at Center Drive operates better than the background no-build conditions under both the 2017 and 2031 PM peak hour build scenarios. The report prepared for ODOT details the analysis and findings.*
- *Stewart Meadows Development can build a portion of the site that does not generate more than 935 trips before the intersections of Garfield Street at Center Drive v/c is worsened over no-build conditions.*

The TIA was initially received by Public Works on November 22, 2016. Following the initial review, comments on the TIA were sent back to the Sandow Engineering on December 30, 2016. At the time of this writing, Public Works is still awaiting a revised analysis from Sandow Engineering in response to a few outstanding issues identified in their initial review (Exhibit AA).

The Oregon Department of Transportation (ODOT) has reviewed the applicant's submitted Traffic Impact Analysis and concurs with its conclusions (Exhibit X).

Design Guidelines

The approval of the original preliminary PUD in 2007 included a condition of approval that delegated authority to the Site Plan and Architectural Commission (SPAC) for the approval of site plan details for the development, including building designs.

The applicant received approval of the *Stewart Meadows Village Design Guidelines* from SPAC in 2014, and received subsequent approval from SPAC in 2016 for a revision of the design guidelines. The applicant has submitted newly updated guidelines with this application (Exhibit M) which incorporates the expanded areas into the design guidelines, as well as proposes minor changes from the revised design guidelines that were approved in 2016. As the Site Plan and Architectural Commission reviewed and approved the revised guidelines, staff recommends that the Planning Commission approve the guidelines without further SPAC review.

Public Improvements

Per the agency comments submitted to staff (Exhibits S-V), including Rogue Valley Sewer Services (Exhibit W), it can be found that there are adequate facilities to serve the PUD.

Committee Comments

No comments were received from committees such as BPAC.

Other Agency Comments

- Floodplain Coordinator: Northwest corner of the PUD development is located within 1% floodplain. Applicant will be required to submit a floodplain application at the time of building permit submittal (Exhibit X).
- The Oregon Department of Transportation (ODOT) Railway Facilities: Recommends fencing along shared right-of-way with Railroad and the PUD, and no additional public crossings permitted (Exhibit Y).

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit R) and recommends the Commission adopt the findings with the following modification:

Restaurants and banking institutions in excess of the Code permitted limits shall be included in the calculation of the 20% uses not permitted in the underlying zone. The entire area shall be included in the calculation, rather than the area in excess of the maximum (i.e. 7,500 square foot restaurant counts as 7,500 square feet, rather than the 1,500 square feet over the 6,000 square feet permitted).

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare a Final Order for approval of PUD-17-003 and ZC-17-004 per the staff report dated March 16, 2017, including Exhibits A through BB.

EXHIBITS

- A Conditions of Approval, drafted March 16, 2017.
- B Revised Preliminary PUD Plan, received January 27, 2017.
- C Proposed PUD Master Plan Revisions - Phasing, received January 9, 2017.
- D Revised Master Plan (approved) received January 9, 2017.
- E Phase Plan (approved), received January 9, 2017.
- F Existing PUD Zoning Plan, received January 9, 2017.
- G Proposed PUD Zoning Plan, received January 9, 2017.
- H Existing GLUP Map, received January 9, 2017.
- I Proposed GLUP Map, received January 9, 2017.
- J Map showing Zone Change Areas, received January 9, 2017.
- K Parking Analysis Plan, received January 9, 2017.
- L Survey Map, received January 9, 2017.
- M Design Guidelines revision, received January 9, 2017.
- N Traffic Impact Analysis, received November 23, 2017.
- O Agricultural Impact Analysis report, received January 9, 2017.
- P Signage Amendment booklet, received January 9, 2017.

- Q Parking Analysis, received January 9, 2017.
- R Applicant's Findings of Fact and Conclusions of Law, received January 2017
- S Public Works Report – Zone Change, received February 22, 2017.
- T Public Works Report – PUD Revision, received February 22, 2017.
- U Medford Water Commission report, received February 22, 2017.
- V Medford Fire Department report, received February 22, 2017.
- W Rogue Valley Sewer Services report, received February 24, 2017.
- X Floodplain report, received February 28, 2017.
- Y ODOT (railway facilities) email, received February 28, 2017.
- Z ODOT TIA memo, received March 14, 2017.
- AA Letter from Public Works to Sandow Engineering, dated February 28, 2017.
- BB Staff's requested Sign Amendment revision, drafted March 15, 2017.
Vicinity Map

PLANNING COMMISSION AGENDA:

MARCH 23, 2017

EXHIBIT A

Stewart Meadows Village
PUD-17-003/ZC-17-004
Conditions of Approval
March 16, 2017

DISCRETIONARY CONDITIONS

Prior to final plan approval, the applicant shall:

1. Submit a revised Signage Amendment as modified in Exhibit BB.
2. Submit a site plan showing the proposed locations for all freestanding signs proposed within the PUD prior to final plan approval, to be approved by the Planning Director.
3. Submit an updated tabulation of non-permitted uses within the PUD, pursuant to MLDC 10.230(D)(7)(c), which includes the square footage for all future *Eating and Drinking Places and Banking Institutions* that are in excess of the square footage permitted as special uses within the light Industrial (I-L) zones per MLDC 10.822(A-B).

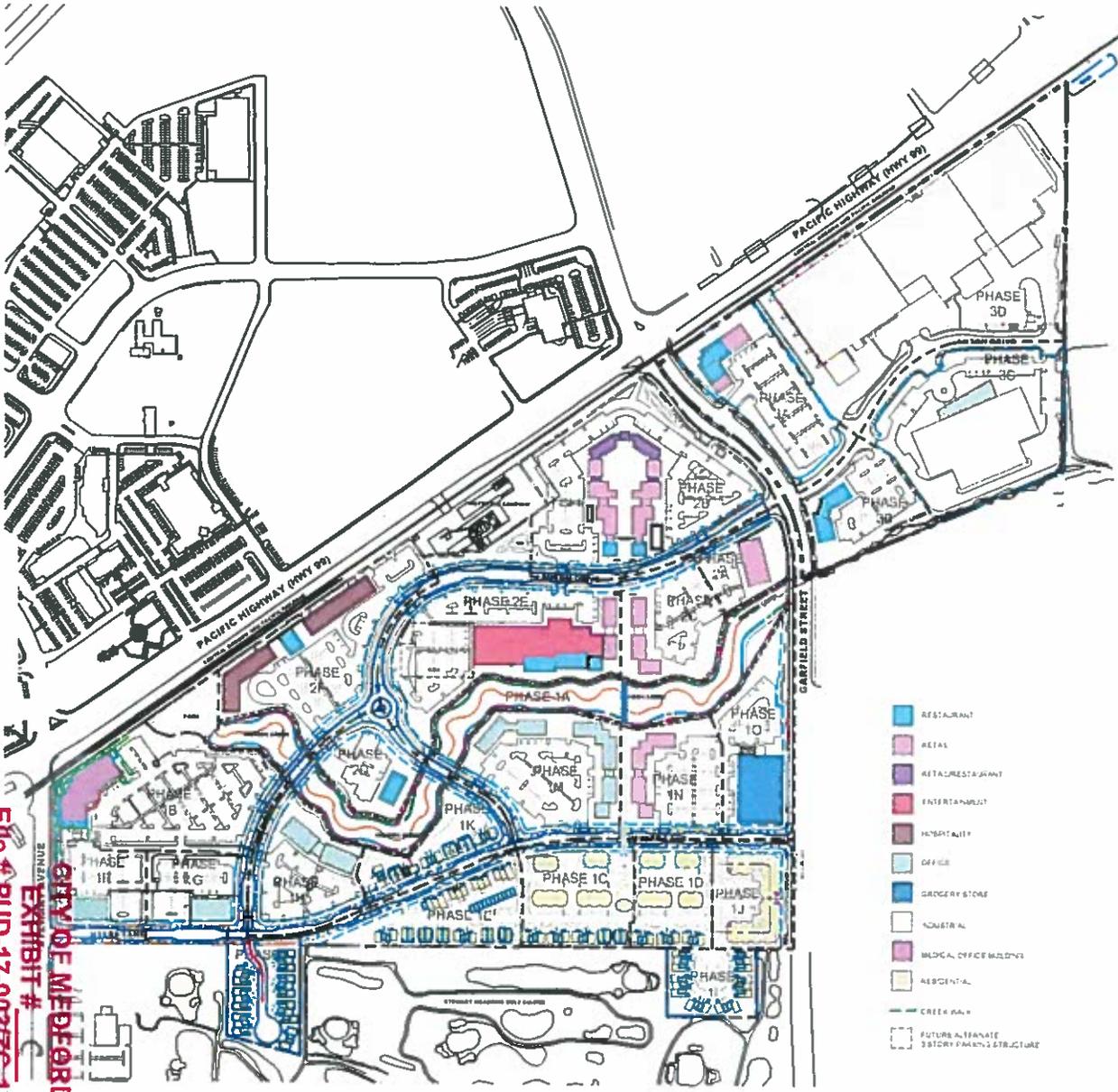
CODE REQUIRED CONDITIONS

Prior to the issuance of a building permit for vertical construction, the applicant shall:

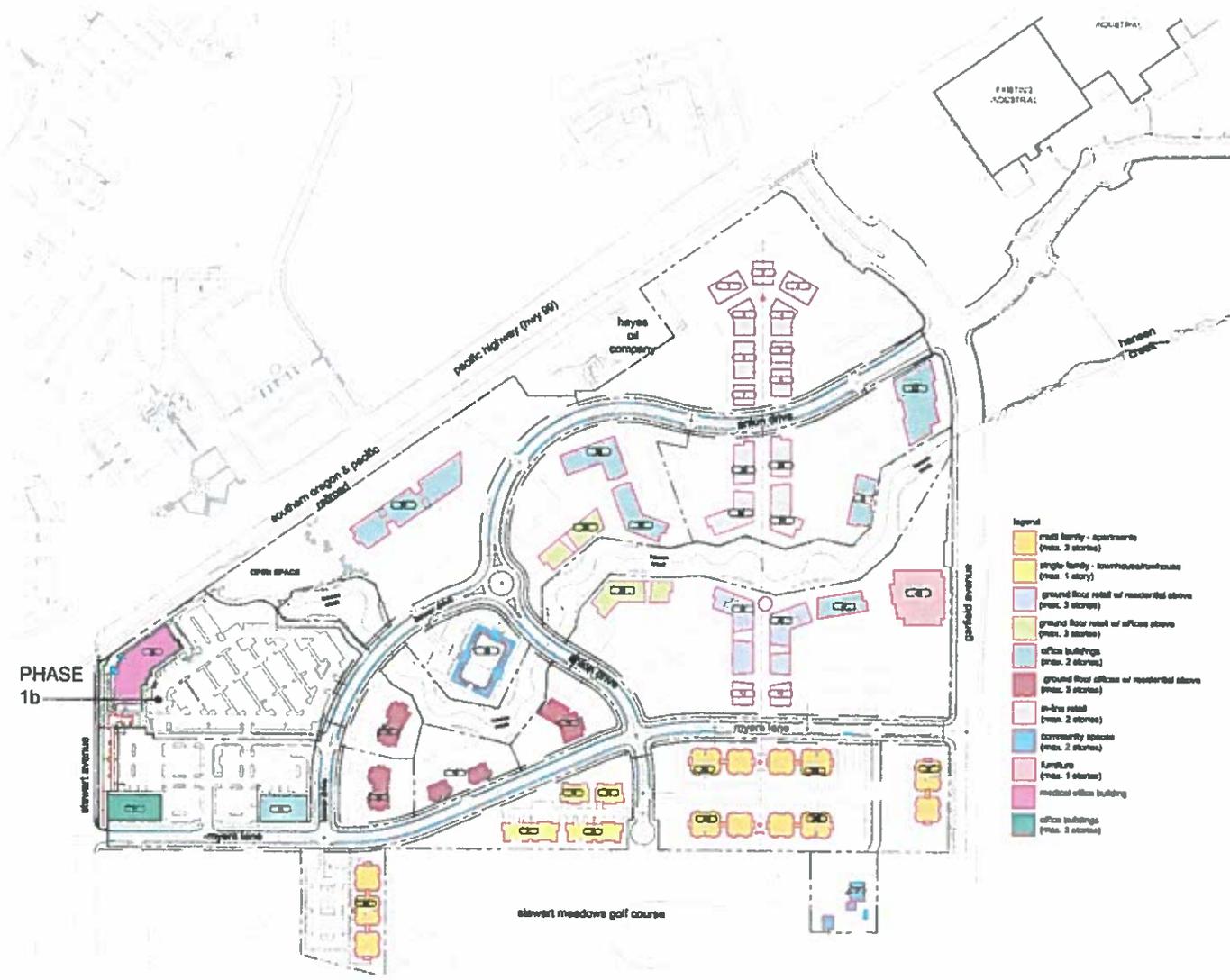
1. Comply with all conditions stipulated by the Medford Water Commission (Exhibit U).
2. Comply with all conditions stipulated by the Public Works Department (Exhibit S & T).
3. Comply with all requirements of the Medford Fire Department (Exhibit V).
4. Comply with all conditions stipulated by the Rogue Valley Sewer Services (Exhibit W).
5. Comply with all requirements of the Floodplain Coordinator (Exhibit X).
6. Comply with all requirements of the Oregon Department of Transportation (Railway facilities) (Exhibit Y).
7. Gain approval for a Property Line Adjustment to consolidate the portion of tax lot 400 into the PUD boundary.

APPLICANTS
EXHIBIT
" 6 "

RECEIVED
JAN 09 2016
PLANNING DEPT.



STEWART MEADOWS VILLAGE - PROPOSED PUD MASTER PLAN REVISIONS - PHASING



- Legend**
- multi family - apartments (max. 3 stories)
 - single family - townhouse/condo (max. 1 story)
 - ground floor retail of residential above (max. 3 stories)
 - ground floor retail of office above (max. 3 stories)
 - office buildings (max. 2 stories)
 - ground floor offices of residential above (max. 3 stories)
 - in-line retail (max. 2 stories)
 - community space (max. 2 stories)
 - parking
 - medical office building
 - office buildings (max. 3 stories)

NO	USE	Building Footprint	Net Floor Area (sq ft)	Max. Ht. (ft)	Notes
1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
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82
83
84
85
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90
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92
93
94
95
96
97
98
99
100
TOTAL			846,517		

USAGE	SQ. FT.
RESIDENTIAL	112,000
OFFICE	210,000
RETAIL	111,000
PUBLIC	80,000
COMMUNITY	17,000
TOTAL	530,000

APPLICANT'S
 EXHIBIT
 3

STEWART MEADOWS VILLAGE PUD MASTER PLAN : REVISED MASTER PLAN

Kogap Enterprises

PRELIMINARY: March 14, 2016



MARCH 18, 2016

STEWART MEADOWS VILLAGE PUD MASTER PLAN : PHASE PLAN

Kogap Enterprises



PRELIMINARY: March 14, 2016



SCALE: 1" = 125'

MARCH 18, 2016

APPLICANT'S

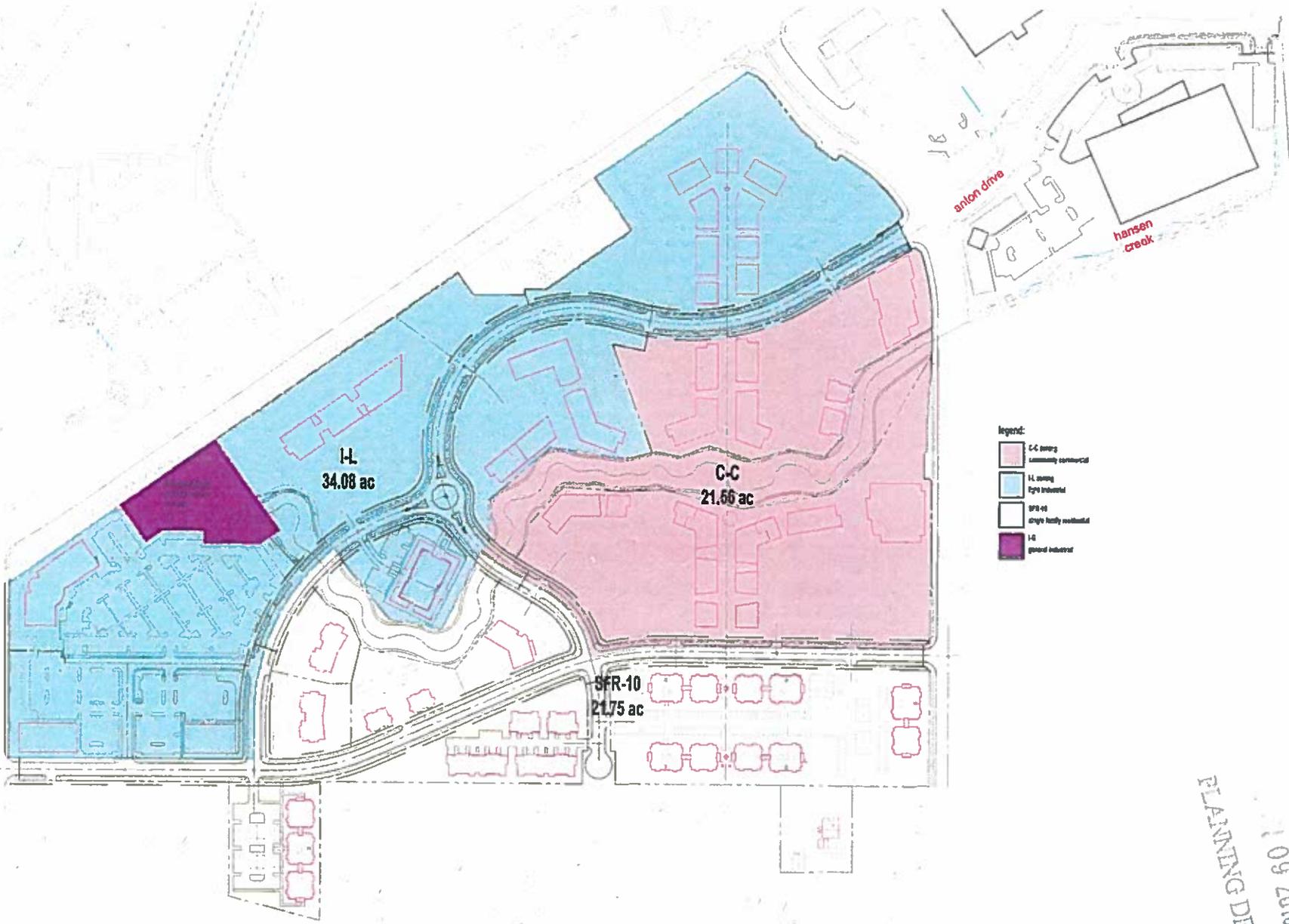
EXHIBIT

CITY OF MEDFORD

EXHIBIT #

File # PUD-17-003/ZC-17-004

APPLICANTS
EXHIBIT
" 9 "

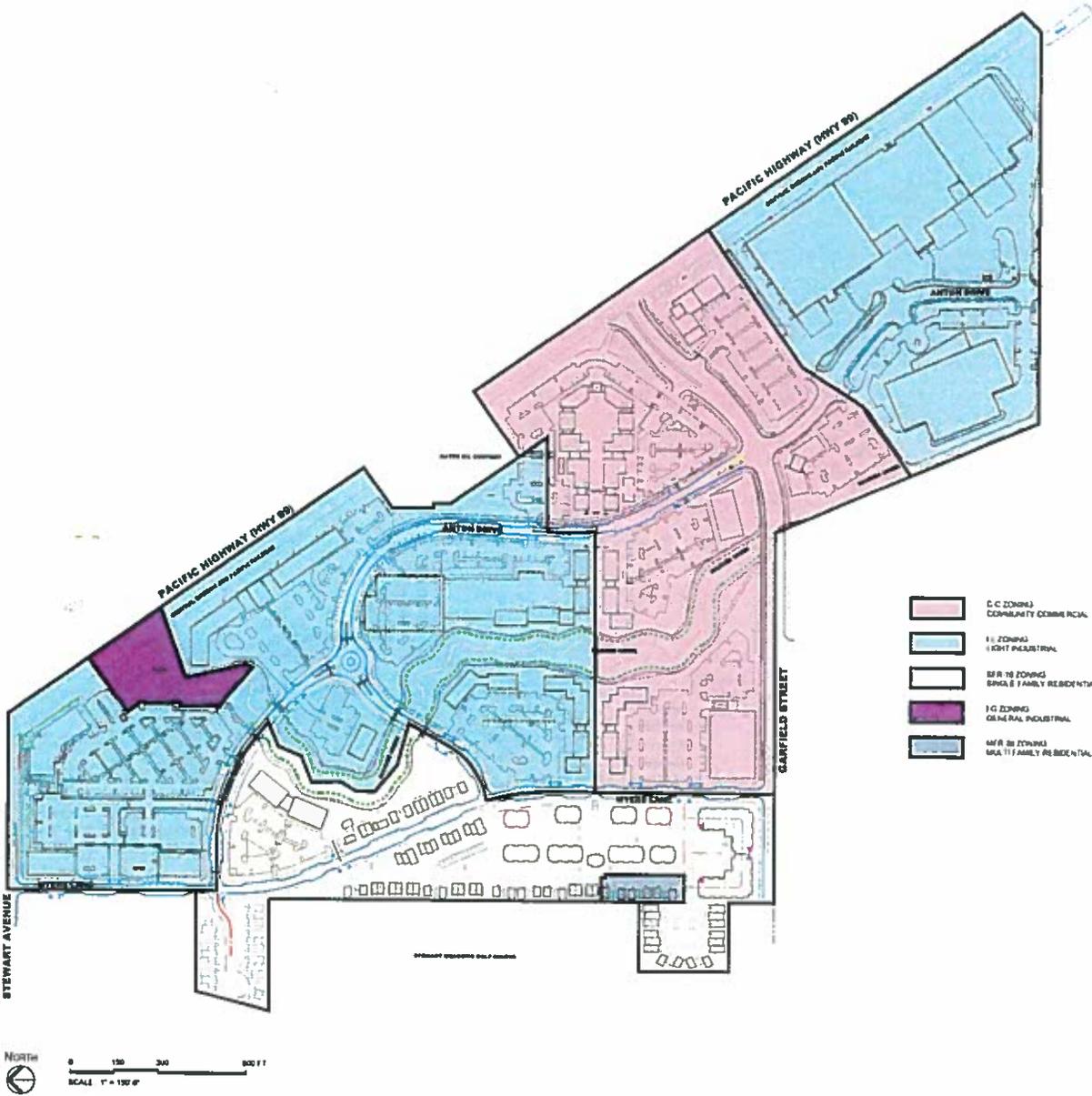


- Legend:
- C-C zoning
community commercial
 - I-L zoning
light industrial
 - SFR-10
single family residential
 - I-G
general industrial

RECEIVED
1 09 2018
PLANNING DEPT.

STEWART MEADOWS VILLAGE - EXISTING PUD ZONING PLAN

APPLICANT'S
EXHIBIT
" 21 "



- C.C. ZONING
COMPLIANT COMMERCIAL
- I1 ZONING
INDUSTRIAL
- RR-18 ZONING
SINGLE-FAMILY RESIDENTIAL
- I-G ZONING
GENERAL INDUSTRIAL
- MFR-18 ZONING
MULTI-FAMILY RESIDENTIAL

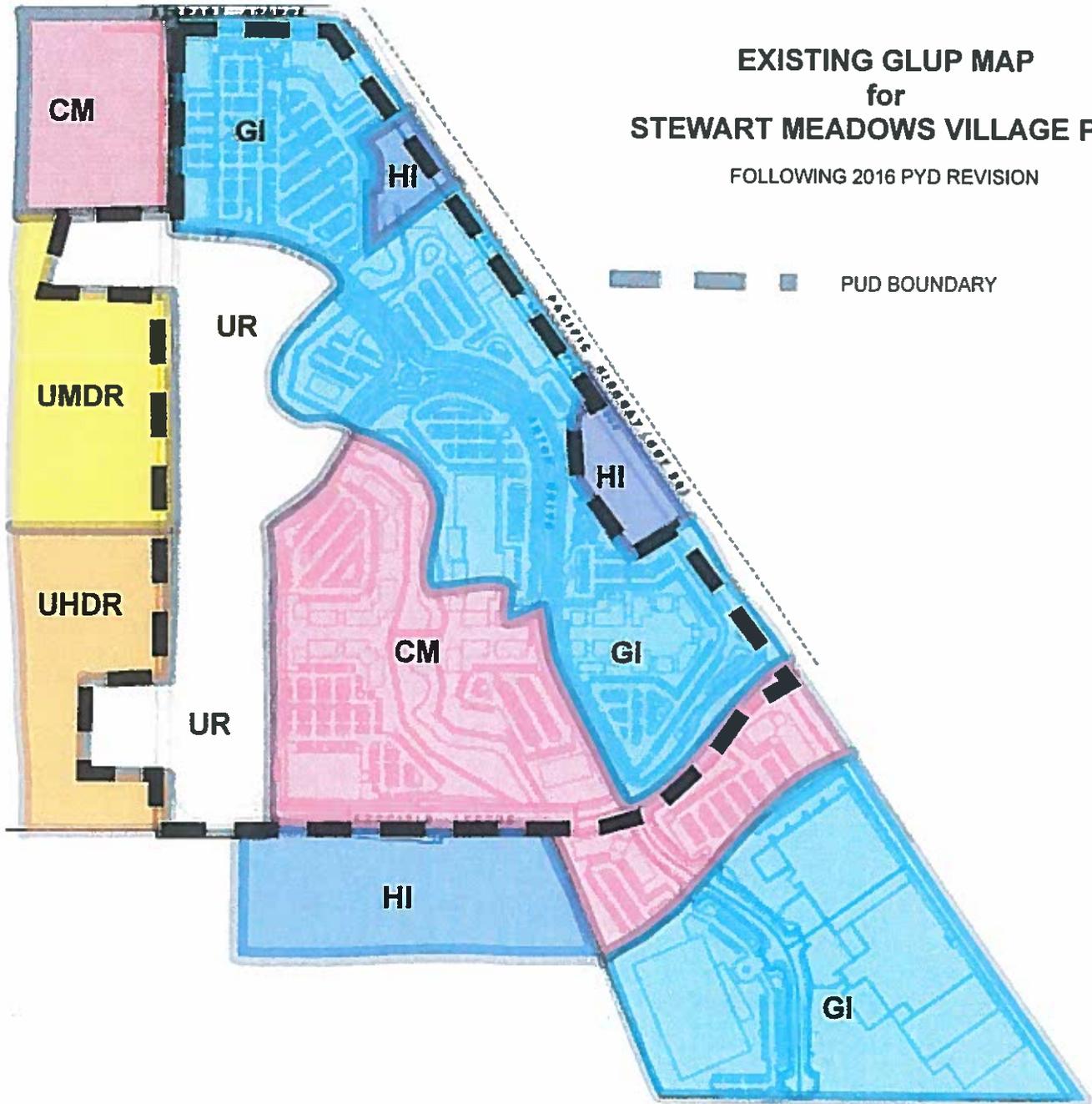
NORTH
SCALE 1" = 150'
0 150 300 600 FT

RECEIVED
JAN 09 2018
PLANNING DEPT.

STEWART MEADOWS VILLAGE - PROPOSED PUD ZONING REVISION PLAN

**EXISTING GLUP MAP
for
STEWART MEADOWS VILLAGE PUD**

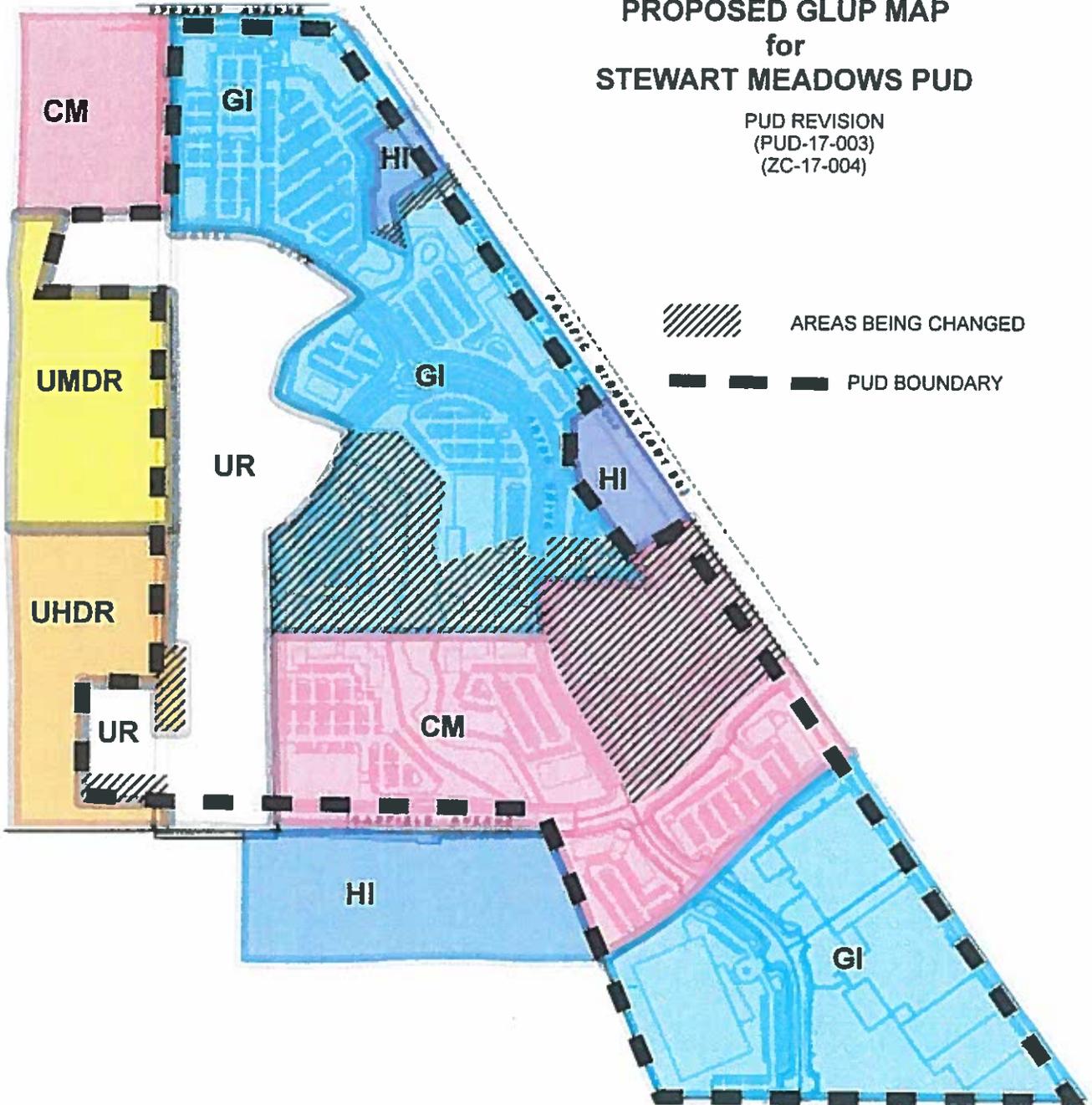
FOLLOWING 2016 PYD REVISION



APPLICANT'S
EXHIBIT
" CITY OF MEDFORD
EXHIBIT # 614
File # PUD-17-003/ZC-17-004

**PROPOSED GLUP MAP
for
STEWART MEADOWS PUD**

PUD REVISION
(PUD-17-003)
(ZC-17-004)



APPLICANT'S
EXHIBIT
CITY OF MEDFORD
EXHIBIT #

File # PUD-17-003/ZC-17-004

STEWART MEADOWS PROPOSED MASTER PLAN AREAS

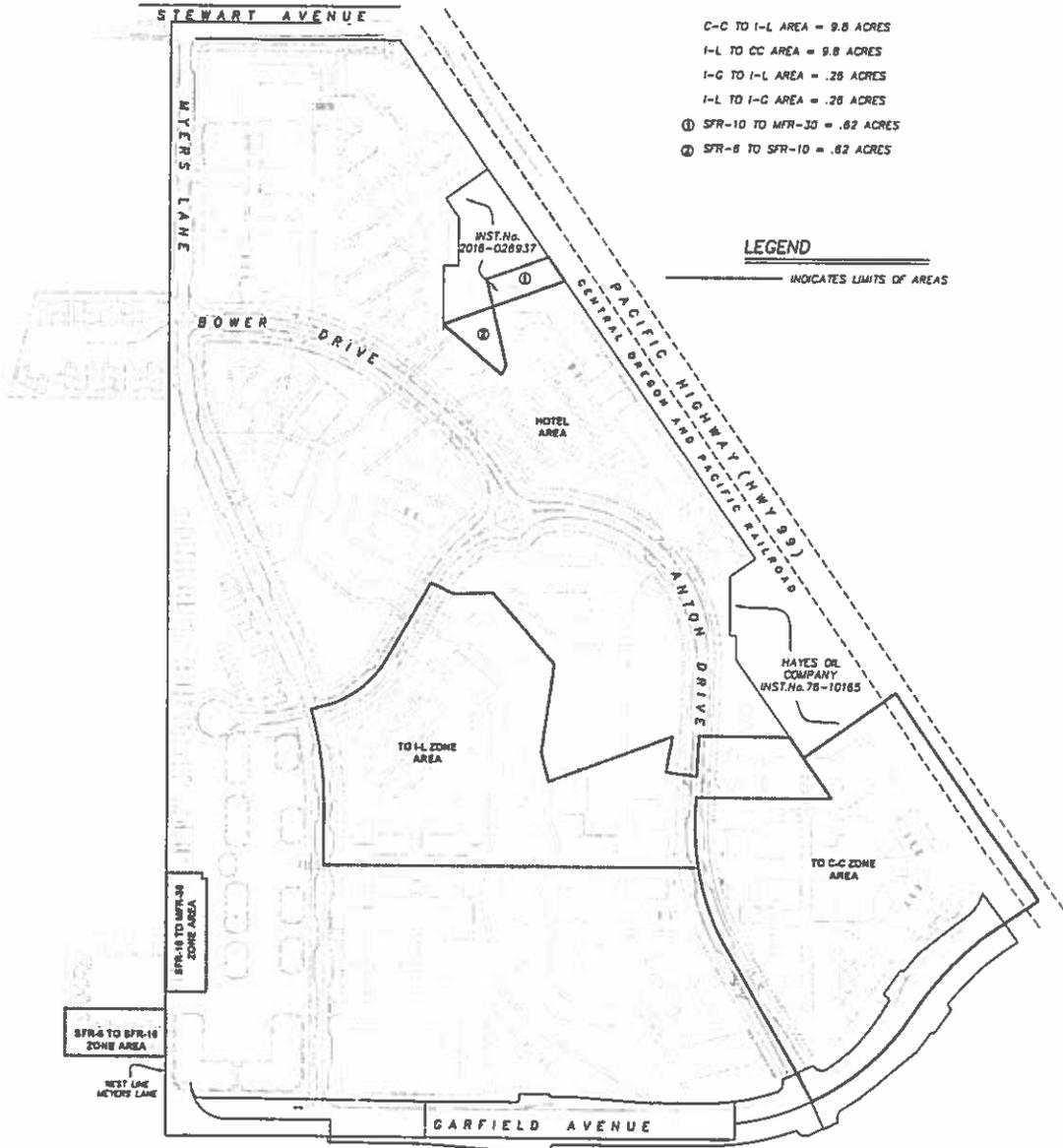
FOR
KOGAP ENTERPRISES, INC.
P.O. BOX 1608
MEDFORD, OREGON 97501

LOCATED IN THE NORTHEAST AND SOUTHEAST QUARTERS OF SECTION 31 AND
THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 37 SOUTH, RANGE 1
WEST OF THE WILLAMETTE MERIDIAN, IN THE CITY OF MEDFORD, JACKSON
COUNTY, OREGON

- C-C TO I-L AREA = 9.8 ACRES
- I-L TO CC AREA = 9.8 ACRES
- I-G TO I-L AREA = .26 ACRES
- I-L TO I-G AREA = .26 ACRES
- ① SFR-10 TO MFR-30 = .62 ACRES
- ② SFR-5 TO SFR-10 = .62 ACRES

LEGEND

— INDICATES LIMITS OF AREAS



TERRASURVEY, INC.
PROFESSIONAL LAND SURVEYORS
274 FOURTH STREET
ASHLAND, OREGON 97520



DATE: 12-22-16

SCALE: 1" = 200'



REGISTERED
PROFESSIONAL
LAND SURVEYOR
DIGITAL COPY
OREGON
JULY 14, 1988
FRED A. FRANTZ
No. 50077

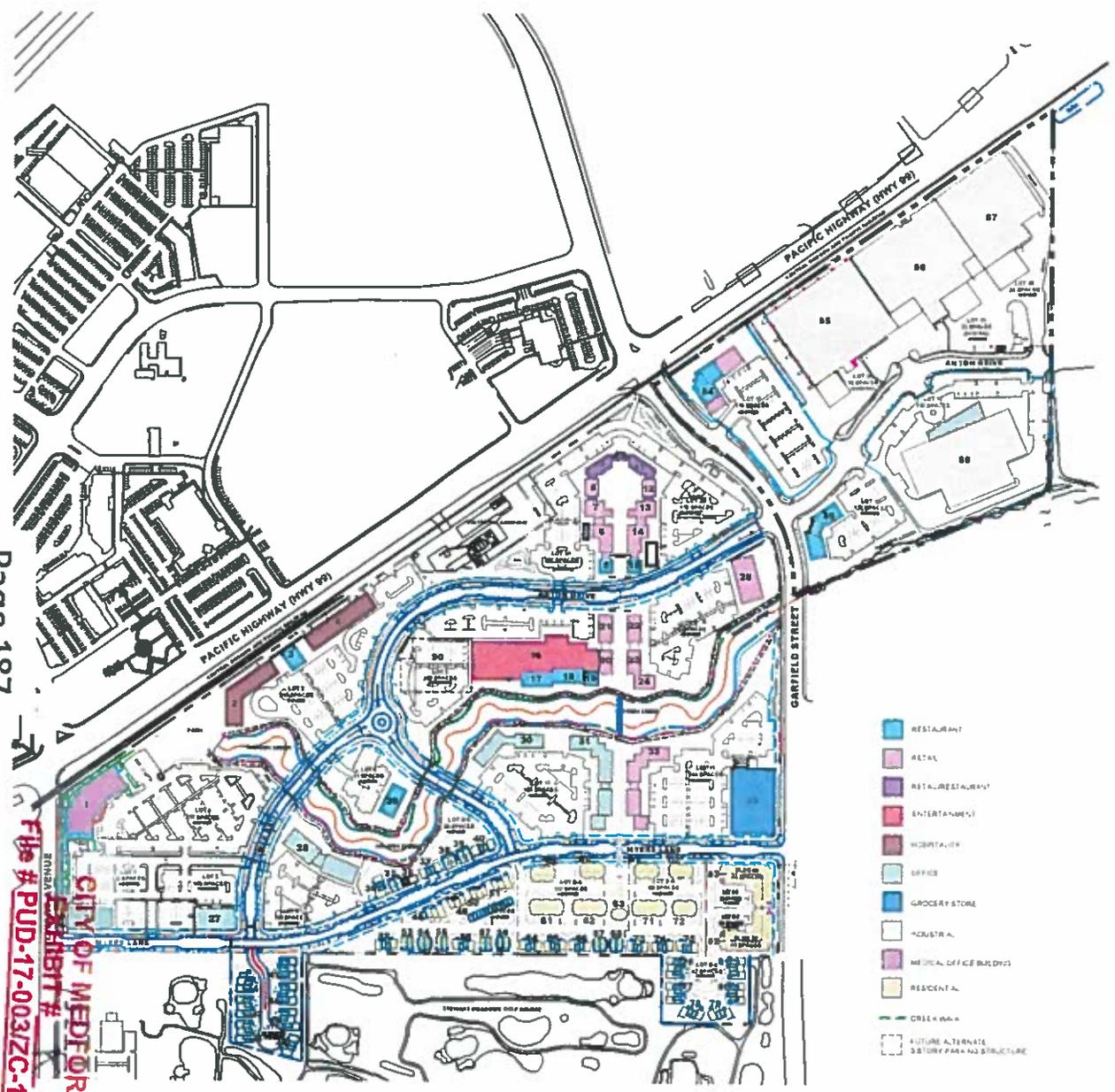
Renewal 12-31-17

APPLICANT'S
EXHIBIT

CITY OF MEDFORD

EXHIBIT # 3

File # PUD-17-003/ZC-17-004



- RESTAURANT
- RETAIL
- RESTAURANT/RETAIL
- ENTERTAINMENT
- HOSPITALITY
- OFFICE
- GROCERY STORE
- INDUSTRIAL
- MEDICAL OFFICE BUILDINGS
- RESIDENTIAL
- CREEK/WALK
- FUTURE ALTERNATE 3-STORY PARKING STRUCTURE



STEWART MEADOWS VILLAGE - PRELIMINARY PUD PLAN - PARKING ANALYSIS

DEVELOPER: KOGAP ENTERPRISES, INC.

January 9, 2017

APPLICANT'S EXHIBIT "14"

Lot #	Area (sq ft)	Use	Parking Spots	Notes
1	10,000	Office	100	
2	15,000	Office	150	
3	20,000	Office	200	
4	25,000	Office	250	
5	30,000	Office	300	
6	35,000	Office	350	
7	40,000	Office	400	
8	45,000	Office	450	
9	50,000	Office	500	
10	55,000	Office	550	
11	60,000	Office	600	
12	65,000	Office	650	
13	70,000	Office	700	
14	75,000	Office	750	
15	80,000	Office	800	
16	85,000	Office	850	
17	90,000	Office	900	
18	95,000	Office	950	
19	100,000	Office	1,000	
20	105,000	Office	1,050	
21	110,000	Office	1,100	
22	115,000	Office	1,150	
23	120,000	Office	1,200	
24	125,000	Office	1,250	
25	130,000	Office	1,300	
26	135,000	Office	1,350	
27	140,000	Office	1,400	
28	145,000	Office	1,450	
29	150,000	Office	1,500	
30	155,000	Office	1,550	
31	160,000	Office	1,600	
32	165,000	Office	1,650	
33	170,000	Office	1,700	
34	175,000	Office	1,750	
35	180,000	Office	1,800	
36	185,000	Office	1,850	
37	190,000	Office	1,900	
38	195,000	Office	1,950	
39	200,000	Office	2,000	
40	205,000	Office	2,050	
41	210,000	Office	2,100	
42	215,000	Office	2,150	
43	220,000	Office	2,200	
44	225,000	Office	2,250	
45	230,000	Office	2,300	
46	235,000	Office	2,350	
47	240,000	Office	2,400	
48	245,000	Office	2,450	
49	250,000	Office	2,500	
50	255,000	Office	2,550	
51	260,000	Office	2,600	
52	265,000	Office	2,650	
53	270,000	Office	2,700	
54	275,000	Office	2,750	
55	280,000	Office	2,800	
56	285,000	Office	2,850	
57	290,000	Office	2,900	
58	295,000	Office	2,950	
59	300,000	Office	3,000	
60	305,000	Office	3,050	
61	310,000	Office	3,100	
62	315,000	Office	3,150	
63	320,000	Office	3,200	
64	325,000	Office	3,250	
65	330,000	Office	3,300	
66	335,000	Office	3,350	
67	340,000	Office	3,400	
68	345,000	Office	3,450	
69	350,000	Office	3,500	
70	355,000	Office	3,550	
71	360,000	Office	3,600	
72	365,000	Office	3,650	
73	370,000	Office	3,700	
74	375,000	Office	3,750	
75	380,000	Office	3,800	
76	385,000	Office	3,850	
77	390,000	Office	3,900	
78	395,000	Office	3,950	
79	400,000	Office	4,000	
80	405,000	Office	4,050	
81	410,000	Office	4,100	
82	415,000	Office	4,150	
83	420,000	Office	4,200	
84	425,000	Office	4,250	
85	430,000	Office	4,300	
86	435,000	Office	4,350	
87	440,000	Office	4,400	
88	445,000	Office	4,450	
89	450,000	Office	4,500	
90	455,000	Office	4,550	
91	460,000	Office	4,600	
92	465,000	Office	4,650	
93	470,000	Office	4,700	
94	475,000	Office	4,750	
95	480,000	Office	4,800	
96	485,000	Office	4,850	
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98	495,000	Office	4,950	
99	500,000	Office	5,000	
100	505,000	Office	5,050	

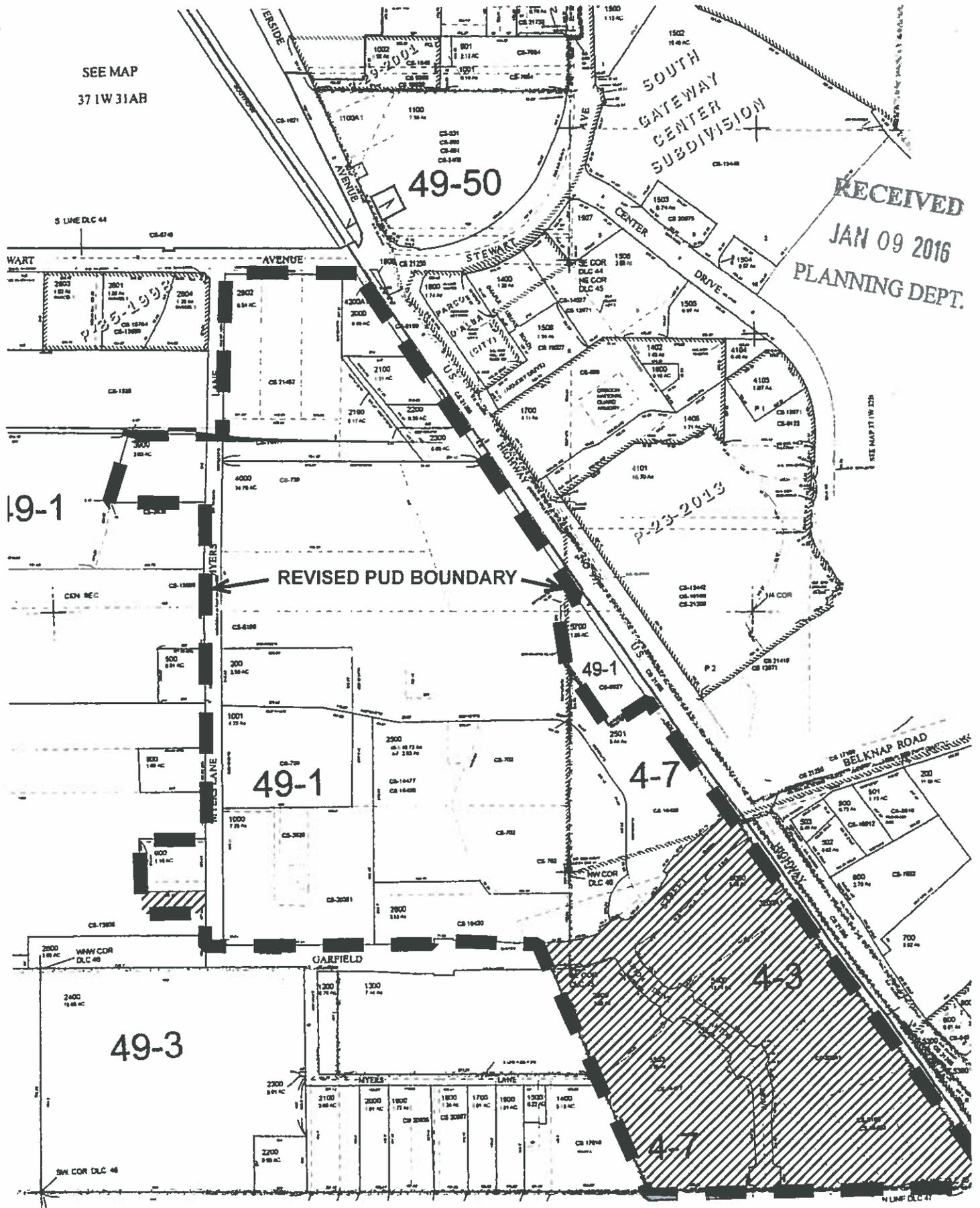
Lot #	Area (sq ft)	Use	Parking Spots	Notes
101	510,000	Office	5,100	
102	515,000	Office	5,150	
103	520,000	Office	5,200	
104	525,000	Office	5,250	
105	530,000	Office	5,300	
106	535,000	Office	5,350	
107	540,000	Office	5,400	
108	545,000	Office	5,450	
109	550,000	Office	5,500	
110	555,000	Office	5,550	
111	560,000	Office	5,600	
112	565,000	Office	5,650	
113	570,000	Office	5,700	
114	575,000	Office	5,750	
115	580,000	Office	5,800	
116	585,000	Office	5,850	
117	590,000	Office	5,900	
118	595,000	Office	5,950	
119	600,000	Office	6,000	
120	605,000	Office	6,050	
121	610,000	Office	6,100	
122	615,000	Office	6,150	
123	620,000	Office	6,200	
124	625,000	Office	6,250	
125	630,000	Office	6,300	
126	635,000	Office	6,350	
127	640,000	Office	6,400	
128	645,000	Office	6,450	
129	650,000	Office	6,500	
130	655,000	Office	6,550	
131	660,000	Office	6,600	
132	665,000	Office	6,650	
133	670,000	Office	6,700	
134	675,000	Office	6,750	
135	680,000	Office	6,800	
136	685,000	Office	6,850	
137	690,000	Office	6,900	
138	695,000	Office	6,950	
139	700,000	Office	7,000	
140	705,000	Office	7,050	
141	710,000	Office	7,100	
142	715,000	Office	7,150	
143	720,000	Office	7,200	
144	725,000	Office	7,250	
145	730,000	Office	7,300	
146	735,000	Office	7,350	
147	740,000	Office	7,400	
148	745,000	Office	7,450	
149	750,000	Office	7,500	
150	755,000	Office	7,550	

Lot #	Area (sq ft)	Use	Parking Spots	Notes
151	760,000	Office	7,600	
152	765,000	Office	7,650	
153	770,000	Office	7,700	
154	775,000	Office	7,750	
155	780,000	Office	7,800	
156	785,000	Office	7,850	
157	790,000	Office	7,900	
158	795,000	Office	7,950	
159	800,000	Office	8,000	
160	805,000	Office	8,050	
161	810,000	Office	8,100	
162	815,000	Office	8,150	
163	820,000	Office	8,200	
164	825,000	Office	8,250	
165	830,000	Office	8,300	
166	835,000	Office	8,350	
167	840,000	Office	8,400	
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169	850,000	Office	8,500	
170	855,000	Office	8,550	
171	860,000	Office	8,600	
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173	870,000	Office	8,700	
174	875,000	Office	8,750	
175	880,000	Office	8,800	
176	885,000	Office	8,850	
177	890,000	Office	8,900	
178	895,000	Office	8,950	
179	900,000	Office	9,000	
180	905,000	Office	9,050	

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ARCHITECT: DAVID M. THRUSTON, AIA, NCARB

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APPLICANT'S
EXHIBIT
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STEWART MEADOWS VILLAGE
CITY OF MEDFORD
EXHIBIT # 4
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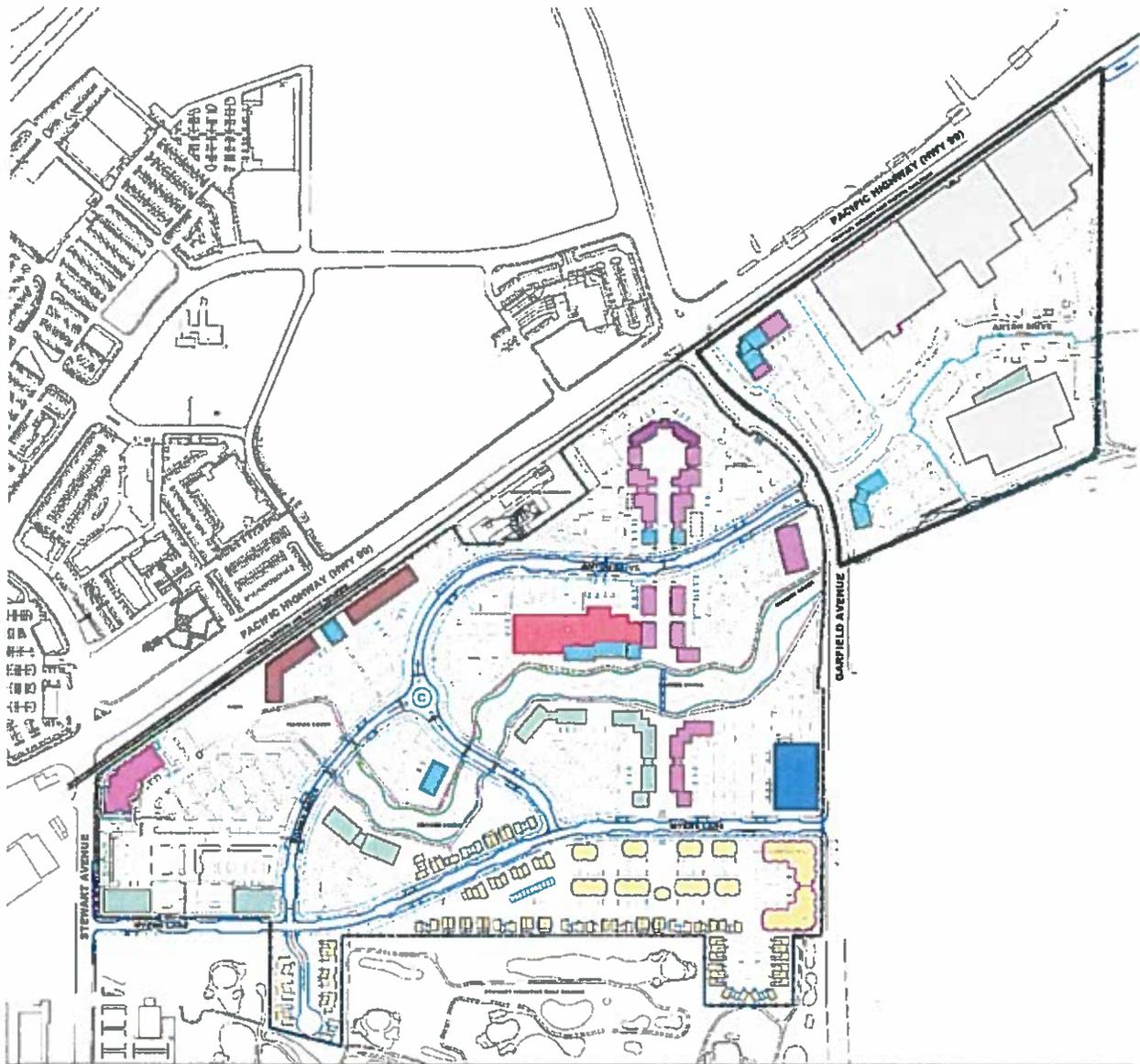
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PLANNING DEPT.

Stewart Meadows Village Development Design Guidelines

Revised: January 9, 2017



Developer:
KOGAP Enterprises, Inc.

Prepared By:
David M. Thruston, AIA, GGP, GCCP

APPLICANT'S
EXHIBIT
- 16 -

CITY OF MEDFORD
EXHIBIT # M
File # PUD-17-003/ZC-17-004

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INTRODUCTION

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INTRODUCTION

Background

KOGAP's Stewart Meadows Village is envisioned as a mixed-use Planned Unit Development (PUD) that transforms a former industrial and agricultural site into a vibrant retail, commercial and residential community. Within the core of the development is the realigned Hansen Creek that has been restored to an enhanced state. The newly revealed waterway that weaves throughout the intense mix of office and residential uses which cluster around an enhanced character shopping center. The Creekway corridor with its adjacent bike/pedestrian pathway loop links the development together and is a key amenity for Stewart Meadows Village and the surrounding community.

Purpose

This document sets forth the requirements for design and construction of new buildings within the Stewart Meadows Village PUD. The Design Guidelines should be seen as an adjunct and as working in concert with development guidelines enacted as ordinance by the City of Medford. No guideline set forth in this document should be seen as exempting any project within the PUD from the ordinances established by Medford. As such, in most cases these guidelines supplement and extend the existing ordinances to establish with more specificity the Master Developer and Design Team's vision for the development of these new environments.

The Design Guidelines will provide the structure necessary to establish consistency, quality and identity of the Stewart Meadows Village as part of the design and construction of future projects.

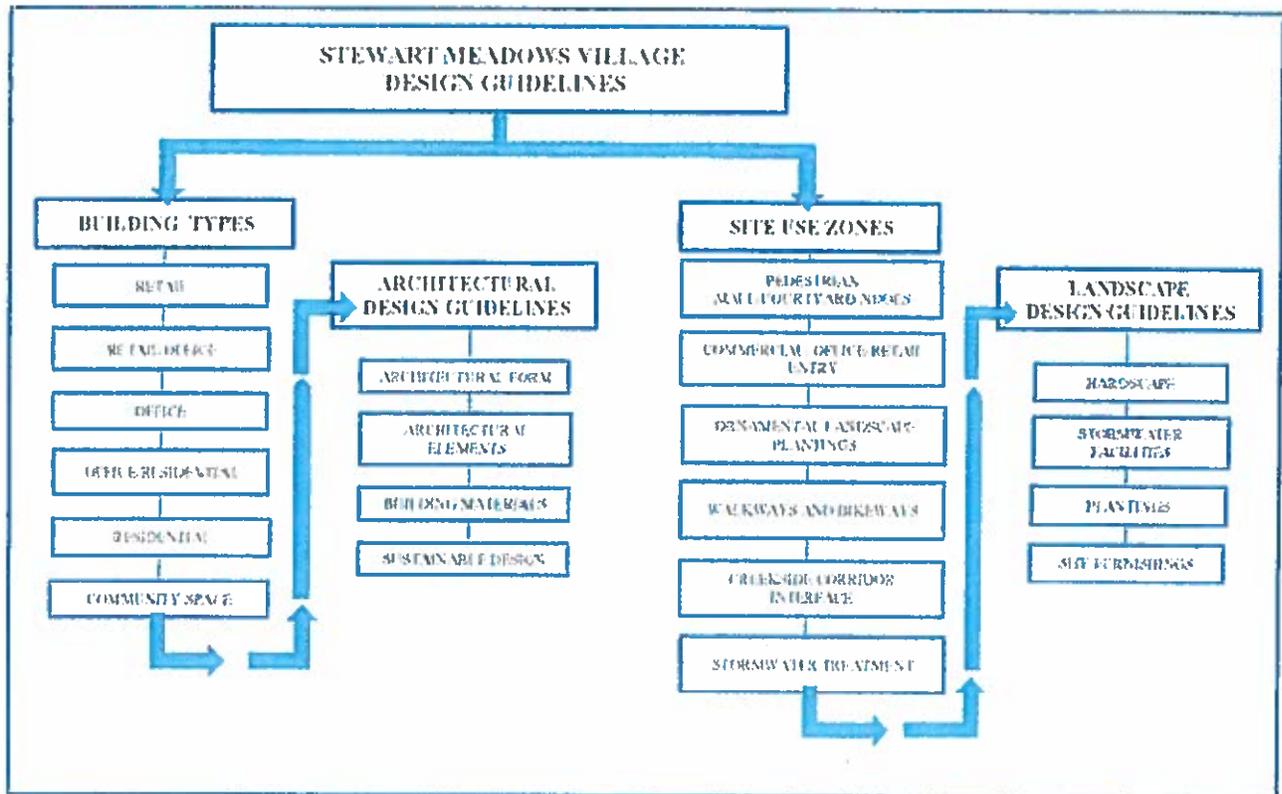
The effort to create a distinct identity and character for Stewart Meadows Village focuses on the selection of standards for the buildings and places between and around them encountered by residents, shoppers, workers and visitors as they move about the development. Thoughtfully designed buildings and outdoor spaces give Stewart Meadows a sense of community and make it inviting and attractive to both visitors and users alike. The following general Design Principles informed the development of the Guidelines:

- Create an attractive, pedestrian friendly mixed use environment with Hansen Creek as its centerpiece.
- Establish a sense of community and distinguish Stewart Meadows Village from the surrounding neighborhood businesses and other developments by creating a consistent design statement and cohesive sense of place.
- Incorporate the built history of the site, reflecting the industrial character of previous development and agrarian precedents of surrounding areas.
- Integrate the form and function of the natural environment.
- Maintain the health and quality of Hansen Creek and its associated watershed with a suite of storm water treatment facilities.
- Use regionally appropriate plantings.
- Incorporate environmentally sustainable materials and strategies where possible.

Organization

Architectural Design Guidelines and Landscape Design Guidelines have been identified to help organize a unified approach to project development within Stewart Meadows Village. The guidelines have been developed around Building Types and Site Use Zones typical to Stewart Meadows Village. Each Building Type and Site Use Zone has

a specific set of guidelines associated with it: Architectural, for Building Types, and Landscape, for Site Use Zones. Each Guideline must be followed when a project is constructed. The designers and architects of future additions to Stewart Meadows Village will be able to incorporate these Guidelines for site development into their designs by identifying the Building Type and Site Use Zone that the new construction will create, and adopting the recommendations for each Building Type and Site Use Zone as detailed herein.

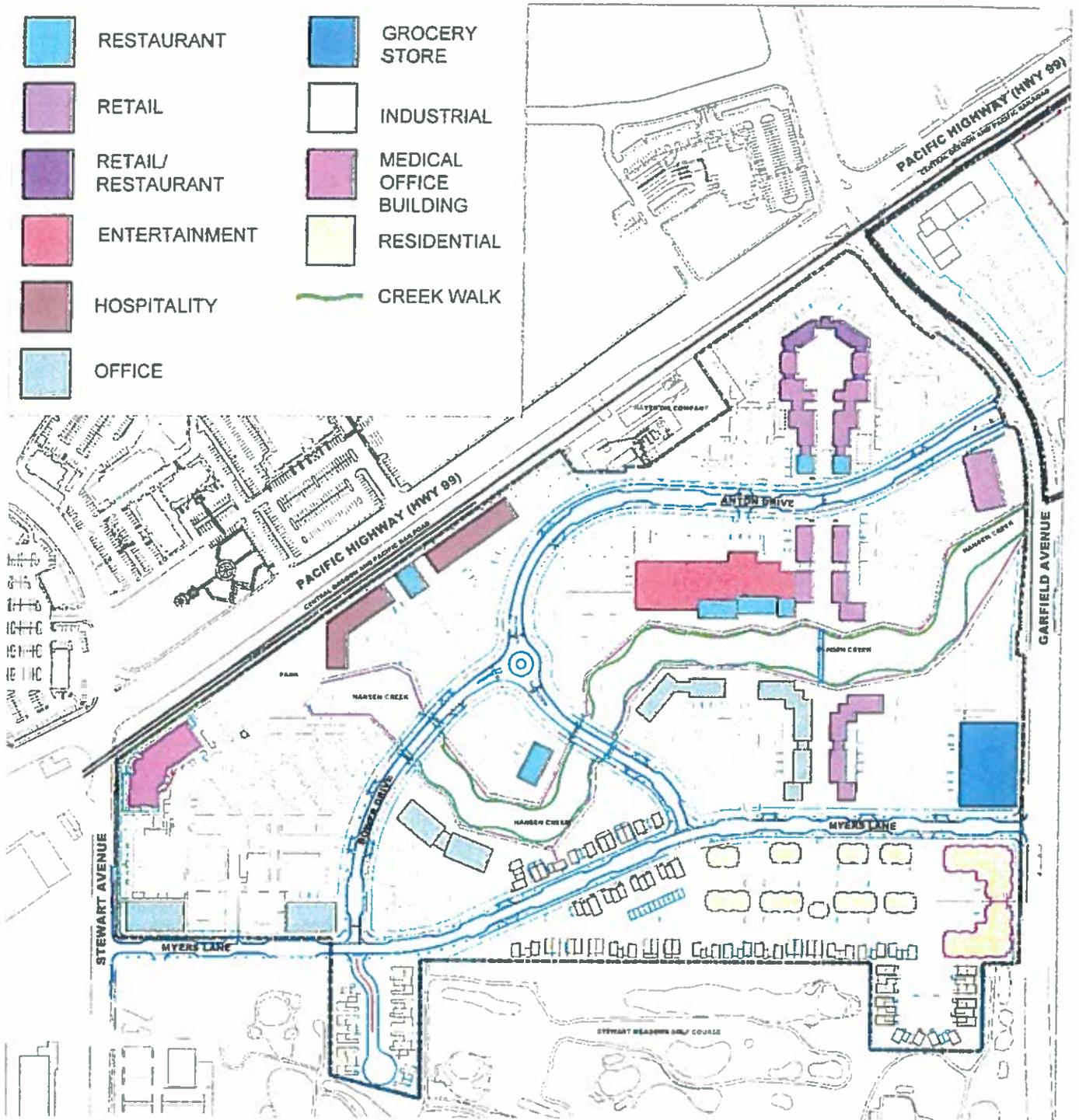


Building Types

As a mixed use development, Stewart Meadows Village has six potential Building Types (Diagram 1) each with their own inherent characteristics and features that constitute the development identity.

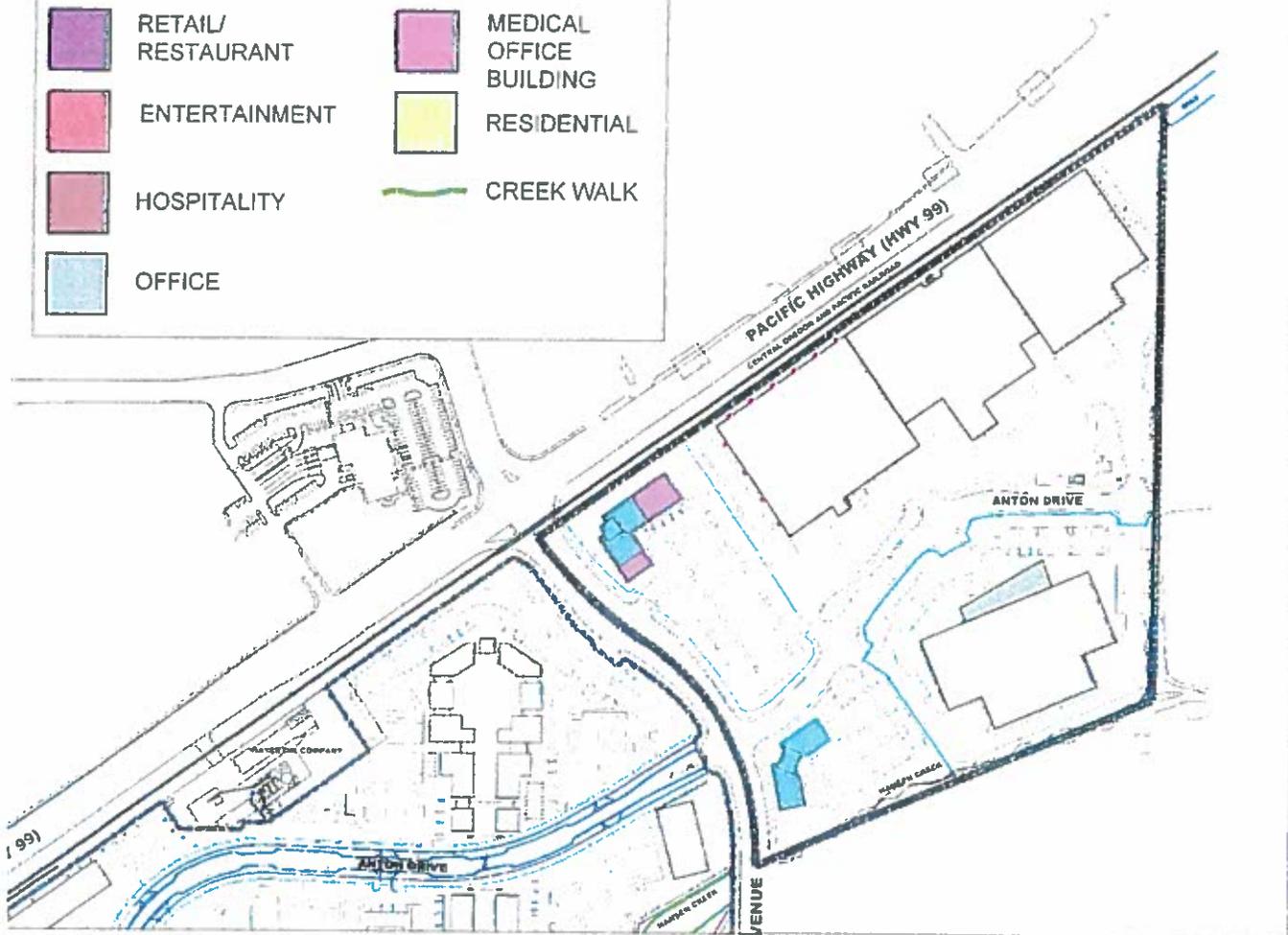
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|------------------|-----------------------|
| 1. Retail | 4. Office/Residential |
| 2. Retail/Office | 5. Residential |
| 3. Office | 6. Community Space |

Diagram 1



PHASE 1 AND 2

	RESTAURANT		GROCERY STORE
	RETAIL		INDUSTRIAL
	RETAIL/ RESTAURANT		MEDICAL OFFICE BUILDING
	ENTERTAINMENT		RESIDENTIAL
	HOSPITALITY		CREEK WALK
	OFFICE		



PHASE 3

Site Use Zones

To facilitate the on-going implementation of these Guidelines as new projects are constructed, outdoor spaces have been categorized into six distinct Site Use Zones, according to their different functions and daily use. Any or all uses may occur around any Building Type

1. Mall/Courtyard/Node
2. Commercial Office/Retail Entry
3. Ornamental Landscape Setting
4. Walkways
5. Bike /Pedestrian Pathway Corridor Interface
6. Storm water Treatment

The site improvement requirements for materials, furnishing configurations, plant selection and location are tailored to each Site Use Zone. The information provided in the Landscape Design Guidelines (pp x-x) is intended to direct the selection of materials manufacturers and construction techniques

Implementation

All new and remodel development projects within the Stewart Meadows Village development must adhere to the Stewart Meadows Village Design Guidelines and be approved by the Stewart Meadows Village Design Review Committee (DRC). It is the responsibility of the design professional to develop a project design and details based on these Guidelines, as well as any project-specific requirements. It should be noted that these design guidelines for a framework for design professionals who are designing projects within the Stewart Meadows Development to follow and are therefore not specifications

The design professional and owner/lessee are also responsible for obtaining project approval from the DRC prior to submitting the project for planning approval and/or for building permit review.

Refer to Diagram 1 to understand how a new project will fit into Stewart Meadows. *Section 1: Architectural Design Guidelines* outlines the standards for each type of building. Site development around each building type is identified by the type of activity expected to occur there, as defined by the Site Use Zones. Further definition of each Site Use Zone with a list of required and optional elements is located in *Section 2: Landscape Design Guidelines*. Each element includes a page number where the specific guideline can be found as well as supplemental drawings (Figures) illustrating desired material and spacing details or design intent.

These Design Guidelines, along with all applicable Federal, state, and local regulations and requirements must be followed for all landscape and hardscape services provided on the Stewart Meadows Village properties. Compliance with all governmental regulations is the obligation of the site owner/lessee.

Authority of the Design Review Body

Purpose

The purpose of the Stewart Meadows Village Design Review Committee (DRC) is to review proposals for new construction within the Planned Unit Development. The expressed goal of the Committee is to guide the creation of a cohesive new community with a sense of place that complies with all of the following:

- Maintains a consistently high level of design through the use of consistent formal language and quality of materials palette, signage applications, landscape, and general level of finish
- Presents a consistent image from the street and for pedestrian users as well
- Meets the requirements for the establishment of a Planned Unit Development per the City of Medford.

Composition

The Design Review Committee for Stewart Meadows Village will be composed of an odd number of members. Selection of the members to serve on the DRC shall be at the discretion of the Master Developer and shall include at least one Oregon licensed architect and one Oregon licensed landscape architect.

Application Process

All proposed projects in Stewart Meadows Village must be submitted to the Design Review Committee for review. Projects that comply with these Design Guidelines shall be approved, with conditions as appropriate.

Applications must include site plan, floor plan(s), exterior elevations, and 3D color renderings, sufficient to describe the project in detail. Materials, assemblies and systems shall be annotated on the drawings, and described in an accompanying narrative.

A finish palette shall be submitted for all building materials, showing the color, texture, pattern and finish of all materials, systems and fixtures, including trim and details.

Exception to Design Guidelines

In certain unusual circumstances, projects may need to deviate from the standards called for in these Design Guidelines. When submitting a project, the applicant must describe those parts of the design that do not comply and formally request an Exception to the standard. The Exception Request must explain why the building cannot otherwise be designed in a manner that complies with the Design Guidelines. Approval of any and all Exceptions are at the sole discretion of the DRC.

Authority

All new development projects within the Stewart meadows Village development are subject to the City of Medford's planning and building permit review and approval process before construction may commence. All development projects must be reviewed and approved by the DRC prior to submittal to the City of Medford. Approval of a development project by the DRC addresses solely compliance with the Stewart Meadows Village design guidelines and does not constitute compliance with City of Medford conditions of approval required for obtaining a building permit.

Upon obtaining a building permit and prior to commencement of construction of the project, the applicant shall provide a final full size set of the project construction documents, showing the approval seal of the City of Medford with building permit number. The DRC will review the construction documents to verify that they are in compliance with the original DRC design approval, including any conditions.

The construction documents must include complete drawings and specifications for all building materials, building systems, products, fixtures and fixed equipment to be built and/or installed as part of the applicant's project.

Upon completion of their review, the DRC shall issue a Letter of Final Approval, allowing the project to proceed into construction or shall issue a Letter of Denial of Approval that identifies all deviations from the requirements of the original DRC approval that must be rectified prior to commencement of construction. Any project denied approval by the DRC before or after receiving a building permit shall be subject to resubmission of the project for approval until it meets both the DRC and City of Medford requirements.

Appeals

The decision of the Stewart Meadows Village DRC will be considered final, and not subject to any standing appeal procedures. Applicant properties may alter proposals for re-evaluation as necessary.

Reevaluation

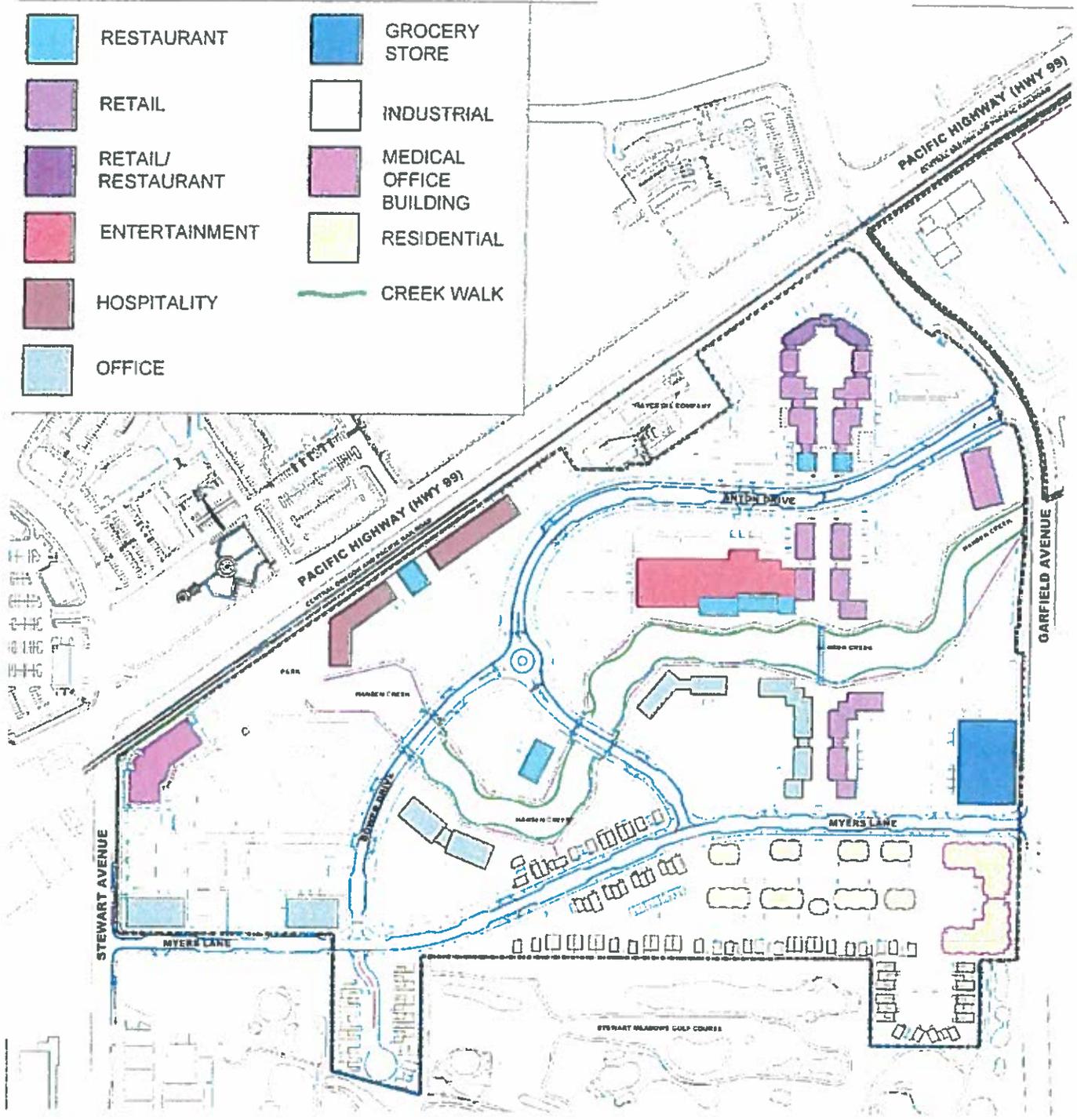
These Design Guidelines are subject to revision, as deemed necessary by the Master Developer. The Master Developer reserves the right to revise these design guidelines at any time without notice. Revisions to these design guidelines shall require the approval of the DRC. All revisions shall be issued to project owner-developers and tenants within the Stewart Meadows Village development, upon adoption by the DRC. The most current version supersedes all previous versions.

ARCHITECTURAL DESIGN GUIDELINES

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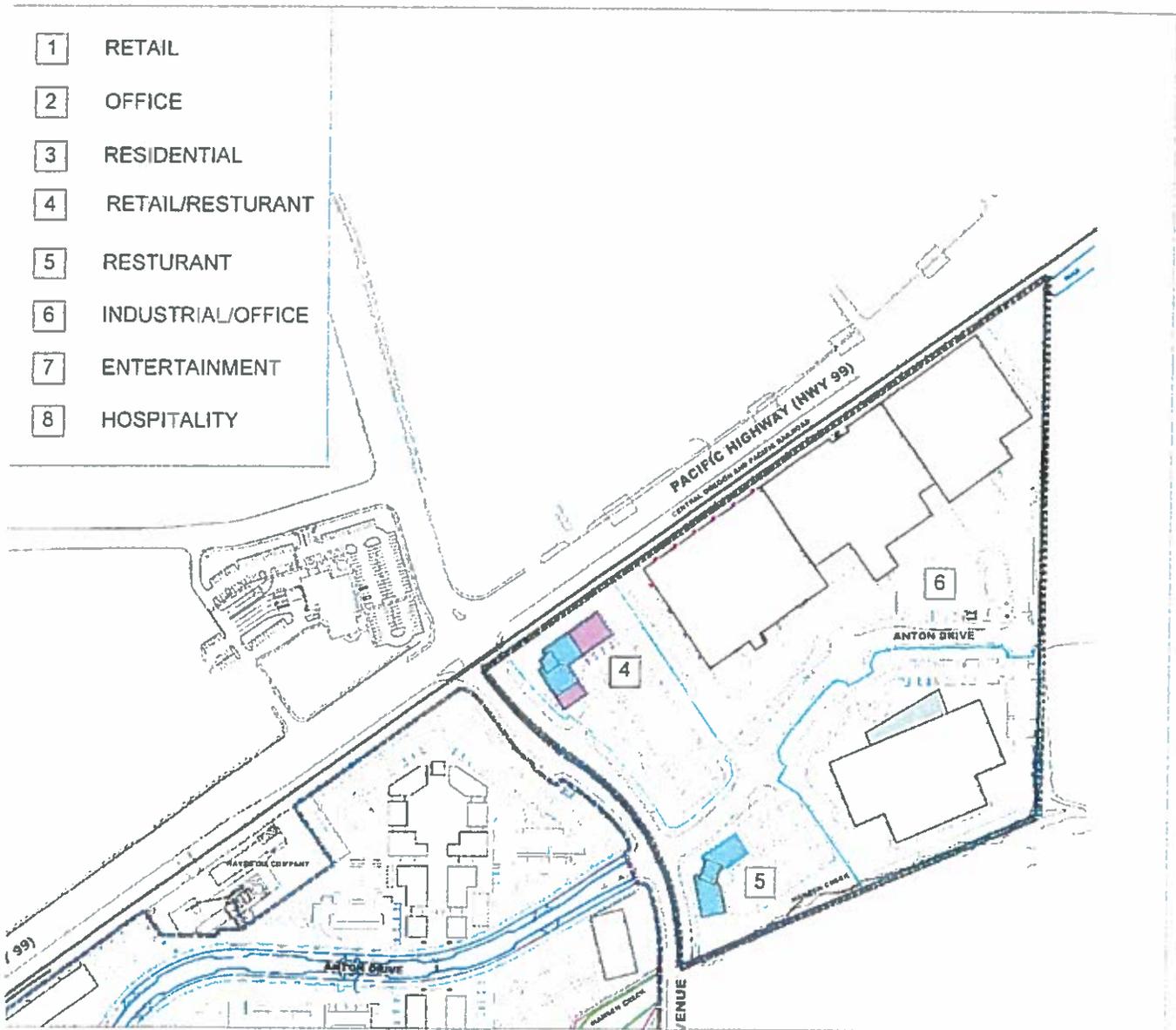
GUIDING PRINCIPLES

	RESTAURANT		GROCERY STORE
	RETAIL		INDUSTRIAL
	RETAIL/ RESTAURANT		MEDICAL OFFICE BUILDING
	ENTERTAINMENT		RESIDENTIAL
	HOSPITALITY		CREEK WALK
	OFFICE		



PHASE 1 AND 2

The Architectural Design Guidelines for Stewart Meadows Village follow the General Design Principles and are intended to guide and support the creation of a cohesive development. Stewart Meadows Village is unique in Southern Oregon, due to its history, size, mix of uses, and unique features including Hansen Creek. In order to maintain the quality of the development, all buildings developed within Stewart Meadows Village must adhere closely to the Architectural Design Guidelines.



PHASE 3

GUIDING PRINCIPLES:

- **Create** a built environment that is reminiscent of lumber mills found in Oregon during the early part of the twentieth century, through the building *forms*, materials and details used on the buildings. Buildings should utilize vernacular forms that reflect the agrarian and industrial precedents of the site and the region, including mills, farms, ranches and lodges.
- **Allow** for a range of design solutions that respond to the mix of housing, shopping and business uses that are included in the PUD (Planned Unit Development) that has been approved for Stewart Meadows Village.

- **Connect** the various parts of the development through physical and experiential linkages, and through consistency in the design of the built environment that strengthens the relationships between the various buildings and building types.
- **Reinforce** the pedestrian-oriented nature of the development through building design that is human scale, engaging, and oriented to pedestrian ways.
- **Respect** the importance of Hansen Creek as the natural centerpiece of the overall development, and as an organizing element both for building orientation and for site design.
- **Respond** to the range of uses and mixed uses that have been set forth in the PUD approval, through variation in building design based on typology and use.
- **Establish** a walkable, pedestrian-friendly environment that that appeals to residents, workers and visitors in the development, and that provides access to various transit options.
- **Ensure** that future development maintains the high quality standards and cohesive nature set forth in the Design Guidelines, while still allowing for variation in building design.

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1.1 BUILDING SITING AND FORM

1.1.1 Siting and Orientation

BUILDING ORIENTATION

The following standards shall apply to all new, renovation and expanded development in Stewart Meadows Village, in order to reinforce streets as public spaces and to promote a pedestrian-friendly and human-scale environment.

Buildings shall be sited such that visitor, office and similar functions are located on the side that fronts onto the primary street or pedestrian way and that loading docks, outdoor storage, trash enclosures and similar purely operational program functions are located out of view, on the opposite side of the building from the primary street or pedestrian way.

Wherever feasible, smaller building elements should be placed along the street façade to reduce the visual building height and overall building mass from the street.

All building elevations adjacent to a street right-of-way shall provide doors, porches, balconies, and/or windows. A minimum of 40 percent of front (i.e., street-facing) elevations, and a minimum of 30 percent of side and rear building elevations, shall meet this standard. The percentage of a building elevation shall be measured based on the total wall area of each wall plane between full and partial floors. The DRC may allow exceptions to these requirements where the applicant can demonstrate a functional reason these standards cannot be met.

Building Entrances

Unless noted otherwise below, all buildings shall have an entrance(s) visible or oriented to a street. "Oriented to a street" means that the building entrance faces the street, or is visible to the street and connected by a direct and convenient walkway. Building entrances may include entrances to individual units, lobby entrances, entrances oriented to pedestrian plazas, or breezeway/courtyards.

RELATIONSHIP TO THE PEDESTRIAN MALL AND HANSEN CREEK

The Pedestrian Mall and Hansen Creek are at the heart of the Stewart Meadows Village Lifestyle Center, providing a relaxing and engaging environment for all residents and visitors. The site layout and building orientation standards are intended to promote a walkable and engaging experience throughout the development. It should also encourage walking, bicycling, and transit use through its design.

All buildings shall be oriented toward the pedestrian way and/or Hansen Creek. Buildings at the perimeter, facing onto Garfield Street and other parts of the development, shall be oriented to the face public pedestrian walkways and spaces wherever feasible to do so.

All buildings shall have weather protection and similar pedestrian amenities along their entire frontage, to create a walk-able, human scale pedestrian environment.

1.1.2 Building Form and Articulation

MASSING

Buildings shall incorporate architectural design elements and features that provide relief from large expanses of exterior walls in a single vertical or horizontal plane in order to break down the visual mass of the building or building components. These architectural elements and features may include:

- Offsets (recessed and projecting wall planes) in exterior walls
- Changes in building and wall elevation and/or horizontal direction
- Sheltering roofs and/or terraces
- Distinct pattern of divisions in surface materials and fenestration

Buildings with exterior walls greater than 50 feet in horizontal length shall be constructed using a combination of architectural features and building materials that serve to reduce the visual monotony of large wall areas. Walls shall be designed with windows totaling a minimum of 10 percent of the wall area and using architectural features for at least 50 percent of the wall length. The DRC may allow exceptions to these requirements based on the applicant demonstrating that building functional and/or operational issues conflict with the requirements.

The location of the building within the Stewart Meadows Village Life Style Center development should be one of the considerations that influences the design of building massing with respect to the height, lengths of walls and the level of articulation. The speed, mode (i.e. vehicular, pedestrian, bicycle, etc.) and concentration of traffic affect the visual perception of the architectural scale. The building design should respond accordingly to provide finer articulation, texture and detail for more intimate spaces where people are walking slowly in close proximity to the building. Conversely, the building design should provide larger architectural gestures when primary building facades will face onto major city streets with fast moving vehicular traffic.

SCALE

Buildings must be designed to be compatible in scale with the character of their surroundings, including buildings, streets, and people. The scale of the building design should reflect its use and enhance nearby activities through use of materials, architectural elements and fenestration that match human scale where people and the building will interface.

Provide visual interest for pedestrians by incorporating building details at the ground floor that relate to the surrounding built environment, and are at a human scale. This is to be accomplished by meeting two or more of the following options:

- A variety of building materials (stone, brick, concrete, wood, metal, and glass).
- Awnings, canopies, sunshades, and /or other sun shading devices that project from the wall of the building.
- Pedestrian-oriented lighting located no more than 15' above grade, and in a way that reinforces the building's exterior design.
- Marquee and/or blade signs that follow Stewart meadows Village Signage Standards.

RHYTHM

Incorporate cohesive and repetitive elements into the building as a way of providing scale and bringing meaning to the design, including the following Building Lighting

- Columns, engaged columns/pilasters and arcades
- Suspended signs (blade signs)
- Canopies, awnings and/or solar shading devices
- Transoms
- Balconies
- Other design elements that create an interplay of shadows and light
- Architectural features similar to those found on neighboring buildings

ARCHITECTURAL DESIGN FEATURES

Use of architectural design features is encouraged to the extent that it enhances the architectural character and works to achieve design goals for massing, scale and rhythm. Such features should complement the overall building design concept without overwhelming it.

Architectural design features envisioned for Stewart Meadows Village are those that reflect the rich history of Oregon mill towns and their transition into the future. Building designs should strive for a balance of natural and manmade materials, and handmade details with current technology to create an environment that invites exploration and education.

Examples of architectural design features include:

- Terraces and balconies
- Arcades
- Awnings and canopies
- Exterior Lighting
- Shed dormers and awnings
- Recessed or covered entries
- Exposed steel and heavy timber structural elements and details
- Eaves (minimum 24-inch projection)
- Offsets in the building face and/or roof
- Gable and shed roofs
- Projecting Cornices (minimum 24-inch projection)
- Heavy timber and steel roof brackets.
- Decorative patterns on the exterior finish

BUILDING ENTRANCES

Stewart Meadows Village creates a density of development and level of interaction between people, transportation and buildings that makes a clearly identifiable main entrance very important for wayfinding and ease of movement by pedestrians.

Therefore, it is important that the main entrance to every building face a street or pedestrian way. All elevations that face a street or pedestrian way must have at least one entrance.

Recessed entries, canopies, and/or similar features shall be used at the entries to buildings in order to create a pedestrian scale and a clearly identifiable entrance.

Clearly defined, highly visible public entrances using features such as canopies, porticos, arcades, arches, wing walls, and/or integral planters are required.

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1.2 BUILDING ELEMENTS

1.2.1 Exterior Finish Materials

The predominant exterior building finish materials should strike a balance between those that were characteristic of early 20th century Oregon mill architecture and contemporary materials that showing the transition to new technology. All exterior building finish materials shall have a minimum of a 15-year warranty against any deterioration of the finish and UV degradation.

A predominant exterior materials palette may include:

- Board-formed or form-stripped unfinished concrete
- Brick
- Stained and painted vertical or horizontal wood siding or cementitious product similar in appearance
- Prefinished corrugated metal
- Glass products
- Architectural metal panels and siding

An exterior accent finish materials palette may include:

- Heavy timber
- Structural steel and fasteners
- Aluminum composite metal panels
- Precast concrete panels and architectural details
- Glazed concrete block and tile
- Ledge stone and rusticated stone (residential only)
- Integral color cement plaster
- Concrete masonry units
- Exterior fiberglass architectural details

Prohibited exterior finish materials include:

- Vinyl siding and soffits
- Painted concrete masonry units
- Common concrete masonry units
- Plywood and fiber board products
- Exterior insulation finishing systems
- Prefinished sheet metal or aluminum siding and roofing panels of any profile type other than as used for flashings and copings
- Exposed polycarbonate or similar products

Building exterior finish material colors shall be predominantly low-reflectance, low-contrast and subtle in nature. Color palettes should be appropriate to their context (i.e. office, retail corridor, residential, etc.) and the overall Stewart Meadows Village architectural theme.

Prohibited building exterior material finish colors include:

- Neon/Fluorescent
- Mirror finishes
- Plastics and PVC

The DRC must review and approve all building exterior finish materials and colors based on these standards. The DRC has the discretion to make exceptions to these standards on a limited project-by-project basis.

1.2.2 Roofs

All building roofs should be designed to be appropriate to the building type, style, use and context. Where roofs are exposed to view, they should provide visual interest and avoid large uninterrupted roof surfaces. Roof lines and materials in different areas or zones of the development may vary in accordance with the predominant architectural aesthetic, scale and style being used there.

Acceptable roof materials and applications:

- Flat roofs: single-ply membrane roofing with interior roof drains
- Sloped gable and shed roofs: prefinished standing seam roofing with concealed fasteners
- Curved (vaulted) roofs: prefinished standing seam roofing with concealed fasteners
- Residential buildings with sloped gable or shed roofs may make use of dimensional composite shingles

Acceptable coping materials include:

- Aluminum composite panels
- Prefinished galvanized sheet metal (gage and profile shall prevent "oil-canning" deformation)
- Precast concrete
- Glazed terracotta

General roof design requirements:

1. Flat roofs shall have parapet walls of 30" minimum above the finished roof
2. Valley gutters are discouraged and will require detailed review by the DRC prior to final approval
3. The design of sloped metal roofs exposed to view:
 - Are encouraged to make use of dormers to provide interior daylighting and to break up large roof areas
 - May not include dome skylights, mechanical equipment or exhaust fans of any kind
4. All mechanical equipment shall be internal to the building and/or within a mechanical roof well that is hidden from view for sloped roof structures
5. All rooftop mechanical equipment shall be screened from view for flat roof structures. Parapet wall screening is the preferred method for screening rooftop equipment.

Note:

1. The use of mechanical equipment or roof mounted screening requires the submittal of complete mechanical screening system product specifications, details, materials and colors to the DRC for approval prior to submittal of the project to the City of Medford for planning and building permit approval.
2. The applicant must demonstrate that any such rooftop mechanical equipment cannot be viewed from any vantage point within the development from the ground plane, an adjacent occupied building or terrace or from the far side of the closest public right of way.

Overhanging eaves, sloped roofs, parapet walls that have variations vertically and horizontally, and multiple roof elements are highly encouraged

Mansard, hip, and gambrel style of roofs are all prohibited.

1.2.3 Door and Window Openings

Architectural treatment of building entries is discussed elsewhere within these guidelines. This section will address the types of doors and windows on the exterior of the building and the design and materials related to their function.

Main building entrances need to be easily identifiable, inviting and as transparent as possible. The entrance should provide a first time visitor with a clear view of the space they will enter and provide those inside with a view of people coming and going, as well as a view of activities outside.

Therefore, the use of generous amounts of glass within building entrance doors and the surrounding area is encouraged to allow this visual interaction to occur. Conversely, exterior doors used for service, deliveries and emergency egress should be inconspicuous and with little or no glazing.

Exterior windows in mill buildings and similar structures in the early 20th century were a primary source for interior lighting and were therefore sized and placed to provide the maximum amount of daylight for workers inside. We are again using daylighting to light building interiors.

The placement and size of windows should also convey:

- the building's height and scale
- the building's general purpose (i.e. hotel, office, retail store, etc.)
- how public or private the use is based on its level of transparency

Ground floor windows have special significance because they provide a visual interface with passing pedestrian and vehicular traffic, making street-facing windows important. These windows should provide:

- Provide a pleasant rich, and diverse pedestrian experience by connecting activities occurring within a building to adjacent sidewalk areas.
- Encourage visual continuity of retail and service uses.
- Create an exciting pedestrian environment.

Windows must be at least 50 percent of the length and 60 percent of the ground level wall area. Ground level wall areas include all exterior wall area from 3 feet above the interior finished floor elevation up to 10 feet above the finished grade.

Acceptable window materials include:

All building uses:

- Aluminum
- Steel

Residential buildings only (prohibited in all other building types and uses)

- Vinyl
- Fiberglass

The use of window mullions and muttons to create divided lites is encouraged where architecturally appropriate. Use of faux window muttons placed within insulated glass units or on one side of the windows glazing is prohibited.

1.2.4 Canopies and Overhangs

To reinforce a friendly pedestrian environment, weather protection shall be provided along buildings adjacent to pedestrian walkways in the Lifestyle Center.

Provide weather protection for pedestrians along 50 percent of the ground-floor facade that is required to be on the property line and at all street-facing entrances.

Awnings, marquees, balconies, overhangs, umbrellas, fabric tensile structures, building appendages, or other weather protection projections are required to extend five feet over the sidewalk.

1.2.5 Screens and Enclosures

Outdoor and rooftop mechanical equipment as well as trash cans/dumpsters shall be architecturally screened from view. Heating, ventilation and air conditioning units shall have a noise attenuating barrier to protect adjacent residential units from mechanical noise.

Screening for rooftop mechanical equipment is to be opaque. Rooftop equipment is required to be set back from the parapet or building edge a minimum of 10 feet. Screened mechanical equipment is exempt from the height requirement.

All vehicle areas (i.e., parking, drives, storage, etc.) and trash receptacles shall be oriented away from public areas to the greatest extent practicable. Trash and recycling receptacles shall be screened with a solid fence or wall of not less than six feet in height.

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1.3 SPECIFIC DESIGN STANDARDS BY BUILDING TYPE

1.3.1 Pedestrian Mall – Retail and Restaurant Facades

Create storefronts and entries that are visible (transparent) and easily accessible from the street. Emphasize the importance of the ground floor, especially the primary street-facing entry, by incorporating three or more of the following elements:

- Extra-height entry lobby space.
- Enhanced distinctive doorway treatments.
- Decorative lighting.
- Projecting or recessing the entry bays.
- Incorporating unified paving materials, textures, and color.

Ground-floor windows must be installed for at least 50 percent of the building length and have an area equal to 60 percent of the street-facing ground-floor wall area. Ground-floor wall area includes all wall areas up to 10 feet above finished grade. If the site has two or more frontages, the ground-floor window standard is only required on two facades minimum. Windows are required to be transparent to foster both a physical and visual connection between activities in the building and pedestrian activities on the street.

Material Guidelines:

- Concrete Walls and Accents
- Heavy Timber Structural Elements
- Wall Cladding (painted or stained cementitious or wood products)
 - Board-and-Batten (Vertical)
 - Shiplap (Horizontal and/or Vertical) Channel Rustic (Horizontal and/or Vertical)
 - Masonry, including: split face, glazed and ground face concrete block and brick
- Standing Seam Metal or Single Ply Membrane Roof
- Fenestration
 - Prefinished Aluminum or Steel Storefront Assemblies

1.3.2 Office Buildings

All office buildings shall provide human-scale design by conforming to all of the following standards:

Incorporate changes in building wall direction and divide large masses into varying heights and sizes. Such changes may include building offsets; projections; changes in elevation or horizontal direction; sheltering roofs; terraces; a distinct pattern of divisions in surface materials; windows; screening trees; small-scale lighting and similar features.

Material Guidelines:

- Accents
 - Aluminum Composite Metal Panels
 - Prefinished Galvanized sheet metal
- Heavy Timber Structural Elements
- Wall Cladding (painted or stained cementitious or wood products)
 - Board-and-Batten (Vertical)
 - Shiplap (Horizontal and/or Vertical) Channel Rustic (Horizontal and/or Vertical)
 - Prefinished Corrugated Metal Siding
 - Insulated Metal Panels
 - Concrete
 - Masonry: split-face and ground face concrete block and brick
- Standing Seam Metal or Composite Roofing
- Fenestration
 - Windows: Painted wood, prefinished aluminum-clad and prefinished steel
 - Doors: Painted wood, wood with glass, painted hollow metal and hollow metal with glass and aluminum storefront
 - Aluminum storefront and curtain wall systems will be allowed at main building entrances and on a limited basis to highlight key interior building spaces and features

1.3.3 Multi-family Residential

This section applies to all of the following types of buildings:

- Apartments
- Attached single-family townhomes
- Community Center
- Mixed-use buildings with residential over office

Other building styles and designs can be used to comply, so long as they are consistent with the text of this section. An architectural feature may be used to comply with more than one standard.

All buildings shall incorporate design features such as offsets, balconies, projections, window reveals, or similar elements to preclude large expanses of uninterrupted building surfaces

Material Guidelines:

- Stone and/or Concrete Walls and Accents
 - Columns, Water Tables, base (wainscoting), etc.
- Heavy Timber Structural Elements
- Wall Cladding (painted or stained cementitious or wood products)
 - Board-and-Batten (Vertical)
 - Shiplap (Horizontal and/or Vertical) Channel Rustic (Horizontal and/or Vertical)
 - Beveled horizontal siding
- Standing Seam Metal or Composite Roofing
- Fenestration
 - Windows: Painted wood, aluminum clad and vinyl windows
 - Doors: Painted wood, wood with glass, painted hollow metal and hollow metal with glass
 - Aluminum storefront systems will be allowed at main building entrances only

1.3.4 Residential Townhomes and Duplex Units

Townhomes shall comply with all of the following standards, in order to minimize interruption of adjacent sidewalks by driveway entrances, slow traffic, improve appearance of the streets, and minimize paved surfaces for better storm water management.

When garages or carports face the street, the garage or opening shall set back a minimum of 20 feet from the property line fronting the street.

Two garages that are adjacent to one another shall share a driveway

Two adjacent garages shall share one driveway when individual driveways would otherwise be separated by less than 20 feet (i.e., the width of one on-street parking space) unless separated by pedestrian access. When a driveway serves more than one lot, the developer shall record an access and maintenance easement/agreement to benefit each lot, prior to building permit issuance.

Material Guidelines:

- Stone Veneer Accents
 - Columns, Water Tables, etc.
- Heavy Timber Structural Elements
- Wall Cladding (painted or stained cementitious or wood products)
 - Board-and-Batten (Vertical)
 - Shiplap (Horizontal and/or Vertical) Channel Rustic (Horizontal and/or Vertical)
 - Beveled horizontal siding
- Standing Seam Metal or Composite Roofing
- Fenestration
 - Windows: Painted wood, aluminum clad and vinyl windows
 - Doors: Painted wood, wood with glass, painted hollow metal and hollow metal with glass
 - Aluminum storefront systems will be allowed at main building entrances only

1.3.5 Community Buildings

Community buildings shared by residents and/or visitors shall be designed to complement adjacent buildings of similar use through use of similar materials, massing and colors. As a stand-alone building, the design shall adhere to the general design guidelines to compliment the Life Style development theme.

1.3.6 Industrial Buildings

Industrial buildings shall comply with the design standards herein to maintain compatibility with other buildings within the Stewart Meadows Village Development.

Buildings shall be setback from the street property line a minimum of forty-feet (40 ft.) to avoid creation of a "canyon effect" as seen from the street. It shall be sited such that visitor, office and similar functions are located on the side that fronts onto the primary street and that loading docks, outdoor storage, trash enclosures and similar purely operational program functions are located out of view, on the opposite side of the building from the primary street frontage.

Wherever feasible, smaller building elements should be placed along the street façade to reduce the visual building height and overall building mass from the street.

Due to the purely utilitarian nature of many uses within this building type that may create conflicts between these design standards and the operational and functionality of the design, the applicant may request a review by the DRC of these conflicts. The applicant must be able to demonstrate the reasons for granting a waiver of any of the design standards herein based on operational and functional conflicts. Added costs for meeting the requirements of these design guidelines will not be grounds for granting a waiver of these requirements.

Architectural Elements

The following are examples of the type architectural elements that should be incorporated into the building design:

- Painted Steel or heavy-timber brackets
- Simplified projecting cornice
- Divided lites in windows
- Wall mounted exterior lighting

Material Guidelines:

- Insulated metal panels
- Precast concrete panels
- Prefinished corrugated metal siding (22 GA min thickness)
- Cementitious rain screen systems
- Masonry, including: split face, glazed and ground face concrete block and brick
- Prefinished Aluminum Composite Metal panels
- Aluminum storefront, curtain wall and window systems

1.3.7 ENTERTAINMENT BUILDINGS

Entertainment buildings by definition may be large structures with large expanses of wall area. These must meet the design standards of all other applicable sections of these design guidelines and may be able to apply section 1.3.8 Standalone Buildings where sited accordingly.

As a prominent building within the Stewart Meadows Village Life Style Center development, the possibility to create a "destination" design that is easily recognizable and a draw for potential customers inside and outside the development presents both a business and design opportunity. While the creative use of massing, materials and colors and finishes is highly encouraged, the final design must still maintain a design compatibility with the overall development.

The DRC shall be the sole judge of whether the design is compatible with the design intent and theme of the Stewart Meadows Village development.

Architectural Elements

The following are examples of the type architectural elements that should be incorporated into the building design:

- Painted Steel or heavy-timber brackets
- Simplified projecting cornice
- Divided lites in windows
- Wall mounted exterior lighting

Material Guidelines:

- Insulated metal panels
- Precast concrete panels
- Prefinished corrugated metal siding (22 GA min thickness)
- Cementitious rain screen systems
- Masonry, including split face, glazed and ground face concrete block and brick
- Prefinished Aluminum Composite Metal panels
- Aluminum storefront, curtain wall and window systems
- See the SMV Signage Standards for related requirements

1.3.8 HOSPITALITY

The hotel site is one of the most prominent and has two major facades, one facing Highway 99 and the other facing the Stewart Meadows Village development and passersby on Anton Drive. These will be considered primary facades.

Primary building facades must adhere closely to the design standards herein that apply with regard to form, façade articulation, architectural details, materials and colors that will provide a compatible design with the other major nearby buildings.

The DRC shall be the sole judge of whether the design of a project is compatible with the design intent and theme of the Stewart Meadows Village development.

Material Guidelines:

See the requirements for each building type

1.3.8 STAND ALONE BUILDINGS

Standalone buildings are those that are not connected or immediately adjacent to another building. They provide unique design challenges as they may be viewed from many vantage points and therefore must address the design aesthetic for all sides of the building.

Primary building facades must adhere closely to the design standards herein that apply while secondary facades may make creative use of form, articulation, material and color to provide a compatible design with less attention to finer details and fenestration.

The DRC shall be the sole judge of whether the design of a project is compatible with the design intent and theme of the Stewart Meadows Village development.

Material Guidelines:

See the requirements for each building type.

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1.4 BUILDING DETAILS

1.4.1 Exterior Lighting

It is the intent of this section to illuminate residential, commercial, industrial, and public areas, roadways and walkways with lighting fixtures appropriate to the need while using such illumination in a way that preserves vistas and is directed onto and is confined to the property from which it is generated.

Outdoor Lighting Fixtures Subject to This Section. Light fixtures subject to the standards in subsection (C) of this section are outdoor artificial illuminating devices, outdoor fixtures, lamps and other similar devices, permanently installed or portable, used for flood lighting, general illumination or advertisement.

Such devices shall include, but are not limited to, lights for:

- Buildings and structures;
- Recreational areas;
- Parking lot and maneuvering areas;
- Landscape areas;
- Streets and street signs;
- Product display area;
- Building overhangs and open canopies;
- Holiday celebrations; and
- Construction lights.

All outdoor lighting fixtures shall be designed as a full cut-off fixture or have a shielding method to direct light emissions down onto the site and not shine direct illumination or glare onto adjacent properties.

Externally affixed neon lighting is prohibited except neon lighting associated with signs shall be in accordance with the standards for signage.

Residential decorative lighting and low wattage lighting used for yards and driveways that do not shine glare, emit direct illumination, or cast a shadow onto adjacent property.

Commercial and industrial low wattage lighting used to highlight driveways and landscaping, shall be aimed and shielded to not shine visible glare into the public right-of-way or onto adjacent or nearby properties.

Up-lighting intended to highlight part of a building or landscaping is permitted, provided that the light distribution from the fixture is effectively contained by an overhanging architectural element or landscaping element.

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SECTION 2: LANDSCAPE DESIGN GUIDELINES

GUIDING PRINCIPLES

These Landscape Design Guidelines are intended to support the overall design theme of the Stewart Meadows Village Life Style Center development. Hansen Creek is the centerpiece of Stewart Meadows Village and an organizing feature for guiding site design. The site acknowledges and celebrates the creek by directing attention to it visually and spatially through circulation, plantings, patterns, material choices, and structural orientation.

In support of this concept, the Landscape Design Guidelines are intended to:

- Create spaces that encourage use, create a sense of place and help make Stewart meadows Village a vibrant community;
- Integrate site and form with the cultural and natural history, including the industrial and agricultural history character and the natural organic forms of the creek;
- Connect people, places and spaces with strong, clear circulation and direction;
- Create appropriately scaled places that match the character and function of the spaces;
- Provide furnishings and amenities that complement the activities, functions and history of the site;
- Offer a diverse, regional and site appropriate plant palette;
- Provide recreational and educational opportunities that showcase Hansen Creek; and
- Protect and preserve the creek and riparian way integrity with a suite of well integrated, attractive storm water treatment facilities that manage storm water runoff.

All new development projects are required to adhere to the Landscape Design Guidelines outlined in this document as part of the Stewart Meadows Village review and approval process. While certain development-wide fixtures are specified herein to be used throughout the project for purposes of design continuity, these Design Guidelines are not specifications. They are provided for reference and as a means to help guide site development. Design professionals are responsible for developing and submitting designs and details based on these Design Guidelines for each new project based on their individual programmatic requirements and site conditions. The creativity of each design professional and the unique designs derived from their talent and experience is what will provide the diversity in design that is the vision for this development.

These Design Guidelines, along with all applicable Federal, state, and local regulations and requirements as specified by the Stewart Meadows Compensatory Mitigation Plan must be followed for all landscape and hardscape services provided on all Stewart Meadows Village properties. Compliance with all governmental regulations is the obligation of the site owner/lessee and their design professional.

2.1.1 PEDESTRIAN MALL/COURTYARD/NODE

Paved areas located primarily in and around the retail core, courtyards between residences and office buildings and in community areas. These areas provide space for pedestrian flow, events, informal gathering, socializing, spontaneous entertainment and outdoor dining. These are comfortable public spaces that invite use and are sometimes near to places where food can be purchased. These spaces are areas with high pedestrian traffic and can provide a place for posting community information. Visibility of the space from the sidewalk is important as is visibility of the sidewalk from within the space to facilitate sociability as well as safety. If located at strategic nodes, refer to Architectural Design Guidelines for signage requirements.

Required Elements:

Paving Patterns and Materials

Site Use Zone Plantings: Ornamental Trees; Ornamental Plants; Flow through Planter Plants

Storm water treatment flow through planters (Pedestrian Mall)

Seating options in shade and sun

benches

tables and chairs

Lighting: post lights and/or illuminated bollards

Trash and recycling receptacles

Bicycle racks

Grates: Tree; Drainage

Skate deterrents

Optional Elements:

Ash Urns

Planters

Water fountains

Containers/Pots

Trellis/Arbor/Shade structure

Non illuminated bollards

Seat walls

Signage

Refer to Appendix 1.0 for a sample vignette.

2.1.2 COMMERCIAL OFFICE AND RETAIL BUILDING ENTRIES

Outside areas adjacent to commercial building entrances. The Landscape Design Guidelines see Building Entry as more than a space to pass through. A Building Entry is an opportunity to promote informal interactions among workers, shoppers or visitors and offers places to meet and wait for others. The materials, planting and site furnishings in these areas support these activities and complement the building entrances by defining a place.

Required Elements:

Paving Patterns and Materials

Storm water Treatment Facilities

Flow-through Planters

Vegetated Swales

Dry Detention

Rain Gardens

Site Walls

Ornamental Trees

Ornamental Plants

Benches

Bicycle Racks

Tree Grates

Fence Grating and Mesh

Optional Elements:

Plant Containers and Pots

2.1.3 Outdoor Landscape Areas

Areas adjacent to buildings and throughout Stewart Meadows that feed into or support the buildings and community. These areas are not occupied spaces. They are planted and may contain Storm Water Treatment Facilities. Landscape settings are meant to provide an aesthetic accent, shade and, in the case of storm water facilities, filtration and detention. A regionally appropriate mix of plants should be chosen with special consideration given to varied seasonal interest, mix of textures, hardiness, function and native species. To reduce water usage, lawn areas are minimal.

Required Elements:

Site Use Zone Plantings: Ornamental Trees; Ornamental Plants; Storm water Treatment Facilities
Plants (by project location/drainage basin)
Storm water treatment facilities (by project location/drainage basin)

Optional Elements:

Screening
Non-illuminated bollards

2.1.4 Promenade, Walkway and Bicycle Pathway System

Circulation throughout the community is facilitated by walkways and pathways that link the public right-of-way streetscape to the interior of the development and connects offices, retail and residences. Some are solely for pedestrians, while others are designed to accommodate bicyclists as well. A separate Bike/Pedestrian Pathway loops around the entire creek corridor and is described in its own Site Use Zone (p. x).

Primary Walkways are the main corridors in the Pedestrian mall, connecting retail, and a variety of seating and community spaces. Secondary Walkways connect the commercial buildings and the residences to their respective buildings and courtyards. Paving patterns, materials and site furnishings differ slightly according to the walkway category.

BIKE/PEDESTRIAN PATHWAY CORRIDOR

The Hansen Creek Corridor is the centerpiece of Stewart Meadows Village and provides open space for the development. The creek corridor integrates the natural environment with the built while providing a central bicycle/pedestrian pathway loop that connects the entire site. The materials and site furnishings support biking and walking, and landscape grades are easy to access. Site furnishings are located at the edge of the space and the pathway loop provides a functional transition between urban development and the creek corridor.

2.1.5 STORM WATER TREATMENT

Stewart Meadows Village has incorporated a suite of Storm Water Treatment Facilities to manage the storm water runoff generated on site and to protect the enhanced creek. The facilities slow and filter runoff, prevent erosion, water pollution and flooding using vegetated natural systems as opposed to the traditional piped approach.

There are four types of Storm Water Treatment Facilities used throughout Stewart Meadows Village: Flow-Through Planters, Vegetated Swales, Dry Detention and Rain Gardens strategically placed in drainage basins throughout the site to manage storm water runoff. They can be found in most of the Site Use Zones and around parking areas. In addition, detention Swales are incorporated into the public right of way.

Required Elements:

(per Master Plan drainage basin requirements)

Flow through Planter

Flow through planter detail

Flow-through planter plants

Skate Deterrents

Vegetated Swale

Vegetated Swale Detail

Vegetated Swale plants

Dry Detention

Dry Detention detail

Dry detention plant

Rain Garden

Rain Garden Detail

Rain Garden Plants

Vegetated Swale

2.2 HARDSCAPE

2.2.1 Paving Patterns and Materials

Paving is the primary element used to identify changes and directive circulation, strategic nodes, and the means to connect walkways, the mall, courtyards, residential areas and commercial and retail buildings within Stewart Meadows Village. Paving patterns aid in distinguishing these specific areas from surrounding development. The paving materials and patterns selected for use define these prominent areas with a special character and quality. Providing a consistent paving pattern and material on the walkways will make the development more attractive to the pedestrian and provide subtle circulation guidance. Guidelines for walkway widths that respond to the hierarchy of walkways will make circulation clear for workers, residents, visitors and shoppers. Using consistent materials helps establish a distinct identity, simplify area maintenance, and protect the creek corridor by directing circulation away from sensitive areas.

PEDESTRIAN MALL AND COMMUNITY GATHERING SPACES

EXAMPLE

Width: varies
Material: Cambridge
Color: Buff/Brown/Charcoal
Paver Size(s): 6x6", 6x9", 9x12"
Pattern: 3 piece; 10% 6x6"; 30% 6x9"; 60% 9x12"
Edge: Flushed or raised concrete curb

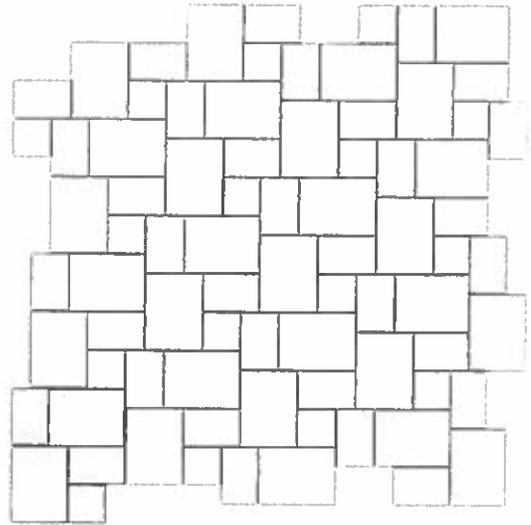


FIG 1 PEDESTRIAN MALL PAVING PATTERN DETAIL

MANUFACTURER Unit
Pavers Belgard
Willamette Graystone
1559 Dowell Road
Grants Pass, OR 97527
www.willamettegraystone.com
541-479-1323
541-479-6331

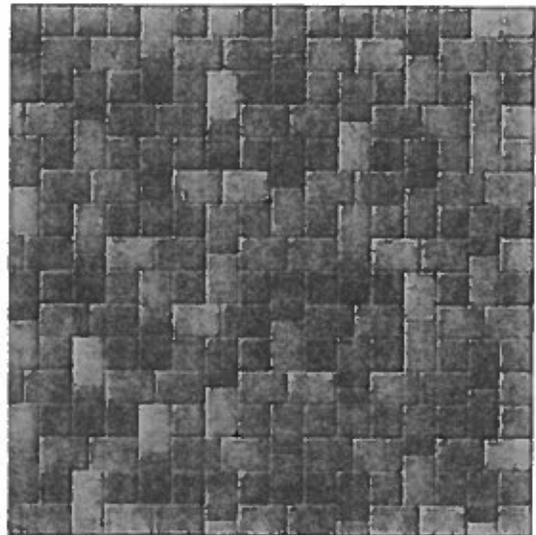


FIG 2 PEDESTRIAN MALL PAVING MATERIAL: CAMBRIDGE

COMMERCIAL OFFICE AND RETAIL COURTYARDS AND NODES

EXAMPLE

Width: Varies
Material: Holland
Color: Light Grey/Dark Grey
Paver Size(s): 6x6", 6x9", 9x12"
Pattern: 90° Herringbone
Edge: Flushed or raised concrete curb

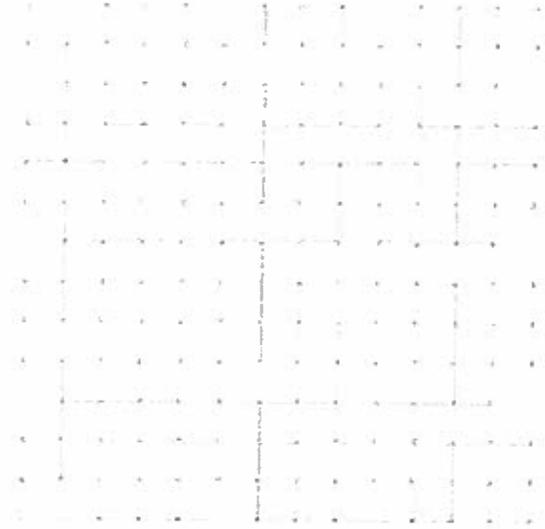


FIG. 3: COMMERCIAL PAVING PATTERN DETAIL

MANUFACTURER Unit
Pavers Belgard
Willamette Graystone
1559 Dowell Road
Grants Pass, OR 97527
www.willamettegraystone.com
541-479-1323
541-479-6331

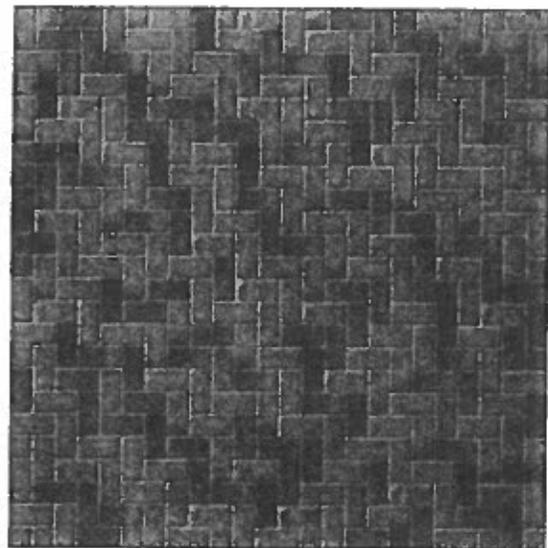


FIG. 4: COMMERCIAL COURTYARD PAVING MATERIAL:
HOLLAND STONE

RESIDENTIAL COURTYARDS AND NODES

EXAMPLE

Width: Varies
Material: Cambridge
Color: Buff/Brown/Charcoal
Paver Size(s): 6x9"
Pattern: 90° Herringbone
Edge: Flushed or raised concrete curb

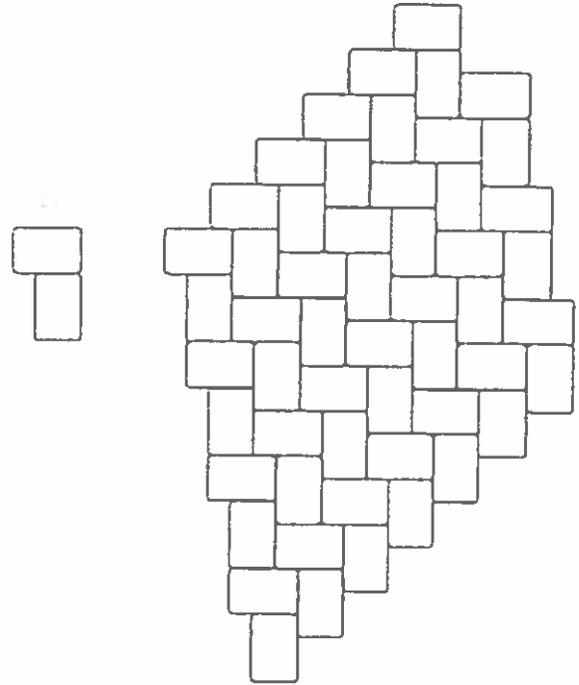


FIG. 5: RESIDENTIAL COURTYARD/NODE PATTERN

MANUFACTURER

Unit Pavers Belgard
Willamette Graystone
1559 Dowell Road
Grants Pass, OR 97527
www.willamettegraystone.com
541-479-1323
541-479-6331

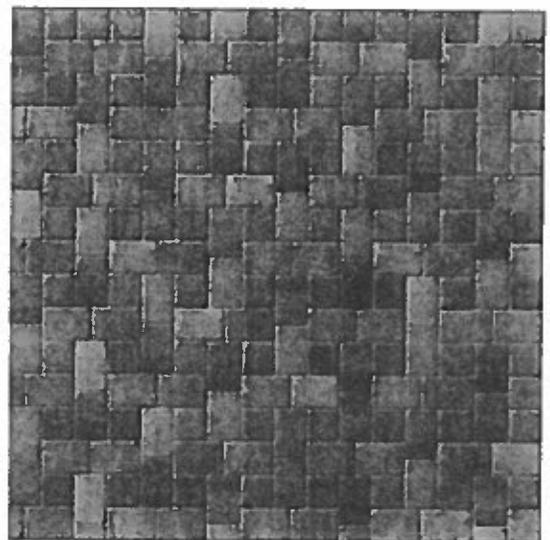


FIG. 6: RESIDENTIAL COURTYARD/NODE
MATERIAL: CAMBRIDGE

WALKWAYS

Primary Walkway Paving Pattern- Pedestrian Mall

Width: 16' wide
Pattern: 4' square control joints
Control Joint Detail: 1/2" radius trowel
Material: Cast-in-place concrete with sand finish
Color: Mesa Buff

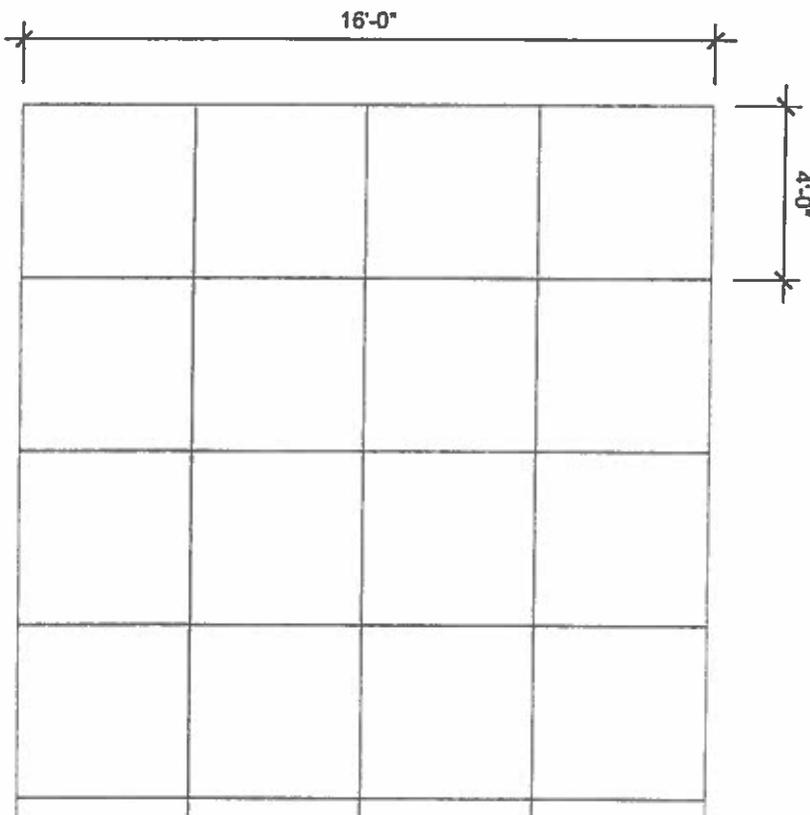
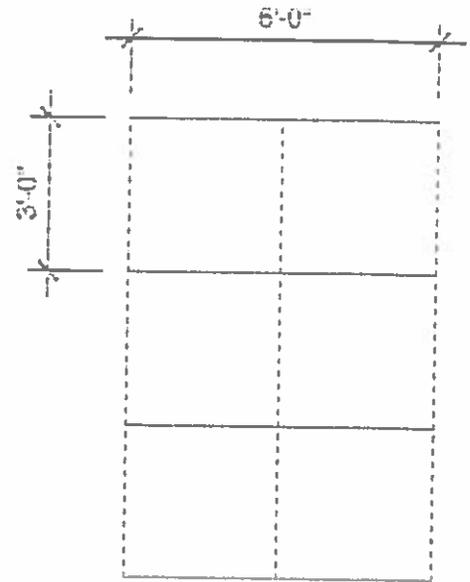


FIG. 7: PRIMARY WALKWAY PAVING PATTERN

SECONDARY WALKWAY PAVING PATTERN

Commercial and Residential – walkways between parking lots and buildings

Width: 6' wide
Pattern: 3' square control joints
Control Joint Detail: 1/2" radius trowel
Material: Cast-in-place concrete with broom finish
Color: Standard



Residential – walkways within residential zones

Width: 5' wide
Pattern: 2'-6" square control joints
Control Joint Detail: 1/2" radius trowel
Material: Cast-in-place concrete with sand finish
Color: Mesa Buff

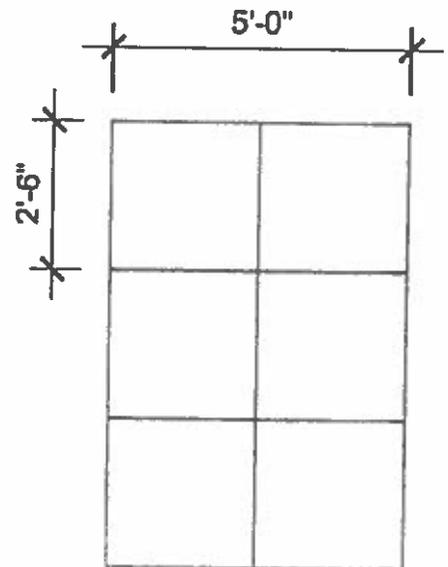


FIGURE 8: SECONDARY WALKWAY PAVING PATTERNS

Promenade, Walkway and Bicycle Pathway System

A fully accessible shared walking and biking trail paved with asphalt. The 8' wide pathway loops around the entire creek corridor with several street crossings. It can be used by people of all ages to walk, run, ride, and roll to enjoy the environment, socialize, exercise, and access other parts of the community. Trail width is based on projected use with a minimum expectation that two adults can walk side-by-side, or that a runner or cyclist can pass a walker. The pathway has curb ramps and connections to sidewalks and road crossings in order to connect to the adjoining sidewalk and bikeway system.

EXAMPLES



2.2.2 Site Walls

SEAT AND PLANTER WALLS

These are low concrete walls that can either stand by themselves or serve as retaining walls for raised planters to create raised landscape areas, define space and provide outdoor seating. These are typically found in community spaces where people gather and/or as part of the flow-through planter system for the development.

Walls should be structurally designed by a licensed professional structural engineer for the specific height and amount of soil to be retained, as well as any other unique conditions. Planter walls should be designed with a liquid-applied or self-adhering sheet product waterproofing on the interior face to avoid discoloration of the exterior face of the wall. Site wall designs should also include decorative metal skate board deterrents that are epoxy embedded into the tops of all site walls.

Site wall profiles should adhere to the following:

Height: 17-20"

Width: 12"- 14" cast-in-place with hard troweled top and skate board

Finish: Hard trowel cap

2.3 STORM WATER FACILITIES

Storm water treatment facilities provide a sustainable approach for onsite collection, conveyance and treatment of storm water runoff from roofs, parking lots, streets and other impervious surfaces. Storm water treatment facilities slow and filter runoff, preventing erosion, water pollution and flooding using vegetated natural systems as opposed to the traditional piped approach. Well-designed storm water treatment facilities can significantly reduce runoff volumes from a site and greatly enhance pollutant and sediment removal. Specific guidelines for construction and planting need to be adhered to in order to ensure successful function.

Stewart Meadows Village has four types of Storm Water Treatment Facilities: flow-through planters, vegetated swales, dry detention and rain gardens strategically placed in geographically conceived drainage basins throughout the site to manage storm water runoff. Treatment facilities can be found in most of the Site Use Zones and around parking areas. In addition, detention swales are incorporated into the public right of way. Once constructed, all Storm Water Treatment Facilities are required to follow maintenance guidelines set forth in the Stewart Meadows Village Storm Water Treatment Facilities Maintenance and Management

2.3.1 Flow-Through Planters

Flow through planters throughout Stewart Meadows Village are self-contained landscape structures with impervious bottoms. Flow-through planters do not infiltrate storm water into the ground. The planters can be designed to be above or below the surrounding finished grade, freestanding or adjacent to buildings. Flow-through planters are filled with gravel, soil, and vegetation and typically incorporate interior waterproofing. They temporarily store storm water runoff on top of the soil and filter sediment and pollutants as water slowly infiltrates down through the planter. Excess water collects in a perforated pipe at the bottom of the planter and drains to a destination point or conveyance system. Flow-through planters at Stewart Meadows are a variety of sizes and shapes and are constructed of board form concrete.

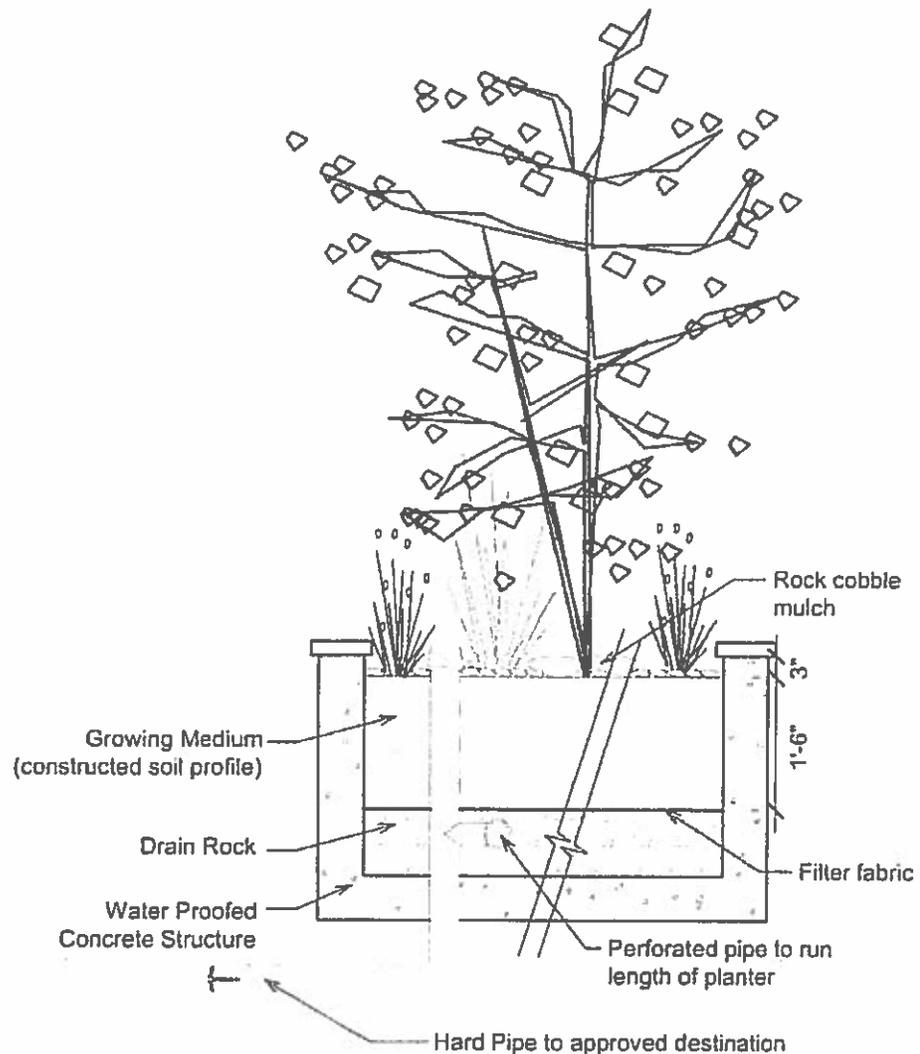


FIG 11: FLOW THROUGH PLANTER DETAIL (EXAMPLE)

2.3.2 Vegetated Swales

Vegetated swales are gently sloping depressions planted with dense vegetation or grasses that treat storm water runoff from rooftops, streets, and parking lots. As the runoff flows along the length of the swale, the vegetation slows and filters it and allows it to infiltrate into the ground. Where soils do not drain well, swales convey runoff to detention basins. Swales include check dams or weirs to help slow and detain the flow. A swale can look like a typical landscaped area. WEIRS are concrete devices constructed in swales to help control the volume and flow of storm water runoff.

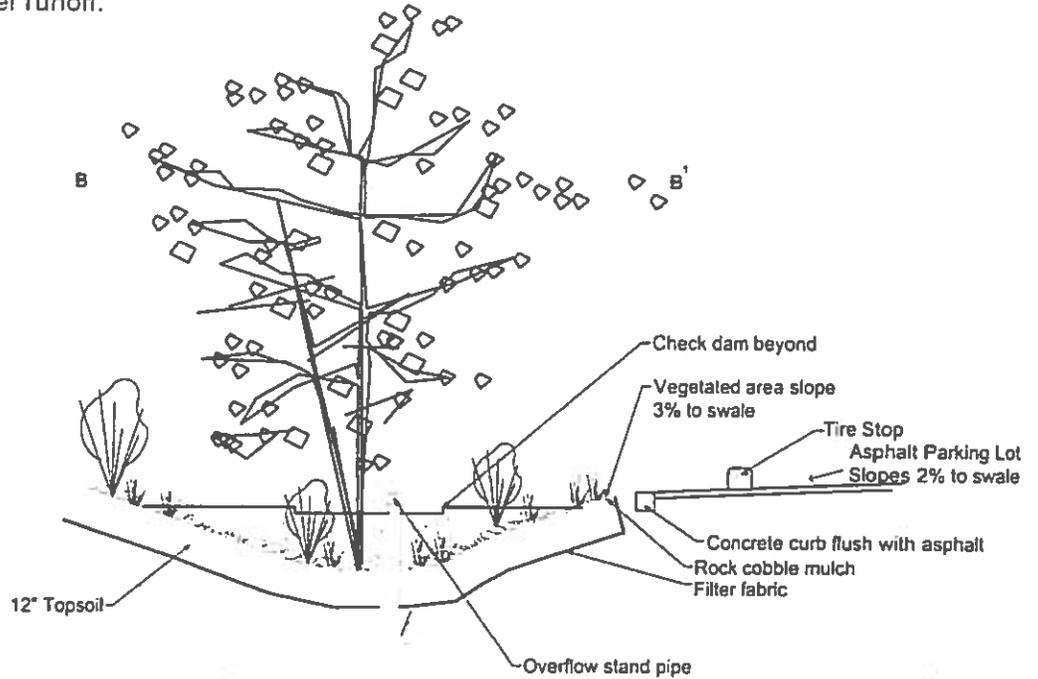


FIG 12 VEGETATED SWALE SECTION (EXAMPLE)

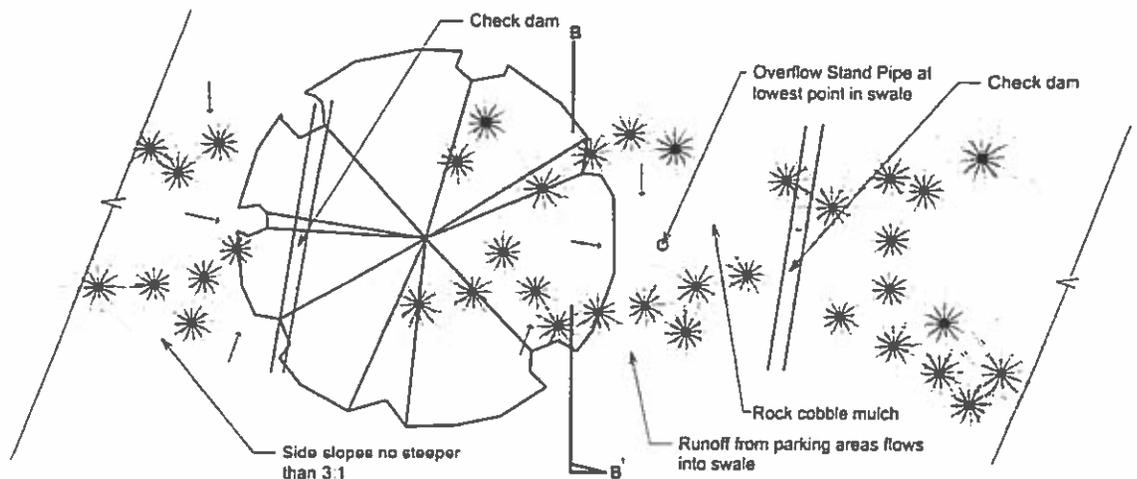


FIG 13 VEGETATED SWALE PLAN (EXAMPLE)

2.3.3 Dry Detention

Dry detention ponds are designed to fill during storm events and slowly release the water over a number of hours. They are divided into a minimum of two cells, a smaller forebay for sediment accumulation, and the larger detention area.

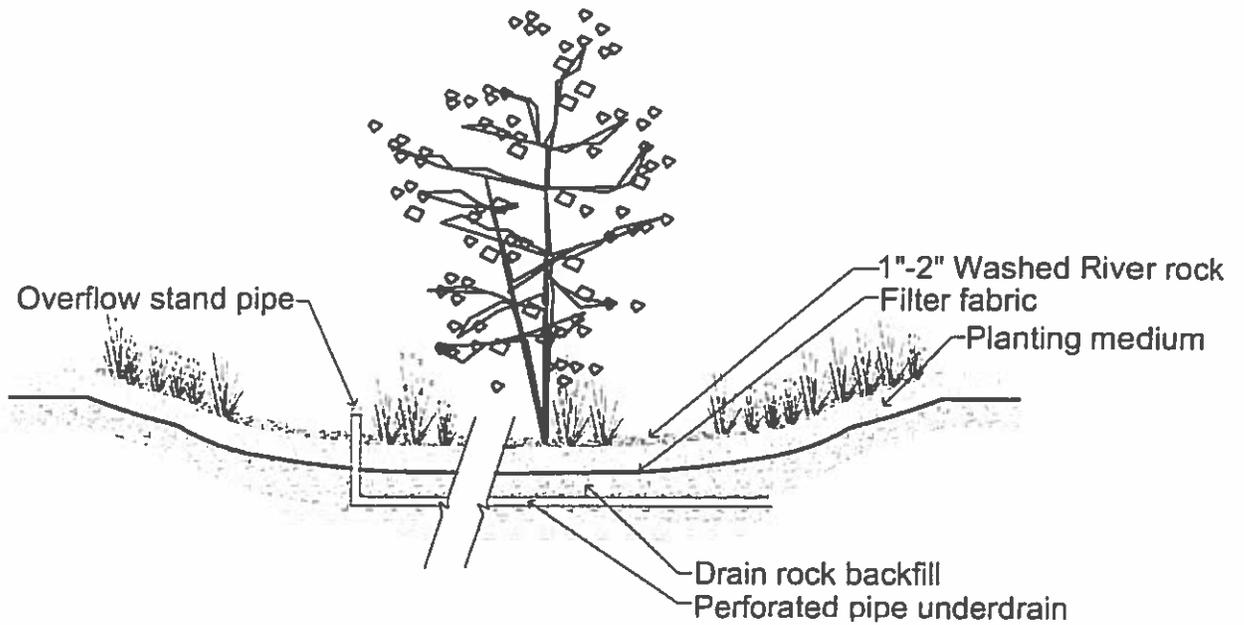


FIG 15 DRY DETENTION SECTION (EXAMPLE)

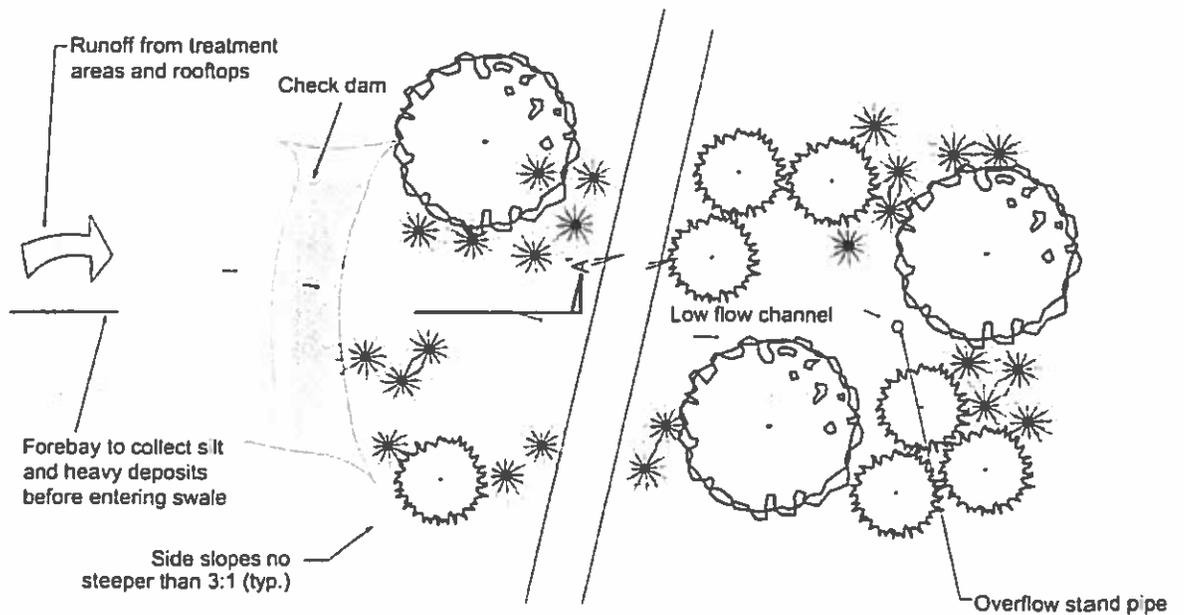


FIG 16 DRY DETENTION (EXAMPLE)

2.3.4 Rain Gardens

Rain gardens are landscaped depressions that are either excavated or created with bermed side slopes. An inlet pipe or sheet flow over impervious surfaces conveys storm water runoff into the basin, where it is temporarily stored until it infiltrates into the ground. Basins often provide complete onsite infiltration for small storm events. Check dams or weirs can be used to detain the flow. They can be sized to infiltrate large storms in areas where soils drain well, or they may require a safety overflow or disposal method.

Basins or rain gardens eliminate or dramatically reduce storm water flow rates and volumes. They improve water quality by settling and filtering out pollutants, they recharge groundwater, and they can provide storm water storage capacity in a large drainage area. Trees planted in infiltration basins can shade buildings and parking lots or other paved areas, reducing runoff temperatures. The vegetation also helps prevent soil erosion, provides wildlife habitat, and is visually attractive. Vegetated infiltration basins can have an informal or formal design and are easily integrated into the overall landscape or site design.

Vegetated infiltration basins can be planted with a variety of trees, shrubs, grasses, and ground covers. Trees are highly recommended for their shading and temperature reduction benefits.

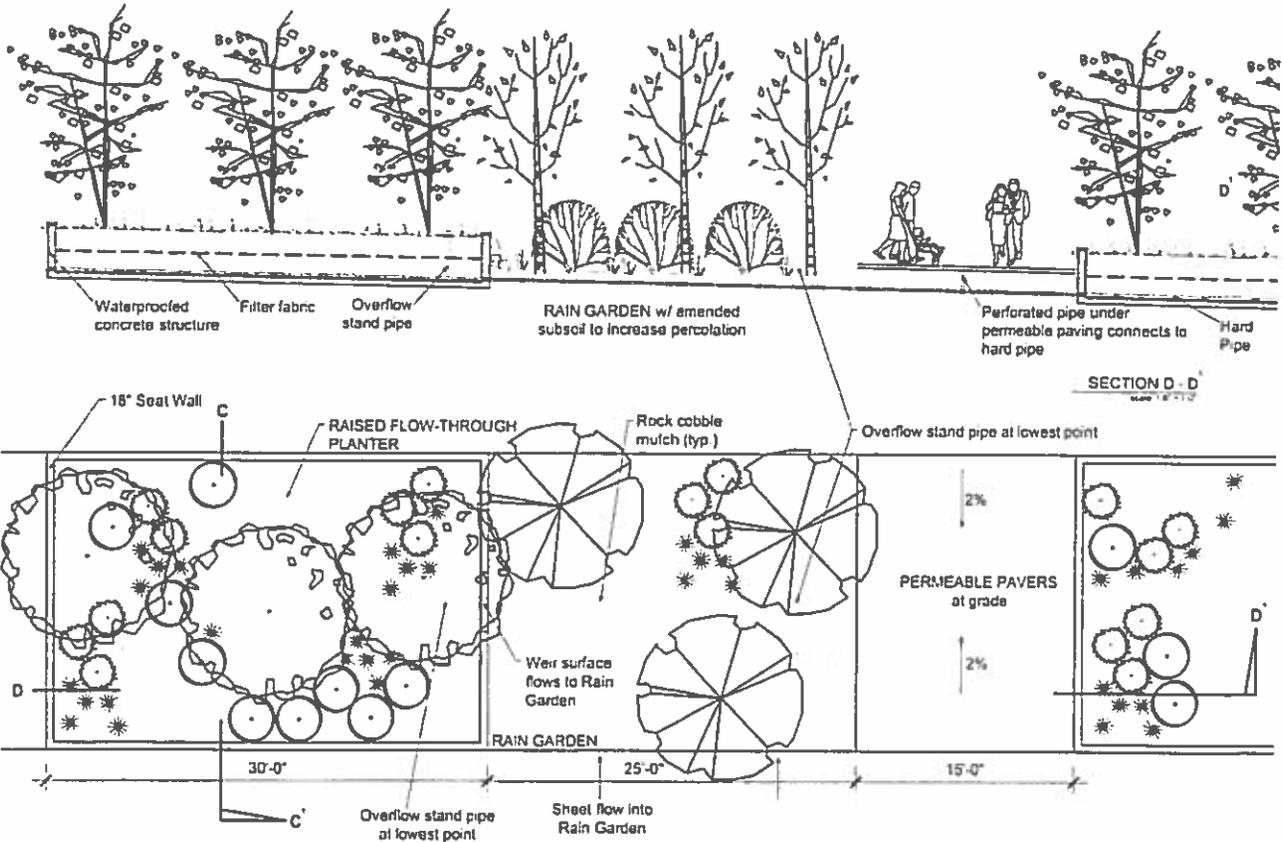


FIG 17 RAIN GARDEN TREATMENT TRAIN FOR PEDESTRIAN MALL

2.4 Planting

Trees, shrubs and groundcover contribute to the outdoor aesthetic and temperate environment of Stewart Meadows Village. The selection of a consistent palette and setting for plant materials adds to a distinct development identity. In addition to the ornamental color and texture, trees, shrubs and flowering perennials bring to the outdoors, trees provide shade and lower the overall area temperature by several degrees. In the case of Storm Water Treatment facilities, the proper plants provide valuable biological and mechanical functions for storm water management.

Consideration for planting design throughout the development should include placement and details for the installation of canopy and ornamental trees and shrubs. Landscape installation opportunities include in ground, raised planters, and storm water facilities. The Design Principles advocate incorporating environmentally sustainable strategies and using adaptive and native or native-like species where possible. These plant lists are not exhaustive and may be added to as required by specific project conditions, with approval of the Design Review Body (DRB).

2.4.1 Ornamental Trees

ORNAMENTAL TREES shall be used along the Mall, at Building Entries, in Landscape Settings, in community spaces and Courtyards and Nodes to provide shade, add density and seasonal interest to the plant palette.

PLANT CHARACTER:

Long-lived deciduous and evergreen canopy trees that grow at least 45' tall.

SIZE:

2" caliper minimum deciduous; 6'-8' Evergreen

APPROVED SPECIES:

Large Trees- (mature height over 45'-0")

Deciduous Acer

rubrum Acer

saccharum

Celtis occidentalis

Cercidiphyllum japonicum

Fagus grandifolia

Fraxinus Americana 'Autumn Applause'

Ginkgo biloba (male only)

Gleditsia triacanthos var. Inermis

Liriodendron tulipifera

Nyssa sylvatica

Platanus x acerifolia 'Bloodgood'

Platanus x acerifolia

Quercus phellos

Quercus rubra

Saphora japonica

Tilia cordata

Ulmus parvifolia 'Dynasty'

Zelkova serrata 'Green Vase'

Red Maple Sugar

Maple Common

Hackberry Katsura

American Beech

Autumn Applause Ash

Maidenhair Tree

Thornless Honey Locust

Tuliptree

Black Gum

Bloodgood London Planetree

London Planetree

Willow Oak

Red Oak

Japanese Scholar tree

Little leaf Linden

Dynasty Lacebark Elm

Green vase Zelkova

Evergreen

Calocedrus decurrens Cedrus

deodara Chamaecyparis

lawsoniana Chamaecyparis

nootkatensis Metasequoia

glypostrboides Picea

pungens

Pinus nigra

Pinus Ponderosa Sequoia

sempervirens

Sequoiadendron giganteum

Taxodium distichum

Incense Cedar

Deodar Cedar

Port Orford Cedar

Alaska Cedar

Dawn Redwood

Colorado Blue Spruce

Austrian Pine

Ponderosa Pine

Coast Redwood

Giant Sequoia

Bald Cypre

2.4.2 Ornamental Trees

Oriental trees shall be used along the Mall, at Building Entries, in Landscape Settings, in community spaces and Courtyards and Nodes to provide shade, add density and seasonal interest to the plant palette.

PLANT CHARACTER:

Long-lived deciduous and evergreen canopy trees that grow 30- 45' tall.

SIZE:

1 1/2" caliper minimum, deciduous; 6'-8' evergreen

APPROVED SPECIES:

Medium Trees- (mature height 30'-0" to 45'-0")

Deciduous

Carpinus betulus 'Fastigiata'

Carpinus carolina

Cladrastis lutea

Fraxinus latifolia

Koelreuteria paniculata

Ostrya virginiana

Prunus sargentii

Prunus x yedoensis

Evergreen

Tsuga Canadensis

Umbellularia californica

Upright European

Hornbeam American

Hornbeam Kentucky

Yellowwood

Oregon

Ash

Golden

Rain Tree

Hop

Hornbea

m

Sargent

Cherry

Yoshino

Cherry

Canadian Hemlock

California bay Laurel

2.4.2 Ornamental Trees

PLANT CHARACTER:

Small to medium height flowering or specimen trees.

SIZE:

10' to 12' high or 2-1/2" to 3" caliper minimum.

APPROVED SPECIES:

Small Trees- (mature height under 30'-0")

Acer campestre	Hedge Maple
Acer griseum	Paperbark Maple
Cercis Canadensis	Eastern Red Bud
Chionanthus virginicus (tree form)	Fringetree
Cornus spp.	Flowering Dogwood
Crataegus spp. Oxydendrum	Hawthorn
arboretum Prunus subhirtilla	Sourwood
'Autumnalis' Prunus subhirtilla	Autumn Flowering Cherry
Syringa reticulata	Flowering Cherry
	Japanese Tree Lilac

Evergreen Trees

Arbutus Undedo	Strawberry Tree
Eriobotrya japonica	Loquat
Laurus nobilis	Bay Laurel
Picea pungens 'Fat Albert'	Fat Albert Blue Spruce
Pinus nigra 'Oregon Green'	Oregon Green Pine

2.4.2 Ornamental Plants

Ornamental plants shall be used to augment tree plantings with diversity, scale and seasonal interest. They are used in ornamental raised planters and in non-storm water plantings in the Mall, at Building Entries, and in open spaces around buildings.

PLANT CHARACTER:

Four-season interest with heavy emphasis on foliage and ornamental grasses to carry the display, punctuated by periodic bloom of bulbs, shrubs, and perennials.

APPROVED SPECIES:

<i>Abelia xgrandiflora</i>	Glossy Abelia
<i>Arbutus unedo</i> 'Compactum'	Compact
<i>Arctostaphylos uva-ursi</i> 'Emerald Carpet'	Strawberry Tree
<i>Festuca glauca</i>	Emerald Carpet
<i>Fraxinus latifolia</i>	Manzanita Blue
<i>Hamamelis</i> 'Arnold Promise'	Fescue
<i>Hamamelis x intermedia</i> 'Jalena'	Oregon Ash
<i>Helianthemum</i> 'Hennfield Brilliant'	Arnold Promise Witch Hazel
<i>Helictotrichon sempervirens</i>	Jalena Witch Hazel
<i>Hemerocallis</i> sp.	'Hennfield Brilliant' Rockrose
<i>Hemerocallis x</i> 'Easy Ned'	Blue Oat Grass
<i>Lagerstroemia indica x faueri</i>	Daylily
'Chocta1/2" <i>Lavandula angustifolia</i>	Easy Ned
'Hidcote Blue' <i>Lonicera pileata</i>	Daylilly
<i>Mahonia repens</i>	Chocktaw
<i>Miscanthus</i> spp.	Myrtle Hidcote
<i>Miscanthus</i> 'Yaku Jima'	Blue Lavender
<i>Panicum</i> spp.	Privet
<i>Pennisetum</i> 'Hameln'	Honeysuckle
<i>Prunus laurocerasus</i> 'Otto Luyken'	Creeping
<i>Punica granium</i> 'Nana'	Mahonia
<i>Rhaphiolepis</i> 'Clara'	Maiden Grass
<i>Rosmarinus officinalis</i> 'Huntington Carpet'	Dwarf Maiden Grass
<i>Rubus pentabolus</i> '	Switch grass
<i>Spiraea thunbergii</i>	Dwarf Fountain Grass
<i>Stipa gigantea</i>	'Otto Luyken' Laurel Dwarf Pomegranate Clara Indian
<i>Teucrium fruticans</i> 'Compactum'	Hawthorne Prostrate Rosemary Creeping Raspberry
	Baby's Breath Spiraea Giant Feather Gr

2.4.3 Container Plants

Container plants shall be used at Commercial Retail and Office Areas and Courtyards and Nodes where in-ground planting is not possible. Refer to Ornamental Plant List Approved Species for additional options. Refer to for container specifications.

PLANT CHARACTER:

Structural character, four-season interest.

APPROVED SPECIES:

Focal Points

Bamboo spp.	Bamboo	Euphorbia spp	Spurge
Buxus sempervirens	Common boxwood	Fuschia spp.	Hardy Fushia
Calamagrostis x acutiflora	Feather reed grass	Geranium spp.	Cranesbill
Canna spp.	Canna Lilly	Hebe spp.	Hebe
Chamaecyparis obtusa	Falsecypress	Hosta spp.	Plantain Lilly
Euonymous spp.	Euonymous	Lamium	Spotted nettle
Ilex crenata	Holly	Lantana sp	Lantana
Miscanthus spp.	Maiden Grass	Narcissus	Daffodil
Nandina spp.	Heavenly bamboo	Plumonaria officinalis	Lungwort
Pennisetum spp.	Fountain Grass	Sedum x"Autumn Joy"	Autumn Joy Stonecrop
Picea glauca	Dwarf Alberta Spruce	Senicio cineraria	Dusty Miller
Pinus mugo	Dwarf Mountain Pine		
Thuja occidentalis	American arborvitae	Trailing plants	
Yucca filamentosa	Yucca	Alyssum Iberis	Sweet Alyssum

Fillers

Agastache foeniculum	Anise Hyssop	spp. Laurentia	Sweet Alyssum
Alchemilla mollis	Lady's Mantle	spp. Lobelia spp.	Candytuft
Anthemis	Golden Marguerite	Nasturtium spp.	Laurentia
Celosia	Plume flower	Perlargonium peltatum	Lobelia
Solenostemon spp.	Coleus	Thunbergia alata	Nasturtium
Crocus	Crocus	Verbena spp.	Ivy geranium
		Vinca spp.	Black-eyed Susan vine
		Zinnia angustifolia	Verbena
			Periwinkle
			Narrowleaf Zinnia

2.4.4 Bike and Pedestrian Pathway Corridor Interface Plants

Bike and pedestrian interface plants shall be used to define the edges between the built environment and the natural creek corridor.

PLANT CHARACTER:

Adaptive and native or native-like species that create a vegetative transition from riparian plants to ornamental.

APPROVED SPECIES:

Trees

Deciduous

Alnus rubra	Red Alder
Betula nigra	River Birch
Celtis occidentalis	Common Hackberry
Cladrastis Lutea	Kentucky Yellowwood
Crataegus spp.	Hawthorne

Evergreen

Calocedrus decurrens	Incense Cedar
Pinus ponderosa	Ponderosa Pine
Sequoiadendron giganteum	Giant Sequoia

Shrubs and Perennials

Ceanothus spp.	Ceanothus
Garrya elliptica	Silk Tassel
Manzanita spp.	Manzanita
Miscanthus spp.	Maiden Grass
Philadelphus spp.	Mock Orange
Stipa	Feather Grass
Symphoricarpos alba	Snowberry

Viburnum opulus

Cranberry Bush

Groundcovers

Bacharis spp.	Coyote Brush
Carex spp.	Sedge
Ceanothus spp.	Wild Lilac
Genista spp.	Broom
Geranium spp.	Cranesbill
Potentilla spp.	Cinquefoil

Meadow

Achillea millefolium	Yarrow
Festuca idahoensis	Idaho fescue
Festuca spp.	Hard Fescue
Iris spp.	Iris
Lobularia maritime	Sweet Alyssum
Lolium perenne	Dwarf Perennial
Trifolium fragiferum	Ryegrass
Trifolium repens	Strawberry Clover
	Dutch White Clover

2.4.5 STORM WATER FACILITIES

Storm water facilities plants shall be used in Storm water Treatment Flow-Through Planters, Swales and Dry Detention Basins. Each type of facility has a corresponding plant list that contains a variety of plants suitable to the conditions inherent in each. Within in each facility type, plants should be selected and planted according to their appropriateness for the varying moisture conditions. Minimize the need for permanent irrigation as much as possible by using native and well-adapted plants.

FLOW-THROUGH PLANTERS

Flow through planters can contain a variety of shrubs, small trees, and other plants appropriate for seasonally moist and dry soil conditions.

PLANT CHARACTER:

Tolerance of both wet and dry soil conditions.

APPROVED SPECIES:

Flow-Through Planter

Acer circinatum	Acer	Vine Maple
griseum	Andropogon	Paperbark Maple
gerardii		Big Bluestem
Arctostaphylos	uva-ursi 'Emerald Carpet'	Emerald Carpet Manzanita
Aster novae	'Angliae'	Angliae Aster
Carex obnupta		Slough Sage
Carex testacea	Clethera	Orange Sedge
alnifolia	Deschampsia	Summersweet
caespitosa	Deschampsia	Tufted Hair Grass
caespitosa	Eupatorium	Tufted Hair Grass
purpureum	Eupatorium	Joe Pye Weed
purpureum	Iris siberica	Joe-Pye Weed
Juncus patens	'Carmen's Gray'	Siberian Iris
Mahonia repens		California Gray Rush
Skimmia japonica		Creeping Mahonia
Stipa gigantea		Japanese Skimmia
Vinca minor	'Atropurpurea'	Giant Feather Grass
Myosotis cardinalis		Wine Common Periwinkle
		Forget-me-not

VEGETATED SWALES

Vegetated swales can be planted with a variety of trees, shrubs, grasses, and ground covers. Plants that can tolerate both wet and dry soil conditions are best. Plant grassy swales with native broadleaf, dense-rooted grass varieties. Avoid trees in areas that require enhanced structural stability, such as bermed side slopes.

PLANT CHARACTER:

Tolerant of both wet and dry soil conditions

APPROVED SPECIES:

Swale Basin

Carex densa
Carex obnupta Iris
siberica Juncus patens
Rosa gymnocarpa
Rosa nutkana

Dense Sedge
Slough Sedge
Siberian Iris
Gray Rush
Baldhip Rose
Nootka Rose

Swale Upslope Ceanothus spp.

Deschampsia caespitosa
Frageria chiloensis Mahonia
repens
Malus fusca
Physocarpus capitatus

Ceanothus
Tufted Hair Grass Beach
Strawberry Creeping
Oregon Grape Oregon
Crab Apple Pacific
Ninebark

Grasses

Festuca Arundinacea Lolium
perenne Festuca rubra
Agrostis tenuis

TurHype Tall Fescue
Dwarf Perennial Ryegrass
Creeping Red Fescue
Colonial Bentgrass

DRY DETENTION

basins are designed to fill during storm events and slowly release the water over a number of hours. Dry detention basins have forebays that collect sediment, sloped sides and a bottom 'basin' that collects the storm water, creating several different planting zones.

PLANT CHARACTER:

Consider frequent inundations, warm and cold seasons, as well as salt, and oil loading

APPROVED SPECIES:

Dry Detention Forebay Upslope Mix

Carex testacea	Orange Sedge
Deschampsia caespitosa	Tufted Hair Grass
Iris siberica	Siberian Iris

Basin Upslope Mix

Carex densa	Dense Sedge
Carex obnupta	Slough Sedge
Mahonia repens	Creeping Oregon Grape
Spiraea douglasii	Western Spirea

Groundcovers

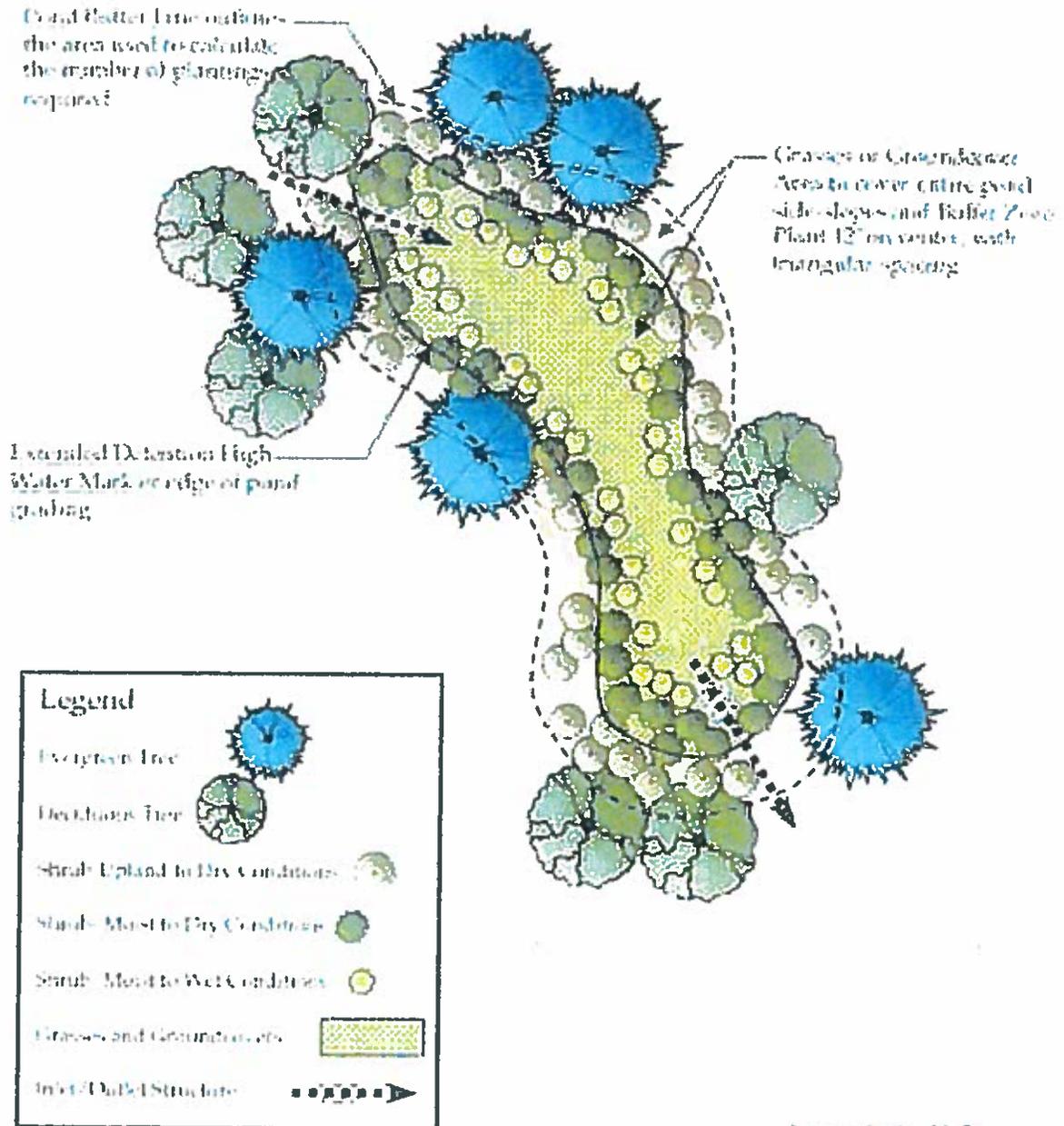
Carex spp.	Sedge
Geranium spp.	Cranesbill
Potentilla spp.	Cinquefoil

Wetland grass mix

Carex densa	Carex obnupta	Dense Sedge	Slough
Eleocharis palustris	Juncus effusa	Sedge	Creeping
Scirpus microcarpus		Spikerush	Soft Rush
		Small-fruited	Bulrush

Dry Detention Ponds

The plan below illustrates a typical planting plan for an approximately 3,500 square foot dry detention pond. This plan is diagrammatic use only. The actual project site conditions may require designers to consider numerous other pond configurations and planting layout.



RAIN GARDENS

Rain gardens are flat bottomed landscaped depressions that receive storm water runoff and temporarily store it. They eliminate or dramatically reduce storm water flow rates and volumes. They improve water quality by settling and filtering out pollutants. Where soils infiltrate well, they recharge groundwater, and they can provide storm water storage capacity in a large drainage area. Trees planted in rain gardens can shade buildings and parking lots or other paved areas, reducing runoff temperatures. The vegetation also helps prevent soil erosion, provides wildlife habitat, and is visually attractive. Rain gardens can have an informal or formal design and are easily integrated into the overall landscape or site design.

PLANT CHARACTER:

Rain gardens can be planted with a variety of trees, shrubs, grasses, and ground covers. Trees are highly recommended for their shading and temperature reduction benefits.

APPROVED SPECIES:

Rain Garden Acer circinatum Acer griseum
Andropogon gerardii
Arctostaphylos uva-ursi 'Emerald Carpet'
Aster novae 'Angliae' Carex obnupta
Carex testacea
Clethera alnifolia
Cornus stolonifera 'Kelsii' Cornus stolonifera 'Isanti' Deshampsia caespitosa Eupatorium
purpureum Fragenia chiloensis
Iris siberica Juncus effuses Juncus patens Lobelia cardinalis Myosotis cardinalis
Penstemon digitalis
Primula japonica 'Alba'
Skimmia japonica
Spirea douglasii
Veronica fasciculata
Vine Maple Paperbark Maple Big Bluestem
Emerald Carpet Manzanita
Angliae Aster Slough Sedge Orange Sedge Summersweet
Kelsii Redtwig Dogwood
Isanti Redtwig Dogwood
Tufted Hair Grass
Joe Pye Weed
Beach Strawberry Grass
Siberian Iris Soft Rush Gray Rush
Cardinal Flower Forget-me-not Bearded Foxglove
White Japanese Primrose Japanese Skimmia Western Spirea
Ironweed

2.5 SITE FURNISHINGS

Site Furnishings contribute to the sense of place within Stewart Meadows Village by defining an accessible, comfortable and safe environment for residents, office workers, shoppers and visitors. Site Furnishings contribute to an overall aesthetic and character and invite people to make appropriate use of spaces. Site Furnishings have been chosen with attention to the industrial aesthetics of the development, style, comfort, cost and maintenance. The Design Principles advocate incorporating environmentally sustainable strategies where possible. To facilitate this goal, Site Furnishings have been selected for their proximity of manufacture, recycled material content or other environmentally responsible characteristics or qualities.

2.5.3 Tree Grates

TREE GRATES shall be metal, adjustable for tree growth and accessibly compliant.

MODEL (Pedestrian Mall)

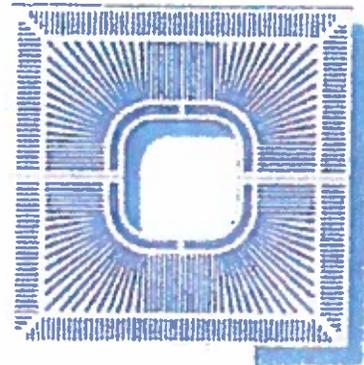
The Iron smith "Camelia" Material:
Material: cast iron
Color: weathered cast iron/rust
Shape: Square
Size: 60"
Openings: 114"



MODEL (Courtyards/Nodes and other walkways as needed)

The Ironsmith "Briar" OR Briar Series 2 (1/2" slots)

Material: cast iron
Color: weathered cast iron/rust
Shape: Square
Size: 60"
Openings: 16" and 22"; Briar, Briar Series 2, 18", 23" or 28"



MANUFACTURER

Ironsmith

41701 Corporate Way Suite 3

Palm Desert CA

Phone: 1-800-338-4766

fax: 760-776-5080

<http://www.ironsmith.cc/index.htm>

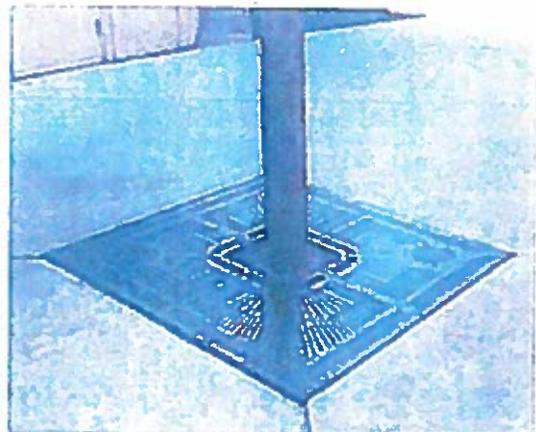
Oregon Regional Sales Representative Northwest

Playground Equipment, Inc.

Phone: 800-726-0031

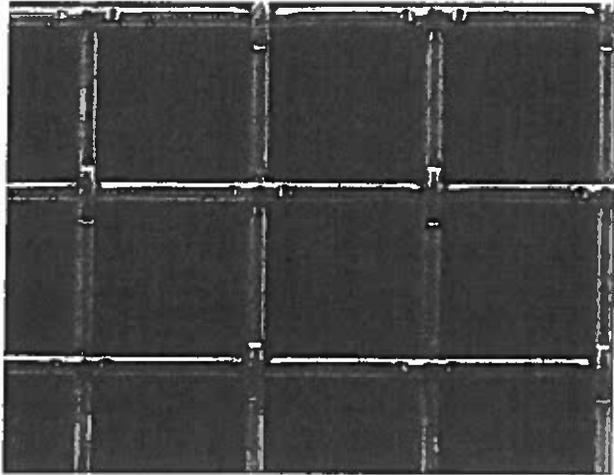
Fax: 425-313-9194

Fiberglass tree grates that match in style and pattern may be substituted for cast iron tree grates if the applicant can demonstrate the durability and quality to the DRC.

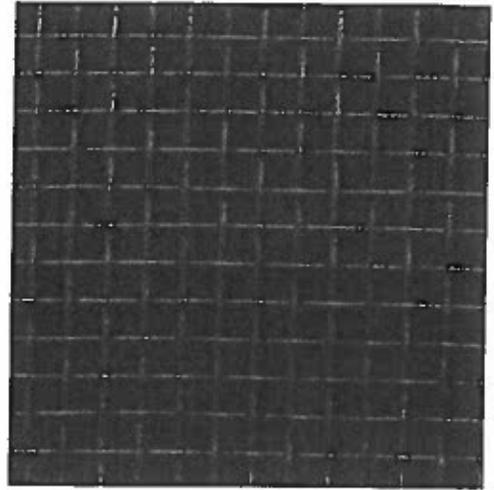


2.5.4 Fence Grating and Mesh

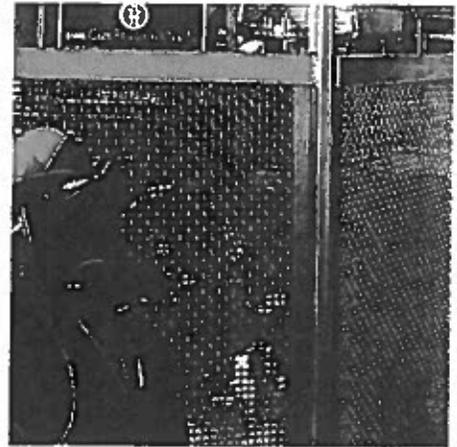
1/2" Woven Steel, 2 mesh
square weave, .0800 wire



Wire Mesh 2" Square Opening



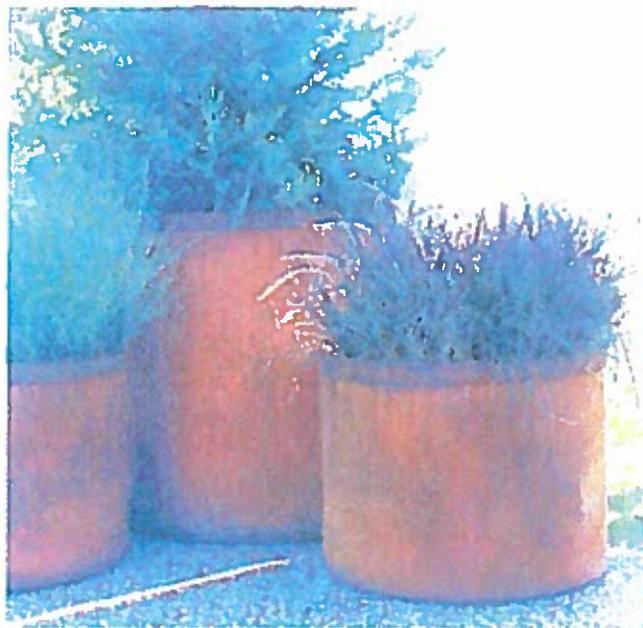
1/2" square mesh



Cast Iron weathered finish

2.5.5 Plant Containers and Pots

Containers and pots should be a mix of materials, sizes and geometries to compliment the diverse architectural building designs. Selections shall be approved by the DRC for each project



2.5.6 Street Lighting

Public Right of Way lighting shall be per City of Medford Specifications: Luminaire Type P-100, 100 watt high pressure sodium, Pedestrian-Scale Light Units.

MODEL (PARKING LOTS/PEDESTRIAN WALKWAYS/ PLAZAS)

Antique Street Lighting

"Eurotique Hanover Large Pendant"

Luminaires: Parking Lots: 22 inch LED

Pedestrian Walkways and Plazas: 16" LED

Poles: Eurotique EPSX Eurotique Series Steel Standard Pole

Parking Lots: 20' pole

Pedestrian Walkways and Plazas: 12' pole

MANUFACTURER

Acuity Brands Lighting

One Lithonia Way

Conyers, GA 30012

770-922-9000



MODEL (PUBLIC STREETS)

Belle Chase Series #9232-CPR with HPS Lamps

Stock Number: 9132- (10 1/2'), 9232 (12') overall height

Base Diameter: 13"

Height: 10 1/2'

Mount Style: Surface

Luminair Dims: 16" Diameter x 30" Height

Post Material: Cast Aluminum

Globe Material: Standard: Opaque Lexan Polycarbonate

Lighting: Standard: Incandescent

Optional: (MH) Metal Halide

MANUFACTURER

Mel Northey Co. Inc.

303 Gulf Bank Road

Houston, Texas 77037-2499

Phone: 281-445-3485

Fax 281-445-7456

Belle Chase Series #9232-



2.5.7 Screening

SERVICE SCREENING throughout Stewart Meadows Village shall be custom designed screen made of metal wire mesh and steel tubing, as described in Section 2.2.4.

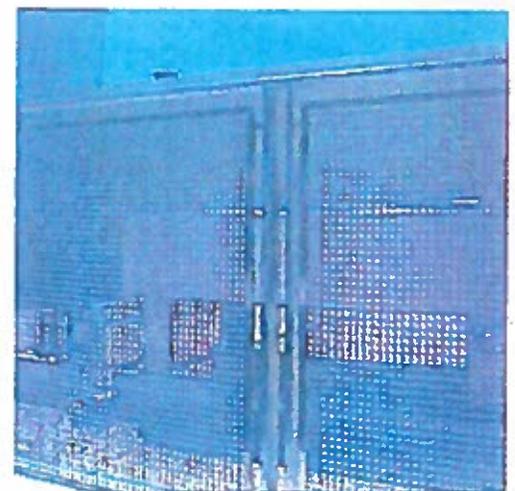
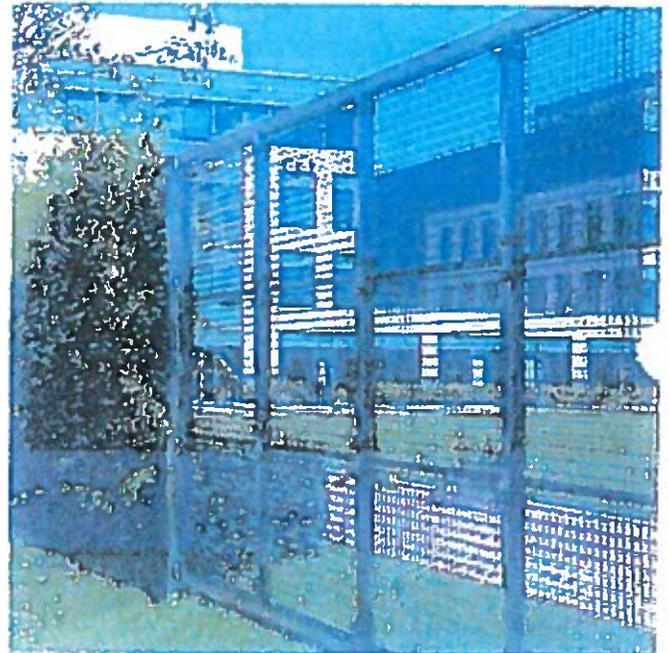
MODEL

McNichols 3693920141
Material: ~~Steel Mesh~~
square weave, .0800 wire
Color/Finish: Height:
Plant Material:
Climbing Vines

McNichols 3602804810
Material: 1/2" Woven opening, plain steel .250 cred

MANUFACTURER

McNichols
174 Lawrence Dr., Suite G, Livermore, CA
94551
Phone: 1-877-884-4653
Fax: 510-887-7779



Service Screen Samples

ORNAMENTAL SCREENS are living screens provide privacy, add a vertical green element and help define spaces. In Stewart Meadows Village a custom designed screen made of metal wire mesh and steel tubing, as described in Section 2.2.4.



Ornamental Screen Design Sample

2.5.8 Skateboard Deterrent

Skateboard deterrents shall be installed throughout Stewart Meadows Village on low walls, seat walls and planter edges to discourage skateboarder activity and prevent damage.

MODEL (example)

SkateStoppers Insert Series "Mallory Rev A with 1/8" radius OR for 1/2"radius. Bear R0-5 OR Beaverton T

Material: Color/Finish:

White brass

Size:

White Tombasil (white brass w/matte clear coat)

10" with 2" vertical

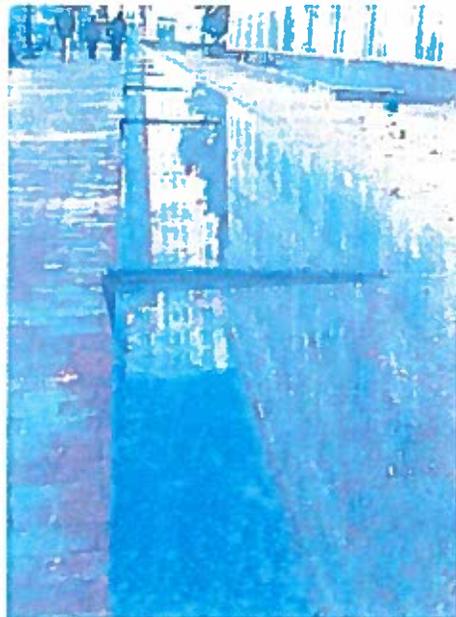
MANUFACTURER

SkateStoppers

1444 Pioneer Way, Ste. 13, El Cajon, CA

92020-1640 Phone: 619-447-6374

Fax: 619-447-6396



"Mallory" Insert

2.5.9 Trash and Recycling Receptacles

TRASH AND RECYCLING RECEPTACLES shall be Columbia Cascade Manor series and shall be used throughout all areas of Stewart Meadows Village. Locate receptacles with attention to pedestrian and vehicular circulation regarding trash and street maintenance. All receptacles shall have a side door with lock to facilitate trash removal. All recycling receptacles shall have a top opening for disposal with one compartment for co-mingled recyclables. All trash receptacles shall have a side opening for litter disposal. All receptacles shall have inner liners and be surface mounted.

TRASH RECEPTACLE MODEL (example)

Columbia Cascade "Manor" 2834-FT Flat Top Litter Container

Material: Powder-coated Steel

Color/Finish: Black

Size: 36 gallon

RECYCLING RECEPTACLE MODEL- *customize with insert recycling sorting top appropriate to type of recycling sorting required (e.g. comingle; glass, metal etc.)*

MANUFACTURER

Columbia Cascade Company

S.W. Sixth Avenue, Suite 310

1300 Portland, Oregon 97201-3464

Phone: 503-223-1157

Fax: 503-223-4530



"Manor" Trash Receptacle

Custom Recycling Receptacle Insert

2.5.10 Water Fountain

WATER FOUNTAINS shall be outdoor drinking fountains, barrier free, freeze resistant, pedestal style with, one piece vandal resistant bubbler, pushbutton design, and a vandal resistant strainer.

MODEL (example)

Haws 3377FR

Material: 14 gauge stainless steel bracket,

with 18 gauge stainless satin finish basin

3/16" galvanized steel top access pedestal

Color/Finish: Pedestal, green powder coat, basin and bracket, satin

MANUFACTURER

Haws

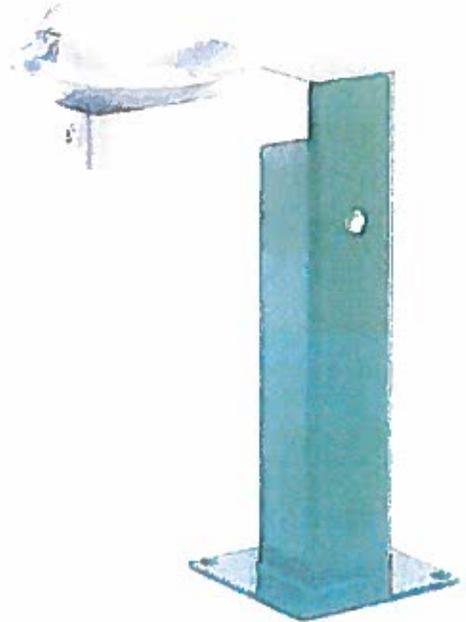
1455 Kleppe Lane

Sparks, NV 89431

Phone: 775.359.4712

Fax: 775.359.7424

info@hawsco.com



Haws 3377FR

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PLANNING DEPT

Transportation Impact Analysis



RENEWAL 06 / 30 / 18

Eugene, Oregon
November 22, 2016

Kelly Sandow PE
Sarah McCrea EIT

SANDOW
ENGINEERING
160 Madison Street, Suite A
Eugene Oregon 97402
541.513.3376

sandowengineering.com
CITY OF MEDFORD

EXHIBIT # N

File # PUD-17-003/ZC-17-004

EXECUTIVE SUMMARY

This report describes the Traffic Impact Analysis for an addendum to the Stewart Meadows PUD in Medford, Oregon. The site is located west of Highway 99 (Riverside Ave) and is bounded by Highway 99 to the east, Stewart Avenue to the North, Garfield Street to the South and Myers Lane to the west.

Previously the Stewart Meadows PUD had been approved to allow up to 974 PM peak hour vehicle trips conditioned with off-site improvements. The Stewart Meadows PUD was recently modified to include the construction of a 67,000 sf medical office building at the north end of the site. Since the last addendum was approved, the site plan has been modified resulting in an intensification of development and an increase in PM Peak Hour trips to the site. Additionally, the addendum incorporates the portion of Anton Drive PUD that had not been developed previously.

The analysis evaluates the transportation impacts as per the City of Medford TIA criteria. The following findings and recommendations are based on the information and analysis contained within this report.

FINDINGS

The analysis concludes the following findings:

- The increase in PM peak hour trips from the site plan modification will not degrade any of the study intersections included in this report to below acceptable mobility standards.
- The increase in PM peak hour trips from the site plan modification will not substantially increase queuing conditions over the future year background conditions.
- The intersection of Garfield Street at Center Drive does not meet ODOT mobility standards for the PM peak hour. Intersection improvements have been approved for an adjacent property as part of their development approvals. With the proposed and approved improvements, the intersection of Garfield Street at Center Drive operates better than the background no-build conditions under both the 2017 and 2031 PM peak hour build scenarios. The report prepared for ODOT details the analysis and findings.
- Stewart Meadows Development can build a portion of the site that does not generate more than 935 of trips before the intersection of Garfield at Center Drive v/c is worsened over no-build conditions.

AGRICULTURAL IMPACT ANALYSIS REPORT
including
FINDINGS OF FACT AND CONCLUSIONS OF LAW
in support of and in conjunction with an
APPLICATION FOR A REVISED PRELIMINARY PUD PLAN
for

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STEWART MEADOWS VILLAGE PUD
BEFORE THE CITY OF MEDFORD
PLANNING COMMISSION

**APPLICANT/
OWNER:**

KOGAP Enterprises, Inc.
P.O. Box 1608
Medford, OR 97501

**APPLICANT'S
EXHIBIT "?"**

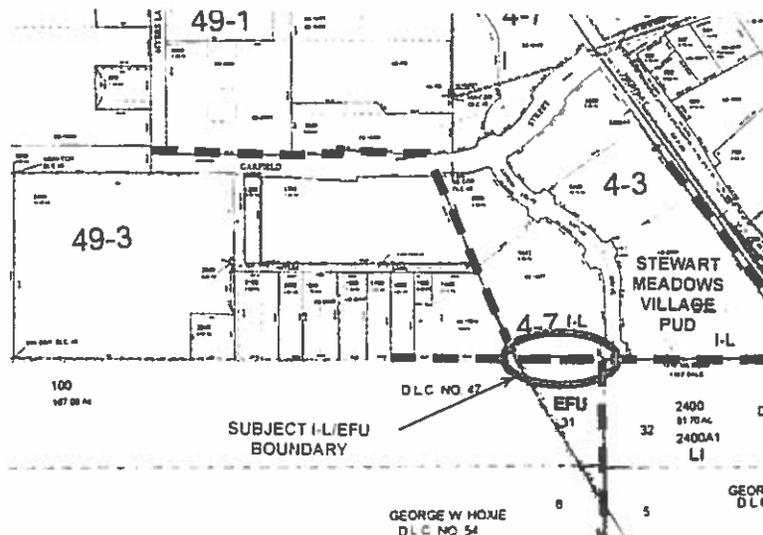
AGENT:

Maize & Associates
P.O. Box 628
Medford, OR 97501

A. BACKGROUND INFORMATION/REQUIREMENTS

One existing parcel that is proposed to be included in the Stewart Meadows Village PUD, and identified as Tax Lot 5503 on Jackson County Assessor Map 38-1W-05, abuts along its southern boundary, a parcel of land outside of Medford's City Limits and Urban Growth Boundary with County zoning of EFU (Exclusive Farm Use) as shown on the map below. That common boundary of approximately 420 feet between the PUD's Light Industrial (I-L) zoning and the EFU zoned land to the south is the reason that the Agricultural Impact Analysis Report is required.

Figure 1
Jackson County Assessor Map Showing Subject EFU Boundary



**APPLICANT'S
EXHIBIT
"18"**

**CITY OF MEDFORD
EXHIBIT # 0**

Section 10.801 of the Land Development Code addresses the interface between urban land development that is not an Urban Reserve Area, and agriculturally-zoned lands and the possible need for the placement of buffering between those two uses. The purpose of those provisions, as stated in Section 10.801(A), is to minimize or mitigate:

- "1. Trespass upon and vandalism of agricultural land which is located in near proximity to urban development.*
- 2. Potential adverse impacts on urban development associated with noise, dust, spray drift and surface waters."*

The provisions of Section 10.801 apply to the applicant's submittal of a Revised Preliminary PUD Plan for Stewart Meadows Village, as the PUD's property will have a common boundary with lands which are zoned EFU to the south.

The submittal requirements are identified in Section 10.801(C), and are as follows:

- (1) An excerpt of a City of Medford and/or Jackson County zoning map showing the zoning of land adjacent and within two hundred (200) feet of the property proposed for urban development.*
- (2) A description of the type and nature of agricultural uses and farming practices, if any, which presently occur on adjacent lands zoned EFU or EA and sources of such information. The information thus required, if applicable, shall include:*
 - (a) Method of irrigation.*
 - (b) Type of agricultural product produced.*
 - (c) Method of frost protection.*
 - (d) Type of agricultural equipment customarily used on the property.*
- (3) Detailed information obtained from the Natural Resources Conservation Service (NCRS) concerning soils which occur on adjacent lands zoned EFU or EA, and whether the land has access to water for irrigation.*
- (4) Wind pattern information.*
- (5) A description of the measures proposed to comply with the requirements of Sections 10.801 through 10.805.*
- (6) The persons who prepared said report and all persons, agencies, and organizations contacted during preparation of the report.*
- (7) All statements shall be documented, sources given as reference, and any other detailed information needed to substantiate conclusions should be provided in the appendices.*

B. APPLICANT'S SUBMITTALS

- Exhibit 1 Zoning Map
- Exhibit 2 NRCS Soil Map showing EFU Property
- Exhibit 3 Aerial Photo
- Exhibit 4 Photographs

C. FINDINGS OF FACT AND CONCLUSION OF LAW REGARDING REQUIRED INFORMATION

- (1) *An excerpt of a City of Medford and/or Jackson County zoning map showing the zoning of land adjacent and within two hundred (200) feet of the property proposed for urban development.*

Findings of Fact

The Medford and Jackson County Zoning Map area (Exhibit "1") shows that the subject property is within the City of Medford I-L zoning district, and shows the zoning on land surrounding within 200 feet.

- (2) *A description of the type and nature of agricultural uses and farming practices, if any, which presently occur on adjacent lands zoned EFU or EA and sources of such information. The information thus required, if applicable, shall include:*
- (a) *Method of irrigation.*
 - (b) *Type of agricultural product produced.*
 - (c) *Method of frost protection.*
 - (d) *Type of agricultural equipment customarily used on the property.*

Findings of Fact

The adjacent EFU property, Tax Lot 2400 on Jackson County Assessor Map 38-1W-05, currently is not being used for the production of agricultural crops, but is being used as parking and access to other orchard areas, approximately ?? miles away. As shown on the submitted photographs and aerial map, the approximate 2.7-acre triangular portion of the larger parcel, is currently being used as a staging area for farming equipment. Data shows that the subject land had an orchard crop in 1994, with a portion of the trees removed by 2000, and with no trees or crop present since 2003.

The property is within the boundaries of the Medford Irrigation District, but is not being irrigated.

There is no agricultural equipment currently working on the property because the property is not currently being used for any agricultural purpose, other than parking farm implements. Understandably, frost protection is not being utilized

on the EFU property. A representative of the property owner, Harry David Corporation states that they do not have plans to plant there.

- (3) *Detailed information obtained from the Natural Resources Conservation Service (NCRS) concerning soils which occur on adjacent lands zoned EFU or EA, and whether the land has access to water for irrigation.*

Findings of Fact

A map showing the NCRS soil information for the adjacent EFU property has been attached with this assessment (Exhibit "2"). A review of the soils map indicates that approximately 90 percent of the adjoining EFU-zoned property is a Coker Clay (33A), with 0 to 3 percent slopes. The remainder of the property is composed of Padigan Clay (139A), with 0 to 3 percent slopes.

The soils, are described as follows:

"Coker clay, 0 to 3 percent slopes... Permeability is very slow in the Coker soil. Available water capacity is about 9 inches. The effective rooting depth is limited by the water table, which is at a depth of 0.5 foot to 1.5 feet from December through April. Runoff is slow, and the hazard of water erosion is slight "

"This unit is used mainly for hay and pasture or for tree fruit. It also is used for livestock grazing, small grain, and homesite development."

"This unit is suited to irrigated crops. It is limited mainly by the high content of clay, a slow rate of water intake, wetness in winter and spring, and droughtiness in summer and fall. Crops that require good drainage can be grown if a properly designed drainage system is installed. The ability of tile drains to remove subsurface water from the soil is limited because of the very slow permeability."

"Padigan clay, 0 to 3 percent slopes .. Permeability is very slow in the Padigan soil. Available water capacity is about 8 inches. The effective rooting depth is limited by the water table, which is 1.0 foot above to 0.5 foot below the surface from November through May. Runoff is ponded, and the hazard of water erosion is slight.

This unit is used mainly for pasture. It also is used for tree fruit, hay, and homesite development. This unit is suited to permanent pasture. It is limited mainly by the wetness, the high content of clay, and a slow rate of water intake. Crops that require good drainage can be grown if a properly designed drainage system is installed. The ability of tile drains to remove subsurface water from the soil is limited because of the very slow permeability."

The NCRS study shows that both of the soil types on the subject property have a Land Capability rating of IVE, which means that these soils "have very severe

limitations that reduce the choice of plants or that require very careful management, or both.” The main hazard on the soils is a risk of erosion.

The subject property does not utilize irrigation water.

- (4) *Wind pattern information.*

Findings of Fact

The wind patterns on the adjacent agricultural property follow the same general patterns displayed throughout the mid valley area. During the growing seasons the winds predominately flow from a generally north to south in the morning hours and then shift to a south to generally north direction in the afternoon and evening hours.

- (5) *A description of the measures proposed to comply with the requirements of Sections 10.801A through E.*

Findings of Fact

Section 10.801(D)(1) defines Passive Agriculture “... as farming that is not under intensive day-to-day management, and includes land used as pasture for the raising of livestock.”

The current non-agricultural uses on the adjacent property can be found to be consistent with the Passive Agricultural Classification, as there is currently no intensive day-to-day agricultural activity. The adjacent property does have irrigation water available, but there is currently no irrigation, and there are currently no marketable crops, plantings, or pasture on the property.

The Code section goes on to state that “*To minimize or mitigate the adverse potential impacts associated with the proximity of urban and agricultural land uses, the following measures shall be undertaken by the developer when urban development is proposed adjacent to land in passive agricultural use:*

10.801(D)(3)

- (a) Fencing. *A wood fence, chain link fence, or masonry wall, not less than six (6) feet in height shall be installed at the property boundary where the development property adjoins and has a common property line with land zoned EFU or EA. In no case shall a fence be required within a front yard area. The fence or wall used to buffer agricultural land shall comply with the regulations regarding fencing, Sections 10.731 through 10.735. Information shall be provided regarding the long-term maintenance responsibility for the fence or wall.*
- (b) Deed Declaration. *All urban land proposed for development which lies within two hundred (200) feet of an EFU or EA zoning district boundary shall be subject to a deed declaration that requires the owner and all successors in interest to recognize*

and accept common, customary and accepted farming practices. The declaration shall also provide that the perpetual maintenance of fencing, the horticultural care for and maintenance of landscaping, and the maintenance of other buffering features installed to comply with this Section shall be the sole responsibility of the owners of property subject to the deed declaration. The deed declaration shall be in a form approved by the City. After the deed declaration is signed it shall be recorded in the official records of Jackson County, and copies shall be mailed to the owners of adjacent agricultural lands zoned EFU or EA.

- (c) *Irrigation Runoff. Measures appropriate to the circumstances present shall be undertaken by the urban developer to mitigate adverse impacts which occur from periodic naturally occurring runoff and inadvertent agricultural irrigation runoff."*

10.801(D)(4) Discretionary Mitigation Measures/Design Considerations

In addition to the specific mitigation measures required above, an applicant shall also consider the following design items and the approving authority may, in its sole discretion, impose conditions which do any of the following:

- (a) *Increase the rear or side yard setback to afford greater spatial separation between agriculture and urban development.*
- (b) *Regulate the location of garages and parking areas to place them between dwellings and other buildings intended for human occupancy and agricultural land.*
- (c) *Require the placement of streets, driveways, open space or common areas between urban development and agricultural land.*
- (d) *Require fencing and landscaping, including the use of berms, in excess of that required in Section 10.804.*
- (e) *Regulate or require other mitigation measures or features deemed reasonably necessary and appropriate by the approving authority to protect the public health, safety and general welfare, and to make urban development compatible with agricultural uses which exist on adjacent lands zoned EFU or EA.*

Findings of Fact

The applicant has included in its accompanying Finding of Fact and Conclusions of Law for the Revised Preliminary PUD Plan, a request to eliminate the required fence and deed declaration. The reasons that the mitigation is not warranted and necessary is based on a couple of factors. First, there is not an agricultural use that needs to be protected from trespass and vandalism. Secondly, as there is not an agricultural use, there will be no adverse impact on the urban environment, which is this case is an industrial use.

It is important to also realize that the subject EFU property is part of a large 82-acre tax lot owned by Harry and David Corporation, and is a portion of the MD-6 Urban Growth Boundary Amendment area that has been chosen as urbanizable

land for the City of Medford. The proposed land use for the subject parcel is Heavy Industrial.

- (6) *The persons who prepared said report and all persons, agencies, and organizations contacted during preparation of the report.*

Findings of Fact

This Agricultural Impact Assessment Report has been prepared by Jim Maize of Maize & Associates, Inc. Persons and agencies contacted for the preparation of this report are:

- The US Department of Agriculture – Soil Conservation Service and Jackson County have been contacted for soils information.
 - The Medford Irrigation District has been contacted regarding irrigation.
 - Chris McGee from Harry and David Corporation.
 - This report was prepared with information provided by the Natural Resources Conservation Service (NRCS), and information from Medford Information System, Jackson County public records, the Jackson County Geographic Information Services (GIS), and the Medford Urban Growth Boundary Amendment documents and maps.
- (7) *All statements shall be documented, sources given as reference, and any other detailed information needed to substantiate conclusions should be provided in the appendices.*

Findings of Fact

All submitted material has been included in Section B – Applicant’s Submittals.

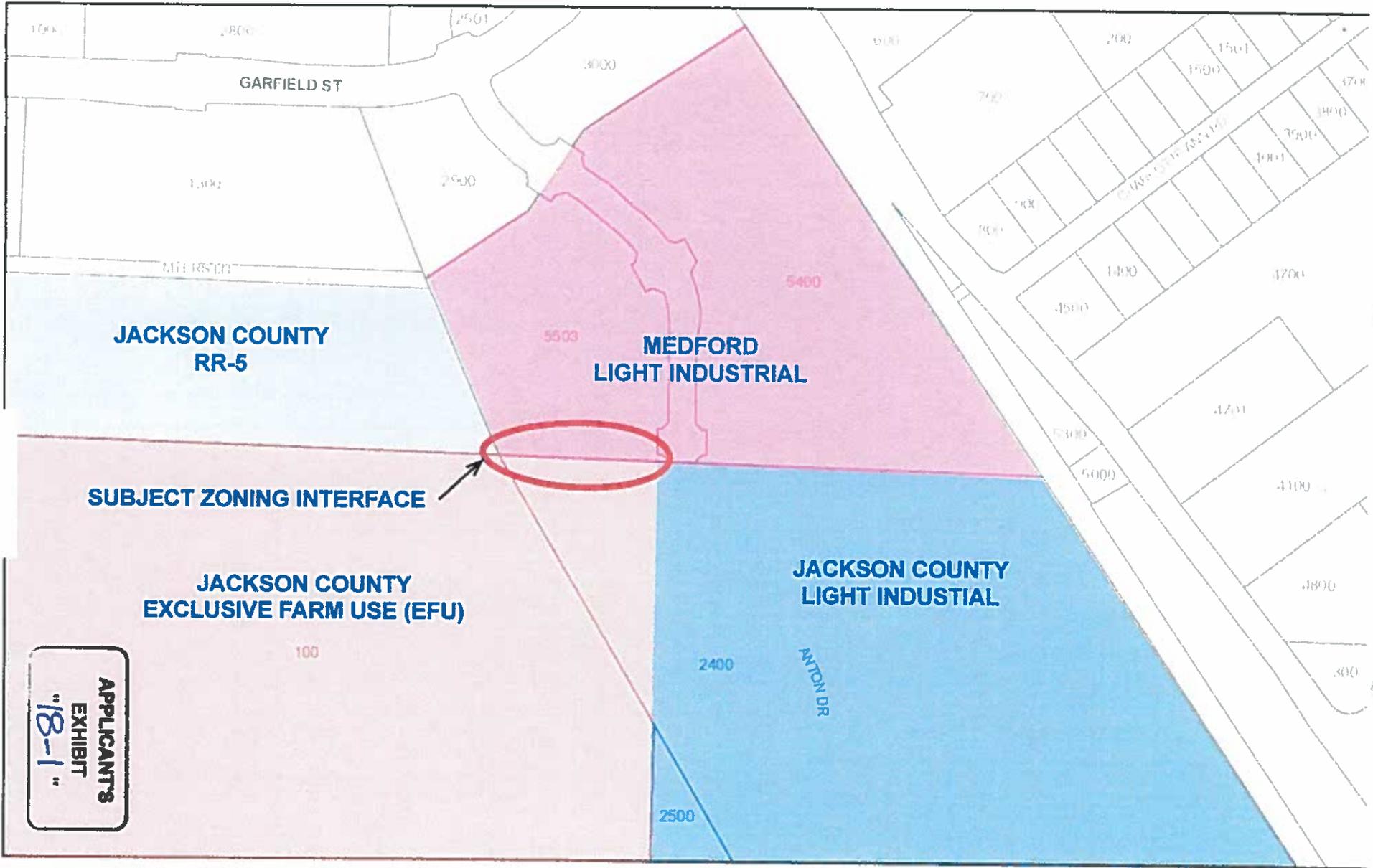
Conclusions of Law

All required information has been submitted as a part of this report, with findings that address each aspect of the agricultural buffering requirements and standards.

Final Conclusion

The Planning Commission concludes that as provided for in Section 10.230(D)(4), and in conjunction with findings made in the Findings of Fact and Conclusions of Law for the Revision to the Preliminary PUD Plan for Stewart Meadows Village, that the mitigation provisions for Passive Agriculture, specifically a 6-foot high fence and a deed declaration, are not necessary.

Jackson County GIS



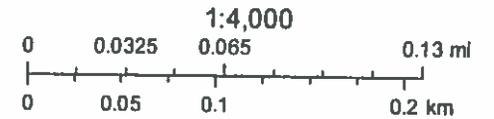
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APPLICANT'S
EXHIBIT
"18-1"

December 23, 2016

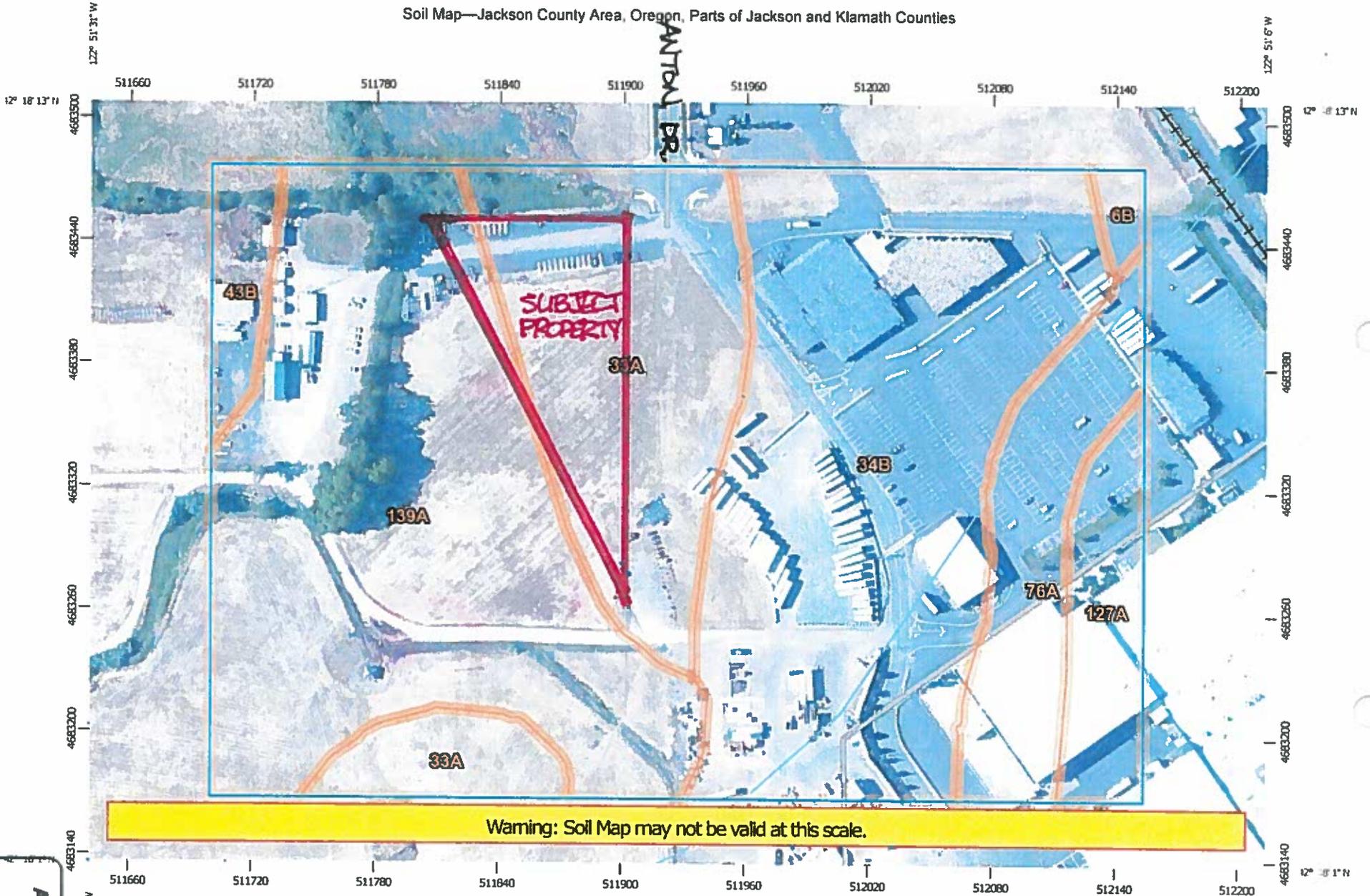
- County Line
- Streets - Label Only
- Taxlots

ZONING MAP



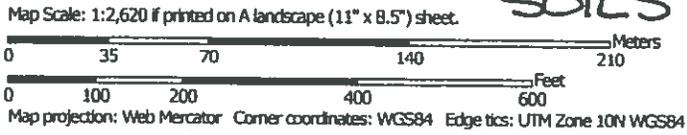
Soil Map—Jackson County Area, Oregon, Parts of Jackson and Klamath Counties

ANTON DR



Warning: Soil Map may not be valid at this scale.

SOILS ON SUBJECT PROPERTY

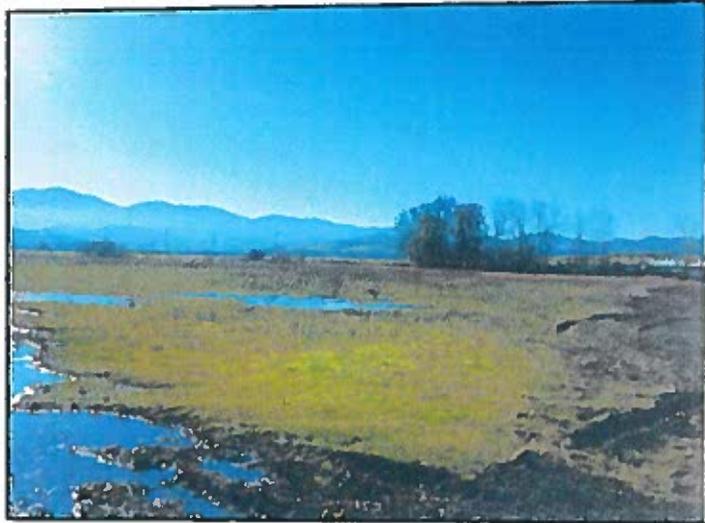


APPLICANTS EXHIBIT "18-2"

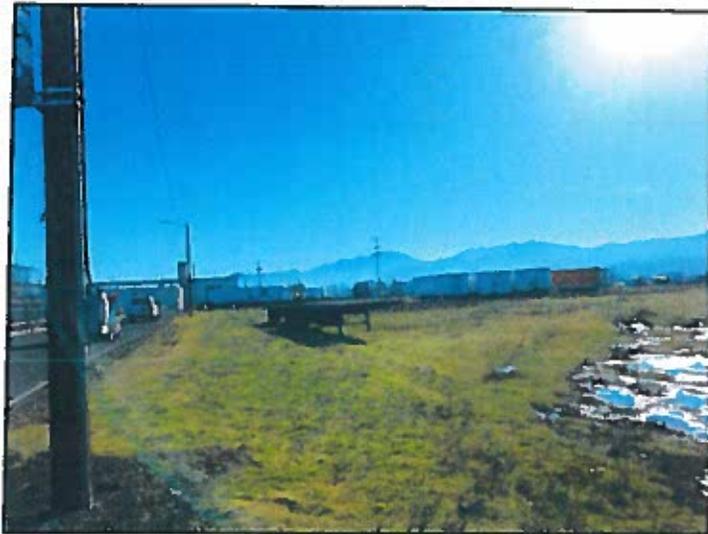


PHOTOGRAPHS OF EFU PROPERTY

from I-L/EFU boundary



Southwest View



South View



West View

APPLICANT'S
EXHIBIT
"18-4"

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STEWART
MEADOWS
VILLAGE

SIGNAGE AMENDMENT
JANUARY 11, 2017

APPLICANT'S
EXHIBIT
" 17 "

CITY OF MEDFORD
EXHIBIT # P
File # PUD-17-003/ZC-17-004



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Introduction

Stewart Meadows Village (SMV) is a master-planned multi-use park located west of Oregon Highway 99 (ODOT 99) between Garfield and Stewart Avenues. Garfield Avenue is one of three interchanges on Interstate 5.

Stewart Meadows Village contains over 103 acres of commercial, residential and industrial parcels which vary in size from a few to more than 13 acres each. The site is anticipated to be developed in phases over many years.

The main objective of this PUD signage program is to allow flexibility for Stewart Meadows Village while maintaining a high level of design quality. The program requests a new design philosophy and approach from the City of Medford for the use of identity and marketing signage that is competitive with Medford sign allowances in nearby projects that are similar in size. It will be a combination of adjusted existing codes, new codes, and the allowance of code overlays throughout the site. This new philosophy will allow uses within Stewart Meadows Village that are competitive within the local marketplace.

While this project includes four zoning districts (C-C/Community Commercial, I-L/Light Industrial, SFR-10/Single Family residential, and I-G/General Industrial), those zones will tend to overlap as the project develops. The regulations within this document are meant to "follow" that overlap in their application, particularly concerning Commercial sign standards, which will be allowed on all parcels.

These provisions in the PUD will enable the creation of a vibrant, dynamic, and creative signage program appropriate for Stewart Meadows Village along Highway 99, and where appropriate, within its "boundaries." This PUD provides creative options to enhance a visitor's experience within the site, and will open up possibilities for design and marketing within the Village.



A. Signage Intent

This document provides an avenue for the creative development of signage that is vibrant, charismatic and potentially unique in its approach. This document provides a general design framework to ensure that all signage designs are appropriate for the project as a whole. Signage should not only include text that identifies the name of the business but also incorporates the use of graphics and forms that provide identity, where appropriate, for the clients.

As this project is primarily a suburban type of land use and tenant mix, signs will engage the vehicular visitor first from the highway, then through the arterial street system and finally through internal signage with a neighborhood type atmosphere. Long distance recognition and viewing opportunities will be accomplished by large-scale project and major tenant recognition of appropriate size to allow for safe driving along the highway and city streets.

Exterior to the site, signs shall generally conform to the requirements of Section 10 - Article 6 of the Medford Land Development Code, except where modified by the regulations contained herein. Interior signs on private parcel sites, lots, or private streets will not be regulated by the city, unless otherwise specified herein, except to the extent that electrical permits may be required by the City of Medford. All signs shall be regulated by the Signage Design Guidelines under the sole discretion of the Master Developer and/or its Assignee and the construction rules as adopted by the City of Medford.

These provisions are also meant to ensure a consistency in signage that protects the properties within the overall development for the uses and tenants' unique identities.

The regulations within this document shall not apply to signs erected or maintained by a governmental body including, but not limited to, traffic signs, warning signs, railroad crossing signs, and signs of a noncommercial nature required by public laws, ordinances, or statutes.

1. Sign Application

As a parcel is developed, the property owner/leasee will need to submit a Master Sign Plan (MSP) for that parcel to the Master Developer and/or its Assignee. The MSP shall include drawings of all signs proposed

for the parcel. Freestanding signs shall include in-scale elevations of all sides, with overall dimensions, color, and material callouts. Wall signs shall be shown on the building elevation(s), as well as an in-scale detail drawing. A site plan shall show locations of all signs, and show property lines, setbacks, viewing triangles, etc.

Applications for signage that would otherwise require special use permits, exception, or a Planning Commission or Site Plan & Architectural Commission approval for their use shall not require an amendment to this PUD. Instead, they will be reviewed and approved by the Architectural Review Committee (ARC) of the Master Developer and/or its Assignee.

Upon approval of the ARC, it will be the property owner/leasee's responsibility to apply for, and receive all required City of Medford sign and electrical permits.

B. Additional Allowable Signs

The following signs, as well as signs otherwise permitted by the City of Medford, shall be permitted.

- Facia-mounted Signs
- Full Color Printed Media Signs
- Blade Signs (arcade types)
- Banners - site, street and project
- Construction Fence Graphics/Scrim
- Painted Wall Signs (murals and tromp l'oeil)
- Window Graphic Signs
- Projecting Signs
- Electronic Message Center
- Kinetic Signs
- Sculptural Signs
- Exposed Neon (with ownership review)
- Marquee and Flag Mounted
- 3D Extensions
- Aerial View Signs
- Awning | Canopy Signs
- Roof Signs
- Off-Premise Signs



C. Project Signage Types

1 Primary Project Monumentation

These are freestanding monuments that identify, and help set the “tone” for the project. There will be two (2) monuments, both off of Highway 99. One will be at either western corner of 99 and Garfield Avenue, and the second will be along the highway south of Stewart Avenue. They are sized to highway vehicular scale, and will support the overall visual character of the development.

- Height of project lettering area is restricted to a maximum of nine (9) feet.
- Logo/art component height is restricted to thirty-five (35) feet
- Maximum signage area is limited to two-hundred (200) square feet, including the immediate background.

2 Secondary Project Monumentation

Secondary identification along Stewart Avenue and Garfield Avenue will occur as defined in the Signage Matrix. Smaller in scale than the primary monuments, these freestanding signs will incorporate similar materials as the Primary Monuments, and will also be designed to integrate with SMV’s site walls, street lights, and wayfinding elements.

They are sized to vehicular scale, and will support the overall visual character of the development while identifying secondary entrances into the project.

2.1 Tower Monumentation

- Height is restricted to a maximum of sixteen (16) feet.
- Maximum signage area is limited to one-hundred (100) square feet for lettering and graphics, not including the immediate background.
- May include identity panels for major tenants

2.2 Low Profile Monumentation

- Height is restricted to a maximum of seven (7) feet.
- Maximum signage area is limited to eighty (80) square feet lettering and graphics, not including the immediate background
- May include identity panels for major tenants.

3 Project Directional/Wayfinding

This type of guide signage is allowed on roads interior to the project to direct visitors to their destinations. Vehicular and pedestrian oriented directionals can be used along Bower Drive, Myers Lane and Anton Drive, and any future internal arterial type of roads within the Center.

3.1 Project Directional/Directory Signs

In general, this signage will be sized for vehicular scale and follow the sizes and heights for community roadway standards and as defined in the Signage Matrix.

Wayfinding and directional signage shall be seamlessly integrated with the overall project identity signage design, using colors and materials that are appropriate for their signage type and use.

- All wayfinding signage will be primarily free-standing post and panels in form, or attached to street lighting/furnishings.
- Height shall be limited to a maximum of nine (9) feet in height.
- Sign area shall be limited to a maximum of thirty-six (36) square feet in area.

3.2 Street Graphics

Street Graphics may include art, site furniture, custom light fixtures, banners, and other elements that help to create a sense of place within Stewart Meadows Village.

Banners are incorporated into the development to provide color, seasonal graphics and developer/project identity and promotions. They are allowed throughout the project on major and minor streets and roadways, multi-use parking lots, storefronts and public spaces.

Banners may be fabricated in vinyl, nylon, or other fabrics with silk-screened, painted, printed, vinyl or other semi-permanent graphic applications.

Other art elements will be reviewed/approved on a case-by-case basis by the Master Developer and/or its Assignee.

3.3 Street Signs (Custom)

Developer Banners are allowed throughout the project on major and minor streets and roadways, multi-use parking lots, storefronts and public spaces. Banners are incorporated into the development to provide color, seasonal graphics and developer/project identity and promotions.



Banners are allowed in vinyl, nylon, fabrics with silk-screened, painted, printed, vinyl or other semi-permanent graphic applications.

3.4 Regulatory Signs (Custom)

Regulatory signs are used to provide information and regulations for vehicular and pedestrian traffic. Messages include speed limits, fire lane identity, parking regulations, etc. These signs will be based upon DOT standards for messages, reflectivity, materials, etc., but will feature custom poles to blend with the project's sign family.

D. Tenant Signage Types

1 Parcel/Tenant Monuments

This type of freestanding signage is for ALL individual parcels that are either single owner/user facilities, or multiple buildings with shared parking, ingress, and egress locations.

Sign concepts are not depicted, and locations are not shown on the Project Sign Location Plan as they are specific to the individual parcel, its architectural design, materials and tenant type and needs. Standards and restrictions are identified in the signage matrix under Tenant Monument Signs.

The number and type of monument signs permitted on individual development parcels in Stewart Meadows Village are in addition to allowed building mounted signage.

a) Freestanding Signage General Requirements

- There shall be a minimum distance of one hundred (100) feet between the nearest Stewart Meadows Village Project Identification Monument and any adjacent parcel monument signage.
- There shall be a minimum of one-hundred and fifty (150) feet between any other identification signs on a parcel.
- If a parcel has more than one street front, the signage for each street shall be calculated independently from each other.
- Signs located on the frontage in which the parcel is addressed must include address numbers.
- All signs must comply with the visibility triangle restrictions at driveways as per the City of Medford standards.

b) Single or Multi-Use Corner Parcel Standards

Some corner parcels at key project entry points may have planned SMV Primary or Secondary Project monuments. For such parcels, the frontage reserved for those signs shall not be included in the calculation of the street frontage for tenant signs described in this section.

In addition to those monuments:

- Parcels with less than one hundred twenty (120) feet of frontage on either street (NOT including frontage for SMV monuments) may display one (1) Parcel/Tenant Secondary Monument per street front.
- Parcels with at least one hundred twenty (120) feet but less than three hundred feet (≥120' but <300') of frontage per street (NOT including frontage for SMV monuments) may have one (1) Parcel/Tenant Primary Monument, or two (2) Parcel/Tenant Secondary Monuments per street front.
- Parcels with more than three hundred (300) feet of frontage (NOT including frontage for SMV monuments) may display one (1) Parcel/Tenant Primary Monument, or two (2) Secondary Monuments for the first three hundred (300) feet, and one (1) Parcel/Tenant Secondary Monument for each additional full one-hundred fifty (150) feet of frontage per street.

c) Single User Non-Corner Parcel Standards

For parcels consisting of only one street front.

- Single tenant parcels with less than one hundred (100) feet of frontage may display one (1) Parcel/Tenant Secondary Monument.
- Single tenant parcels with between one hundred (100) and three hundred (300) feet of frontage may display one (1) Parcel/Tenant Primary Monument, or two (2) Parcel/Tenant Secondary Monuments.
- Single tenant parcels with more than three hundred (300) feet of frontage may display the same number and sizes of signs as a multiple-use parcel with the same frontage.

d) Multi-Use Non-Corner Parcel Standards

For parcels consisting of only one street front.

- Multi-tenant parcels with less than one hundred-twenty (120) feet of frontage may display one (1) multi-tenant Parcel/Tenant Secondary Monument.



- Multi-tenant parcels with between one hundred twenty (120) and three hundred (300) feet of frontage may display one (1) Parcel/Tenant Primary Monument, or two (2) Parcel/Tenant Secondary Monuments.
 - Multi-tenant parcels with more than three hundred (300) feet of frontage may display one (1) Parcel/Tenant Primary Monument, or two (2) Secondary Monuments for the first three hundred (300 feet), and one (1) Parcel/Tenant Secondary Monument for each additional full one-hundred fifty (150) feet of frontage.
- 1.1 Commercial/Retail**
- Parcel/Tenant Primary Monument: Maximum height and square footage are defined in the Sign Matrix. Quantities per parcel are noted in D1a, D1b, D1c, and D1d above.
 - Parcel/Tenant Secondary Monument: Maximum height and square footage are defined in the Sign Matrix. Quantities per parcel are noted in D1a, D1b, D1c, and D1d above.
 - With Master Developer's and/or its Assignee's approval, parcels of fifty (50) or more acres are allowed to use their corporate identity as the primary identifier with "Stewart Meadows Village" as the secondary message.
- 1.2 Professional Office**
- Parcel/Tenant Primary Monument: Maximum height and square footage are defined in the Sign Matrix. Quantities per parcel are noted in D1a, D1b, D1c, and D1d above.
 - Parcel/Tenant Secondary Monument: Maximum height and square footage are defined in the Sign Matrix. Quantities per parcel are noted in D1a, D1b, D1c, and D1d above.
 - With Master Developer's and/or its Assignee's approval, parcels of fifty (50) or more acres are allowed to use their corporate identity as the primary identifier with "Stewart Meadows Village" as the secondary message.
- 1.3 Light/General Industrial**
- Parcel/Tenant Primary Monument: Maximum height and square footage are defined in the Sign Matrix. Quantities per parcel are noted in D1a, D1b, D1c, and D1d above.
- Parcel/Tenant Secondary Monument: Maximum height and square footage are defined in the Sign Matrix. Quantities per parcel are noted in D1a, D1b, D1c, and D1d above.
 - With Master Developer's and/or its Assignee's approval, parcels of fifty (50) or more acres are allowed to use their corporate identity as the primary identifier with "Stewart Meadows Village" as the secondary message.
- 1.4 Residential**
- For multiple-family dwellings containing four or more dwelling units, one (1) sign not more than ten (10) square feet in area, either affixed to the building or free-standing is permitted. If free-standing, the sign shall not be located in any required yard area and shall not exceed four (4) feet in height and shall be mounted within a landscaped area or decorative planter. If affixed to the building, the sign may not project into a required yard area more than eighteen (18) inches. No part of any such sign shall be higher than the building height.
- 1.5 Quasi-Public/Institutional Facilities**
- Individual parcel developments located along primary/arterial roadways adjacent to the project are allowed freestanding monumentation signage in addition to building signage.
- Maximum height and square footage are defined in the Sign Matrix. One (1) sign per street frontage.
- 1.6 Specialty Signs**
- Specialty signs may occur within any zoning overlay, where appropriate for their use.
- 1.6.1 Menu Boards**
- Signs used to provide information and pricing for items available at a drive-through window. May be freestanding or wall mounted to the building.
- Number of Menu Boards. There shall be no more than two (2) menu boards per driveway to a drive-through window.
 - Size of Menu Boards. No menu board shall be greater than twenty-four (24) square feet in area and have a height greater than six (6) feet above grade.
 - Menu boards may be internally illuminated and include two-way communication to the building.



1.6.2 On-Site Parcel Directionals

Signs that provide guidance to particular locations within a parcel.

Number of directional signs.

- a) There shall be no more than two (2) directional signs per driveway entrance to a lot or parcel, or multiple-use lot or parcel. Only one of these signs may include business identification. There shall be no limit on the number of directional signs interior to a site which do not include business identification.

Size of and amount of information on directional signs.

- a) No directional sign shall be greater than six (6) square feet in area and have a height greater than four (4) feet above grade. Information placed on the signs other than business name or logo, type of use, or directional arrows and/or informational copy shall only be included upon the approval of a comprehensive sign plan. No more than twenty-five (25) percent of the area of a directional sign may be devoted to business identification; such area shall not be assessed as business identification sign area.
- Directionals may be either internally, or non-illuminated.

1.6.3 Fuel Station Signs

- One additional ground sign per street frontage, not exceeding thirty (30) square feet in area and nine (9) feet in height is permitted on each parcel of land occupied by a fueling station. Such signs may not project into public right-of-way.

1.6.4 Aerial View Signs

For single use parcels of twenty five (25) acres or more that are designated as major tenants within the development, in addition to other permitted signs, one (1) aerial view sign is allowed. Such signs may be painted on, or otherwise applied directly to, the roof of the building associated with the tenant uses under the following conditions:

- The sign shall not be visible from the ground.
- The sign shall not be larger than one thousand (1000) square feet.
- The sign shall identify the facility only by the tenant's name and/or logo.

- The sign shall not be animated or directly or indirectly illuminated.

E. Tenant Building Signage

All building mounted signage types allowed in the current City of Medford signage ordinance, plus those outlined below, are allowed for tenant identification, if appropriate to the architectural design and theme of the tenant. Signage concepts exceeding these regulations will require the written approval by the Master Developer and/or its Assignees.

Tenant identification signs should be designed to fit the building elevation architecture and overall environment in scale, placement and style. Designs should complement the building's level of quality, and its color(s) and finishes, while providing contrast for readability.

1 Retail Tenant Building Signage

All signs shall be calculated as part of a tenant's signage allotment unless noted otherwise.

1.1 Wall Signage

Each retail parcel shall create a Tenant Criteria Program for review and approval by the Master Developer and/or its Assignee that meet the following standards:

- Sign envelopes showing locations for all potential wall signs. Each envelope shall show its overall dimensions and potential square footage.
- Tenant identification signs should be designed to fit the storefront architecture and overall environment. Designs should complement the building color(s) and finish(es) but should provide contrast for readability, and level of quality.
- Minimum allowed signage shall be fifty (50) square feet per elevation, and a maximum of one and one-half (1.5) square feet per lineal foot of tenant building frontage.
- Signage is allowed on the back side of retail tenant space when visible to other parking areas, primary or internal streets. Square footage shall be limited to one (1) square foot per each lineal foot of building elevation.
- Measures will be taken to use the most energy efficient and sustainable type of lighting sources.



- a) All storefront lighting should be baffled and concealed when ever possible. Where fixtures are exposed, they should contribute to the overall composition of the store front(s). All exposed lighting fixtures and their intensity shall be subject to approval by the Landlord prior to applying for a signage permit.
- b) Tungsten and halogen sources over seventy (70) watts and incandescent sources over one-hundred and fifty (150) watts will be fully shielded from any adjacent single family residential neighborhood.

1.2 Projecting Signs (Flag Mounted)

Projecting signs are those that hang or project more than twelve (12) inches from the building surface, and are typically perpendicular to the facade.

These signs are allowed only for retail oriented parcels and shall follow these standards:

- These signs are encouraged to be creative and relate thematically to the establishment of which it's advertising.
- Projecting signs must be mounted a minimum of nine (9) feet above finished floor/sidewalk area and may not project into any public rights of way.
- Signs must be mounted to the building and can not project off a building or piece of architecture more than seventy-two (72) inches or as appropriate for the design of the building and the tenant location, identity standards and its relevance to the site and project.

1.3. Awning/Canopy Signs

Awnings have non-rigid surfaces, such as fabrics, and may hang from a building. Canopies have rigid surfaces with an internal structure to maintain their shape. Both types are typically mounted parallel with the building/street frontage and are allowed signage and graphics on any and all surfaces if the structure has been approved in the architectural review process.

- "After thought" applications of awnings and/ or canopies are not allowed. They must be integrated into the design of a building's architecture.
- Awnings may have graphics. The graphics shall be printed, silk screened, or factory painted on cloth type materials. Vinyl or plastic based materials may use high performance vinyl applied in the field.

- Canopies may have graphics. They may have hanging, surface mounted, top mounted or projecting letters off all surfaces of the structure.

1.4 Custom Cabinets

Creative designs and forms are encouraged. Unless part of a nationally registered and/or trademarked logo, rectangular shaped designs are prohibited without Owner's overriding approval.

These sign types are multiple layered and sided in design with a mix of opaque, translucent backgrounds and various types of lettering, and illumination methods, fabricated as single units.

Custom signs may be internally, externally, indirectly, or a combination of for illumination. When cabinet signs are used, the background surface(s) adjacent to the sign should be illuminated as well to provide definition of the signs form.

1.5 Roof Signs

Signs which break the silhouette of the roof line or are mounted on the slope of peaked roof, will be only allowed with Master Developers and/or its Assignees approval.

Roof signs will only be allowed on retail oriented user buildings where the architecture theme and structures provides for an appropriate application and is a single use structure for parcels with twenty-five (25) acres or more.

1.6 Shingle/Arcade Signs

Retail and or main-street type of developments may have shingle/arcade signs that advertise a business and help signify its entry for customers along covered pedestrian walkways.

- Each business will be allowed one shingle/arcade sign per patron entry point and shall be mounted directly over or adjacent to the entry point(s).
- Signs will be mounted under an arcade, canopy or awning depending upon the architectural design.
- Signs will be limited to six (6) square feet, and the lowest point must be mounted a minimum of eighty (80) inches above grade.
- Signs may have graphics on both sides so as to allow its reading from either direction. These signs do not count against a tenant's signage allotment.



1.7 Window Signage/Graphics

Window signs shall not exceed thirty (30) percent of each window area located on the ground floor of a building. Window areas separated by mutins or mullions shall be considered as one continuous windowpane.

Window signage intent should be to augment the display of merchandise and be scaled proportionately to the architecture and the physical window opening.

Incidental signage is also included in this area and is for the suite identification, use of credit/debit cards, hours of operation etc. These signs do not count against tenant's signage allotment.

2 Office/Commercial Parcels

Each office/commercial/campus and/or corporate facility parcel shall create a Tenant Criteria Program for review and approval by the Master Developer and/or its Assignee.

2.1 Wall Signs

- Sign envelopes showing locations for all potential wall signs. Each envelope shall show its overall dimensions and potential square footage. Signage locations need not be located within tenant's leased space within the building.
- Any wall sign erected against a bearing or non-bearing wall connected to a building structure within building setback lines of the premises shall be permitted through design review to ensure integration of the wall and sign with the building. The area of such wall signs shall be deducted from the area permitted on the building wall to which the bearing or non-bearing wall is connected.
- Such wall signs may be directory signs.
- Each business/tenant shall be allowed a maximum of one and one-half (1 1/2) square footage for each one (1) linear foot of business elevations.
- Where business are set back more than 200 feet from the street, sign area may be increased to two (2) square feet for each one (1) linear foot of business frontage elevation.
- Calculations from one elevation are not allowed to be transferred to another.
- Signs on the rear elevations of buildings shall

be allowed the same ratios as noted above, per elevation.

3 Light/General Industrial Parcels

Each light/general industrial parcel developer shall provide a Tenant Criteria Program for review and approval by the Master Developer and/or its Assignee.

3.1 Wall Signs

- Sign envelopes showing locations for all potential wall signs. Each envelope shall show its overall dimensions and potential square footage. Signage locations shall be located within tenant's leased space within the building.
- Any wall sign erected against a bearing or non-bearing wall connected to a building structure within building setback lines of the premises shall be permitted through design review to ensure integration of the wall and sign with the building. The area of such wall signs shall be deducted from the area permitted on the building wall to which the bearing or non-bearing wall is connected.
- Such wall signs may be directory signs.
- Each business/tenant shall be allowed a maximum of one and one-half (1 1/2) square footage for each one (1) linear foot of business elevations.
- Where business are set back more than 200 feet from the street, sign area may be increased to two (2) square feet for each one (1) linear foot of business frontage elevation.
- Calculations from one elevation are not allowed to be transferred to another.
- Signs on the rear elevations of buildings shall be allowed the same ratios as noted above, per elevation.

4 Residential Parcels

4.1 Wall Signs

Single family residential parcels shall not have wall signs.

Multiple-family dwellings containing four or more dwelling units may have one (1) wall sign no more than ten (10) square feet in area.

- Sign may be internally or externally illuminated.
- Signs may not extend above the roof line of the building.



5 Quasi-Public/Institutional Parcels

Each quasi-public/institutional parcel developer shall provide a sign package for review and approval by the Master Developer and/or its Assignee.

5.1 Wall Signs

- Signs shall have a maximum twenty (20) square feet of area.
- Signs may be internally or externally illuminated.
- Signs may not extend above the roof line of the building.

F. Temporary Signs

Site, sale and lease information for Stewart Meadows Village are controlled exclusively by the Master Developer and/or its Assignee for use in sales and marketing of development parcels.

1 Project Temporary Signs

1.1 Project Announcement Signs

Site, sale and lease information along the Pacific Highway (Hwy 99).

- May be placed within any parcel adjacent to the highway.
- Maximum height of twenty (20) feet, and a maximum area of four-hundred (400) square feet per sign.
- No more than three (3) signs total, with a minimum six-hundred (600) feet of space between signs.

2 Tenant Temporary Signs

These regulations apply for all parcels within Stewart Meadows Village.

2.1 On Site/Individual Parcel Sales Signs

Site, sale and lease information within and along perimeter and interior roadways.

- For parcels with less than twelve (12) acres, one (1) sign per street frontage with a maximum fifty (50) square feet of sign area.
- For parcels with twelve (12) acres or more, two (2) signs on the longest street frontage, with a minimum one-hundred (100) separation, and one (1) sign on any other street frontage. There is a maximum aggregate of two-hundred (200) square feet for all such signs, with no one sign being over

one-hundred (100) square feet in area.

2.2 Construction Signs

On site information and safety signage as required by the city and or contractor.

- For parcels with less than twelve (12) acres, one (1) sign with a maximum fifty (50) square feet of sign area per construction traffic entry.
- For Parcels with twelve (12) acres or more, two (2) signs with a maximum fifty (50) square feet each of sign area per construction traffic entry.

2.3 Construction Trailer Graphics

The project name and logo, and on-site identification including the phone number and information of site's developer/contractor may be affixed to the sides of one (1) construction trailer.

- Graphics shall be attached in a semipermanent manner, and may not be made from banner material.

2.4 Construction Fencing Scrims

While considered temporary they often are visible for the duration of the construction project promoting the project under construction. Graphics added to a construction site fence screen makes the site attractive in hiding construction works while providing dust control, security, showcase and provide information on architects, construction companies, building owners, and retailers that will have locations in the finished building.

- MDO or plywood construction barriers may be directly printed on sheets where the painted surfaces are prepared properly. Use on solid surfaces must provide adequate footing details based on local wind code requirements.
- Mesh fabric may also be used with a 30% open weave to allow air flow on construction fencing (i.e. chain link, open steel mesh, etc.)
- Permission for such signs shall be made by the Master Developer and/or its Assignee.

2.5 Banners

All Signs for grand openings or temporary business identification while awaiting permanent signage, pennants, streamers or other such devices shall be subject to the following safety standards and requirements:



- Banners shall be attached to a solid structure in a secure manner.
- Banners shall have a minimum clearance of eight (8) feet above grade when placed above an area open for the common or general use of the public.
- Banners shall be vented as required to ensure they will withstand wind pressure from any direction applied to the projected exposed area.
- Banners shall not project above the roof line.

a) Temporary Events

Such signs shall be erected no more than two (2) days prior to the event and shall be removed no more than one (1) day after the event. Total duration of use for such signs not to exceed five (5) days.

Such signs are limited to no more than four (4) events at any one (1) single site in a calendar year.

b) Grand Opening Signage

Temporary business identification is limited to one (1) sign per street front.

Such signs shall be erected for a period not to exceed thirty (30) days.

Permits for grand openings shall be issued only if a valid building permit for construction or alteration of the building or suite for that location has been issued, or a valid application for a certificate of occupancy has been made for the address in question.

c) Parking Lot Banners/Graphics

Banners and graphics throughout the year can be seasonal and or tenant oriented without a time limit.

2.6 Inflatable Devices

Primarily used in retail applications, these signs are oriented for on-site to advertise temporary events, speciality vendor promotions.

Total duration of use for such signs not to exceed five (5) days.

Inflatable devices shall be:

- Equipped with a rapid deflation device.
- Located in a manner that does not block or make inoperable doors, vents, emergency access

windows or other openings serving occupants of a building.

- Restrained, attached, or held in place by a cord, rope, cable or other tethering method to the ground that is engineered to be secure.

Inflatable devices shall not:

- Extend into or over the rights-of-way or be located on rooftops.
- Be of free-floating or flying type.
- Be helium filled over five-hundred (500) cubic feet.

2.7 Projected Signs/Graphics (light)

These signs are oriented for on-site to advertise temporary events, speciality vendor promotions. Total duration of use for such signs not to exceed five (5) days.

Illumination may be innovative and incorporate a variety of lighting types, such as neon tubes, fiber optics, incandescent lamps, LEDs, cathode ray tubes, shielded spotlights, and wall washes or similar techniques.

- Permission for such signs shall be made by the Master Developer and/or its Assignee.

PROJECT SIGN MATRIX



PROJECT SIGNS								
Section	Sign Type	Location(s)	Qty	Height*	Sign Area*	Materials	Illumination	Comments
C1	Primary Monument	NW & SW corners of Pacific Highway 99 & Garfield Avenue	2	35'-0"	200 s.f.	Steel, aluminum, glass/acrylic, wood, concrete	Internal LED w/external accents	Primary project monumentation.
		Pacific Highway 99, south of Stewart Avenue						
C2	Secondary Monument (Tower)	Corner of Garfield Avenue & Anton Drive	1	15'-0"	100 s.f.	Steel, aluminum, glass/acrylic, wood, concrete	Internal LED w/external accents	Project monumentation along secondary street intersections. Option to include multiple/main tenants
	Secondary Monument (Low Profile)	Corner of Garfield Avenue & Myers Lane	3	7'-0"	80 s.f.			
		Corner of Stewart Avenue & Myers Lane						
		Corner of Garfield Avenue & Anton Drive						
C3	Directional Signs	200' before vehicular direction changes	15	9'-0"	36 s.f.	Steel, aluminum, concrete, reflective vinyl, printed graphics, fabric (C3 2 Street Graphics)	External/indirect	To provide guidance throughout the project.
	Street Graphics	Along streets, attached to light/custom poles	TBD	TBD	TBD			Changeable graphic panels to reflect special events, seasons, etc.
	Street ID Signs (Custom)	At street intersections	10	12'-0"	6 s.f.			Custom signs to identify street names.
	Regulatory Signs (Custom)	As needed	TBD	10'-0"	4 s.f.			MUTCD style sign panels on customized posts.

*All sizes noted are based upon a "not to exceed" for height and square footage area, and not as a definitive measurement to be held to within the design.

TENANT/PARCEL SIGN MATRIX



TENANT/PARCEL MONUMENT SIGN										
Situation	Sign Type	Location(s)	Qty	Height	Sign Area	Materials	Installation	Comments		
D1	1	Commercial/Retail Monument	Internal roadways along parcel frontage(s)	1 per street frontage See Comments for additional info	20'-0" (Primary)	150 s.f. (Primary)	Steel, aluminum, acrylic, concrete	Internal LED w/external accents	Quantities: Single/Multi-Use Corner Parcel <120' frontage per street, One (1) Secondary Monument per street. ≥120' but < 300' frontage per street, One (1) Primary Monument or Two (2) Secondary Monuments per street; ≥300' frontage per street, One (1) Primary Monument or Two (2) Secondary Monuments for first 300', and one (1) Secondary Monument for each additional 150' per street.	
	2	Professional Office Monument			17'-0" (Primary)	80 s.f. (Primary)				Internal LED w/external accents
	3	Light/General Industrial Monument			8'-0" (Secondary)	48 s.f. (Secondary)				
			24'-0" (Primary)	200 s.f. (Primary)	Internal LED w/external accents	Single Use Non-Corner Parcel <100' frontage, One (1) Secondary Monument. ≥100' but < 300' frontage, One (1) Primary Monument or Two (2) Secondary Monuments. ≥300' frontage, Same as Multi-Use Non-Corner Parcel Multi-Use Non-Corner Parcel <120' frontage, One (1) Secondary Monument. ≥120' but < 300' frontage, One (1) Primary Monument or Two (2) Secondary Monuments. ≥300' frontage, One (1) Primary Monument or Two (2) Secondary Monuments for first 300', and one (1) Secondary Monument for each additional 150', per street.				
			16'-0" (Secondary)	100 s.f. (Secondary)			Monument signs on primary the street front must include property address numbers.			
	4	Residential Monument	Internal roadways along parcel frontage(s)	1 per street frontage	9'-0"	30 s.f.	Steel, aluminum, acrylic, concrete	Internal LED w/external accents	Monument signs on primary the street front must include property address numbers.	
	5	Quasi Public/Institutional Facilities Monument			9'-0"	30 s.f.		Internal LED w/external accents, Electronic Message Board (option)		
	6.1	Menu Board	Drive-thru lanes within a parcel	2 per Drive Thru	6'-0"	24 s.f.	Steel, aluminum, acrylic	Internal LED	May include two-way communication with building.	
	6.2	On-Site Parcel Directional	Parcel Entrances, interior to parcel	2 per Drive Way	4'-0"	6 s.f.	Steel, aluminum, acrylic, vinyl	Internal or external	Only one entrance directional may include business identification, not to exceed 25% of face. There is no limit of directional signs without identification that are interior to the parcel.	
	6.3	Fuel Station Sign	Internal roadways along parcel frontage(s)	1 per street frontage	9'	32 s.f.	Steel, aluminum, acrylic, vinyl	Internal LED	This sign is in addition to parcel identity monument.	
	6.4	Aerial View Sign	Roof of building on parcels 25 acres or more	1	Roof of Building	1000 s.f.	Paint, vinyl	None	Sign shall not be positioned so that it cannot be seen from the ground	

*All sizes noted are based upon a "not to exceed" for height and square footage area, and not as a definitive measurement to be held to within the design.

TENANT BUILDING SIGN MATRIX



TENANT BUILDING SIGNAGE									
Location	Sign Type	Location(s)	Qty	Height**	Sign Area*	Materials	Illumination**	Comments	
E1	1	Retail Tenant Building Signage	Over tenant space, street frontage and back building elevations	1 per street frontage and back elevations	No closer than 1/2 letter height to roof line	50 sq ft minimum 1.5 sq ft per linear foot of tenant frontage 1 sq ft per linear foot back elevation	Aluminum, acrylic, paint, vinyl	Internal LED and/or neon	May be pan, or reverse pan-channel letters/logos. Front elevation square footage allotment shall be shared with projecting signage.
	1.1	Projecting Signs (Flag Mount)	Over tenant space, front elevation, or corner of building	1	May not project over building roof line	50 sq ft minimum 1.5 sq ft per linear foot of tenant frontage	Aluminum, steel, acrylic, paint, vinyl	Internal with external accents, LED and/or neon, incandescent	Square footage allotment shall be shared with front elevation building mounted signage.
	1.2	Awning/Canopy Signs	Integrated with building mounted awnings and canopies	Per awning/canopy system	No higher than awning or canopy	Per awning/canopy	Printed graphics, vinyl, paint	Indirect	Square footage allotment shall be shared with front elevation building mounted signage.
	1.3	Custom Cabinets	Over tenant space, front and back building elevations	1 per front and back elevations	No closer than 1/2 letter height to roof line	50 sq ft minimum 1.5 sq ft per linear foot of tenant frontage 1 sq ft per linear foot back elevation	Aluminum, steel, acrylic, paint, vinyl	Internal with external accents, LED and/or neon, incandescent	May be substituted for building or projecting signage.
	1.4	Roof Signs	Above roof line of single-use building on parcels of 25 acres or greater	1 per front elevation	No more than 25% of building height	1.5 sq ft per linear foot of tenant frontage	Aluminum, steel, acrylic, paint, vinyl	Internal with external accents, LED and/or neon, incandescent	Must have Master Developer's or its Assignee's approval.
	1.5	Shingle Arcade Signs	Directly over or adjacent to business entry point	1 per entry point	Bottom of sign a minimum 60 inches above grade	0 sq ft	Aluminum, steel, wood, acrylic, paint, vinyl	Indirect	Square footage of signs do not count against tenant's signage allotment.
1.6	Window Signage/Graphics	Ground floor windows on business front elevation	1	Ground floor	Not > 30% of ground floor window area	Printed graphics, vinyl, paint	None	Square footage of signs do not count against tenant's signage allotment.	
E2	1	Office/Commercial Wall Signs	Established building sign band, sign does not need to be over leased space on front or back building elevations	1 per front and back elevations	No closer than 1/2 letter height to roof line	50 sq ft minimum 1.5 sq ft per linear foot of tenant frontage >200 feet from road 2 sq ft per linear foot of tenant frontage	Aluminum, acrylic, paint, vinyl	Internal LED and/or neon	
E3	1	Light/General Industrial Wall Signs	Established building sign band, sign does not need to be over leased space on front or back building elevations	1 per front and back elevations	No closer than 1/2 letter height to roof line	50 sq ft minimum 1.5 sq ft per linear foot of tenant frontage >200 feet from road 2 sq ft per linear foot of tenant frontage	Aluminum, acrylic, paint, vinyl	Internal LED and/or neon	
E4	1	Residential Wall Signs	Street frontage of buildings with four or more residences	1	No closer than 1/2 letter height to roof line	10 sq ft	Aluminum, acrylic, paint, vinyl	Internal LED and/or neon	
E5	1	Quasi-Public/Institutional Wall Signs		1 per street elevation	No closer than 1/2 letter height to roof line	20 sq ft	Aluminum, acrylic, paint, vinyl		

*All sizes noted are based upon a "not to exceed" for height and square footage area, and not as a definitive measurement to be held to within the design.
** Illumination to be most energy efficient possible. Exposed fixtures and lighting intensity subject to approval by Master Developer or its Assignee.

TEMPORARY SIGN MATRIX



TEMPORARY SIGNS									
Location	Sign Type	Location(s)	Qty	Height*	Sign Area*	Materials	Illumination**	Comments	
F1	.1	Project Announcement Signs	Along Pacific Highway (Highway 99), 600 feet minimum between signs	3	20'-0"	400 sq ft	Wood, metal, vinyl, printed graphics	External	There must be 100 feet separation between multiple signs.
F2	1	Tenant On Site/Individual Parcel Sales Signs	Individual parcel street frontage(s)	<12 acres 1 per street frontage >12 acres 2 signs longest frontage, 1 sign per other frontage	12'-0"	<12 acres, 50 sq ft >12 acres, 100 sq ft per sign, 200 sq ft aggregate	Wood, metal, vinyl, printed graphics	None	There must be 100 feet separation between multiple signs.
	2	Construction Signs	Individual parcel street frontage(s)	<12 acres 1 per street frontage >12 acres 2 signs	12'-0"	50 sq ft per sign	Wood, metal, vinyl, printed graphics	None	There must be 100 feet separation between multiple signs.
	3	Construction Trailer Graphics	On sides of an on site construction trailer	1 per side	Height of trailer	400 sq ft aggregate	Printed graphics, vinyl, paint	None	Graphics shall be attached in a semi-permanent manner, and may not be made from banner material.
	4	Construction Fencing Scrims	Attached or integrated into construction fences	1 per fence	Height of fence	May cover entire fence	Wood, mesh fabric	None	Scrims must have venting to allow air to pass through. Permission for use of scrims must be made by the Master Developer and/or its Assignee.
	5a	Temporary Events Banners	Within parcel	TBD	12'-0"	16 sq ft	Banner fabric, vinyl, printed graphics	Indirect	Banners must have venting to allow air to pass through. Permission for use of banners must be made by the Master Developer and/or its Assignee. May be installed no more than 7 days prior to event and removed no more than 3 days after event. Events may not exceed 5 days. Each parcel is limited to 4 events yearly.
	5b	Grand Opening Banners	Leased portion of building facade	1	May not project above building roof line	40 sq ft			Banners must have venting to allow air to pass through. Permission for use of banners must be made by the Master Developer and/or its Assignee. Use requires valid building permit or valid Certificate of Occupancy. Must be removed after 30 days.
	5c	Parking Lot Banners/Graphics	Parcel Parking Lot	TBD	12'-0"	16 sq ft			Banners must have venting to allow air to pass through. Permission for use of banners must be made by the Master Developer and/or its Assignee.
6	Inflatable Devices	Within parcel	1	May not project above building roof line	500 cubic feet	Inflatable vinyl material	None	Must include a rapid deflation device, may not block or make inoperable doors, vents, emergency access windows or other openings serving occupants within the building. The inflatable device must be securely held in place.	
7	Projected Signs	Within parcel	1	No taller than building	TBD	Illuminators	External projection	Permission for use of projections must be made by the Master Developer and/or its Assignee. Events may not exceed 5 days. Each parcel is limited to 4 events yearly.	

*All sizes noted are based upon a "not to exceed" for height and square footage area, and not as a definitive measurement to be held to within the design.
** Illumination to be most energy efficient possible. Exposed fixtures and lighting intensity subject to approval by Master Developer or its Assignee.

SANDOWENGINEERING

160 Madison Street, SUITE A EUGENE, OREGON 97402 541.513.3376

RECEIVED

JAN 09 2016

TECH MEMO

PLANNING DEPT.

TO: City of Medford

FROM: Kelly Sandow P.E.
Sandow Engineering

DATE: December 23, 2016

RE: Stewart Meadows PUD Parking Analysis



This memo provides a parking analysis to determine the parking need for the Stewart Meadows PUD. The PUD is a mix of uses generally falling under the residential, office, retail, and restaurant land uses. These types of uses have peak parking demands that occur at different times of the day and not necessarily during the same time period. Therefore, there is opportunity for some land uses to share parking and reduce the overall number of needed parking spaces. This letter evaluates the potential for shared parking and how much parking is needed on-site.

PARKING ANALYSIS:

As stated previously, the site consists of several different land uses that have peak demand for parking at different times of the day and on different days of the week. Table 1 illustrates the time periods of peak parking demand as provided by the ITE Parking Generation Manual 4th Ed. for each of the PUD's land uses.

TABLE 1: PEAK PARKING TIME BY LAND USE

Land Use	Parking Demand Peak Day	Parking Demand Peak Hour
Office	Weekday	2:00-3:00 PM
Residential (Apartments)	Weekday	10:00-11:00 PM
Retail	Friday	6:00-7:00 PM
Restaurant	Friday	12:00-1:00 PM 7:00-8:00 PM*
Hotel	Saturday	8:00-9:00 AM
Movie Theater	Friday	8:00-9:00 PM

*evening only restaurants

APPLICANT'S
EXHIBIT
CITY OF MEDFORD
EXHIBIT # 12

File # PUD-17-003/ZC-17-004

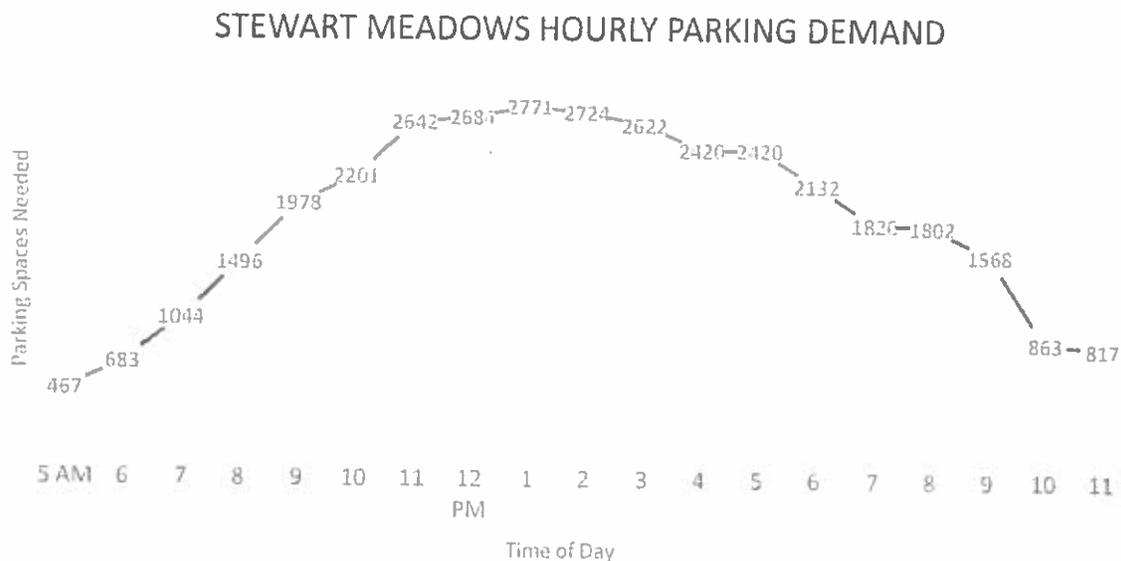
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The total number of parking spaces needed by Stewart Meadows PUD was determined as described below:

Step 1: Determining the number of spaces required for each building individually using the City of Medford parking requirements as per MC 10.743. The parking calculation is included in Attachment A.

Step 2: Determining the hourly parking demand for each building. The hourly parking demand for each building was calculated using data contained within the ITE Parking Generation manual. The parking generation manual provide the utilization of parking spaces for typical weekdays and weekend days by the hour. The data is provided as a percentage of the peak usage. The required number of parking spaces, per Medford Code (Step 1), was assumed to be the peak usage (100%). The parking utilization was distributed hourly according to the ITE data. The parking demand numbers are illustrated in Attachment A. The hourly demand for each building was summed up to determine the total hourly demand for the entire PUD. Figure 1 illustrates the parking demand by hour.

FIGURE 1: PEAK PARKING DEMAND BY TIME OF DAY



As shown, the entire PUD experiences a peak parking demand from 1:00-2:00 pm of 2,771 parking spaces. The site will be near peak occupancy from 11:00 AM to 5:00 PM. This is primarily due to the parking demand for the office and industrial uses. Office and industrial uses have the highest parking demand before 5:00 PM on weekdays, retail and restaurant uses have the highest parking demand after

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6:00 PM, and the movie theater has the highest parking demand occurring after 8:00 PM on weekdays. Because of this peak parking demand is not the accumulation of the peak for each building.

The PUD plans include 3,203 off-street parking spaces and 149 on-street parking spaces for a total of 3,352 spaces. There are enough parking spaces throughout the entire site to accommodate the peak parking demand. It should be noted that the parking numbers for each building are calculated from the Medford parking code which assumes the buildings are standalone facilities. However, the development is a PUD with a mix of uses that are within close proximity. Visitors to the site will frequently visit more than one land use in a single trip (i.e. employees from the offices walking to the restaurants at lunch or customers eating at a restaurant and then walking to the movie theatre). The parking generation numbers used to develop the City parking requirements do not take into consideration internal trips which result in one parking space being used while visiting multiple land uses. Therefore, the parking generation numbers estimated in the analysis will be higher than general day to day operations and represent worst case scenario (with the exception of December shopping peaks).

As part of the evaluation, each building was evaluated to determine if sufficient parking is available at a reasonable proximity, areas where parking can and will be shared, and the proximity to shared parking areas. Attachment A includes calculations for this analysis. The parking lots correlate to the lots as depicted in the attached Stewart Meadow Site plan.

LOT 1,7, AND 8:

Lot 1, 7, and 8 are adjacent to each other and are the primary lots for buildings 1, 26, and 27. Therefore, the lots and buildings were grouped to determine parking demand. Table 2 provides a summary of the parking demand and availability. Figure 2 provides the hourly parking demand for these buildings.

TABLE 2: LOT 1,7, AND 8 PARKING DEMAND

Buildings	1-Medical Office Building
	26-Office
	27-Office
Peak Parking Demand	456 spaces
Available Spaces	547
	91 extra spaces

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FIGURE 2: LOT 1,7, & 8 PARKING BY TIME OF DAY



As shown, buildings 1, 26, and 27 have a peak parking demand of 456 vehicles. The peak demand occurs on weekdays from 10:00 AM to 12:00 PM. Parking lots 1, 7, and 8 are adjacent to buildings 1, 26, and 26. There are 547 parking spaces available within these lots. There are 91 excess spaces available to be used by other buildings.

LOT 9:

Lot 9 is adjacent to building 28. Table 3 provides a summary of the parking demand and availability for Lot 9. Figure 3 provides the hourly parking demand for this building.

TABLE 3: LOT 9 PARKING DEMAND

Buildings	28-Office
Peak Parking Demand	166 spaces
Available Spaces	129
	37 spaces needed

FIGURE 3: LOT 9 PARKING BY TIME OF DAY



As shown, building 28 has a peak parking demand of 166 vehicles. The peak demand occurs on weekdays from 2:00 PM to 3:00 PM. Parking lot 9 is adjacent building 28. There are 129 parking spaces available within lot 9. Building 28 will need 37 additional parking spaces to meet the demand. There are 18 on-street parking spaces available on Myers Lane and Bower Drive as well as the 90 extra spaces available in lots 1, 7, and 8. There are sufficient additional available parking spaces within 300 feet of building 28.

LOT 2:

Buildings 2, 3, and 4 share parking Lot 2. Table 4 provides a summary of the parking demand and availability for Lot 2. Figure 4 provides the hourly parking demand for these buildings.

TABLE 4: LOT 2 PARKING DEMAND

Buildings	2-Hotel 3-High Turn Over Restaurant 4-Hotel
Peak Parking Demand	195 spaces
Available Spaces	204
	9 extra spaces

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FIGURE 4: LOT 2 PARKING BY TIME OF DAY



As shown, building 2, 3, and 4 have a peak parking demand of 195 vehicles. The peak demand for the hotel (buildings 2 and 4) occurs on Saturdays from 8:00-9:00 AM and the peak demand of the high turnover restaurant (building 3) is on weekdays from 12:00 PM to 1:00 PM and from 7:00 to 8:00 PM. There are 204 spaces available in Lot 2. There are 9 extra spaces available to be used by other buildings.

LOT 4:

Buildings 29 is adjacent to Lot 4. Table 5 provides a summary of the parking demand and availability for Lot 4. Figure 5 provides the hourly parking demand for this buildings.

TABLE 5: LOT 4 PARKING DEMAND

Buildings	29-High Turn Over Restaurant
Peak Parking Demand	195 spaces
Available Spaces	58
	3 extra spaces

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FIGURE 5: LOT 4 PARKING BY TIME OF DAY



As shown, building 29 has a peak parking demand of 58 vehicles. There are 61 spaces available in Lot 4. There are 3 extra spaces available to be used by other buildings.

LOT 10:

Lot 10 is adjacent to buildings 30 and 31. Table 6 provides a summary of the parking demand and availability for Lot 10. Figure 6 provides the hourly parking demand for these buildings.

TABLE 6: LOT 10 PARKING DEMAND

Buildings	30- Office 31-Office
Peak Parking Demand	186 spaces
Available Spaces	194
	8 extra spaces

FIGURE 6: LOT 10 PARKING BY TIME OF DAY



As shown, buildings 30 and 31 have a peak parking demand of 186 vehicles. The peak demand occurs on weekdays from 2:00 PM to 3:00 PM. Parking lot 10 is adjacent buildings 30 and 31. There are 194 parking spaces available within lot 10. There are 8 extra spaces available to be used by other buildings.

LOT 11:

Lot 11 is adjacent to buildings 32 and 33. Table 7 provides a summary of the parking demand and availability for Lot 11. Figure 7 provides the hourly parking demand for these buildings.

TABLE 7: LOT 11 PARKING DEMAND

Buildings	32-Specialty Retail 33-Grocery Store
Peak Parking Demand	189 spaces
Available Spaces	244
	55 extra spaces

FIGURE 7: LOT 11 PARKING BY TIME OF DAY



As shown, buildings 32 and 33 have a peak parking demand of 189 vehicles. The peak demand occurs on weekdays from 3:00 PM to 4:00 PM. Parking lot 11 is adjacent buildings 32 and 32. There are 244 parking spaces available within lot 11. There are 55 extra spaces available to be used by other buildings.

LOT 6:

Lot 6 is adjacent to buildings 22, 23, 24, and 25. Table 8 provides a summary of the parking demand and availability for Lot 6. Figure 8 provides the hourly parking demand for these buildings.

TABLE 8: LOT 6 PARKING DEMAND

Buildings	22-Specialty Retail 23- Specialty Retail 24- Specialty Retail 25- Specialty Retail
Peak Parking Demand	103 spaces
Available Spaces	174
	71 extra spaces

FIGURE 8: LOT 6 PARKING BY TIME OF DAY



As shown, buildings 22 through 25 have a peak parking demand of 189 vehicles. The peak demand occurs on weekdays from 6:00 PM to 7:00 PM. Parking lot 6 is adjacent buildings 22 through 25. There are 103 parking spaces available within lot 6. There are 71 extra spaces available to be used by other buildings.

LOT 3A & 3B:

Lot 3A & 3B are adjacent to buildings 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, and 15. Therefore this area was analyzed and as one parking area. Table 9 provides a summary of the parking demand and availability for these lots. Figure 9 provides the hourly parking demand for these buildings.

TABLE 9: LOT 3 PARKING DEMAND

Buildings	6 through 14-Specialty Retail 5-Restaurant 15-Restaurant
Peak Parking Demand	471 spaces
Available Spaces	343
	128 spaces needed

FIGURE 9: LOT 3A AND #B PARKING BY TIME OF DAY



As shown, buildings 5 through 15 have a peak parking demand of 471 vehicles. The peak demand occurs on weekdays from 6:00 PM to 7:00 PM. Parking lot 3A and 3B are adjacent to buildings 5 through 15. There are 343 parking spaces available within lots 3A and 3B. Buildings 5 through 15 will need to share 128 spaces. Parking Spaces are available at:

- On-Street Anton Drive in along Lot 3A and 3B frontage 31 spaces
 - Lot 6 71 spaces
 - Lot 11 26 spaces
- | | |
|--------------|-------------------|
| Total | 128 spaces |
|--------------|-------------------|

Lot 6's peak parking demand occurs at the same time frame as lot 3A & 3B. However, there are 71 extra spaces available for shared use.

Lot 11's peak use is anticipated to be between 1:00 PM and 5:00 PM. After 5:00 PM the parking demand for lot 11 will drop leaving about 73 spaces unused and available for shared use.

Lot 6 parking spaces are within 150 feet and lot 11 parking spaces are within 900 feet. The average walking speed is 4 feet per second for slower moving adults. Therefore, the available parking spaces are within a 3.5 minute walk. That is a reasonable distance for overflow parking areas for retail that will operate similar to an outdoor mall.

As shown there are 128 spaces available for shared use including 31 on-street parking apaces along Anton Drive, the available 71 spaces in Lot 6, and the available 73 spaces that are partially used in Lot 11. The parking demand for buildings 5 through 15 are shown to be reasonably met.

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LOT 5:

Lot 5 is adjacent to buildings 16, 17, 18, 19, 20, and 21. Table 10 provides a summary of the parking demand and availability for these building. Figure 10 provides the hourly parking demand for these buildings.

TABLE 10: LOT 5 PARKING DEMAND

Buildings	16-Movie Theater 17 through 19- Restaurant 20 and 21- Specialty Retail
Peak Parking Demand	519 spaces
Available Spaces	290
	229 spaces needed

FIGURE 10: LOT 5 PARKING BY TIME OF DAY



As shown, buildings 16 through 22 have a peak parking demand of 519 vehicles. The peak demand occurs on weekdays from 5:00 PM to 6:00 PM but maintains nearly that level until 9 PM. Parking lot 5 is adjacent to buildings 16 through 22. There are 290 parking spaces available within lot 5. Buildings 16 through 22 need to share 229 additional spaces to meet the demand. Parking Spaces are available at:

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• On-Street Anton Drive	12 spaces
• Lot 10	194 spaces
• Lot 11	23 spaces
Total	229 spaces

Lot 11's peak parking demand occurs earlier than the demand for Lot 5. The anticipated demand for lot 11 from 6:00-7:00 PM is 171 vehicles leaving 73 available for shared parking. However, we assumed Buildings 5 through 15 would need to use 26 spaces, therefore there would be 47 spaces available for use by buildings 16-19.

Lot 10 is adjacent to office buildings which has its typical usage between 7:00 AM and 6 PM. At 5:00 PM there will be 90 spaces available and by 6:00 pm most if not all of Lot 10 will be available for parking.

Lot 10's parking spaces are within 500 feet and lot 11's parking spaces are within 550 feet. The average walking speed is 4 feet per second for slower moving adults. Therefore, the available parking spaces are within 2.5 minute walk. That is a reasonable distance for overflow parking areas for a retail that will operate similar to an outdoor mall.

As shown there are 229 spaces available including 12 on-street parking spaces along Anton Drive, the available 194 spaces in Lot 10, and the available 71 spaces are partially used in Lot 11. The parking demand for buildings 16 through 21 has shown to be reasonable been met.

LOT 13, 14, 15, 16, 17, 18:

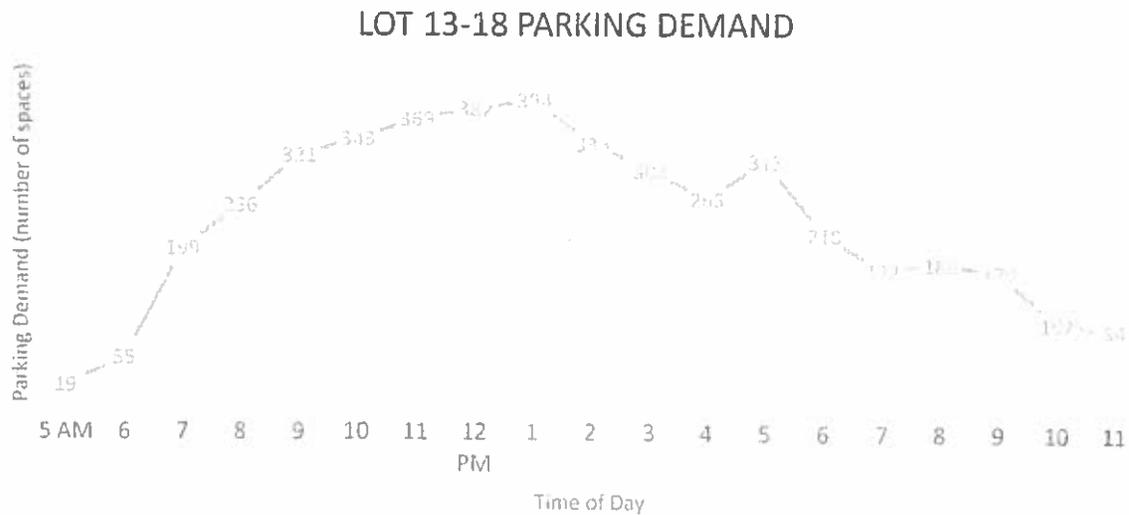
Lots 13 ,14, 15, 16, 17, & 18 are on the south side of Garfield Street. The parking in this area is assumed to be used by all buildings within the area. People who will park and cross Garfield Street will be a small fraction of demand and will be considered insignificant. Therefore, this area was analyzed separately and as one parking area. Table 11 provides a summary of the parking demand and availability for these lots. Figure 11 provides the hourly parking demand for these buildings.

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TABLE 11: LOT 13-18 PARKING DEMAND

Buildings	84-Specialty Retail, Restaurant 85-Industrial 86-Industrial 87-Industrial 88-Industrial, Office 89-Restaurant
Peak Parking Demand	394 spaces
Available Spaces	504
	110 extra spaces

FIGURE 11: LOT 13-18 PARKING BY TIME OF DAY



As shown, building 84 through 89 have a peak parking demand of 394 vehicles. The peak demand occurs on weekdays from 1:00 PM to 2:00 PM. There are 504 parking spaces available within lots 13 through 18. There are 110 extra spaces available to be used by other buildings.

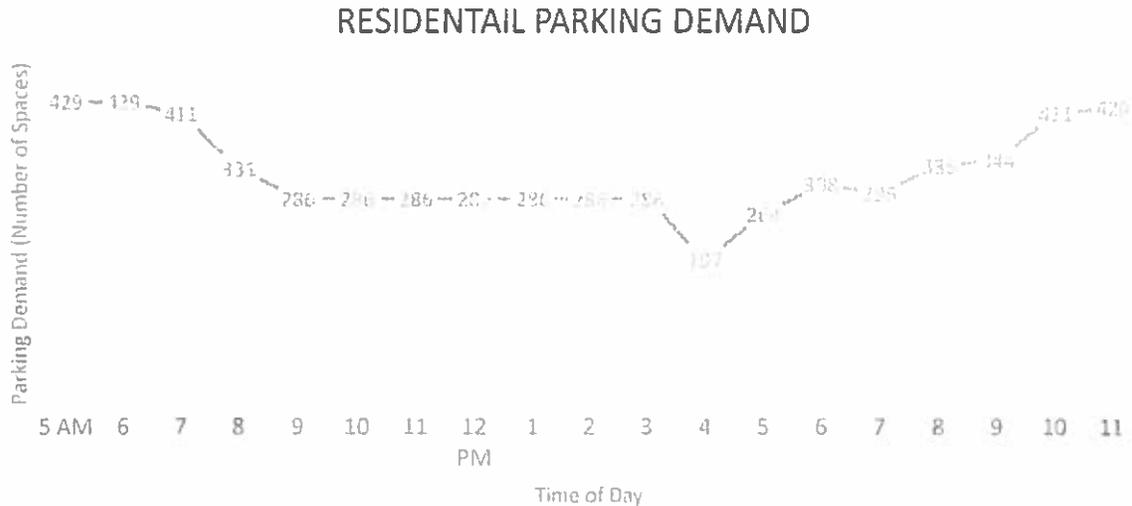
LOT, R-1, R-2, R-3, R-4, R-5, R-6, R-7, & R-8:

Residential Lots R-1 through R-8 are on the east side of Meyers Lane except for R-1 which is on the west side of Meyers Lane. The parking in this area is assumed to be used exclusively by the residential units and will not be allowed to be shared with the commercial or office buildings. Table 12 provides a summary of the parking demand and availability for these lots. Figure 12 provides the hourly parking demand for these buildings.

TABLE 12: LOT R-1 THROUGH R-8 PARKING DEMAND

Buildings	34-81 Residential Units
Peak Parking Demand	429 spaces
Available Spaces	513
	84 extra spaces

FIGURE 12: LOT R-1 THROUGH R-8 PARKING BY TIME OF DAY



As shown, building 34 through 83 have a peak parking demand of 429 vehicles. The peak demand occurs on weekdays from 5:00 AM to 6:00 AM. There are 513 parking spaces available within all of the residential parking lots. The City of Medford Code requires 447 spaces. There is enough parking to meet Medford Code and the parking demand for the residential units. As stated previously, the residential units will not be shared parking spaces with other uses on site. They will be restricted spaces for use of the residential units only.

FINDINGS:

The report concludes the following:

- Stewart Meadows PUD is proposing 3,203 off-street parking and 149 on-street parking spaces.
- Stewart Meadows has a peak parking demand of 2,771 vehicles. Peak occupancy is about 83% of total spaces provided.

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RE: Stewart Meadows Parking Analysis

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- The peak parking demand occurs from 1:00 to 2:00 PM on typical weekdays. The site will operate near peak demand from 11:00 to 5:00 PM on typical weekdays.
- The land uses of Office, Residential, Retail, Restaurant, and Entertainment have individual peak parking demands that occur at times of the day and do not overlap; i.e office has a peak parking demand near noon on weekdays and retail has a peak parking demand after 6:00 PM on weekdays. Therefore, providing opportunities for shared parking.
- Each building has adequate parking available within a 5 minute walk during the buildings individual peak parking demand

As shown, the anticipated maximum usage on site is well below the available parking spaces on site. Additionally, these parking numbers do not take into consideration internal trips where people park at one location and walk to multiple locations on site; i.e. a residential trip or restaurant trip walking to the theater. Each of the buildings within the PUD have sufficient number of spaces within a reasonable walking distance. Therefore, there is sufficient available parking to meet the parking demand for the site.

Item	Description	Quantity	Unit	Price	Total
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FINDINGS OF FACT AND CONCLUSIONS OF LAW
including a
WRITTEN NARRATIVE DESCRIPTION OF THE PUD

BEFORE THE CITY OF MEDFORD
PLANNING COMMISSION

RECEIVED

JAN 09 2016

PLANNING DEPT.
APPLICANT'S
EXHIBIT
"1"

IN THE MATTER OF AN APPLICATION FOR A REVISION TO THE PRELIMINARY PUD PLAN FOR STEWART MEADOWS VILLAGE, TO INCLUDE ADDITIONAL PROPERTY, AND A ZONE CHANGE FROM SFR-6 TO SFR-10 AND FROM SFR-10 TO MFR-30, TOGETHER WITH A RELOCATION OF THE BOUNDARIES BETWEEN THE C-C/I-L AND THE I-G/I-L ZONING DISTRICTS.

APPLICATION: A revision to the approved Preliminary PUD Plan for Stewart Meadows Village Planned Unit Development, including the addition of property, located on a resulting approximate 121-acre site bounded generally by Stewart Avenue, South Pacific Highway, Garfield Avenue, and Myers Lane, within an SFR-6/PD, SFR-10/PD, C-C/PD, I-L/PD and I-G (General Industrial) (Planned Unit Development Overlay) zoning districts, and including a Zone Change of an approximate 0.62-acre tract from SFR-6 to SFR-10, an approximate 0.62-acre tract from SFR-10 to MFR-30, and a relocation of the boundaries between the C-C and I-L, and between the I-L and I-G zoning district.

APPLICANT: KOGAP Enterprises, Inc.
P.O. Box 1608
Medford, OR 97501

OWNER: KOGAP Enterprises, Inc., and
KOGAP Manufacturing Co.
P.O. Box 1608
Medford, OR 97501

AGENT: Maize & Associates, Inc.
P.O. Box 628
Medford, OR 97501

A. BACKGROUND AND GENERAL INFORMATION

On November 29, 2007, the Planning Commission approved the original Preliminary Plan for Stewart Meadows Village Planned Unit Development, a mixed-use commercial and residential community on the old KOGAP mill site (File: PUD-06-141), and on March 26, 2009 the Planning Commission approved an application for a minor revision to that approved Preliminary PUD Plan that included the addition of two new tax lots into the development and reconfigured the internal public street system.

A Final PUD Plan for the development and landscaping of the realigned Hansen Creek restoration work, running through the PUD, was approved by the Planning Director in May 2012 (File: PUD-06-141), which is now identified as Phase 1A. The Hansen Creek restoration work was completed in 2015 and will not be affected by the proposed revision.

In 2013 the Planning Commission approved a revision to allow for modifications to the public rights-of-ways within the project (File: PUD-06-141), including the widening of the vehicle travel lanes; increasing the width of the public sidewalks; and alternating the on-street parking with the landscaped planter strips. The street-side planter strips will be utilized to treat and detain the storm water from the adjacent rights-of-way.

In June 2014, the Planning Director approved the Final PUD Plan for Phase 1 that contained essentially all of the proposed development west of Hansen Creek (File: PUD-06-141), and also included the architectural and landscape guidelines for the project. Work commenced in 2015 for the installation of the Phase 1 public infrastructure, including the realignment and improvement of Myers Lane.

In 2016, a revision was approved to the Preliminary PUD Plan (Exhibit "3"- File: PUD-16-037), which included a change to the size, configuration and uses in several buildings; the inclusion of medical office uses within one of the buildings; the addition of two adjoining parcels into the PUD boundary; the allowance of building heights to be regulated by the standards of the Land Development Code; the elimination of Ingmar Drive; the modification of the Stewart Avenue sidewalk and planter strip; the modification of some of the site design guidelines; the inclusion of a pedestrian promenade along South Pacific Highway; and a revision to the phasing plan for the PUD.

Also in 2016, the 68,000-square foot medical office building, located near the Highway 99 and Stewart Avenue intersection, was approved by the Site Plan and Architectural Commission (File: AC-16-044). Construction has already commenced and the building will be the first completed within the PUD.

Later in 2016, a Zone Change application was approved that modified existing conditions of approval and adjusted the boundary between the I-L and I-G zones within the PUD's boundary (File: ZC-16-066).

B. SCOPE, PURPOSE, AND OVERVIEW OF THE APPLICATION

The purpose of this application is to make several revisions to the Preliminary PUD Plan, approved in 2009 and revised in 2013 and 2016. The scope of this application is delimited to the specific revisions and how those revisions relate to the remainder of the approved PUD.

The proposed revision consists of the following elements.

1. The addition of adjoining property to the PUD

As shown on the Revised Preliminary PUD Plan (Exhibit "2") for Stewart Meadows Village, the applicant proposes to include an additional 34.12 acres of property to the PUD. The table below summarizes those tracts to be added.

**Table 1
Additional Property Added to Stewart Meadows Village PUD**

Map/TL	Zoning	Gross Acreage
371W31D 400 (portion)	SFR-6	0.62
2900	C-C	2.50
3000	C-C	3.58
371W32C 5400	I-L	13.74
5503	I-L	6.55
Included R-O-W (Anton/Garfield/Hwy. 99)	C-C/I-L	7.13
Total		34.12

The small SFR-6 zoned parcel is one part of a four-part Zone Change application. It will be consolidated into the adjoining Tax Lot 900, once the Zone Change has been approved.

With the addition of the other four parcels owned by KOGAP Enterprises, Inc., the Stewart Meadows Village PUD design will include the entire west half of the Garfield/South Pacific Highway intersection.

2. Add and modify buildings and uses

Table 2 below shows the building uses and sizes of the proposed revision. Table 3 shows the land use comparison between the 2016 approval and the proposed revision.

**Table 2
Proposed Use and Building Size**

Building Number	Use	Dwelling Units	Building Sq. Ft.	Building Stories
1	MOB		67,000	3
2	Hotel		51,750	3
3	Restaurant		4,920	1
4	Hotel		53,430	3
5	Restaurant		2,500	1
6	Retail		12,500	2
7	Retail		15,300	3
8	Retail		9,000	3
9	Retail		4,466	1st Floor
9	Retail		4,466	2nd Floor
9	Restaurant		4,466	3rd Floor
10	Clock Tower			3
11	Retail		4,466	1st Floor
11	Retail		4,466	2nd Floor
11	Restaurant		4,466	3rd Floor
12	Retail		9,000	3
13	Retail		15,300	3
14	Retail		12,500	2
15	Restaurant		2,500	1
16	Entertainment		52,150	1
17	Restaurant		5,490	1
18	Restaurant		5,490	1
19	Restaurant		2,500	1
20	Retail		4,360	1
21	Retail		5,000	1
22	Retail		5,000	1
23	Retail		4,360	1
24	Retail		3,700	1
25	Retail		12,800	1
26	Office		38,400	3
27	Office		33,600	2
28	Office		55,344	3
29	Restaurant		6,400	1
30	Office		25,200	2
31	Office		39,500	2
32	Retail		17,920	1
33	Grocery		35,700	1
34	Res/Duplex	2	1,400	1
35	Res/Duplex	2	2,200	2.5
36	Res/Cottage	1	700	1
37	Res/Duplex	2	1,400	1
38	Res/Duplex	2	2,200	2.5
39	Res/Duplex	2	2,200	2.5
40	Res/Duplex	2	1,400	1
41	Res/Triplex	3	3,500	2.5
42	Res/Triplex	3	3,500	2.5
43	Res/Triplex	3	3,500	2.5

44	Res/Duplex		1,400	1
45	Res/Triplex		3,500	2.5
46	Res/Triplex		3,500	2.5
47	Res/Triplex		3,500	2.5
48	Res/Triplex		3,500	2.5
49	Res/Triplex		3,500	2.5
50	Res/Triplex		3,500	2.5
51	Res/Triplex		3,500	2.5
52	Res/Duplex		1,400	1
53	Res/Duplex		2,200	2.5
54	Res/Duplex		2,200	2.5
55	Res/Duplex		2,200	2.5
56	Cottage/Duplex		1,400	1
57	Res/Duplex		2,200	2.5
58	Res/Duplex		2,200	2.5
59	Res/Apartments		13,000	3
60	Res/Apartments	10	13,000	3
61	Res/Apartments	12	12,440	2
62	Res/Apartments	12	12,440	2
63	Community Clubhouse		2,000	1
64	Res/Duplex	2	1,700	1
65	Res/Duplex	2	2,000	1
66	Res/Duplex	2	1,400	1
67	Res/Duplex	2	1,800	2.5
68	Res/Duplex	2	2,200	2.5
69	Res/Apartments	10	13,000	3
70	Res/Apartments	10	13,000	3
71	Res/Apartments	12	12,440	2
72	Res/Apartments	8	8,800	2
73	Res/Duplex	2	1,400	1
74	Res/Duplex	2	2,000	1
75	Res/Duplex	2	700	1
76	Res/Triplex	3	3,500	2.5
77	Res/Triplex	3	3,500	2.5
78	Res/Duplex	2	900	1
79	Res/Duplex	2	900	1
80	Res/Triplex	3	3,500	2.5
81	Res/Triplex	3	3,500	2.5
82	Res/Apartments	48	18,590	4
83	Res/Apartments	48	18,590	4
84	Restaurant/Retail		19,500	1
85	Warehouse (existing)		108,920	1
86	Warehouse (existing)		104,362	1
87	Industrial		82,800	1
88	Industrial		109,200	1
89	Restaurant		12,600	1
Total			1,415,672	
90	Parking Garage		174,628	3.5

**Table 3
Use Comparisons**

Type	2016 Approval		Proposed Revision	
	Square Footage	Number of Dwelling Units	Square Footage	Number of Dwelling Units
Residential Dwelling Units	291,576	190	337,580	271
Office	323,868		279,444	
Retail/Commercial	175,370		408,466	
Industrial	0		384,882	
Community	13,513		2,000	
Clock Tower	0		3,300	
Totals	804,327	190	1,415,672	271
Parking Structure	0		174,628	

3. Include a Sign Program

The applicant proposes to include project signs at locations around the PUD, and to allow for additional ground/monument signs for larger lots.

4. Include additional Design Guidelines for the PUD

5. Include a Residential, Commercial and Industrial parking analysis

The applicant has commissioned a traffic study to determine the proper number of parking spaces that need to be included in the PUD, based upon the peak time of use.

6. A Change of Zone of several tracts

There are actually four elements of the zone change application that are addressed in Section "H", as shown in Exhibit "11".

- a. An approximate 9.8-acre tract of I-L zoning that will be changed to C-C, with a comparable sized tract of C-C zoning changed to I-L.
- b. An approximate 0.62-acre tract of SFR-10 zoning that will be changed to MFR-30.
- c. An approximate 0.62-acre tract of SFR-6 zoning that will be changed to SFR-10.
- d. An approximate 0.26-acre tract of I-L zoning that will be changed to I-G, with a comparable tract of I-G zoning changed to I-L.

C. PROCEDURE AND SUBMITTAL REQUIREMENTS - FINDINGS OF FACT AND CONCLUSIONS OF LAW

PRELIMINARY PUD PLAN APPLICATION PROCEDURES - SECTION 10.235

- A. Neighborhood Meeting Requirement. To ensure neighborhood knowledge of proposed development and to provide an opportunity for direct communication, the applicant shall present the development proposal at a neighborhood meeting prior to submitting the land use application to the City Planning Department. The applicant shall arrange and conduct the neighborhood meeting. City staff need not attend. Attendees shall be asked to sign a signature sheet and provide their mailing address. Attendance at the neighborhood meeting does not give an attendee legal standing for appeal.*
- 1. The presentation at the neighborhood meeting shall include at a minimum the following:*
 - a. A map depicting the location of the subject property proposed for development; and.*
 - b. A visual description of the project including a tentative site plan, tentative subdivision plan and elevation drawings of any structures, if applicable; and.*
 - c. A description of the nature of the proposed uses and physical characteristics, including but not limited to, sizes and heights of structures, proposed lot sizes, density.; and.*
 - d. A description of requested modifications to code standards.*
 - e. Notification that attendance at the neighborhood meeting does not give legal standing to appeal to the City Council, the Land Use Board of Appeals, or Circuit Court.*
 - 2. It shall be the responsibility of the applicant to schedule the neighborhood meeting and provide adequate notification of the meeting. The applicant shall send mailed notice of the neighborhood meeting to the owners of no less than seventy-five (75) of the nearest tax lots regarding the neighborhood meeting. If seventy-five (75) tax lots are not located within two-hundred (200) feet of the exterior boundary of the PUD, the notification area shall be extended by successive fifty (50) foot increments, until a minimum of seventy-five (75) tax lots are included in the notification area. The owners of all tax lots within the extended notification shall receive written notice; therefore, noticing of more than seventy-five (75) tax lots may be required. In addition to the affected property owners, the applicant shall also provide notice to the City Planning Department. The applicant shall use the Jackson County Tax Assessor's property owner list from the most recent property tax assessment roll. The notice shall be mailed a minimum of fifteen (15) days prior to the neighborhood meeting which shall be held in Medford on a weekday evening. A certificate of mailing attesting to the date of mailing and the name and signature of the agent responsible for mailing said notices shall be prepared and submitted to the Planning*

Department in accordance with the materials identified in Section 10.235 (B)(7). The notice for PUD neighborhood meeting shall include:

- a. Date, time and location of the neighborhood meeting; and,
- b. A brief written description of the proposal; and,
- c. The location of the subject property, including address (if applicable), nearest cross streets and any other easily understood geographical reference, and a map (such as a tax assessor's map) which depicts the subject property.

Findings of Fact

The required neighborhood meeting was held at the KOGAP Enterprises, Inc. conference room located on the 2nd floor at 115 Stewart Avenue on Thursday, January 5, 2017 at 6:00 p.m. Materials were sent in advance to the requisite group of property owners as specified in Section 10.235(A) of the Land Development Code.

Copies of all material required to be submitted including meeting records have been identified as Exhibit "19".

Conclusions of Law

The Planning Commission concludes that the requisite neighborhood meeting was held in conformance with the standards of Section 10.235(A), and the requirements for a neighborhood meeting have been met.

REVISION OR TERMINATION OF A PUD – SECTION 10.245- RELEVANT PROVISIONS

- A. *Revision of a Preliminary or Final PUD Plan: The expansion or modification of a PUD approved under earlier PUD ordinances of the City or the revision of a Preliminary or Final PUD Plan shall follow the same procedures required for initial approval of a Preliminary PUD Plan in this Section, provided:*
 1. *Applicant for Revision; Filing Materials; Procedures: An application to revise an approved PUD Plan shall be on forms supplied by the City. The application form shall bear the signature of the owner(s) who control a majority interest in more than fifty percent (50%) of the vacant land covered by the approved PUD and who are also the owner(s) of land and improvements within the PUD which constitute more than fifty percent (50%) of the total assessed value of vacant portion of the PUD. For changes deemed by the Planning Director to be minor but not de minimis, the Planning Director shall exercise appropriate discretion under Section 10.235(B) to limit or waive the submittal of filing materials deemed to be excessive, repetitive or unnecessary based upon the scope and nature of the proposed PUD revisions. PUD revisions shall follow the same procedures used for initial approval of a Preliminary PUD Plan.*

Findings of Fact

The subject application includes the signatures of an authorized representative of KOGAP Manufacturing Company and KOGAP Enterprises, Inc., as evidenced by the signatures on the Property Owner Consent Forms (Exhibit "20"). As shown in Table 4 below, those two entities own approximately 86 acres of vacant real property, representing 100 percent of the vacant land within the Stewart Meadows Village PUD.

Table 4
Summary of Vacant Acreage Within Stewart Meadows Village PUD
 (revised boundary with newly added lots shown in *italics*)

Vacant Tax Lots	Owner	Vacant Acreage	Value of Vacant Acreage (RMV)
200	KOGAP Manufacturing Co.	2.50	\$611,780
1000	KOGAP Enterprises, Inc.	7.25	382,220
1001	KOGAP Enterprises, Inc.	4.22	222,480
2000	KOGAP Manufacturing Co.	0.98	192,210
2100	KOGAP Enterprises, Inc.	1.21	236,880
2190	KOGAP Enterprises, Inc.	0.17	51,220
2200	KOGAP Enterprises, Inc.	0.39	89,760
2300	KOGAP Enterprises, Inc.	0.63	131,440
2500	KOGAP Enterprises, Inc.	13.65	441,930
2501	KOGAP Enterprises, Inc.	5.44	1,257,900
2800	KOGAP Enterprises, Inc.	3.52	689,100
2802	KOGAP Enterprises, Inc.	8.54	1,464,540
4000	KOGAP Enterprises, Inc.	24.79	3,897,010
2900	<i>KOGAP Enterprises, Inc.</i>	2.50	544,960
3000	<i>KOGAP Enterprises, Inc.</i>	3.58	848,250
5503	<i>KOGAP Enterprises, Inc.</i>	6.55	1,211,780
Totals		85.92	\$12,273,460

Jackson County Assessor Map Acreages & 2016/17 RMV Values

Those signatures also represent ownership of land within the currently approved PUD boundaries representing, as shown on Table 5 below, a value of \$14,327,430 of vacant and improved property. That value is 117 percent of the value of the current vacant acreage within the PUD's boundary.

Table 5
Summary of Land and Improvement Valuation For All Parcels Within Stewart Meadows Village PUD
 (revised boundary with newly added lots shown in *italics*)

Tax Lot	Owner	Value of Vacant and Improved Land (RMV)
200	KOGAP Manufacturing Co.	\$611,780
900	KOGAP Enterprises, Inc.	496,170
1000	KOGAP Manufacturing Co	382,220
1001	KOGAP Enterprises, Inc.	222,480
2000	KOGAP Manufacturing Co	192,210
2190	KOGAP Enterprises, Inc.	51,220
2300	KOGAP Enterprises, Inc.	131,440
2500	KOGAP Enterprises, Inc.	441,930

2501	KOGAP Enterprises, Inc.	1,257,900
2800	KOGAP Enterprises, Inc.	689,100
2802	KOGAP Enterprises, Inc.	1,464,540
3900	KOGAP Enterprises, Inc.	507,340
4000	KOGAP Enterprises, Inc.	3,897,010
2100	KOGAP Enterprises, Inc.	236,880
2200	KOGAP Enterprises, Inc.	89,700
400 (portion)	KOGAP Enterprises, Inc.	58,590*
2900	KOGAP Enterprises, Inc.	544,960
3000	KOGAP Enterprises, Inc.	848,250
5400	KOGAP Enterprises, Inc.	991,930
5503	KOGAP Enterprises, Inc.	1,211,780
Total		\$14,327,430

Jackson County Assessor 2016/17 RMI Values

* prorated

Conclusion of Law

The Planning Commission concludes that the subject application includes the signatures of owners who control a majority interest in more than fifty percent (50%) of the vacant land covered by the approved PUD. The Planning Commission also concludes that the signatures represent the owners of land and improvements within the PUD which constitute more than fifty percent (50%) of the total assessed value of vacant portion of the PUD and, therefore the application for revisions to the Stewart Meadows Village PUD can be accepted and reviewed by the City.

The applicant understands the proposed revision is not considered as a de minimus revision since it is not small or miniscule, and includes at least one modification of a standard of the Code. Accordingly, the subject application includes all necessary material required of a Preliminary PUD application, including Findings of Fact and Conclusions of Law, which address the decisional criteria in Section 10.235(D), subject to the Planning Director's discretion to limit or waive materials that are unnecessary.

2. *Consolidated Procedure: At the discretion of the Planning Director, revisions to an approved PUD Plan may be consolidated into a single procedure, the effect of which will be the approval of both a Preliminary PUD Plan and Final PUD Plan by the Planning Commission.*

Findings of Fact

The applicant has not included a request for a consolidated Final PUD Plan approval. An application for the Final PUD phases will be submitted separately in the future.

Conclusion of Law

The Planning Commission concludes that a Final PUD application is not being made with this application and therefore, findings have not been submitted addressing the approval criteria of Section 10.240(G).

3. *Burden of Proof; Criteria for Revisions: The burden of proof and supporting findings of fact and conclusions of law for the criteria in Subsections 10.235(D) or 10.240(G), as applicable, shall be strictly limited to the specific nature and magnitude of the proposed revision. However, it is further provided that the design and development aspects of the whole PUD may be relied upon in reaching findings of fact and conclusions of law for the criterion at Subsection 10.235(D)(5). It is further provided that before the Planning Commission can approve a PUD Plan revision, it must determine that the proposed revision is compatible with existing developed portions of the whole PUD.*

Findings of Fact

The Findings of Fact and Conclusions of Law address the criteria for a Preliminary PUD Plan in Section "G" below. Those Findings of Fact and Conclusions of Law address the specific revisions to the Stewart Meadows Village PUD, and will be strictly limited to the specific nature and magnitude of the proposed revision. The design and developmental aspects of the whole PUD will be relied upon in reaching findings of fact and conclusions of law for the criterion at Section 10.235(D)(5). The Planning Commission further concludes that it will determine that the proposed revision is compatible with existing portions of the whole PUD in Section "G" of this document.

D. WRITTEN NARRATIVE DESCRIPTION OF THE PUD

Section 10.235(B)(3) of the Land Development Code requires that a rationale description of the PUD be submitted, including the following six aspects.

- a. *The rationale for planning Stewart Meadows Village as a PUD.*

The rationale for planning Stewart Meadows Village as a Planned Unit Development has not changed from the original 2007 application and the subsequent revision approvals by the Planning Commission. The primary purpose has been, and remains to be one that establishes a pedestrian-oriented development with a mix of residential and commercial uses, providing a variety of residential housing types, including commercial offices and retail uses to serve its neighborhoods. The purpose and intent statement found in Section 10.230(A) for Planned Unit Developments underscores the PUD's approach to provide for the flexibility and imaginative urban development that would otherwise not be possible under the strict provisions of the Code. The language continues to emphasize the PUD's ability "*to promote more efficient use of urban land and urban services while protecting natural features*

creating common open space, promoting the development of transit-oriented design along designated transit corridors and within designated transit-oriented development (TOD) areas, and encouraging a mixture of land uses and housing types that are thoughtfully planned and integrated.”

The 2016 revision added benefit to the plan by adding a large medical office building that is strategically located to promote its use near an adjacent future transit stop on Stewart Avenue. An additional bus stop facility has been added along Garfield Avenue.

The subject revision includes an increase of 81 residential dwelling units, representing an increase of dwelling units by 43 percent over the existing number of residences. The dwelling units consist of a combination of multi-plex family apartments, duplexes and tri-plexes. The residences are an important element of Stewart Meadows Village because they will provide a choice and variety of different housing types, resulting in a greater variety of residential tenants. As discussed earlier, the residential component of the mixed-use development is important in providing a synergy between those components.

- b. *The nature, planned use, future ownership and method of perpetual maintenance of land to be left in natural or developed open space or which will be held in common ownership.*

An important tract of land within Stewart Meadows Village PUD that will be left in a “natural state” consists of the area that includes and is adjacent to Hansen Creek. The creek that runs through the PUD and once was partially placed underground, has been extensively restored and landscaped by KOGAP at considerable cost and will be a central aesthetic focal point and attraction for the PUD, as well as the course for extensive pedestrian paths. This area, which has been restored by the applicant, will be retained as common area and will be perpetually maintained in a natural or near-natural state by an association of property owners.

Other extensive open areas throughout the PUD will be maintained either by an association of property owners, or by individual property owners.

The proposed revision will not change the nature, planned use, ownership, or maintenance of any of the open or common spaces.

- c. *Listing of all modified applications of the Code that are proposed, with a brief explanation which covers the nature of, extent of, and reason for each modification.*

The specific standards of the Code that are being proposed to be modified, as found in Section 10.230(D), are listed below with a brief explanation and

reason for each the modifications. A more, complete discussion follows in Section "G".

1. Apartment Building Height – 10.230(D)(2)

Two of the apartment buildings (No. 82 and No. 83) are proposed to be four stories with a building height of approximately 55 feet. The Code standard for the building height in a residential zone is 35 feet, representing three stories. The increased building height will allow the residential density of the PUD to be increased to further the importance of a balanced mixed-use development

2. Size Limitation for Buildings in I-L Zone 10.230(D)(2)

Section 10.230(D)(2) allows that the Planning Commission in their approval of a PUD, can modify a limitation to a building size. Within the I-L zoning district, eating and drinking places are permitted but are limited to a maximum of 6,000 square feet, including the outdoor eating area. In the C-C zoning district, restaurants are a permitted use without any special restrictions. The proposed revision includes a 12,600 square-foot restaurant (Building No. 89), another restaurant (Building No. 84) of 10,600 square feet and Building No. 18 at 5,480 square feet. The applicant requests that eating and drinking places within the I-L zoned portion of Stewart Meadows Village be allowed to have a maximum building size of 15,000 square feet, not to include a permitted outdoor seating area.

Correspondingly, the applicant also requests that any future banking institution within the I-L zoned portion of the PUD be allowed to have a maximum gross building size of 5,000 square feet, rather than the 3,500-square foot restriction.

The somewhat larger building sizes should allow more significant-sized, attractive restaurants and banks to be located in the mixed-use community.

3. Parking -10.230(D)(3)

It is not certain that a modification should be requested and approved, but the applicant has included a Parking Analysis, conducted by Sandow Engineering, to calculate the parking need for the PUD's uses, to determine an accurate assessment of the total number of parking spaces needed.

4. Signage – 10.230(D)(4)

The applicant proposes to install six project signs in addition to the ground signs that are allowed on each parcel of land. The attractive project signs would identify the development as “Stewart Meadows Village” and would be able to be the same maximum size and height of the two ‘shopping center” signs that are allowed in the C-C zoning district for large centers. The reason is that as a very large commercial development, project identification signage for the project are important for general identification, while not having to count towards ground signage for individual parcels.

The applicant also requests that the number of ground signs for each parcel in the PUD be calculated differently than the Code allowances, resulting in the potential of some larger parcels being able to place additional ground/monument signs along long stretches of their street frontages.

5. Agricultural Buffering Mitigation – 10.230(D)(4)

The applicant has included a request, because of the lack of agricultural activity on adjacent EFU land, to eliminate the Passive Agriculture mitigations of a 6-foot high fence and a deed declaration on the PUD’s property.

6. Housing Types Allowed – 10.230(D)(7a)

Section 10.230(D)(7a) provides that any portion of a PUD may contain any housing type listed in 10.314 (1-3), which includes duplexes, triplexes and multi-family apartments. The Revised Preliminary PUD Plan shows that the development’s dwelling units are located only in the SFR-10 and MFR-30 zoned portions of the PUD.

7. Acreage - 10.230(D)(7c)

Section 10.230(D)(7c) allows that uses not permitted in the underlying zone may, nevertheless, be permitted and approved to occupy up to 20% of the gross area of the PUD.

Table 2 shows all of the individual uses resulting from the proposed revision, and building square footages. A summary of the PUD’s uses which are not permitted in their underlying zoning district is shown in Table “6” below.

It should be noted that two of the areas included in Table 6 contain uses that are actually permitted. The 5.6-acre area that includes the two hotel

buildings also includes a 4,920-square foot restaurant and parking, and the 6.2-acre area that contains the entertainment building and two retail buildings, contains three restaurants with a total square footage of approximately 13,500 square feet, plus its parking areas. The table below shows that the total area for the uses not permitted in the underlying zones occupy less than 17 percent of the gross area of the PUD.

**Table 6
Non-Permitted Use Summary**

Building No.	Zoning	Area Size	Use	CUP Required?
1	I-L	5.5	MOB	Yes/Completed
2	I-L	5.6*	Hotel	No
4	I-L	-----	Hotel	No
16	I-L	6.2*	Entertainment	No
20	I-L	-----	Retail	No
21	I-L	-----	Retail	No
28	SFR-10	3.3	Office	Yes
Totals		20.6 ac		
		17.0%		

* areas include restaurants which are permitted uses in the I-L zone

8. Conditional Use Permit – 10.230(D)(7b)

Section 10.230(D)(7c) requires that if any non-permitted use in the underlying zone is located closer than 200 feet from the PUD boundary, and the use is not permitted in the adjacent zone outside of the PUD, then the use becomes conditional and, therefore, the Planning Commission must conclude that the CUP criteria in Section 10.248 have been met. As noted in Table 6, a portion of the Building No. 28 Office Building’s parking and maneuvering area is located within 200 feet of the PUD’s boundary along Myers Lane. The land on the opposite side of the PUD boundary is zoned SFR-6, and since office buildings are not a permitted use in that zone, the applicant has addressed the CUP criteria in Section “G” of this document.

9. Mixed Land Use Designations 10.230(D)(8)

Section 10.230(D)(8) provides that PUDs that have more than one General Land Use Plan (GLUP) designations shall have the flexibility to mix or relocate such designations within the boundaries of the PUD in any manner and/or location as may be approved by the Planning Commission. Including the areas being added to the PUD with this revision, Stewart Meadows Village has five GLUP designations, summarized in the table below, and also illustrated on Exhibit “7”.

Table 7
General Land Use Plan Designations in Stewart Meadows Village PUD

Land Use Designation	Area Size (approx acreage)
General Industrial (GI)	34.1
Urban Residential (UR)	22.4
Heavy Industrial (HI)	1.6
Urban High Density Residential (UHR)	0.6
Commercial (C)	21.6

In accordance with the provisions of Section 10.230(D)(8), the applicant proposes to relocate those land designations, reflected in Exhibit “8”. As mentioned above and addressed in Section “H”, several changes to the zoning district will be made after the corresponding land designations have been relocated.

- d. If one or more signs are intended to vary from the provisions of this Code, then a detailed plan for all signs which require a sign permit shall be submitted. The sign plan shall specify the size, number, type, height and location of all signs which require a sign permit and shall clearly indicate all proposed modifications.

The applicant has submitted a comprehensive sign program for the entire PUD, displayed by the Stewart Meadows Village Sign Amendment (Exhibit “17”), which is fully discussed in Section “G” of this document.

- e. A proposed development schedule. If the PUD will be constructed in phases, the development schedule for each phase shall be keyed to a plan that indicates the boundaries of each phase.

The anticipated development schedule for Stewart Meadows Village PUD, is shown below, with the phase boundaries shown on Exhibit “6”. The applicant proposes that as a phased PUD, the expiration of the Preliminary PUD Plan be administered as provided for in Section 10.240 of the Land Development Code.

Table 8
Development Schedule for Stewart Meadows Village PUD (Revised)

Developmental Phase	PUD Phase **	Type of Development	Approximate Completion Date
1	1A	Hansen Creek Realignment and Restoration	2015
2	1	West Side* Street/Utility Construction	2017
3	1B	Medical Office Building	2017
4	2	East Side* Street/Utility Construction	2018

5	1C	Residential	2017
6	1D	Residential	2017
7	1E	Residential	2017
8	1F	Office	2018
9	1G	Office	2018
10	1H	Office	2018
11	1J	Residential	2018
12	1K	Residential	2019
13	1J	Residential	2019
14	1L	Residential	2019
15	1M	Office	2019
16	1N	Retail	2020
17	1O	Retail	2020
18	2A	Retail	2020
19	2B	Retail	2020
20	3A	Retail	2021
21	3B	Retail	2021
22	2C	Retail	2021
23	3C	Industrial	2022
24	3D	Industrial	2022
25	2D	Retail	2022
26	2E	Entertainment/Retail	2023
27	2F	Hotel/Retail	2023

* west and east sides of Hansen Creek

** as shown on the Stewart Meadows Village PUD Phasing Plan

f. The gross acreage devoted to the various land uses and housing types.

**Table 9
Proposed Land Uses and Housing Types - Approximate Gross Acreages**

Land Use/Housing Type	Gross Acreage
Retail	45.9
Office	15.2
Medical Office	5.5
Entertainment	4.4
Hotel	5.7
Industrial	25.9
Residential, duplex/triplex	10.4
Residential, apartments	8.0

E. RELEVANT APPROVAL CRITERIA FOR PRELIMINARY PUD PLAN REVISION

REVISION OR TERMINATION OF A PUD - SECTION 10.245

A. Revision of a Preliminary or Final PUD Plan: The expansion or modification of a PUD approved under earlier PUD ordinances of the City or the revision of a Preliminary or Final PUD Plan shall follow the same procedures required for initial approval of a Preliminary PUD Plan in this Section, ...

APPROVAL CRITERIA FOR PRELIMINARY PUD PLAN - SECTION 10.235

D. The Planning Commission shall approve a Preliminary PUD if it concludes that compliance exists with each of the following criteria:

- 1. The proposed PUD:*
 - a. preserves an important natural feature of the land, or*
 - b. includes a mixture of residential and commercial land uses, or*
 - c. includes a mixture of housing types in residential areas, or*
 - d. includes open space, common areas, or other elements intended for common use or ownership, or*
 - e. is otherwise required by the Medford Land Development Code.*
- 2. The proposed PUD complies with the applicable requirements of this Code, or*
 - a. the proposed modified applications of the Code are related specifically to the implementation of the rationale for the PUD as described in Section 10.235(B)(3)(a), and*
 - b. the proposed modifications enhance the development as a whole resulting in a more creative and desirable project, and*
 - c. the proposed modifications to the limitations, restrictions, and design standards of this Code will not materially impair the function, safety, or efficiency of the circulation system or the development as a whole.*
- 3. The property is not subject to any of the following measures or if subject thereto the PUD can be approved under the standards and criteria thereunder:*
 - a. Moratorium on Construction or Land Development pursuant to ORS 197.505 through 197.540, as amended.*
 - b. Public Facilities Strategy pursuant to ORS 197.768 as amended.*
 - c. Limited Service Area adopted as part of the Medford Comprehensive Plan.*
- 4. The location, size, shape and character of all common elements in the PUD are appropriate for their intended use and function.*
- 5. If the Preliminary PUD Plan includes uses not allowed in the underlying zone pursuant to Subsection 10.230(D)(7)(c), the applicant shall alternatively demonstrate that either: 1) demands for the Category "A" public facilities listed below are equivalent to or less than for one or more permitted uses listed for the underlying zone, or 2) the property can be supplied by the time of development with the following Category "A" public facilities which can be supplied in sufficient condition and capacity to support development of the proposed use:*
 - a. Public sanitary sewerage collection and treatment facilities.*
 - b. Public domestic water distribution and treatment facilities.*
 - c. Storm drainage facilities.*
 - d. Public streets.*

Determinations of compliance with this criterion shall be based upon standards of public facility adequacy as set forth in this Code and in goals and policies of the comprehensive plan which by their language and context function as approval criteria for comprehensive plan amendments, zone changes or new development. In instances where the Planning Commission determines that there is insufficient public facility capacity to support the development of a particular use, nothing in this criterion shall prevent the approval of early phases of a phased PUD which can be supplied with adequate public facilities.

6. *If the Preliminary PUD Plan includes uses proposed under Subsection 10.230(D)(7)(c), approval of the PUD shall also be subject to compliance with the conditional use permit criteria in Section 10.248.*
7. *If approval of the PUD application includes the division of land or the approval of other concurrent development permits applications as authorized in Subsection 10.230(C), approval of the PUD shall also be subject to compliance with the substantive approval criteria in Article II for each of the additional development applications.*

F. APPLICANT'S SUBMITTALS

- Exhibit 1 Findings of Fact and Conclusions of Law, including Written Narrative
- Exhibit 2 Proposed Revised Preliminary PUD Plan for Stewart Meadows Village PUD
- Exhibit 3 Existing Preliminary PUD Plan – 2016 Approval
- Exhibit 4 Jackson County Assessor Map showing the PUD boundary, including parcels being added to the PUD
- Exhibit 5 Existing Phasing Plan
- Exhibit 6 Proposed Phasing Plan
- Exhibit 7 Existing GLUP Map of Stewart Meadows Village PUD
- Exhibit 8 Proposed GLUP Map of Stewart Meadows Village PUD
- Exhibit 9 Existing Zoning Map of Stewart Meadows Village PUD
- Exhibit 10 Zone Change Legal Descriptions
- Exhibit 11 Map Showing Zone Change Areas
- Exhibit 12 Proposed Zoning Map of Stewart Meadows Village PUD
- Exhibit 13 PUD Parking Analysis dated December 23, 2016
- Exhibit 14 Parking Plan for Stewart Meadows Village PUD
- Exhibit 15 Traffic Impact Analysis by Sandow Engineering, dated and submitted to Medford Public Works Department on November 22, 2016
- Exhibit 16 Design Guideline Document
- Exhibit 17 Signage Amendment for Stewart Meadows Village PUD
- Exhibit 18 Agricultural Impact Analysis
- Exhibit 19 Neighborhood Meeting Materials
 - Certificate of Mailing
 - Verification of Neighborhood Meeting Form
 - Set of Neighborhood Notification Materials

G. FINDINGS OF FACT AND CONCLUSIONS OF LAW ADDRESSING RELEVANT APPROVAL CRITERIA

This section includes findings, showing how the proposal meets the decisional criteria of Sections 10.235 and 10.245.

The Planning Commission has considered the following facts, which are fundamental in making their decision regarding the subject application.

RELEVANT DECISIONAL CRITERIA

APPROVAL CRITERIA FOR PRELIMINARY PUD PLAN - SECTION 10.235

D. The Planning Commission shall approve a Preliminary PUD if it concludes that compliance exists with each of the following criteria:

Criterion No. 1

1. The proposed PUD:

- a. preserves an important natural feature of the land, or*
- b. includes a mixture of residential and commercial land uses, or*
- c. includes a mixture of housing types in residential areas, or*
- d. includes open space, common areas, or other elements intended for common use or ownership, or*
- e. is otherwise required by the Medford Land Development Code.*

Findings of Fact

- a. Years ago, Hansen Creek, a natural, seasonal tributary of Crooked Creek was placed underground for a portion of its traverse through the KOGAP mill facility. As part of the PUD development, plans were prepared by the property owner for the realignment, restoration, and rehabilitation of Hansen Creek from its entry point into the PUD along Garfield Avenue, to its exit point at the Grange Co-op property near the northeast corner of the development.

The Planning Commission and the Site Plan and Architectural Commission approved the extensive rehabilitation, and after a long agency review, the creek restoration, including landscaping and irrigation was completed in 2015.

- b. The proposed revised Preliminary PUD plan includes 271 residential dwelling units, approximately 400,000 square feet of commercial uses,

approximately 280,000 square feet of office space, and approximately 385,000 square feet of industrial buildings.

- c. Stewart Meadows Village PUD provides a mix of housing types, including cottage duplexes, attached duplexes, tri-plexes and both low and high density apartment buildings.
- d. Stewart Meadows Village PUD includes Hansen Creek and its riparian corridor common area that will include pedestrian and bicycle pathways for use by the public. A one-acre open space common area is adjacent to the Central Oregon and Pacific Railroad (CORP) right-of-way, and just south of the medical office building. Also included is the eastern promenade and many other pathways and sidewalks. The Hansen Creek greenway, the promenade area, the Stewart Avenue plaza, and the small park area being included into the PUD, comprise approximately 8.5 acres of open space area.

Conclusion of Law

The Planning Commission concludes that Stewart Meadows Village PUD, with the proposed revision, continues to include Hansen Creek as an important natural feature of the land; includes a mixture of residential, commercial and industrial land uses; continues to include a mixture of housing types in the residential areas; and continues to include open spaces and other areas intended for common use. As only one of the items (a-e) within Criterion No. 1 need to be fulfilled, and since the Stewart Meadows Village PUD continues to satisfy 4 of the 5 items above, the Planning Commission concludes that Criterion No. 1 has been met, as the Planning Commission concluded in 2016.

Criterion No. 2

- 2. *The proposed PUD complies with the applicable requirements of this Code, or*
 - a. *the proposed modified applications of the Code are related specifically to the implementation of the rationale for the PUD as described in Section 10.235(B)(3)(a), and*
 - b. *the proposed modifications enhance the development as a whole resulting in a more creative and desirable project, and*
 - c. *the proposed modifications to the limitations, restrictions, and design standards of this Code will not materially impair the function, safety, or efficiency of the circulation system or the development as a whole.*

Findings of Fact

Before a discussion of the proposed modifications to code standards, it is necessary to discuss how several aspects of the development meet their respective standards of the Code.

Transportation Adequacy of Proposed Revised Preliminary PUD Plan

The 2009 PUD approval included a zone change and a traffic study that analyzed the specific uses, rather than using the standard generation rates that the City of Medford utilizes to calculate trips from a typical acre of developed land. That traffic study analyzed the approximate 974 pm peak hour trips from the development and indicated several street mitigation needed.

The 2016 revision to the PUD, primarily the addition of a 68,000 square foot medical office building, continued to show an the 974 pm peak hour trip generation. The proposed revised plan has both intensified the commercial and industrial uses, as well as increase the residential density of the PUD.

Sandow Engineering has conducted a new Traffic Impact Analysis based on the Proposed Revised Preliminary PUD Plan (Exhibit "15"). That study concludes that:

- *The increase in PM peak hour trips from the site plan modification will not degrade any of the study intersections included in this report to below acceptable mobility standards.*
- *The increase in PM peak hour trips from the site plan modification will not substantially increase queuing conditions over the future year background conditions.*
- *The intersection of Garfield Street at Center Drive does not meet ODOT mobility standards for the PM peak hour. Intersection improvements have been approved for an adjacent property as part of their development approvals. With the proposed and approved improvements, the intersection of Garfield Street at Center Drive operates better than the background no-build conditions under both the 2017 and 2031 PM peak hour build scenarios. The report prepared for ODOT details the analysis and findings.*
- *Stewart Meadows Development can build a portion of the site that does not generate more than 935 trips before the intersection of Garfield Street at Center Drive v/c is worsened over no-build conditions.*

Residential Density

The table below shows the density calculations for the several residential zones within the PUD

**Table 10
Residential Density**

Zone	Gross Acreage	Min/Max du/ac	Minimum du	Maximum du
SFR-10	22.9	6/10	137	229
MFR-30	0.6	20/30	12	18
Totals			149	247

As allowed by Section 10.230(I)(2), the residential density within a PUD can be increased by up to 20% more than the maximum density. That 20% increase would give the Stewart Meadows Village PUD a maximum density of 296 dwelling units. There are 271 dwelling units proposed in the subject PUD revision, which meets the density requirements, and represents a 10% increase over the standard maximum density for the residential zones.

MODIFICATIONS – listed by Code Section number

Medford’s PUD ordinance allows for modifications to the strict Code standards in order to allow the flexibility to produce a creative and imaginative urban development that would otherwise not be possible. The subject PUD revision application includes several new modifications to Code standards and an update to a previously-approved modification.

1. Building Height – 10.230(D)(2)

Two of the apartment buildings (No. 82 and No. 83), are proposed to have four stories with a building height of approximately 55 feet. The Code building height standards allow for maximum building height of 35 feet – the equivalent of 3 stories. An important goal of the PUD is to create a dynamic balance between the residential and commercial components of the PUD and an increase in residential density is important to achieve that goal.

2. Size Limitation for Buildings in I-L Zone 10.230(D)(2)

Section 10.230(D)(2) allows that the Planning Commission in their approval of a PUD, can modify a limitation to a building size. Within the I-L zoning district, eating and drinking places are permitted and are limited to a maximum of 6,000 square feet, including the outdoor eating area. However, restaurants are permitted in the C-C zoning district without any special regulations. Similarly, banking institutions are limited to a maximum size of 3,500 square feet in the I-L zone, but without size limitations in the C-C zone.. The proposed PUD revision includes five restaurants in the I-L zone – one at 6,400 square feet, and three at roughly 5,000 square feet. The nature of the proximity and inter-relationship between the Community Commercial and the Light Industrial zones is intended to provide a seamless congregated development with the uses allowed in both zones. The somewhat larger

restaurant size allowance should encourage a higher-quality sit-down restaurants as opposed to smaller automobile-oriented fast-food restaurants. The applicant requests that eating and drinking places within the I-L zoned portion of Stewart Meadows Village be allowed to have a maximum building size of 15,000 square feet, not to include the permitted outdoor seating area.

Correspondingly, the applicant also requests that any future banking institution within the I-L zoned portion of the PUD be allowed to have a maximum gross building size of 5,000 square feet.

3. Parking -10.230(D)(3)

The applicant has commissioned Sandow Engineering to conduct a study that analyzed the parking spaces required during the day for the proposed uses (Exhibit “13”). That study analyzed the parking demand for each building, based on the requirements of the Medford Land Development Code, and then analyzed that demand for each hour of the day, utilizing data from the Institute of Traffic Engineers Manual. A summary of the Sandow parking study shows that Stewart Meadows Village PUD experiences a peak parking demand from 1:00 pm to 2:00 pm of 2,817 parking spaces. The Revised Preliminary PUD Plan shows 3,203 off-street surface parking spaces, a 360-space parking garage, and 149 on-street parking spaces for a total of 3,652 parking spaces within the PUD. The result is that the parking space demand is sufficiently met.

The Medford Land Development Code does not include on-street parking spaces to be counted toward the minimum requirement. However, the public streets – Anton Drive and Bower Lane are both internal to the PUD, with all of the spaces utilized exclusively by vehicles for uses within the PUD. Approximately 90 percent of the Myers Lane frontage is likewise internal to the PUD, with approximately 5 percent of that frontage being adjacent to the Stewart Meadows Village Golf Course, which is inaccessible from this location. The remaining 5 percent of Myers Lane is adjacent to a business park parking lot and those 4 spaces have not been included.

As the PUD develops, the applicant proposes to provide parking spaces in accordance with the Medford Land Development Code, at times perhaps necessitating the construction of parking spaces on adjacent property with the PUD, which is permitted by Code.

4. Signage – 10.230(D)(4)

The applicant proposes a sign program (Exhibit “17”) for Stewart Meadows Village PUD that includes some minor modifications to the sign standards of the Medford Land Development Code.

The principal modification is to allow for six “project” signs as shown summarized in the table below.

**Table 11
Project Monument Signs**

Sign Type	Locations	Max. Height (ft)	Max. Area (sq ft)
Primary	NW or SW corner of Hwy 99/Garfield Ave.	35	200
Primary	Hwy 99 south of Stewart Ave.	35	200
Secondary	Garfield Ave /Anton Dr.	15	100
Secondary	Garfield St./Myers Ln.	7	80
Secondary	Stewart Ave /Myers Ln.	7	80
Secondary	Garfield Ave /Anton Dr.	7	80

These signs would be in addition to the normal ground/monument signage that is allowed on an individual lot basis. The primary project signs are similar to the additional “Shopping Center” signage allowed for shopping centers of 500,000 square feet or more in the C-C zoning district.

A summarization of the other major elements of the Sign Amendment for Stewart Meadows Village is included below.

a. Tenant Monument/Ground Signs

These signs are based on the particular type of use within the PUD, rather than the underlying zoning district for the use. Those use categories are commercial/retail, professional office, industrial, and residential.

i. Commercial/Retail Uses

A larger parcel with longer street frontages would be entitled to smaller “secondary” monument sign(s) in addition to a “primary” sign per street frontage. The primary sign’s maximum height and size is the same as the Code standards allow for the C-C zone.

ii. Professional Office Uses

Again, a larger parcel would be entitled to additional smaller secondary monument signs for longer street frontages. The primary sign’s maximum height and size is smaller (12 feet high and 80 square feet) than the Code standard (20 feet high and 150 square feet) in the C-C zone or 24 feet high and 200 square feet in the I-L zone. The additional secondary signs (8 feet high and 48 square feet) are also obviously smaller than the Code standard.

iii. Light/General Industrial Uses

Again, lots with longer street frontages could install more than one sign, which the Code also allows. The first primary sign is the same as the Code standard (24 feet high and 200 square feet), with the additional secondary sign (16 feet high and 100 square feet) being quite a bit smaller than the Code allowance.

iv. Residential Uses

The proposed monument sign at a maximum of 9 feet and 30 square feet, is slightly larger than that allowed by Code in the SFR-10 zone (5 feet high and 20 square feet).

v. Others

The Stewart Meadows Village Sign Amendment includes additional sign types for various purposes. Those types, heights and areas are comparable with signage permitted within the Medford Land Development Code sign standards.

b. Tenant Building Signs

The applicant's plan for building signage is less than that allowed by Code for all uses and are discussed below.

i. Commercial/Retail Uses

The street (primary) frontage of each building is entitled to 1.5 square foot of signage per each lineal foot of tenant frontage, which is the same or less than allowed by Code. The back elevation of buildings would be allowed 1 square foot per lineal foot. The Code also for 2 square foot for each foot of non-primary building frontage, and the Code allows signage on all sides of buildings.

ii. Professional Office Uses

This signage would be similar to the retail buildings with the exception that if an office use is more than 200 feet from the street, the front elevation could have a maximum of 2 square feet per lineal tenant frontage. The rear elevation could also have 2 square feet per lineal foot – the same as the Code allowance, although the Code allows additional signs on all building sides.

iii. Light/General Industrial Uses

The proposal and Code standards are the same as the Professional Office Uses.

iv. Residential Uses

The applicant's proposal includes building signage of 10 square feet, where the Code standard is 20 square feet.

v. Others

The Stewart Meadows Village Sign Amendment includes additional sign types for various purposes. Those types, heights and areas are comparable with signage permitted within the Medford Land Development Code sign standards.

5. Housing Types – 10.230(D)(7a)

Section 10.230(D)(7a) provides that a PUD may contain any housing type listed in 10.314 (1-3), which includes duplexes, SFRs, multi-family apartments, and townhouses. As discussed earlier, the Stewart Meadows Village PUD contains cottage and attached duplexes, triplexes, multiplexes, and apartment buildings as types of residential dwelling units, all located in the residentially-zoned SFR-10 and MFR-30 portions of the PUD.

6. Uses Not Allowed in Underlying Zone Limited to 20% of PUD Gross Acreage - 10.230(D)(7c)

Section 10.230(D)(7c) allows that uses not permitted in the underlying zone may, nevertheless, be permitted and approved to occupy up to 20% of the gross area of the PUD. If such a use is within 200 feet of the exterior PUD boundary and that use is not permitted in the adjacent neighboring zone, that use becomes a conditional use and therefore, must meet the Conditional Use Permit criteria.

A summary of the PUD's uses not permitted in their underlying zoning district is shown in Table "12" below.

Table 12
Non-Permitted Use Summary

Building No.	Zoning	Area Size	Use	CUP Required?
1	I-L	5.5	MOB	Yes/Completed
2	I-L	5.6*	Hotel	No

4	I-L	----	Hotel	No
16	I-L	6.2*	Entertainment	No
20	I-L	----	Retail	No
21	I-L	----	Retail	No
28	SFR-10	3.3	Office	Yes
Totals		20.6 ac		
		17.0%		

* areas include restaurants which are permitted uses in the I-L zone

The table shows that although the 5.6-acre area containing the two hotel buildings contains an approximate 5,000 square foot restaurant (Building No. 3) and its parking and maneuvering areas, and the area containing the entertainment building and two retail buildings, includes three restaurants containing approximately 13,500 square feet together with their parking and maneuvering areas. These four areas, containing the PUD's non-permitted uses, represent approximately 17 percent of the PUD's area, which is less than the maximum amount allowed. The table also shows that Office Building No. 28 requires a CUP approval, as a part of the use is within 200 feet of a portion of the Stewart Meadows Golf Course, with its SFR-6 zoning. The Planning Commission approved a similar CUP for the medical office building as part of the 2016 PUD revision.

7. Mixed Land Use Designations 10.230(D)(8)

Section 10.230(D)(8) provides that PUDs that have more than one General Land Use Plan (GLUP) designation have the flexibility to mix or relocate such designation within the boundaries of the PUD in any manner and/or location as may be approved by the Planning Commission. Including the area being added to the PUD with this revision, Stewart Meadows Village has five GLUP designations, summarized in the table below, and also illustrated on Exhibit "7".

**Table 13
General Land Use Plan Designations in Stewart Meadows Village PUD**

Land Use Designation	Zoning District	Area Size (gross acreage)
General Industrial (GI)	Light Industrial (I-L)	41.3 + Anton
Urban Residential (UR)	Single-Family Residential - 10 units/gross acre (SFR-10)	22.9
Heavy Industrial (HI)	General Industrial (I-G)	1.6
Urban High Density Residential (UHR)	Multiple-Family Residential - 30 units/gross acre (MFR-30)	0.62
Commercial (C)	Community Commercial (C-C)	23.3 + Anton
Total		(95.3 + Anton)

In accordance with the provisions of Section 10.230(D)(8), the applicant proposes to relocate those land designations, reflected in Exhibit "8". As

mentioned above and addressed in Section “H”, several changes to the zoning district will be made in conjunction with the corresponding land designation relocations.

One of the primary planning purposes of Stewart Meadows Village PUD is to create a mixed-use character of residential, office, retail and community uses. Another very important aspect of the PUD is to create a pedestrian-oriented development that promotes easy movement throughout the development. The medical office building added in 2016 will strengthen the PUD’s mixed-use nature with a substantial number of employees and clients that may choose to live, work and shop within the same development, and was designed to provide a large plaza adjacent to the Stewart Avenue frontage. A bus stop has been requested by the Rogue Valley Transit District on the Stewart Avenue frontage for future service, which the applicant will provide.

Conclusion of Law

The Planning Commission concludes that the proposed revisions meet all standards of the Land Development Code, other than those modifications that are related specifically to the implementation of the applicant’s PUD rationale statement; that the modifications enhance the development as a whole, resulting in a more creative and desirable project, and will not materially impair the function, safety, or efficiency of the circulation system or the development as a whole.

The Planning Commission further then concludes that the proposed modifications meet Criterion No. 2.

Criterion No. 3

3. *The property is not subject to any of the following measures or if subject thereto the PUD can be approved under the standards and criteria thereunder:*
 - a. *Moratorium on Construction or Land Development pursuant to ORS 197.505 through 197.540, as amended.*
 - b. *Public Facilities Strategy pursuant to ORS 197.768 as amended.*
 - c. *Limited Service Area adopted as part of the Medford Comprehensive Plan.*

Findings of Fact

A review of the relevant documents shows that Stewart Meadows Village PUD is not subject to a moratorium on construction or land development pursuant to ORS 197.505 through 197.540, as amended; is not subject to a Public Facilities Strategy pursuant to ORS 197.768 as amended; or is not subject to a Limited Service Area as adopted as part of the Medford Comprehensive Plan.

Conclusion of Law

The Planning Commission concludes, therefore that Criterion No. 3 has been met.

Criterion No. 4

4. *The location, size, shape and character of all common elements in the PUD are appropriate for their intended use and function.*

Findings of Fact

The location, size, shape and character of the currently approved common elements of the 2009 Preliminary PUD approval will not be changed from their original approval. The 2016 PUD revision included an additional 8,500 square foot open space area located along the CORP right-of-way adjacent to the medical office building and Hansen Creek. The open space area is connected to the pedestrian promenade from the medical office building and from the pedestrian pathways along both sides of Hansen Creek. The open space, the promenade, and the Hansen Creek greenway are intended to provide an area for walking and relaxing for resident, shoppers and the public at large. The Hansen Creek greenway area, the promenade area, the Stewart Avenue plaza, and the small open park area comprise approximately 8.5 acres. The proposed PUD revision does not alter any of these common elements.

As discussed above, the land within Stewart Meadows Village PUD that will be left in a "natural state" consists primarily of the area that includes and is adjacent to Hansen Creek. This area will be retained as common area and will be perpetually maintained in a natural or near-natural state by an association of property owners in accordance with the Stewart Meadows Village Covenants, Conditions, and Restrictions (CCR's).

Conclusion of Law

The Planning Commission concludes that as the proposed revision does not change the common elements in the PUD, and as the location, size, shape and character of all of the common elements in the PUD continue to be appropriate for their intended use and function, Criterion No. 4 has been met.

Criterion No. 5

5. *If the Preliminary PUD Plan includes uses not allowed in the underlying zone pursuant to Subsection 10.230(D)(7)(c), the applicant shall alternatively demonstrate that either: 1) demands for the Category "A" public facilities listed below are equivalent to or less than for one or more permitted uses listed for the underlying zone, or 2) the property can be supplied by the time of development with the*

following Category "A" public facilities which can be supplied in sufficient condition and capacity to support development of the proposed use:

- a. Public sanitary sewerage collection and treatment facilities.*
- b. Public domestic water distribution and treatment facilities.*
- c. Storm drainage facilities.*
- d. Public streets.*

Determinations of compliance with this criterion shall be based upon standards of public facility adequacy as set forth in this Code and in goals and policies of the comprehensive plan which by their language and context function as approval criteria for comprehensive plan amendments, zone changes or new development. In instances where the Planning Commission determines that there is insufficient public facility capacity to support the development of a particular use, nothing in this criterion shall prevent the approval of early phases of a phased PUD which can be supplied with adequate public facilities.

Findings of Fact

Table "6" illustrates the uses proposed in the subject revision that are not permitted in the underlying zone.

The applicant has chosen to address the second standard regarding the provision of Category "A" public services by verifying that the property with its non-permitted uses can be supplied by the time of development with the Category "A" public facilities in sufficient condition and capacity to support development of these proposed uses.

Public sanitary sewer collection and treatment facilities

The Rogue Valley Sewer Service (RVSS) states that development of the proposed Revised Preliminary PUD Plan for Stewart Meadows Village PUD, which includes the uses that are not ordinarily permitted in the underlying zone can be supplied with public sanitary sewer collection and treatment facilities at the time of development.

Public domestic water distribution and treatment facilities

The Medford Water Commission has submitted a letter stating that the uses that are not ordinarily permitted in the underlying zone can be supplied with public water distribution and treatment facilities by the Medford Water Commission at the time of development.

Storm drainage facilities

The Medford Public Works Department states that the uses that are not ordinarily permitted in the underlying zone can be supplied with storm drainage facilities by the City of Medford at the time of development.

Public streets

The applicant has submitted a traffic study entitled Traffic Impact Analysis, to assess the impacts of the entire proposed development upon the City's and the Oregon Department of Transportation infrastructure, particularly the street intersections. That traffic study concluded that with the non-permitted uses, the study shows that:

- *The increase in PM peak hour trips from the site plan modification will not degrade any of the study intersections included in this report to below acceptable mobility standards.*
- *The increase in PM peak hour trips from the site plan modification will not substantially increase queuing conditions over the future year background conditions.*
- *The intersection of Garfield Street at Center Drive does not meet ODOT mobility standards for the PM peak hour. Intersection improvements have been approved for an adjacent property as part of their development approvals. With the proposed and approved improvements, the intersection of Garfield Street at Center Drive operates better than the background no-build conditions under both the 2017 and 2031 PM peak hour build scenarios. The report prepared for ODOT details the analysis and findings.*
- *Stewart Meadows Development can build a portion of the site that does not generate more than 935 trips before the intersection of Garfield Street at Center Drive v/c is worsened over no-build conditions.*

Conclusion of Law

Based upon the above findings, the Planning Commission concludes that the Stewart Meadows Village PUD, as revised with its non-permitted uses can continue to be supplied by the time of development with the Category "A" public facilities in sufficient condition and capacity to support development of the proposed uses, and therefore, Criterion No. 5 has been met.

Criterion No. 6

6. *If the Preliminary PUD Plan includes uses proposed under Subsection 10.230(D)(7)(c), approval of the PUD shall also be subject to compliance with the conditional use permit criteria in Section 10.248.*

Findings of Fact

As discussed earlier, Section 10.230(D)(7)(c) of the MLDC provides that a portion of a PUD can contain uses not permitted in the underlying zone. The code provision also states that if any portion of the use, including its parking, is located nearer than 200 feet from the exterior boundary of the PUD, then the use shall be considered to be a conditional use and can be approved subject to compliance with the Conditional Use Permit criteria. The office building No. 28 is not a permitted use within the underlying SFR-10 zone, but is allowed under the provision of Section 10.230(D)(7)(c), as discussed above.

The office building's parking area is located approximately 100 feet from the western boundary of the PUD and the adjoining Stewart Meadows Golf Course, and as required, the applicant has included findings below providing evidence that the office building site meets the Conditional Use Permit criteria found in Section 10.248, and stated below.

CONDITIONAL USE PERMIT CRITERIA – SECTION 10.248

The approving authority (Planning Commission) must determine that the development proposal complies with either of the following criteria before approval can be granted.

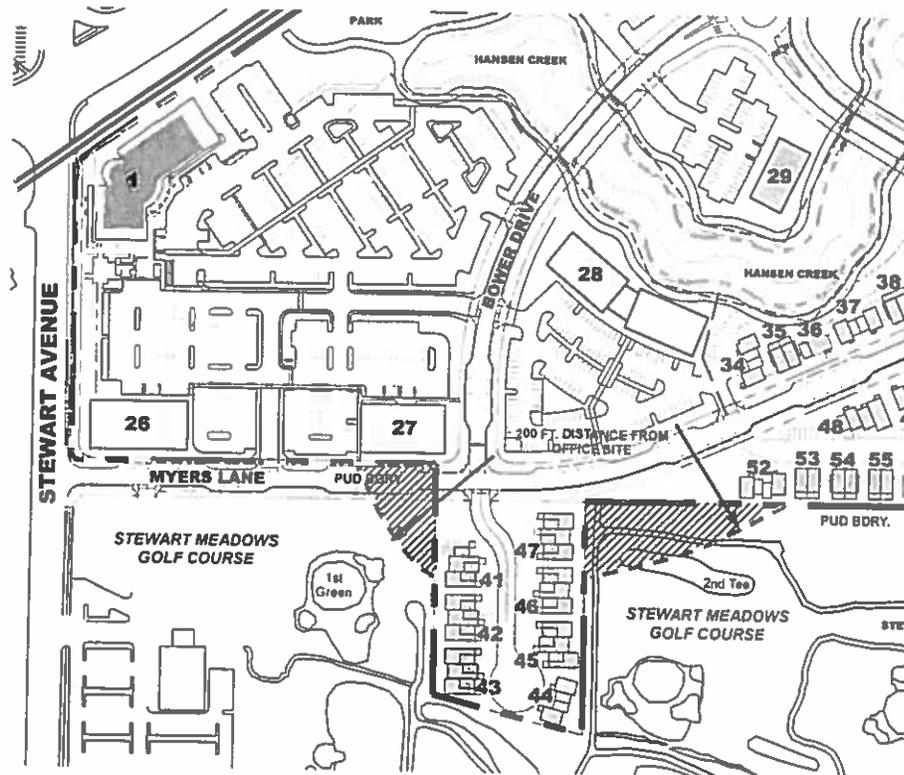
- (1) The development proposal will cause no significant adverse impact on the livability, value, or appropriate development of abutting property, or the surrounding area when compared to the impacts of permitted development that is not classified as conditional.*
- (2) The development proposal is in the public interest, and although the development proposal may cause some adverse impacts, conditions have been imposed by the approving authority (Planning Commission) to produce a balance between the conflicting interests.*

In authorizing a conditional use permit the approving authority (Planning Commission) may impose any of the following conditions:

- (1) Limit the manner in which the use is conducted, including restricting the time an activity may take place, and restraints to minimize such environmental effects as noise, vibration, air pollution, glare and odor.*
- (2) Establish a special yard or other open space or lot area or dimension requirement.*
- (3) Limit the height, size, or location of a building or other structure.*
- (4) Designate the size, number, location, or nature of vehicle access points.*
- (5) Increase the amount of street dedication, roadway width, or improvements within the street right-of-way.*

- (6) Designate the size, location, screening, drainage, surfacing, or other improvement of parking or truck loading area.
- (7) Limit or otherwise designate the number, size, location, height, or lighting of signs.
- (8) Limit the location and intensity of outdoor lighting, or require its shielding.
- (9) Require screening, landscaping, or other facilities to protect adjacent or nearby property, and designate standards for installation or maintenance thereof.
- (10) Designate the size, height, location, or materials for a fence.
- (11) Protect existing trees, vegetation, water resources, wildlife habitat, or other significant natural resources.

Image 1
Preliminary PUD Plan Section Showing Area Around Office Building #28



Findings of Fact

The Medford Planning Commission has considered the following facts that are pertinent to the relevant CUP approval criteria as it applies to the subject office building, its parking area, and any impacts upon the golf course property.

Adjacent Uses

North – To the north of the office building No. 28 site are the parking areas for the recently approved medical office and general office buildings within Stewart Meadows Village PUD, with I-L zoning. Beyond, is the approximate 90-foot wide Stewart Avenue right-of-way and beyond that to the north is the S.O.S. commercial fruit packing facility, fruit stand, and offices; the office of a veterinarian; and the CORP railroad right-of-way, all within a General Industrial (I-G) zoning district. An office building is a permitted use in the I-L zoning district.

East – To the east is Hansen Creek and its riparian corridor. Further to the east, within the I-L zoning is a future restaurant and beyond that two hotels and another future restaurant within the PUD. Further to the east is the CORP railroad right-of-way and the abutting Highway 99 right-of-way, having a combined width, varying from approximately 170 feet to over 200 feet.

South – To the south is the Myers Lane right-of-way and beyond that are the proposed residences within the PUD, consisting of duplex units and apartment buildings in the SFR-10 zone.

West – Immediately to the west is the Myers Lane right-of-way and further to the west, the triplexes and duplexes within the PUD. On both the north and south sides of that residential area is the Stewart Meadows Golf Course.

As stated above, Section 10.230(D)(7)(c) of the Land Development Code requires that the Planning Commission find that the office building and its use meets the Conditional Use Permit criteria of Section 10.248. That criterion includes two independent standards, one of which must be met for the Conditional Use Permit criteria to be approved.

Criterion #1, (Section 10.248[1]) requires that the Planning Commission find that the office will cause no significant adverse impact on the surrounding area when compared to the impacts of permitted development that is not classified as conditional.

The Planning Commission could also, in the alternative, approve the application by finding that the application meets Criterion No. 2 (Section 10.248[2]), in that the office is in the public interest, and although there may be some adverse impacts created by the building and its use, conditions have been included that will create a balance between the public benefit of the office, and the interests of those in the surrounding area.

The applicant addresses Criteria No. 1 in the findings, which follow, and provides findings to allow the Planning Commission to conclude that the establishment and operation of the office building and its use will not cause any significant adverse

impacts to the golf course when it is compared to those impacts that are typically created by development that is permitted outright in the office building's underlying SFR-10 zoning district.

The above section of the Revised Preliminary PUD Plan (Image #1) shows the parking area of Office Building No. 28 and the areas outside of the PUD that are within 200 feet. As can be seen, the 200-foot distance affects a portion of the Stewart Avenue Golf Course adjacent to the green for Hole #1 and near the tee for Hole #4.

CRITERION #1

- (1) *The development proposal will cause no significant adverse impact on the livability, value, or appropriate development of abutting property, or the surrounding area when compared to the impacts of permitted development that is not classified as conditional.*

The findings below compare the potential impacts of the office building upon the surrounding area with the impacts of uses that are permitted of residential uses in the SFR-10 zone to show that no significant adverse impacts will be caused by the office use over the impacts of those permitted uses.

Findings of Fact

1. Traffic Impacts

A review of the traffic generation (ITE Manual, 7th Ed.) from the office building No. 28 shows that at 55,344 square feet, the office building would generate approximately 609 Average Daily Trips (ADT) on a weekday and approximately 82 pm peak weekday trips. If developed with single-family detached dwellings, a permitted use, the office building's gross area of approximately 4.6 acres could allow approximately 55 single-family detached dwelling units, generating approximately 528 weekday ADT and approximately 55 pm peak hour weekday trips, or approximately 87 percent and 67 percent respectively of the office trip generation.

2. Access

Vehicular access to the office building is from a driveway on Bower Drive, with no direct access from or onto Myers Lane. With single-family detached residential development on the subject site, approximately 11 homes could face Myers Lane and take their direct vehicular access from that street, the majority of which would be adjacent to the golf course property.

3. Noise

Typically, an office building does not produce much noise, and is most likely comparable with noise generated from a single-family residential neighborhood.

4. Lighting/Glare

Lighting on the office building and within the vehicular parking lot will be designed to direct light in a down direction without significant direct light shining on the Stewart Meadows Golf Course property.

5. Building Structure/Aesthetics

The office building will be designed following the Medford Land Development Code standards and the Stewart Meadows Village PUD design guidelines. An application for the site design, landscaping and the office building architecture will be reviewed by the Site Plan and Architectural Commission with public involvement before approval and then its eventual construction. If developed with single-family residences, there is typically no architectural review.

As a PUD, it is possible that as allowed by Section 10.230(D)(7a), a 3-story 55-unit residential apartment building could be permitted on the office building site.

6. Signage

The signs that will be utilized for the office building will be regulated by the sign standards of the Medford Land Development Code as well as the standards of the proposed Stewart Meadows Village sign program.

Conclusion of Law

Based upon the above Findings of Fact, the Planning Commission concludes that potential impacts from traffic, lighting, aesthetics, noise, air pollution, etc., are not significantly more than those from single-family residential uses that are permitted in the SFR-10 zone. The Planning Commission concludes that there is no evidence to show that the office building and its parking area will cause a significant adverse impact on the livability, value, or appropriate development of abutting property, when compared to the impacts of other development types permitted in the SFR-10 zoning district. The Planning Commission concludes that the office building and its parking area meets Conditional Use Permit Criterion No. 1 of Section 10.248, and therefore further concludes that Criterion No. 6 of the Preliminary PUD Plan Section 10.235(D) has been met.

Criterion No. 7

7. *If approval of the PUD application includes the division of land or the approval of other concurrent development permits applications as authorized in Subsection 10.230(C), approval of the PUD shall also be subject to compliance with the substantive approval criteria in Article II for each of the additional development applications.*

Findings of Fact

There is not an application for a division of land associated with this application, however, the subject Preliminary PUD Plan revision includes a zone change request as summarized in Section "B", and findings have been included in Section "H" that follow the substantial approval criteria in Section 10.227 for zone changes.

Conclusion of Law

The Planning Commission concludes that the proposed revision includes an application for a Zone Change as a concurrent development permit, and that application individually complies with the substantive approval criteria in Article II for that application. The Planning Commission therefore concludes that Criterion No. 7 has been satisfied.

H. IN THE MATTER OF AN APPLICATION TO (1) CHANGE THE ZONING ON AN APPROXIMATE 0.62-ACRE PARCEL FROM SFR-10 TO MFR-30; (2) CHANGE THE ZONING ON AN APPROXIMATE 0.62-ACRE TRACT FROM SFR-6 TO SFR-10; AND (3) TO ADJUST THE BOUNDARY BETWEEN THE C-C AND I-L, AND THE I-L AND I-G ZONING DISTRICTS.

1. PURPOSE AND SCOPE OF THE APPLICATION

As introduced earlier, the subject application includes a request for a change of zone consisting of the 4 following:

- a. An approximate 9.8-acre tract of I-L zoning that will be changed to C-C, with an equal-sized tract of C-C zoning changed to I-L, as shown on Exhibit "11".
- b. An approximate 0.62-acre tract of SFR-10 zoning that will be changed to MFR-30 zoning, as shown on Exhibit "11".
- c. An approximate 0.62-acre tract of SFR-6 zoning that will be changed to SFR-10 zoning, as shown on Exhibit "11".

- d. An approximate 0.26-acre tract of I-L that will be changed to I-G, with an equal-sized tract of I-G zoning changed to I-L, as shown on Exhibit “11”.

2. BACKGROUND INFORMATION

The proposed zone change follows and is consistent with a relocation of the Commercial, General Industrial, Heavy Industrial, Urban High Density Residential, and Urban Residential land use designations as shown on Exhibit “8:”. These designations are being relocated to better coincide with the PUD uses as proposed in the revised Preliminary PUD Plan.

According to the Medford Land Development Code, if a PUD has more than a single land use designation, those land use designations can be relocated or mixed in any manner and/or location as approved by the Planning Commission.

The proposal includes an additional land use designation, a small tract of approximately 0.62 acres of Urban High Density Residential, which is now part of the Stewart Meadows Golf Course on the west side of Myers Lane.

Exhibits “7” and “8” show both the existing and the resulting land use designation areas, represented by the zoning map.

3. RELEVANT ZONE CHANGE APPROVAL CRITERIA

MEDFORD LAND DEVELOPMENT CODE

ZONE CHANGE CRITERIA – SECTION 10.227

The approving authority (Planning Commission) shall approve a quasi-judicial zone change if it finds that the zone change complies with subsections (1) and (2) below:

1. *The proposed zone is consistent with the Transportation System Plan (TSP) and the General Land Use Plan Map designation. A demonstration of consistency with the acknowledged TSP will assure compliance with the Oregon Transportation Planning Rule. Where applicable, the proposed zone shall also be consistent with the additional locational standards of the below sections (1)(a), (1)(b), (1)(c), or (1)(d). Where a special area plan requires a specific zone, any conflicting or additional requirements of the plan shall take precedence over the locational criteria below.*

**** (omitted non-relevant code text)¹

¹ This omitted section, 1(a - e) contains the locational standards for the SFR and Commercial zoning districts, which do not apply to this application.

- b. *For zone changes to SFR-6 or SFR-10 where the permitted density is proposed to increase, one (1) of the following conditions must exist:*
 - i. *At least one (1) parcel that abuts the subject property is zoned the same as the proposed zone, either SFR-6 or SFR-10 respectively; or*
 - ii. *The area to be rezoned is five (5) acres or larger; or*
 - iii. *The subject property, and any abutting parcel(s) that is(are) in the same General Land Use Plan Map designation and is(are) vacant, when combined, total at least five (5) acres.*
- c. *For zone changes to any commercial zoning district, the following criteria shall be met for the applicable zoning sought:*
 - ii. *The overall area of the C-C zoning district shall be over three (3) acres in size and shall front upon a collector or arterial street or state highway. In determining the overall area, all abutting property(s) zoned C-C shall be included in the size of the district.*
- d. *For zone changes to any industrial zoning district, the following criteria shall be met for the applicable zoning sought:*
 - i. *The I-L zone may abut residential and commercial zones, and the General Industrial (I-G) zone. The I-L zone is ordinarily considered to be unsuitable when abutting the Heavy Industrial (I-H) zone, unless the applicant can show it would be suitable pursuant to (1)(e) below.*
 - ii. *The I-G zone may abut the Heavy Commercial (C-H), Light Industrial (I-L), and the Heavy Industrial (I-H) zones. The I-G zone is ordinarily considered to be unsuitable when abutting the other commercial and residential zones, unless the applicant can show it would be suitable pursuant to (1)(e) below.*

- e. *For purposes of (1)(c) and (1)(d) above, a zone change may be found to be "suitable" where compliance is demonstrated with one (1) or more of the following criteria:*
 - i. *The subject property has been sited on the General Land Use Plan Map with a GLUP Map designation that allows only one (1) zone;*
 - ii. *At least fifty percent (50%) of the subject property's boundaries abut zones that are expressly allowed under the criteria in (1)(c) or (1)(d) above;*
 - iii. *At least fifty percent (50%) of the subject property's boundaries abut properties that contain one (1) or more existing uses which are permitted or conditional uses in the zone sought by the applicant, regardless of*

*whether the abutting properties are actually zoned for such existing uses;
or*

- iv. Notwithstanding the definition of "abutting" in Section 10.012 and for purposes of determining suitability under Section (1) (e), the subject property is separated from the "unsuitable" zone by a public right-of-way of at least sixty (60) feet in width.*
- 2. It shall be demonstrated that Category A urban services and facilities are available or can and will be provided, as described below, to adequately serve the subject property with the permitted uses allowed under the proposed zoning, except as provided in subsection (c) below. The minimum standards for Category A services and facilities are contained in Section 10.462 and Goal 2 of the Comprehensive Plan "Public Facilities Element" and Transportation System Plan.*
 - a. Storm drainage, sanitary sewer, and water facilities must already be adequate in condition, capacity, and location to serve the property or be extended or otherwise improved to adequately serve the property at the time of issuance of a building permit for vertical construction.*
 - b. Adequate streets and street capacity must be provided in one (1) of the following ways:*
 - i. Streets which serve the subject property, as defined in Section 10.461(2), presently exist and have adequate capacity; or*
 - ii. Existing and new streets that will serve the subject property will be improved and/or constructed, sufficient to meet the required condition and capacity, at the time building permits for vertical construction are issued; or*
 - iii. If it is determined that a street must be constructed or improved in order to provide adequate capacity for more than one (1) proposed or anticipated development, the Planning Commission may find the street to be adequate when the improvements needed to make the street adequate are fully funded. A street project is deemed to be fully funded when one (1) of the following occurs:*
 - a. the project is in the City's adopted capital improvement plan budget, or is a programmed project in the first two (2) years of the State's current STIP (State Transportation Improvement Plan), or any other public agencies adopted capital improvement plan budget; or*
 - b. when an applicant funds the improvement through a reimbursement district pursuant to the MLDC. The cost of the improvements will be either the actual cost of construction, if constructed by the applicant, or the estimated cost. The "estimated cost" shall be 125% of a professional engineer's estimated cost that has been*

approved by the City, including the cost of any right-of-way acquisition. The method described in this paragraph shall not be used if the Public Works Department determines, for reasons of public safety, that the improvement must be constructed prior to issuance of building permits.

- iv. When a street must be improved under (b)(ii) or (b)(iii) above, the specific street improvement(s) needed to make the street adequate must be identified, and it must be demonstrated by the applicant that the improvement(s) will make the street adequate in condition and capacity.*
- c. In determining the adequacy of Category A facilities, the approving authority (Planning Commission) may evaluate potential impacts based upon the imposition of special development conditions attached to the zone change request. Special development conditions shall be established by deed restriction or covenant, which must be recorded with proof of recordation returned to the Planning Department, and may include, but are not limited to the following:
 - i. Restriction of uses by type or intensity; however, in cases where such a restriction is proposed, the Planning Commission must find that the resulting development pattern will not preclude future development, or intensification of development, on the subject property or adjacent parcels. In no case shall residential densities be approved which do not meet minimum density standards.*
 - ii. Mixed-use, pedestrian-friendly design which qualifies for the trip reduction percentage allowed by the Transportation Planning Rule.*
 - iii. Transportation Demand Management (TDM) measures which can be reasonably quantified, monitored, and enforced, such as mandatory car/van pools.**

4. FINDINGS

The Planning Commission has considered the following facts, which are fundamental in making their decision regarding the subject application.

ZONE CHANGE CRITERIA – SECTION 10.227

Criterion No. 1

The approving authority (Planning Commission) shall approve a quasi-judicial zone change if it finds that the zone change complies with subsections (1) and (2) below:

- 1. The proposed zone is consistent with the Transportation System Plan (TSP) and the General Land Use Plan Map designation. A demonstration of consistency with the acknowledged TSP will assure compliance with the Oregon Transportation Planning Rule. Where applicable, the proposed zone shall also*

be consistent with the additional locational standards of the below sections (1)(a), (1)(b), (1)(c), or (1)(d). Where a special area plan requires a specific zone, any conflicting or additional requirements of the plan shall take precedence over the locational criteria below.

**** (omitted non-relevant code text)²

- b. For zone changes to SFR-6 or SFR-10 where the permitted density is proposed to increase, one (1) of the following conditions must exist:
 - i. At least one (1) parcel that abuts the subject property is zoned the same as the proposed zone, either SFR-6 or SFR-10 respectively; or
 - ii. The area to be rezoned is five (5) acres or larger; or
 - iii. The subject property, and any abutting parcel(s) that is(are) in the same General Land Use Plan Map designation and is(are) vacant, when combined, total at least five (5) acres.
- c. For zone changes to any commercial zoning district, the following criteria shall be met for the applicable zoning sought:
 - ii. The overall area of the C-C zoning district shall be over three (3) acres in size and shall front upon a collector or arterial street or state highway. In determining the overall area, all abutting property(s) zoned C-C shall be included in the size of the district.
- d. For zone changes to any industrial zoning district, the following criteria shall be met for the applicable zoning sought:
 - i. The I-L zone may abut residential and commercial zones, and the General Industrial (I-G) zone. The I-L zone is ordinarily considered to be unsuitable when abutting the Heavy Industrial (I-H) zone, unless the applicant can show it would be suitable pursuant to (1)(e) below.
 - ii. The I-G zone may abut the Heavy Commercial (C-H), Light Industrial (I-L), and the Heavy Industrial (I-H) zones. The I-G zone is ordinarily considered to be unsuitable when abutting the other commercial and residential zones, unless the applicant can show it would be suitable pursuant to (1)(e) below.

Findings of Fact

As discussed earlier, the PUD revision includes a relocation of land use designations as is permitted by Section 10.230(8), "unless otherwise

² This omitted section, 1(a - e) contains the locational standards for the SFR and Commercial zoning districts, which do not apply to this application.

prohibited. PUDs that have more than one General Land Use Plan designation or Southeast Plan land use category shall have the flexibility to mix or relocate such designations within the boundaries of the PUD in any manner and/or location as may be approved by the Planning Commission. ”

Medford’s Comprehensive Plan, in its General Land Use Plan Element, states that for the Urban Residential land use designation, “*the zoning districts permitted in this designation are MFR-20 and MFR-30 (Multiple-Family Residential – 20 to 30 units per gross acre)*” and that SFR-10 is a permitted zone in the Urban Residential designation.

Exhibit “12” illustrates the rezoning of a small 0.62-acre area from SFR-6 to SFR-10 with an equal-sized area from SFR-10 to MFR-30. The two changes coincide with a relocation between a 0.62-acre tract of Urban High Density Residential and an equal-size tract of Urban Residential.

The parcel being changed to SFR-10 abuts additional land of approximately 22 acres that is already zoned SFR-10. There are no locational standards for the MFR-30 zone.

As shown on Exhibit “12”, the applicant proposes to relocate an approximate 9.8-acre area of C-C zoning with an equal-size area of I-L zoning to coincide with a relocation of like-size tracts of the Commercial and General Industrial land use designations. As discussed earlier, the land use designations are permitted to be relocated within a PUD.

The overall size of the C-C-zoned area remains at more than 22 acres, and continues to front upon Garfield Avenue, a designated major arterial street.

The I-L zoning district continues to maintain an area of approximately 35 acres and abuts the SFR-10 residential zone, the C-C commercial zone, and the General Industrial zone. It does not abut the I-H zoning district.

The I-G zone will continue to abut only the I-L zone.

Conclusions of Law

Based on the above findings, the Planning Commission concludes that the proposed zone changes from I-L to C-C, from C-C to I-L, from SFR-6 to SFR-10, from SFR-10 to MFR-30, from I-G to I-L, and from I-L to I-G are consistent with Medford’s General Land Use Plan map as modified by the subject Preliminary PUD Plan revision application and the locational standards of the Code. The following section address the zone change’s consistency with the Transportation System Plan.

The Planning Commission thus concludes that Criterion No. 1 has been met.

Criterion No. 2

2. *It shall be demonstrated that Category A urban services and facilities are available or can and will be provided, as described below, to adequately serve the subject property with the permitted uses allowed under the proposed zoning, except as provided in subsection (c) below. The minimum standards for Category A services and facilities are contained in Section 10.462 and Goal 2 of the Comprehensive Plan "Public Facilities Element" and Transportation System Plan.*
 - a. *Storm drainage, sanitary sewer, and water facilities must already be adequate in condition, capacity, and location to serve the property or be extended or otherwise improved to adequately serve the property at the time of issuance of a building permit for vertical construction.*
 - b. *Adequate streets and street capacity must be provided in one (1) of the following ways:*
 - i. *Streets which serve the subject property, as defined in Section 10.461(2), presently exist and have adequate capacity; or*
 - ii. *Existing and new streets that will serve the subject property will be improved and/or constructed, sufficient to meet the required condition and capacity, at the time building permits for vertical construction are issued; or*
 - iii. *If it is determined that a street must be constructed or improved in order to provide adequate capacity for more than one (1) proposed or anticipated development, the Planning Commission may find the street to be adequate when the improvements needed to make the street adequate are fully funded. A street project is deemed to be fully funded when one (1) of the following occurs:*
 - a. *the project is in the City's adopted capital improvement plan budget, or is a programmed project in the first two (2) years of the State's current STIP (State Transportation Improvement Plan), or any other public agencies adopted capital improvement plan budget; or*
 - b. *when an applicant funds the improvement through a reimbursement district pursuant to the MLDC. The cost of the improvements will be either the actual cost of construction, if constructed by the applicant, or the estimated cost. The "estimated cost" shall be 125% of a professional engineer's estimated cost that has been approved by the City, including the cost of any right-of-way acquisition. The method described in this paragraph shall not be used if the Public Works Department determines, for reasons of public safety, that the improvement must be constructed prior to issuance of building permits.*

- iv. *When a street must be improved under (b)(ii) or (b)(iii) above, the specific street improvement(s) needed to make the street adequate must be identified, and it must be demonstrated by the applicant that the improvement(s) will make the street adequate in condition and capacity.*
- c. *In determining the adequacy of Category A facilities, the approving authority (Planning Commission) may evaluate potential impacts based upon the imposition of special development conditions attached to the zone change request. Special development conditions shall be established by deed restriction or covenant, which must be recorded with proof of recordation returned to the Planning Department, and may include, but are not limited to the following:*
 - i. *Restriction of uses by type or intensity; however, in cases where such a restriction is proposed, the Planning Commission must find that the resulting development pattern will not preclude future development, or intensification of development, on the subject property or adjacent parcels. In no case shall residential densities be approved which do not meet minimum density standards,*
 - ii. *Mixed-use, pedestrian-friendly design which qualifies for the trip reduction percentage allowed by the Transportation Planning Rule,*
 - iii. *Transportation Demand Management (TDM) measures which can be reasonably quantified, monitored, and enforced, such as mandatory car/van pools.*

Findings of Fact

The subject zone change is consolidated with, and is part of the revision to the Preliminary PUD Plan for Stewart Meadows Village PUD. As such, a review of that plan has been made by the departments and agencies that are responsible for determining whether the individual Category “A” public facilities can continue to be provided to serve the PUD. The City of Medford utilizes the time that City zoning is established or changed to analyze the ability of Category “A” public facilities to be able to provide their services to the subject area.

The proposed zone change is composed of four parts, two of which are simply adjustments of the boundaries separating two adjacent zones (C-C/I-L, and the I-L/I-G) with the areas of the resultant zoning districts remaining the same. Based upon the City’s policies for facility analysis, the impact upon the Category “A” facilities for those changes will be zero.

The zone change of 0.62 acres along Myers Lane from SFR-6 to SFR-10 has the potential to add up to 2 dwelling units to the parcel. From a traffic standpoint, those 2 dwelling units would generate approximately 20 ADT.

Likewise, the zone change of 0.62 acres west of Myers Lane from SFR-10 to MFR-30 has the potential to add up to 12 dwelling units, and generating approximately 80 ADT.

The combined total of 100 ADT is less than the 250 ADT threshold that the City of Medford uses to determine whether a change of zone will have a substantial impact upon adjacent street intersections. Therefore, the potential additional traffic generated by the proposed zone change will not affect the streets that serve the subject property, which are currently adequate.

Representatives of the Medford Public Works Department, which provides and maintains the public storm water facilities that serve the subject PUD, state that facilities are already adequate to serve the subject property. The Medford Water Commission, which provides and maintains the public water facilities the serve the subject PUD, state that facilities are already adequate to serve the subject property. Rogue Valley Sewer Service that provides and maintains the public sanitary sewer facilities that serve the PUD, state that facilities are already adequate to serve the subject property.

Conclusions of Law

Based on the above findings, the Planning Commission concludes that as all Category "A" urban facilities are available and will be provided to adequately serve the subject property, the Criterion has been met. The Planning Commission further concludes that as Criterion No. 1 and Criterion No. 2 have been met, the zone change, which includes the following components, is approved.

1. An approximate 9.8-acre tract of I-L zoning changed to C-C, with an equal-sized tract of C-C zoning changed to I-L, as shown on Exhibit "11".
- b. An approximate 0.62-acre tract of SFR-10 zoning changed to MFR-30 zoning, as shown on Exhibit "11".
- c. An approximate 0.62-acre tract of SFR-6 zoning changed to SFR-10 zoning, as shown on Exhibit "11".
- d. An approximate 0.26-acre tract of I-L changed to I-G, with an equal-sized tract of I-G zoning changed to I-L, as shown on Exhibit "11".

I. STIPULATIONS

In accordance with, and in order to insure that adequate transportation facilities serving the subject property are available, the applicant agrees to the following:

1. Street Intersection Improvements

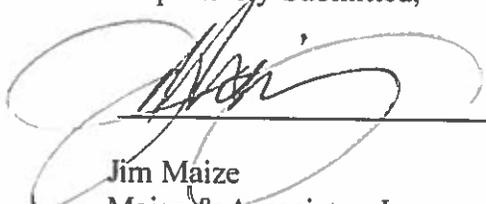
- The level of development shall be restricted to in accordance with the limitations as shown in the Traffic Impact Analysis completed by Sandow Engineering, dated November 22, 2016.

J. FINAL CONCLUSION

The Planning Commission concludes that based upon the findings included above, the application for a revision to the Preliminary PUD Plan for Stewart Meadows Village meets each and all of the relevant approval criteria found in Section 10.235 (D) of the Medford Land Development Code, and in accordance with that provision, the Planning Commission approves the subject application for a revision to the Preliminary PUD for Stewart Meadows Village PUD, as shown on Exhibit "2" and the accompanying exhibits submitted with this application, and including the following elements.

1. The addition of adjoining property to the PUD.
2. Add and modify buildings and uses.
3. Include a Sign Program.
4. Include additional Design Guidelines for the PUD.
5. Include a Residential, Commercial and Industrial parking analysis.
6. A Change of Zone of several tracts.

Respectively Submitted,



Jim Maize
Maize & Associates, Inc.

agent for applicant, KOGAP Enterprises, Inc.

Dated: January 8, 2017



Continuous Improvement Customer Service

CITY OF MEDFORD

LD Date: 2/22/2017

File Number: ZC-17-004

(Reference: PUD-06-141/LDS-08-016/AC-09-005/AC-12-012/AC-14-009/PUD-16-037 Revision/AC-16-044/PUD-17-003)

PUBLIC WORKS DEPARTMENT STAFF REPORT
Zone Change
Stewart Meadows Village PUD

Project: Consideration of a request for a change of zone on an approximate 0.62-acre tract from SFR-6 to SFR-10, an approximate 0.62-acre tract from SFR-10 to MFR-30, an approximate 0.26-acre tract from I-G to I-L, an approximate 0.26-acre tract from I-L to I-G, an approximate 9.8-acre tract from C-C to I-L, and an approximate 9.8-acre tract from I-L to C-C (371W31A TL 2802, 2000, 2190, 2200, 2300, 4000, 3900; 371W31D TL 200, 1001, 2500, 1000, 2501, 2800, 900, 2900, 3000; 371W32C TL 5503, 5400).

Location: Located on a resulting approximate 121-acre site bounded generally by Stewart Avenue, South Pacific Highway, Garfield Avenue, and Myers Lane, within an SFR-6, SFR-10, C-C, I-L and I-G zoning districts.

Applicant: KOGAP Enterprises, Inc., Applicant (Maize & Associates Inc., Agent).
Dustin Severs, Planner.

Applicability:

The Medford Public Works Department’s conditions of Preliminary Plan Approval for Stewart Meadows Village Planned Unit Development (PUD) were adopted by Order of the Medford Planning Commission on November 29, 2007 (PUD-06-141) and received a minor revision on March 26, 2009 by the Planning Commission, to include two new tax lots into the development and reconfigured the internal public street system. A Final PUD Plan for the development and landscaping of the realigned Hansen Creek restoration work, running through the PUD was approved by the Planning Director in May 2012 (Phase 1A). In 2013 the Planning Commission approved a revision to allow for modifications to the public rights-of-ways within the project. In 2014, the Planning Director approved the Final PUD Plan for Phase 1 that included essentially all of the proposed development west of Hansen Creek, which also included the architectural and landscape guidelines for the project. On June 2nd, 2016 the Planning Commission approved a revision to the approved Preliminary PUD Plan for Stewart Meadows Village (PUD-16-037) to

P:\Staff Reports\CP, DCA, & ZC\ZC only\2017\ZC-14-004 Stewart Meadows Village PUD (REV)\ZC-17-004 Staff Report-LD.docx Page 1

PUBLIC WORKS DEPARTMENT
ENGINEERING & DEVELOPMENT DIVISION

200 S. IVY STREET
MEDFORD, OREGON 97501
www.ci.medford.or.us

TELEPHONE (541) 774-2100
FAX (541) 774-2552

CITY OF MEDFORD
EXHIBIT # 5
File # PUD-17-003/ZC-17-004

incorporate additional property into the PUD boundary. The Medford Site Plan and Architectural Commission approved plans (AC-16-044) for a 66,837 square foot Medical Office Building (AC-16-044) on 5.7 acres located in Stewart Meadows Village PUD on July 1st, 2016. **The adopted conditions by each of these actions shall remain in full force as originally adopted except as amended or added to below.**

The Medford Land Development Code (MLDC), Section 10.227 (2) requires a zone change application demonstrate Category 'A' urban services and facilities are available or can and will be provided to adequately serve the subject property. The Public Works Department reviews zone change applications to assure the Category 'A' urban services and facilities under its jurisdiction meet those requirements. The Category urban services and facilities the Public Works Department manages are sanitary sewers within the City's sewer service boundaries, storm drains, and the transportation system.

I. Sanitary Sewer Facilities

This site lies within the Rogue Valley Sewer Service (RVSS) area. The applicant shall contact RVSS to see if sanitary sewer services and facilities are available and have capacity to serve these properties under the proposed zoning.

II. Storm Drainage Facilities

The City of Medford has existing storm drain facilities in the area. This site would be able to connect to these facilities at the time of development. This site will be required to provide stormwater quality and detention at time of development in accordance with MLDC, Section 10.729 and/or 10.486.

III. Transportation System

Public Works received a Traffic Impact Analysis (TIA) for Stewart Meadows PUD on November 22, 2016. Comments on the TIA were sent back to the Applicant's Engineer on December 30, 2016. We have not yet received a response to the comments sent on December 30, 2016. Due to the size of this TIA, we will need the revised report at least 4 weeks in advance of the hearing for adequate review time.

At the time of future land division or development permit, Public Works may require additional right-of-way and public utility easement (PUE) dedications and will condition the developer to improve their street frontage to the City's current standards. Improvements shall include paving, drainage, and curb, gutter, street lighting, sidewalk, and planter strips.

Prepared by: Doug Burroughs



Continuous Improvement Customer Service

CITY OF MEDFORD

LD Date: 2/22/2017

File Number: PUD-17-003

(Reference: PUD-06-141/LDS-08-016/AC-09-005/AC-12-012/AC-14-009/PUD-16-037 Revision/AC-16-044/ZC-17-004)

PUBLIC WORKS DEPARTMENT STAFF REPORT

Stewart Meadows Village *PUD REVISION*

Project: Consideration of a revision to the approved Preliminary PUD Plan for Stewart Meadows Village Planned Unit Development, including the addition of property, located on a resulting approximate 121-acre.

Location: The subject site is generally bounded generally by Stewart Avenue, South Pacific Highway, Garfield Avenue, and Myers Lane, within an SFR-6, SFR-10, C-C, I-L and I-G zoning districts (371W31A TL 2802, 2000, 2190, 2200, 2300, 4000, 3900; 371W31D TL 200, 1001, 2500, 1000, 2501, 2800, 900, 2900, 3000; 371W32C TL 5503, 5400).

Applicant: KOGAP Enterprises, Inc., Applicant (Maize & Associates Inc., Agent).
Dustin Severs, Planner.

Applicability: The Medford Public Works Department's conditions of Preliminary Plan Approval for Stewart Meadows Village Planned Unit Development (PUD) were adopted by Order of the Medford Planning Commission on November 29, 2007 (PUD-06-141) and received a minor revision on March 26, 2009 by the Planning Commission, to include two new tax lots into the development and reconfigured the internal public street system. A Final PUD Plan for the development and landscaping of the realigned Hansen Creek restoration work, running through the PUD was approved by the Planning Director in May 2012 (Phase 1A). In 2013 the Planning Commission approved a revision to allow for modifications to the public rights-of-ways within the project. In 2014, the Planning Director approved the Final PUD Plan for Phase 1 that included essentially all of the proposed development west of Hansen Creek, which also included the architectural and landscape guidelines for the project. On June 2nd, 2016 the Planning Commission approved a revision to the approved Preliminary PUD Plan for Stewart Meadows Village (PUD-16-037) to incorporate additional property into the PUD boundary. The Medford Site Plan and Architectural Commission approved plans (AC-16-044) for a 66,837 square foot Medical Office Building (AC-16-044) on 5.7 acres located in Stewart Meadows Village PUD on

July 1st, 2016. The adopted conditions by each of these actions shall remain in full force as originally adopted except as amended or added to below.

NOTE:

The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit or approval of a Final Plat, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention, if applicable.
- Completion of all public improvements, if required. The applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements would need to be approved by the Public Works Engineering Department prior to acceptance of security.
- Items A – E, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas
- Certification by the design engineer that the stormwater quality and detention system was constructed per the approved plan, if applicable.
- Completion of all public improvements, if applicable.

REVISION REQUESTS

- **The addition of adjoining property to the PUD.**
- **Add and modify buildings and uses.**
- **Include a Sign Program.**
- **Include additional Design Guidelines for the PUD.**
- **Include a Residential, Commercial and Industrial parking analysis.**

The Public Works Department has no objections to the revision requests stated above for the portion of Stewart Meadows Village PUD. They are described in more detail below as needed.

A. STREETS

1. Dedications

Garfield Street is classified as a Major Arterial street, and in accordance with Medford Land Development Code (MLDC) Section 10.428, requires a total right-of-way width of 100-feet. **No additional right-of-way is required.**

Anton Drive (from Garfield Street south approx. 1,150 feet) is classified as a Commercial street, and in accordance with MLDC Section 10.429, it requires a total right-of-way width of 63 feet. **No additional right-of-way is required.**

South Pacific Highway (Highway 99) is under the jurisdiction of the Oregon Department of Transportation (ODOT). The Developer shall contact ODOT to see if additional right-of-way is required.

New streets as shown on the Tentative Plat in which any portion terminates at the boundary line of a phase of this PUD shall be dedicated to within one foot of the boundary line, and the remaining one foot shall be granted in fee, as a **non-access reserve strip** to the City of Medford per MLDC 10.439.

In accordance with MLDC, Section 10.471, the property owner shall **dedicate 10-foot wide Public Utility Easements (PUEs)** adjoining all lot lines abutting a street.

The right-of-way and easement dedications shall be submitted directly to the Engineering Division of the Public Works Department. The submittal shall include: the right-of-way and easement dedication, including an exhibit map; a copy of a current Lot Book Report, Preliminary Title Report, or Title Policy; a mathematical closure report (if applicable), and the Planning Department File Number; for review and City Engineer acceptance signature prior to recordation by the applicant. Releases of interest shall be obtained by holders of trust deeds or mortgages on the right-of-way and PUE area.

2. Public Improvements

a. Public Streets

Garfield Street and Anton Drive – All street section improvements have been completed in close conformance with current standards (re: P1213D and P1251D), including pavement, curb and gutter, street lights, and sidewalks. **No additional public improvements are required except as noted below under Section A(4), Transportation System.**

Highway 99 is under the jurisdiction of the ODOT. The Developer shall contact ODOT to see if any additional improvements are required.

b. Street Lights and Signing

No additional street lights or signs are required along Garfield Street or Anton Drive; however the Applicant shall consult with ODOT for lighting requirements along Highway 99.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer's contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided by Medford Public Works Department and paid for by Developer.

c. Pavement Moratoriums

There is a pavement cutting moratorium currently in effect along this frontage to Garfield Street

which is set to expire July 31st 2020. No pavement moratoriums are currently in effect along the other street frontages to this development.

Pavement maintenance for Highway 99 is under the jurisdiction of ODOT. The developer shall be responsible to obtain information from ODOT as to pavement cutting moratoriums that may be currently in effect.

The developer shall be responsible for notifying by certified letter all utility companies, as well as all current property owners of parcels which are adjacent to any Public Street being constructed or paved as part of this project. The letter shall inform the utility companies and property owners of the City's street moratorium policy with respect to pavement cutting for future utility services. The utility companies and property owners shall be given the opportunity to install utility services within the right-of-way prior to paving and the subsequent moratorium. Notifications shall be mailed by the Developer at least 6 months before a street is resurfaced or rebuilt per Medford Municipal Code (MMC), Section 3.070. Copies of the certifications shall be submitted to the City Engineer with the submittal of the preliminary construction drawings.

3. Access and Circulation

Driveway access and circulation to and through the proposed development shall comply with MLDC 10.550 and 10.426. There shall be no additional driveway access directly onto Garfield Street from this site.

4. Transportation System

Public Works received a Traffic Impact Analysis (TIA) for Stewart Meadows PUD on November 22, 2016. Comments on the TIA were sent back to the Applicant's Engineer on December 30, 2016. We have not yet received a response to the comments sent on December 30, 2016. Due to the size of this TIA, we will need the revised report at least 4 weeks in advance of the hearing for adequate review time.

The Traffic Section requests the following modifications be implemented and/or addressed:

- The existing driveway on the north side of Garfield Street, east of Anton Drive, which is not being used in the revised site plan, shall be removed and replaced with continuous curb, gutter, and sidewalk.
- The existing concrete median in Garfield Street shall be extended to the west so it ends at least 50-feet, preferably 100-feet, from the western curb line of the driveway approach shown on the south side of Garfield Street. The 100-foot criteria shall be used unless the queueing and blocking report in the final TIA shows that this would conflict with westbound left turn queues to Anton Drive.
- The driveways to the grocery store and residential parking lots along Meyers Lane have been offset in the revised site plan. These driveways should be directly opposite each other to increase vehicle and pedestrian safety.

5. Section 10.668 Analysis

To support a condition of development that an applicant dedicate land for public use or provide a public improvement, the Medford Code requires a nexus and rough proportionality analysis which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

10.668 Limitation of Exactions

Notwithstanding any other provisions of this Chapter 10, an applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless:

(1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose and that there is a rough proportionality between the burden of the exaction on the developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or

(2) a mechanism exists and funds are available to fairly compensate the applicant for the excess burden of the exaction to the extent that it would be a taking.

1. Nexus to a legitimate government purpose

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, emergency services and pedestrians. Further, these rights-of-way are used to provide essential services such as sanitary sewer, domestic water and storm drains to serve the developed parcels. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

2. Rough proportionality between the dedications and improvements, and the impacts of development.

No mathematical formula is required to support the rough proportionality analysis. Furthermore, benefits to the development resulting from the dedication and improvements when determining “rough proportionality” have been considered, including but not limited to: increased property values, intensification of use, as well as connections to municipal services and the transportation network.

As set forth below, the dedication recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development.

Garfield Street and Anton Drive:

Local street right-of-way dedication and construction requirements identified by the Public Works Department and required by the City are the minimum required to protect the public interest and are necessary for additional or densification of development in the City without

detracting from the common good enjoyed by existing properties. Developments are required to provide all internal local streets and half-street improvements to abutting streets, including associated right-of-way dedications, to ensure that new development and density intensification provides the current level of urban services and adequate street circulation is maintained.

Dedication of the Public Utility Easements (PUE) will benefit development by providing public utility services, which are out of the roadway and more readily available to each lot or building being served. The additional traffic of all modes of travel generated by this proposed development supports the dedication and improvements for all modes of travel and utilities. As indicated above, the area required to be dedicated for this development is necessary and roughly proportional to that required in similar developments to provide a transportation system that meets the needs for urban level services.

B. SANITARY SEWERS

This site lies within the Rogue Valley Sewer Service (RVSS) area. Contact RVSS for sanitary sewer connections.

C. STORM DRAINAGE

1. Hydrology

Prior to the first building permit, for Hansen Creek along the west boundary, a drainage and hydrology study must be prepared by a licensed Civil Engineer. The study must establish the water surface elevations for the 10 and 25 year events, and show the 100-year flood plain boundary and base flood elevations. The drainage study must verify the channel will convey the 25-year storm with 1-foot of freeboard, or improvements, proportional to the portion of the Creek within the property will be necessary to satisfy this requirement. No fill shall be allowed within the floodplain without a Flood Plain Permit from the Building Department.

2. Stormwater Detention and Water Quality Treatment

Development on this property shall be subject to stormwater detention in accordance with MLDC, Section 10.486, and water quality treatment in accordance with the Rogue Valley Stormwater Quality Manual per MLDC, Section 10.481. For developments over five acres, Section 10.486 requires that the development set a minimum of 2% of the gross area as open space to be developed as open ponds for stormwater detention and treatment.

Upon completion of each project, the developer's design engineer shall provide written certification to the Engineering Division that construction of the controlled storm water release drainage system was constructed per plan. This letter shall be received by the City of Medford Public Works Engineering Department prior to certificate of occupancy of the new building.

3. Wetlands

The Developer shall contact the Division of State Lands for the approval and/or clearance of the subject property with regards to wetlands and/or waterways, as they are present on the site.

4. Erosion Control

Developments of one acre and greater require a run-off and erosion control permit from DEQ. The approved permit must be submitted to the Engineering Division prior to any improvement plan approval.

5. Easements

Developer shall provide the following easements:

- A Creek easement to be a minimum of 20-feet from centerline of the Creek.

D. SURVEY MONUMENTATION

All survey monumentation shall be in place, field-checked, and approved by the City Surveyor prior to the final "walk-through" inspection of the public improvements by City staff.

E. GENERAL CONDITIONS

1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the Public Works Engineering office.

2. Construction Plans

Construction drawings for any public improvements for this project shall be prepared by a professional engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Construction drawings for public improvements shall be submitted only for the improvements to be constructed with each phase. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets, minimum access drives, sanitary sewers, storm drains, and street lights as required by the governing commission's Final Order, together with all pertinent details and calculations. A checklist for public improvement plan submittal can be found on the City of Medford, Public Works web site (<http://www.ci.medford.or.us/Page.asp?NavID=3103>). The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

In order to properly maintain an updated infrastructure data base, the Surveyor of Record shall submit an as-built survey prior to the Final Inspection and, the Engineer of Record shall submit mylar "as-constructed" drawings to the Engineering Division within sixty (60) calendar days of

the Final Inspection (walk through). Also, the engineer shall coordinate with the utility companies, and show all final utility locations on the "as built" drawings.

3. Phasing

The Preliminary PUD Plan shows that this development will be developed in phases. The public improvements corresponding to a particular phase shall be constructed at the time such phase is being developed, and the public improvements that are not included within the geometric boundaries of any phase being developed, but are needed to serve each respective phase, shall be constructed with each phase as needed.

4. Construction and Inspection

Contractors proposing to do work on public streets, sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit to perform from the County.

The City Public Works Maintenance Division requires that public sanitary sewer and storm drain mains be inspected by video camera prior to acceptance of these systems by the City.

The developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

5. Draft of Final Plat

The developer shall submit 2 copies of the preliminary draft of the final plat at the same time the public improvement plans (3 copies) are submitted. Neither lot number nor lot line changes shall be allowed on the plat after that time, unless approved by the City and all utility companies.

6. Permits

Building Permit applications shall not be accepted by the Building Department until the Final Plat has been recorded, and a "walk through" inspection has been conducted and approval of all public improvements as required by the Planning Commission has been obtained for this development.

Concrete or block walls built within a P.U.E., or within sanitary sewer or storm drain easements require review and approval from the Engineering Division of Public Works. Walls shall require a separate permit from the Building Department and may also require certification by a professional engineer.

Excavation and private plumbing shall require a separate permit from the Building Department.

7. System Development Charges (SDCs)

Buildings in this development are subject to sewer treatment and street systems development

charges. These SDC fees shall be paid at the time individual building permits are taken out.

This development is also subject to storm drain system development charges, the Developer is eligible for storm drain system development charge credits for the installation of storm drain pipe which is 24 inches in diameter or larger and is not used for storm drain detention in accordance with Medford Municipal Code (MMC), Section 3.891. The storm drain system development charge shall be collected at the time of the approval of the final plat.

Prepared by: Doug Burroughs

SUMMARY CONDITIONS OF APPROVAL

Stewart Meadows Village – PUD REVISION

PUD 17-003

A. Streets

1. Street Dedications to the Public:

- **Garfield Street** – No dedications are required for this development.
- **Anton Drive (south of Garfield Street)** – No dedications are required for this development.
- **Highway 99** – Contact Oregon Department of Transportation (ODOT).
- Dedicate 10 foot public utility easements (PUE).

2. Improvements:

a. Public Streets

- **Garfield Street** and **Anton Drive** improvements have been completed.
- **Highway 99** – Contact Oregon Department of Transportation (ODOT).

b. Lighting and Signing

- No additional street lights are required.

c. Access and Circulation

- Driveway access to the proposed development site shall comply with MLDC 10.550 & 10.426.

d. Other

- There is a pavement cutting moratorium currently in effect on Garfield Street.
- Remove unused driveway on Garfield Street and replace with curb and gutter.
- Extend the existing concrete median on Garfield Street.
- Align Driveways taking access off the easterly portion of Meyers Lane.

B. Sanitary Sewer:

- Contact RVSS for sanitary sewer connections.

C. Storm Drainage

- Provide an investigative drainage report.
- Provide water quality and detention facilities.
- Provide a comprehensive grading plan.
- Provide storm drain laterals to each tax lot.
- Provide DSL signoff if wetlands are present.
- Provide Erosion Control Permit from DEQ.
- Provide an easement for Hansen Creek.

D. Survey Monumentation

- Provide all survey monumentation.

E. General Conditions

- Provide public improvement plans and drafts of the final plat.
- Building permits will not be issued until after final plat approval.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.



BOARD OF WATER COMMISSIONERS
Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: PUD-17-003 & ZC-17-004 Revision

PARCEL ID: 371W31A TL 2802, 2000, 2190, 2200, 2300, 4000, 3900; 371W31D TL 200, 1001, 2500, 1000, 2501, 2800, 900, 2900, 3000; 371W32C TL 5503, 5400

PROJECT: Consideration of a revision to the approved Preliminary PUD Plan for Stewart Meadows Village ZC-17-004 Planned Unit Development, including the addition of property, located on a resulting approximate 121-acre site bounded generally by Stewart Avenue, South Pacific Highway, Garfield Avenue, and Myers Lane, within an SFR-6, SFR-10, C-C, I-L and I-G zoning districts, including a request for a change of zone on an approximate 0.62-acre tract from SFR-6 to SFR-10, an approximate 0.62-acre tract from SFR-10 to MFR-30, an approximate 0.26-acre tract from I-G to I-L, an approximate 0.26-acre tract from I-L to I-G, an approximate 9.8-acre tract from C-C to I-L, and an approximate 9.8-acre tract from I-L to C-C.

DATE: February 22, 2017

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. All water facility improvements shall be per previous MWC Staff Memo for City of Medford Planning application PUD-16-141.
4. Applicants' civil engineer shall coordinate with MWC engineering staff for all water facility improvements to serve individual parcels.

COMMENTS

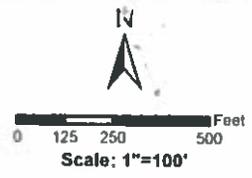
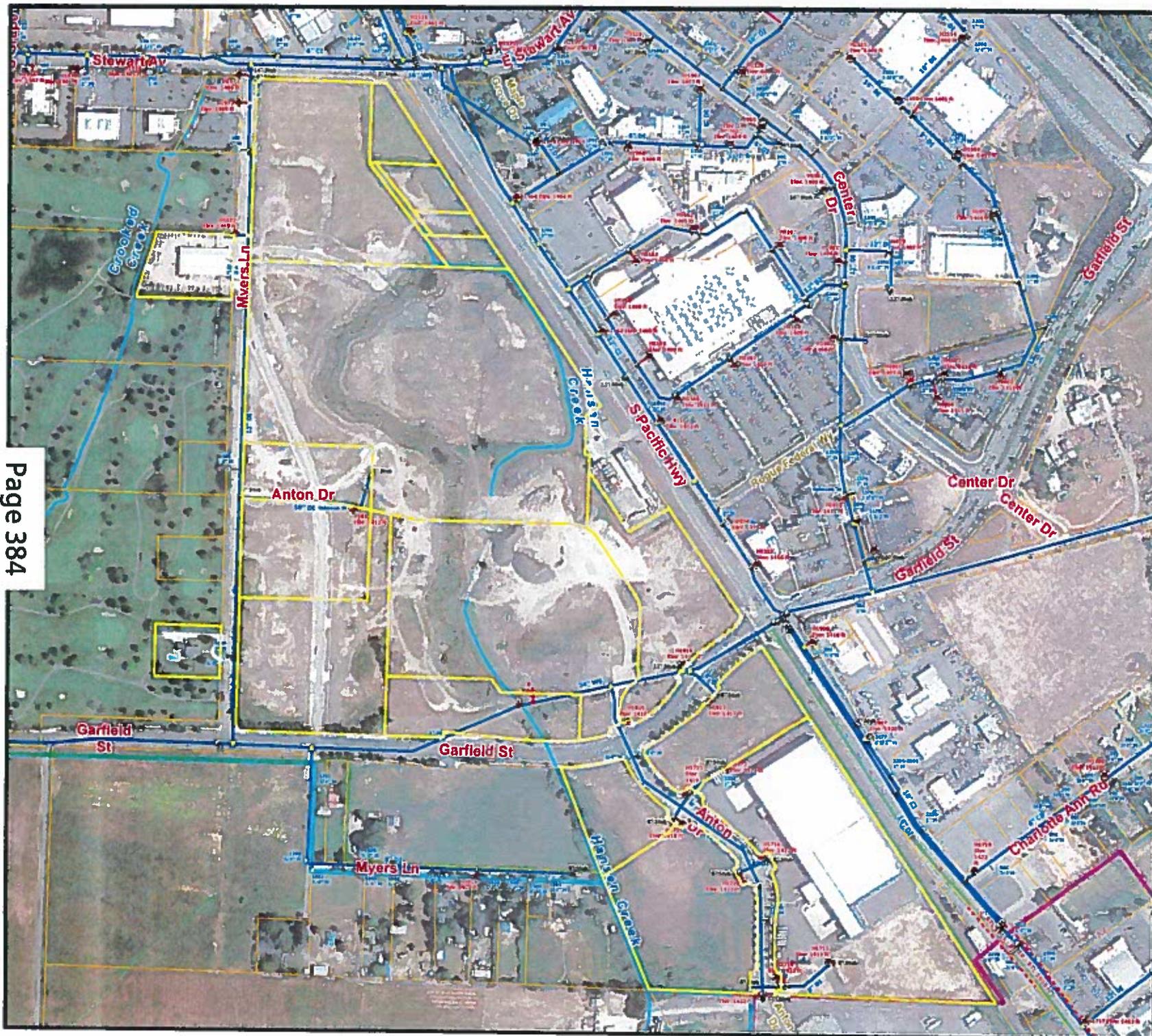
1. The MWC system does have adequate capacity to serve this property.
2. Off-site water line installation is not required.

Continued to next page



Continued from previous page

3. On-site water facility construction will be required at time of future site development of individual parcels within this PUD.
4. MWC-metered water service does exist to the currently under construction Medical Office Building at the northeast corner of this development.
5. Access to MWC water lines is available. All water lines in Meyers Lane and all "public" water lines have been installed in the new streets within this development. All new water lines are 12-inches in diameter. (See Condition 3 above)
6. All paving on this project is required to be completed prior to Medford Water Commission accepting facilities into our inventory. Applicants' contractor shall coordinate with MWC inspectors to verify all new valves, water meters, air valves, fire hydrants, and fire service vaults have been adjusted to finished grade and are full functioning.



Water Facility Map for PUD-17-003 & ZC-17-004

Legend

- Air Valve
- Sample Station
- Fire Service
- Hydrant
- Reducer
- Blow Off
- Plugs-Caps
- Water Meters:**
 - Active Meter
 - On Well
 - Unknown
 - Vacant
- Water Valves:**
 - Butterfly Valve
 - Gate Valve
 - Tapping Valve
- Water Mains:**
 - Active Main
 - Abandoned Main
 - Reservoir Drain Pipe
 - Pressure Zone Line
- Boundaries:**
 - Urban Growth Boundary
 - City Limits
 - Tax Lots
- MWC Facilities:**
 - Control Station
 - Pump Station
 - Reservoir



This map is based on a digital database compiled by Medford Water Commission & generated from a variety of sources. Medford Water Commission cannot be held responsible for errors or omissions in printing or on-screen. There are no warranties, express or implied.



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Dustin Severs

LD Meeting Date: 02/22/2017

From: Greg Kleinberg

Report Prepared: 02/21/2017

Applicant: ., Applicant (Maize & Associates Inc., Agent)

File #: PUD - 17 - 3

Associated File #'s: ZC - 17 - 4

Site Name/Description: Stewart Meadows Village

Consideration of a revision to the approved Preliminary PUD Plan for Stewart Meadows Village Planned Unit Development, including the addition of property, located on a resulting approximate 121-acre site bounded generally by Stewart Avenue, South Pacific Highway, Garfield Avenue, and Myers Lane, within an SFR-6, SFR-10, C-C, I-L and I-G zoning districts, including a request for a change of zone on an approximate 0.62-acre tract from SFR-6 to SFR-10, an approximate 0.62-acre tract from SFR-10 to MFR-30, an approximate 0.26-acre tract from I-G to I-L, an approximate 0.26-acre tract from I-L to I-G, an approximate 9.8-acre tract from C-C to I-L, and an approximate 9.8-acre tract from I-L to C-C. (371W31A TL 2802, 2000, 2190, 2200, 2300, 4000, 3900; 371W31D TL 200, 1001, 2500, 1000, 2501, 2800, 900, 2900, 3000; 371W32C TL 5503, 5400); Kogap Enterprises, Inc., Applicant (Maize & Associates Inc., Agent). Dustin Severs, Planner.

DESCRIPTION OF CORRECTIONS	REFERENCE
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Requirement	ADDITIONAL REQUIREMENTS/COMMENTS	MEDFORD	OTHER
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Same requirements as PUD-06-141 and PUD-16-037.

Requirement	AERIAL APPARATUS ACCESS	OFC	D105
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Ensure the two 4-story apartment buildings have proper aerial apparatus access roads.

SECTION D105-AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 Where required. Buildings or portions of buildings or facilities exceeding 30 feet (9144 mm) in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway.

D105.2 Width. Fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm) in the immediate vicinity of any building or portion of building more than 30 feet (9144 mm) in height.

D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building.

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.



ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 7502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

February 24, 2016

City of Medford Planning Department
200 S. Ivy Street
Medford, Oregon 97501

Re: PUD-17-003/ZC-17-004, Stewart Meadows Village PUD (37 1W 31A – 2000, 2190, 2200, 2802, 2300, 4000, 3900; 37 1W 31D – 200, 1000, 1001, 2500, 2501, 2800, 900, 2900, 3000; 37 1W 32C – 5503, 5400)

Ref: PUD-16-037, ZC-16-066

ATTN: Dustin,

There is a public 18 inch sewer main flowing west to east across tax lot 2800, a private 8 inch sewer flowing south to north across tax lots 4000 and 2800 and a public 8 inch main from south to north in Myers Lane. There is also an 18 inch sewer main along Anton Drive south of Garfield Avenue. Adequate sewer capacity exists to serve the proposed development.

Currently, Stewart Meadows Village (SMV) PUD - Phase 1 sewer improvements are partially constructed and have not been accepted by RVSS. Constructed portions include, new 12 inch and 8 inch sewer along Myers Lane and Anton Drive as well as an 8 inch main to the Providence Medical Building. Stewart Meadows Village PUD - Phase 2 plans have been approved for construction.

Rogue Valley Sewer Services requests that approval of the proposed development be subject to the following conditions:

1. Any revisions and/or additions to the existing Stewart Meadows Village sewer plans must be submitted to RVSS for approval.
2. The developer must construct and/or complete all sewer main lines in accordance with RVS standards.
3. The new sewer mains must be accepted as a public facility by RVSS prior to the issuance of building permits.
4. New sewer mainlines constructed on private property will require easements and continuous access to all manholes and cleanouts per RVSS standards.
5. The developer must locate and abandon the existing service laterals at the property line when the existing buildings are removed.

Feel free to call me if you have any questions regarding this project.

Sincerely,

Nicholas R. Bakke

Nicholas R. Bakke, P.E.
District Engineer

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Planning Department

Working with the community to shape a vibrant and exceptional city

MEMORANDUM

Subject Stewart Meadows Village Revision
File no. PUD-17-003 and ZC-17-004
To Dustin Severs, Planner II
From Carla Angeli Paladino, Planner IV, Floodplain Coordinator
Date February 28, 2017

SITE CHARACTERISTICS

- Combination of zoning districts existing and proposed including Community Commercial, Light Industrial, General Industrial, Single-Family Residential-10, and Multiple Family Residential-30
- Crooked Creek floodplain along northern portion of development
- Majority of floodplain is 0.2% annual chance of flood occurrence, Northwest corner contains 1% annual chance of flood occurrence
- Base Flood Elevations established along Crooked Creek
- Hansen Creek has been unearthed within development; Hansen Creek is not currently mapped on the FIRM
- FIRM panel 41029C 1986F effective May 3, 2011

FLOODPLAIN PERMIT REQUIREMENTS

Project Proposal

The proposed revisions including zone change modifications to portions of the development and the addition of property south of Garfield Street.

Floodplain Regulations

The Medford Floodplain regulations are found in Sections 9.701-9.707 of the Municipal Code. Floodplain permits and requirements will be addressed at the time of submittal of building permits. General floodplain comments regarding the project are provided below.

General Floodplain Comments

In order to minimize flood risk, the developers should consider relocating the structure proposed at the northwest corner of Stewart Avenue and Myers Lane outside of the 1% annual chance of flood occurrence. Relocation of the building outside of the flood hazard area may reduce costs associated with construction and long term flood insurance requirements.

The residential development proposed at 371W31A TL3900 (1390 Myers Lane) is located within the 1% annual chance of flood occurrence. The property is directly adjacent to Crooked Creek and is within the mapped riparian corridor of the creek. New structures are prohibited within the riparian corridor per Section 10.926. The riparian corridor regulations are found in 10.920 through 10.928. A redesign of the building layout may be necessary.

Hansen Creek alterations occurred during prior approvals of this development. Any correspondence from FEMA on these changes would be appreciated for the City's records.

Floodplain Permit

Submit a floodplain application and fee (\$75 (residential development) or \$150 (commercial development)) at the time of building permit submittal.

Submit copies of all necessary permits from other governmental agencies from which approval is required prior to start of construction.

Expiration of Floodplain Permit

A floodplain Development Permit shall become invalid unless work is started within 180 days after its issuance. Extensions for periods of not more than 180 days each shall be requested in writing.

Dustin J. Severs

From: SMITH David R <David.R.SMITH@odot.state.or.us>
Sent: Wednesday, March 01, 2017 5:35 AM
To: Dustin J. Severs
Cc: SMITH David R
Subject: RE: PUD 17-003/ZC-17-004 Revision (Stewart Meadows Village Revision)

Dustin – note comments below regarding proposed development. For something of this size I'd typically take a site visit down however we are on a travel restriction thus precluding an on-site assessment. Comments below.

- Recommend fencing along all shared ROW with RR/PUD
- No additional public crossings permitted as part of development
- Additional capacities and/or alterations to existing at-grade crossings require authorization through RPTD. This goes for pavement width, sidewalk modifications (ADA, for example), bike lanes, and so forth. If modifications were to be proposed the pavement width needs to be consistent for the approaches and through the crossing.

Thank you for the opportunity to comment.

David R Smith



ODOT Rail & Public Transit
Crossing Safety Unit
Mill Creek Building
555 13th St NE, Suite #3
Salem, OR 97301-4179

Ph. (503) 986-4095
Fx. (503) 986-3183
Email: David.R.SMITH@odot.state.or.us

From: Dustin J. Severs [<mailto:Dustin.Severs@cityofmedford.org>]
Sent: Friday, February 17, 2017 10:21 AM
To: SMITH David R
Subject: RE: PUD 17-003/ZC-17-004 Revision (Stewart Meadows Village Revision)

Mr. Smith,

There is plenty of time to comment, and we would appreciate any comments/concerns that ODOT can provide. This a revised PUD plan that was originally approved in 2007. Since that time, the project has underwent several revisions (which is common for PUD's of this magnitude). This application involves several internal modifications, and the addition of 34.12 acres of property to the PUD.

I searched the files of the original approval, and the subsequent revision requests, and found reports from ODOT concerning traffic, but none that addressed the rail facilities.



Oregon

Kate Brown, Governor

Oregon Department of Transportation
Region 3, District 8
100 Antelope Road
White City, OR 97503
(541) 774-6316
FAX (541) 774-6397

FILE CODE:

Date: February 28, 2017

File:

Address: Kelly Sandow PE
Sandow Engineering
160 Madison Street, Suite A
Eugene, OR 97402

Subject: Final Review Comments for Traffic Impact Analysis:
Stewart Meadows PUD Addendum Two Response to ODOT Comments

ODOT staff have reviewed the TIA and Response letter (dated 2/10/17) for Stewart Meadows PUD Addendum 2. In general, we concur with the conclusion stated in the TIA and the response letter. We have no further comments at this time.

Please contact me directly at 541-774-6316 if you have comments, questions, or require additional information regarding traffic engineering issues.

Sincerely,

Wei (Michael) Wang, P.E. & M.S.
Region 3 Development Review Traffic Engineer

RECEIVED

MAR 14 2017

PLANNING DEPT

CITY OF MEDFORD
EXHIBIT # 2
File # PUD-17-003/ZC-17-004



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FEB 28 2017
PLANNING DEPT.

Continuous Improvement Customer Service

PUBLIC WORKS DEPARTMENT
ENGINEERING & DEVELOPMENT DIVISION

CITY OF MEDFORD
200 SOUTH IVY STREET
MEDFORD, OREGON 97501
www.ci.medford.or.us

TELEPHONE (541) 774-2100
FAX (541) 774-2552

February 28, 2017

Sandow Engineering
160 Madison Street; Suite A
Eugene, OR 97402

We have received the letter regarding Stewart Meadows PUD TIA Addendum 2 Response to Comments, dated February 1, 2017 and have the following comments:

Regarding your response to comment #14 – While the model is a good tool for projecting general regional growth trends, local knowledge and engineering judgement must be applied when reviewing the model outputs. We often find that the model outputs do not make sense when applied to a smaller scale, like a specific intersection in the City of Medford. We do not believe the model is accurately reflecting the growth in certain movements at the following intersections:

- (3) Garfield at Holly – NBLT, NBTH, EBLT, EBRT, SBRT, and SBTH show negative growth. We expect people in the neighborhood to continue to use Holly Street to get north to Stewart Ave and beyond. We recommend that all NBLT, NBTH, EBRT, and SBTH traffic be shown to have the same volume in 2023 as in 2016. We also recommend that the EBLT and SBRT be grown at 1% per year which is approximately the same as the total growth shown on Holly southbound.
- (16) Barnett at Highland – WBLT, NBRT, and SBTH show very little or negative growth. These movements all serve I-5 freeway access and it does not seem to make sense that the demand will not increase over time given the historical trends. Review the attached historical turning movement counts for this intersection and use an appropriate growth rate to use to rebalance the future background volumes at this intersection.

Please respond to these comments and resubmit the report for review.

If you have questions, please contact me at (541) 774-2121.

Sincerely,

Peter Mackprang
Associate Traffic Engineer

CITY OF MEDFORD
EXHIBIT # AA
File # PUD-17-003/ZC-17-004



STEWART
MEADOWS
VILLAGE

SIGNAGE AMENDMENT
JANUARY 11, 2017



STEWART MEADOWS VILLAGE
A Mixed Use Development of KOGAP Industries

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E.

Signage PUD, January 11, 2017



Introduction

Stewart Meadows Village (SMV) is a master-planned multi-use park located west of Oregon Highway 99 (ODOT 99) between Garfield and Stewart Avenues. Garfield Avenue is one of three interchanges on Interstate 5.

Stewart Meadows Village contains over 103 acres of commercial, residential and industrial parcels which vary in size from a few to more than 13 acres each. The site is anticipated to be developed in phases over many years.

The main objective of this PUD signage program is to allow flexibility for Stewart Meadows Village while maintaining a high level of design quality. The program requests a new design philosophy and approach from the City of Medford for the use of identity and marketing signage that is competitive with Medford sign allowances in nearby projects that are similar in size. It will be a combination of adjusted existing codes, new codes, and the allowance of code overlays throughout the site. This new philosophy will allow uses within Stewart Meadows Village that are competitive within the local marketplace.

While this project includes four zoning districts (C-C/Community Commercial, I-L/Light Industrial, SFR-10/Single Family residential, and I-G/General Industrial), those zones will tend to overlap as the project develops. The regulations within this document are meant to "follow" that overlap in their application, particularly concerning Commercial sign standards, which will be allowed on all parcels.

These provisions in the PUD will enable the creation of a vibrant, dynamic, and creative signage program appropriate for Stewart Meadows Village along Highway 99, and where appropriate, within its "boundaries." This PUD provides creative options to enhance a visitor's experience within the site, and will open up possibilities for design and marketing within the Village.



A. Signage Intent

This document provides an avenue for the creative development of signage that is vibrant, charismatic and potentially unique in its approach. This document provides a general design framework to ensure that all signage designs are appropriate for the project as a whole. Signage should not only include text that identifies the name of the business but also incorporate the use of graphics and forms that provide identity, where appropriate, for the clients

As this project is primarily a suburban type of land use and tenant mix, signs will engage the vehicular visitor first from the highway, then through the arterial street system and finally through internal signage with a neighborhood type atmosphere. Long distance recognition and viewing opportunities will be accomplished by large-scale project and major tenant recognition of appropriate size to allow for safe driving along the highway and city streets.

Exterior to the site, signs shall generally conform to the requirements of Section 10 - Article 6 of the Medford Land Development Code, except where modified by the regulations contained herein. Interior signs on private parcel sites, lots, or private streets will not be regulated by the city, unless otherwise specified herein, except to the extent that electrical permits may be required by the City of Medford. All signs shall be regulated by the Signage Design Guidelines under the sole discretion of the Master Developer and/or its Assignee and the construction rules as adopted by the City of Medford.

These provisions are also meant to ensure a consistency in signage that protects the properties within the overall development for the uses and tenants' unique identities.

The regulations within this document shall not apply to signs erected or maintained by a governmental body including, but not limited to, traffic signs, warning signs, railroad crossing signs, and signs of a noncommercial nature required by public laws, ordinances, or statutes.

1. Sign Application

As a parcel is developed, the property owner/leased will need to submit a Master Sign Plan (MSP) for that parcel to the Master Developer and/or its Assignee. The MSP shall include drawings of all signs proposed

for the parcel. Freestanding signs shall include in-scale elevations of all sides, with overall dimensions, color, and material callouts. Wall signs shall be shown on the building elevation(s), as well as an in-scale detail drawing. A site plan shall show locations of all signs, and show property lines, setbacks, viewing triangles, etc.

Applications for signage that would otherwise require special use permits, exemption, or a Planning Commission or Site Plan & Architectural Commission approval for their use shall not require an amendment to this PUD. Instead, they will be reviewed and approved by the Architectural Review Committee (ARC) of the Master Developer and/or its Assignee.

Upon approval of the ARC, it will be the property owner/leasee's responsibility to apply for, and receive all required City of Medford sign and electrical permits.

B. Additional Allowable Signs

The following signs, as well as signs otherwise permitted by the City of Medford, shall be permitted:

- Facia-mounted Signs
- Full Color Printed Media Signs
- Blade Signs (arcade types)
- Banners - site, street and project
- Construction Fence Graphics/Scrims
- Painted Wall Signs (murals and tromp l'oeil)
- Window Graphic Signs
- Projecting Signs
- Electronic Message Center
- Kinetic Signs
- Sculptural Signs
- Exposed Neon (with ownership review)
- Marquee and Flag Mounted
- 3D Extensions
- Aerial View Signs
- Awning | Canopy Signs
- Roof Signs
- Off-Premise Signs

Comment [DJS3]: Per MLDC 10.251, Exceptions requests are not permitted for signs.

Comment [DJS4]: Signs requiring special use permits (e.g., CUP for electronic message sign within 150 of residential zone) will require approval through the applicable approving authority. Adoption of this Sign Amendment will not exempt the applicant from obtaining special use permits for signage.

Comment [DJS1]: Chapter

Comment [DJS5]: All temporary signs including, but not limited to, banners, shall require a temporary sign permit and display period is limited to 30 days and is renewable upon application, but shall not exceed four (4) permits in one (1) calendar year for each separate business.

Comment [DJS6]: Prohibited per MLDC 10.1100(3).

Comment [DJS7]: Prohibited per MLDC 10.1100(3).

Comment [DJS2]: Lessee

Comment [DJS8]: Prohibited per MLDC 10.1100.



C. Project Signage Types

1 Primary Project Monumentation

These are freestanding monuments that identify and help set the "tone" for the project. There will be two (2) monuments, both off of Highway 99. One will be at either western corner of 99 and Garfield Avenue, and the second will be along the highway south of Stewart Avenue. They are sized to highway vehicular scale, and will support the overall visual character of the development.

- Height of project lettering area is restricted to a maximum of nine (9) feet.
- Logofart component height is restricted to thirty-five (35) feet
- Maximum signage area is limited to two-hundred (200) square feet, including the immediate background

2 Secondary Project Monumentation

Secondary identification along Stewart Avenue and Garfield Avenue will occur as defined in the Signage Matrix. Smaller in scale than the primary monuments, these freestanding signs will incorporate similar materials as the Primary Monuments, and will also be designed to integrate with SMV's site walls, street lights, and wayfinding elements.

They are sized to vehicular scale, and will support the overall visual character of the development while identifying secondary entrances into the project.

2.1 Tower Monumentation

- Height is restricted to a maximum of sixteen (16) feet.
- Maximum signage area is limited to one-hundred (100) square feet for lettering and graphics, not including the immediate background.
- May include identity panels for major tenants

2.2 Low Profile Monumentation

- Height is restricted to a maximum of seven (7) feet.
- Maximum signage area is limited to eighty (80) square feet lettering and graphics, not including the immediate background
- May include identity panels for major tenants.

3 Project Directional/Wayfinding

This type of guide signage is allowed on roads interior to the project to direct visitors to their destinations. Vehicular and pedestrian oriented directionals can be used along Bower Drive, Myers Lane and Anton Drive, and any future internal arterial type of roads within the Center.

3.1 Project Directional/Directory Signs

In general, this signage will be sized for vehicular scale and follow the sizes and heights for community roadway standards and as defined in the Signage Matrix.

Wayfinding and directional signage shall be seamlessly integrated with the overall project identity signage design, using colors and materials that are appropriate for their signage type and use.

- All wayfinding signage will be primarily free-standing post and panels in form, or attached to street lighting furnishings.
- Height shall be limited to a maximum of nine (9) feet in height.
- Sign area shall be limited to a maximum of thirty-six (36) square feet in area

3.2 Street Graphics

Street Graphics may include art, site furniture, custom light fixtures, banners, and other elements that help to create a sense of place within Stewart Meadows Village.

Banners are incorporated into the development to provide color, seasonal graphics and developer/project identity and promotions. They are allowed throughout the project on major and minor streets and roadways, multi-use parking lots, storefronts and public spaces.

Banners may be fabricated in vinyl, nylon, or other fabrics with silk-screened, painted, printed, vinyl or other semi-permanent graphic applications.

Other art elements will be reviewed/approved on a case-by-case basis by the Master Developer and/or its Assignee.

3.3 Street Signs (Custom)

Developer Banners are allowed throughout the project on major and minor streets and roadways, multi-use parking lots, storefronts and public spaces. Banners are incorporated into the development to provide color, seasonal graphics and developer/project identity and promotions.

Comment [DJS9]: Any signage proposed within the Public rights-of-way will require review and approval through the Public Works Department.

Comment [DJS10]: Signage off of Highway 99 will require approval through the Oregon Department of Transportation (ODOT).

Comment [DJS11]: All temporary signs including, but not limited to, banners, shall require a temporary sign permit and display period is limited to 30 days and is renewable upon application, but shall not exceed four (4) permits in one (1) calendar year for each separate business.

Comment [DJS12]: All temporary signs including, but not limited to, banners, shall require a temporary sign permit and display period is limited to 30 days and is renewable upon application, but shall not exceed four (4) permits in one (1) calendar year for each separate business.



Banners are allowed in vinyl, nylon, fabrics with silk-screened, painted, printed, vinyl or other semi-permanent graphic applications.

3.4 Regulatory Signs (Custom)

Regulatory signs are used to provide information and regulations for vehicular and pedestrian traffic. Messages include speed limits, fire lane identity, parking regulations, etc. These signs will be based upon DOT standards for messages, reflectivity materials, etc., but will feature custom poles to blend with the project's sign family.

D. Tenant Signage Types

1 Parcel/Tenant Monuments

This type of freestanding signage is for ALL individual parcels that are either single owner/user facilities, or multiple buildings with shared parking, ingress, and egress locations.

Sign concepts are not depicted, and locations are not shown on the Project Sign Location Plan as they are specific to the individual parcel, its architectural design, materials and tenant type and needs. Standards and restrictions are identified in the signage matrix under Tenant Monument Signs.

The number and type of monument signs permitted on individual development parcels in Stewart Meadows Village are in addition to allowed building mounted signage.

a) Freestanding Signage General Requirements

- There shall be a minimum distance of one hundred (100) feet between the nearest Stewart Meadows Village Project Identification Monument and any adjacent parcel monument signage.
- There shall be a minimum of one-hundred and fifty (150) feet between any other identification signs on a parcel.
- If a parcel has more than one street front, the signage for each street shall be calculated independently from each other.
- Signs located on the frontage in which the parcel is addressed must include address numbers.
- All signs must comply with the visibility triangle restrictions at driveways as per the City of Medford standards.

b) Single or Multi-Use Corner Parcel Standards

Some corner parcels at key project entry points may have planned SMV Primary or Secondary Project monuments. For such parcels, the frontage reserved for those signs shall not be included in the calculation of the street frontage for tenant signs described in this section.

In addition to those monuments:

- Parcels with less than one hundred twenty (120) feet of frontage on either street (NOT including frontage for SMV monuments) may display one (1) Parcel/Tenant Secondary Monument per street front.
- Parcels with at least one hundred twenty (120) feet but less than three hundred feet (≥ 120 but $< 300'$) of frontage per street (NOT including frontage for SMV monuments) may have one (1) Parcel/Tenant Primary Monument, or two (2) Parcel/Tenant Secondary Monuments per street front.
- Parcels with more than three hundred (300) feet of frontage (NOT including frontage for SMV monuments) may display one (1) Parcel/Tenant Primary Monument, or two (2) Secondary Monuments for the first three hundred (300) feet, and one (1) Parcel/Tenant Secondary Monument for each additional full one-hundred fifty (150) feet of frontage per street.

c) Single User Non-Corner Parcel Standards

For parcels consisting of only one street front.

- Single tenant parcels with less than one hundred (100) feet of frontage may display one (1) Parcel/Tenant Secondary Monument.
- Single tenant parcels with between one hundred (100) and three hundred (300) feet of frontage may display one (1) Parcel/Tenant Primary Monument, or two (2) Parcel/Tenant Secondary Monuments.
- Single tenant parcels with more than three hundred (300) feet of frontage may display the same number and sizes of signs as a multiple-use parcel with the same frontage.

d) Multi-Use Non-Corner Parcel Standards

For parcels consisting of only one street front.

- Multi-tenant parcels with less than one hundred-twenty (120) feet of frontage may display one (1) multi-tenant Parcel/Tenant Secondary Monument.

Comment [DJS13]: Custom regulatory signs shall require review by the City of Medford Public Works Department, Fire Department, ODOT, or any other applicable approving authority, prior to approval.



- Multi-tenant parcels with between one hundred twenty (120) and three hundred (300) feet of frontage may display one (1) Parcel/Tenant Primary Monument, or two (2) Parcel/Tenant Secondary Monuments.
- Multi-tenant parcels with more than three hundred (300) feet of frontage may display one (1) Parcel/Tenant Primary Monument, or two (2) Secondary Monuments for the first three hundred (300 feet), and one (1) Parcel/Tenant Secondary Monument for each additional full one-hundred fifty (150) feet of frontage.

1.1 Commercial/Retail

- Parcel/Tenant Primary Monument: Maximum height and square footage are defined in the Sign Matrix. Quantities per parcel are noted in D1a, D1b, D1c, and D1d above.
- Parcel/Tenant Secondary Monument: Maximum height and square footage are defined in the Sign Matrix. Quantities per parcel are noted in D1a, D1b, D1c, and D1d above.
- With Master Developer's and/or its Assignee's approval, parcels of fifty (50) or more acres are allowed to use their corporate identity as the primary identifier with "Stewart Meadows Village" as the secondary message.

1.2 Professional Office

- Parcel/Tenant Primary Monument: Maximum height and square footage are defined in the Sign Matrix. Quantities per parcel are noted in D1a, D1b, D1c, and D1d above.
- Parcel/Tenant Secondary Monument: Maximum height and square footage are defined in the Sign Matrix. Quantities per parcel are noted in D1a, D1b, D1c, and D1d above.
- With Master Developer's and/or its Assignee's approval, parcels of fifty (50) or more acres are allowed to use their corporate identity as the primary identifier with "Stewart Meadows Village" as the secondary message.

1.3 Light/General Industrial

- Parcel/Tenant Primary Monument: Maximum height and square footage are defined in the Sign Matrix. Quantities per parcel are noted in D1a, D1b, D1c, and D1d above.

- Parcel/Tenant Secondary Monument: Maximum height and square footage are defined in the Sign Matrix. Quantities per parcel are noted in D1a, D1b, D1c, and D1d above.
- With Master Developer's and/or its Assignee's approval, parcels of fifty (50) or more acres are allowed to use their corporate identity as the primary identifier with "Stewart Meadows Village" as the secondary message.

1.4 Residential

- For multiple-family dwellings containing four or more dwelling units, one (1) sign not more than ten (10) square feet in area, either affixed to the building or free-standing is permitted. If free-standing, the sign shall not be located in any required yard area and shall not exceed four (4) feet in height and shall be mounted within a landscaped area or decorative planter. If affixed to the building, the sign may not project into a required yard area more than eighteen (18) inches. No part of any such sign shall be higher than the building height.

1.5 Quasi-Public/Institutional Facilities

Individual parcel developments located along primary/arterial roadways adjacent to the project are allowed freestanding monumentation signage in addition to building signage.

- Maximum height and square footage are defined in the Sign Matrix. One (1) sign per street frontage.

1.6 Specialty Signs

Specialty signs may occur within any zoning overlay, where appropriate for their use.

1.6.1 Menu Boards

Signs used to provide information and pricing for items available at a drive-through window. May be freestanding or wall mounted to the building.

- Number of Menu Boards: There shall be no more than two (2) menu boards per driveway to a drive-through window.
- Size of Menu Boards: No menu board shall be greater than twenty-four (24) square feet in area and have a height greater than six (6) feet above grade.
- Menu boards may be internally illuminated and include two-way communication to the building.

Comment [DJS14]: Size: maximum of 24 square feet. Height: maximum of 6 feet above finished grade.



1.6.2 On-Site Parcel Directionals

Signs that provide guidance to particular locations within a parcel.

Number of directional signs.

- a) There shall be no more than two (2) directional signs per driveway entrance to a lot or parcel, or multiple-use lot or parcel. Only one of these signs may include business identification. There shall be no limit on the number of directional signs interior to a site which do not include business identification.

Size of and amount of information on directional signs.

- a) No directional sign shall be greater than six (6) square feet in area and have a height greater than four (4) feet above grade. Information placed on the signs other than business name or logo, type of use, or directional arrows and/or informational copy shall only be included upon the approval of a comprehensive sign plan. No more than twenty-five (25) percent of the area of a directional sign may be devoted to business identification; such area shall not be assessed as business identification sign area.
- Directionals may be either internally, or non-illuminated.

1.6.3 Fuel Station Signs

- One additional ground sign per street frontage, not exceeding thirty (30) square feet in area and nine (9) feet in height is permitted on each parcel of land occupied by a fueling station. Such signs may not project into public right-of-way.

1.6.4 Aerial View Signs

For single use parcels of twenty five (25) acres or more that are designated as major tenants within the development, in addition to other permitted signs, one (1) aerial view sign is allowed. Such signs may be painted on, or otherwise applied directly to, the roof of the building associated with the tenant uses under the following conditions:

- The sign shall not be visible from the ground.
- The sign shall not be larger than one thousand (1000) square feet.
- The sign shall identify the facility only by the tenant's name and/or logo.

- The sign shall not be animated or directly or indirectly illuminated.

E. Tenant Building Signage

All building mounted signage types allowed in the current City of Medford signage ordinance, plus those outlined below, are allowed for tenant identification, if appropriate to the architectural design and theme of the tenant. Signage concepts exceeding these regulations will require the written approval by the Master Developer and/or its Assignees.

Tenant identification signs should be designed to fit the building elevation architecture and overall environment in scale, placement and style. Designs should complement the building's level of quality, and its color(s) and finishes, while providing contrast for readability.

Comment [DJS15]: Size: maximum of 24 square feet. Height: maximum of 6 feet above finished grade.

1 Retail Tenant Building Signage

All signs shall be calculated as part of a tenant's signage allotment unless noted otherwise.

1.1 Wall Signage

Each retail parcel shall create a Tenant Criteria Program for review and approval by the Master Developer and/or its Assignee that meet the following standards:

- Sign envelopes showing locations for all potential wall signs. Each envelope shall show its overall dimensions and potential square footage.
- Tenant identification signs should be designed to fit the storefront architecture and overall environment. Designs should complement the building color(s) and finish(es) but should provide contrast for readability, and level of quality.
- ~~Minimum allowed signage shall be fifty (50) square feet per elevation~~, and a maximum of one and one-half (1.5) square feet per lineal foot of tenant building frontage.
- Signage is allowed on the back side of retail tenant space when visible to other parking areas, primary or internal streets. Square footage shall be limited to one (1) square foot per each lineal foot of building elevation.
- Measures will be taken to use the most energy efficient and sustainable type of lighting sources.



a) ~~All storefront lighting should be installed and concealed when ever possible. Where fixtures are exposed, they should contribute to the overall composition of the store front(s). All exposed lighting fixtures and their intensity shall be subject to approval by the Landlord prior to applying for a signage permit.~~

b) ~~Tungsten and halogen sources over seventy (70) watts and incandescent sources over one hundred and fifty (150) watts will be fully shielded from any adjacent single family residential neighborhood.~~

1.2 Projecting Signs (Flag Mounted)

Projecting signs are those that hang or project more than twelve (12) inches from the building surface, and are typically perpendicular to the facade.

These signs are allowed only for retail oriented parcels and shall follow these standards:

- These signs are encouraged to be creative and relate thematically to the establishment of which it's advertising
- Projecting signs must be mounted a minimum of nine (9) feet above finished floor/sidewalk area and may not project into any public rights of way
- Signs must be mounted to the building and can not project off a building or piece of architecture more than seventy-two (72) inches or as appropriate for the design of the building and the tenant location, identity standards and its relevance to the site and project.

1.3 Awning/Canopy Signs

Awnings have non-rigid surfaces, such as fabrics, and may hang from a building. Canopies have rigid surfaces with an internal structure to maintain their shape. Both types are typically mounted parallel with the building/street frontage and are allowed signage and graphics on any and all surfaces if the structure has been approved in the architectural review process.

- "After thought" applications of awnings and/or canopies are not allowed. They must be integrated into the design of a building's architecture.
- Awnings may have graphics. The graphics shall be printed, silk screened, or factory painted on cloth type materials. Vinyl or plastic based materials may use high performance vinyl applied in the field.

- Canopies may have graphics. They may have hanging, surface mounted, top mounted or projecting letters off all surfaces of the structure.

1.4 Custom Cabinets

Creative designs and forms are encouraged. Unless part of a nationally registered and/or trademarked logo, rectangular shaped designs are prohibited without Owner's overriding approval.

These sign types are multiple layered and sided in design with a mix of opaque, translucent backgrounds and various types of lettering, and illumination methods, fabricated as single units.

Custom signs may be internally, externally, indirectly, or a combination of for illumination. When cabinet signs are used, the background surface(s) adjacent to the sign should be illuminated as well to provide definition of the signs form.

1.5 Roof Signs

~~Signs which break the silhouette of the roof line or are mounted on the slope of peaked roof, will be only allowed with Master-Developers and/or its Assignees approval.~~

~~Roof signs will only be allowed on retail oriented user buildings where the architecture theme and structures provides for an appropriate application and is a single use structure for parcels with twenty-five (25) acres or more.~~

1.5.5 Shingle/Arcade Signs

Retail and/or main-street type of developments may have shingle/arcade signs that advertise a business and help signify its entry for customers along covered pedestrian walkways.

- Each business will be allowed one shingle/arcade sign per patron entry point and shall be mounted directly over or adjacent to the entry point(s).
- Signs will be mounted under an arcade, canopy or awning depending upon the architectural design.
- Signs will be limited to six (6) square feet, and the lowest point must be mounted a minimum of eighty (80) inches above grade.
- Signs may have graphics on both sides so as to allow its reading from either direction. These signs do not count against a tenant's signage allotment.

Comment [DJS16]: All lighting shall comply with standards identified in MLDC 10.764.

Comment [DJS17]: All lighting shall comply with standards identified in MLDC 10.764.

Comment [DJS18]: Projecting signs shall comply with standards in MLDC 10.1700(3).

Comment [DJS20]: Prohibited per MLDC 10.1100.

Comment [DJS19]: Shall not project into public right-of-way.



1.71.6 Window Signage/Graphics

Window signs shall not exceed thirty (30) percent of each window area located on the ground floor of a building. Window areas separated by muntins or mullions shall be considered as one continuous windowpane.

Window signage intent should be to augment the display of merchandise and be scaled proportionately to the architecture and the physical window opening.

Incidental signage is also included in this area and is for the site identification, use of credit/debit cards, hours of operation etc. These signs do not count against tenant's signage allotment.

2 Office/Commercial Parcels

Each office/commercial/campus and/or corporate facility parcel shall create a Tenant Criteria Program for review and approval by the Master Developer and/or its Assignee.

2.1 Wall Signs

- Sign envelopes showing locations for all potential wall signs. Each envelope shall show its overall dimensions and potential square footage. Signage locations need not be located within tenant's leased space within the building.
- Any wall sign erected against a bearing or non-bearing wall connected to a building structure within building setback lines of the premises shall be permitted through design review to ensure integration of the wall and sign with the building. The area of such wall signs shall be deducted from the area permitted on the building wall to which the bearing or non-bearing wall is connected.
- Such wall signs may be directory signs.
- Each business/tenant shall be allowed a maximum of one and one-half (1 1/2) square footage for each one (1) linear foot of business elevations.
- Where business are set back more than 200 feet from the street, sign area may be increased to two (2) square feet for each one (1) linear foot of business frontage elevation.
- Calculations from one elevation are not allowed to be transferred to another.
- Signs on the rear elevations of buildings shall

be allowed the same ratios as noted above, per elevation.

3 Light/General Industrial Parcels

Each light/general industrial parcel developer shall provide a Tenant Criteria Program for review and approval by the Master Developer and/or its Assignee.

Comment [DJS21]: muntin

3.1 Wall Signs

- Sign envelopes showing locations for all potential wall signs. Each envelope shall show its overall dimensions and potential square footage. Signage locations shall be located within tenant's leased space within the building.
- Any wall sign erected against a bearing or non-bearing wall connected to a building structure within building setback lines of the premises shall be permitted through design review to ensure integration of the wall and sign with the building. The area of such wall signs shall be deducted from the area permitted on the building wall to which the bearing or non-bearing wall is connected.
- Such wall signs may be directory signs.
- Each business/tenant shall be allowed a maximum of one and one-half (1 1/2) square footage for each one (1) linear foot of business elevations.
- Where business are set back more than 200 feet from the street, sign area may be increased to two (2) square feet for each one (1) linear foot of business frontage elevation.
- Calculations from one elevation are not allowed to be transferred to another.
- Signs on the rear elevations of buildings shall be allowed the same ratios as noted above, per elevation.

4 Residential Parcels

4.1 Wall Signs

Single family residential parcels shall not have wall signs.

Multiple-family dwellings containing four or more dwelling units may have one (1) wall sign no more than ten (10) square feet in area.

- ~~Sign may be internally or externally illuminated.~~
- Signs may not extend above the roof line of the building.



5 Quasi-Public/Institutional Parcels

Each quasi-public/institutional parcel developer shall provide a sign package for review and approval by the Master Developer and/or its Assignee

5.1 Wall Signs

- Signs shall have a maximum twenty (20) square feet of area.
- Signs may be internally or externally illuminated.
- Signs may not extend above the roofline of the building

F. Temporary Signs

Site, sale and lease information for Stewart Meadows Village are controlled exclusively by the Master Developer and/or its Assignee for use in sales and marketing of development parcels.

1 Project Temporary Signs

1.1 Project Announcement Signs

Site, sale and lease information along the Pacific Highway (Hwy 99).

- May be placed within any parcel adjacent to the highway.
- Maximum height of twenty (20) feet, and a maximum area of four-hundred (400) square feet per sign.
- No more than three (3) signs total, with a minimum six-hundred (600) feet of space between signs

2 Tenant Temporary Signs

These regulations apply for all parcels within Stewart Meadows Village

2.1 On Site/Individual Parcel Sales Signs

Site, sale and lease information within and along perimeter and interior roadways.

- For parcels with less than twelve (12) acres, one (1) sign per street frontage with a maximum fifty (50) square feet of sign area.
- For parcels with twelve (12) acres or more, two (2) signs on the longest street frontage, with a minimum one-hundred (100) separation, and one (1) sign on any other street frontage. There is a maximum aggregate of two-hundred (200) square feet for all such signs, with no one sign being over

one-hundred (100) square feet in area.

2.2 Construction Signs

On site information and safety signage as required by the city and or contractor

- For parcels with less than twelve (12) acres, one (1) sign with a maximum fifty (50) square feet of sign area per construction traffic entry.
- For Parcels with twelve (12) acres or more, two (2) signs with a maximum fifty (50) square feet each of sign area per construction traffic entry.

2.3 Construction Trailer Graphics

The project name and logo, and on-site identification including the phone number and information of site's developer/contractor may be affixed to the sides of one (1) construction trailer.

- Graphics shall be attached in a semipermanent manner, and may not be made from banner material.

Comment [DJS22]: All temporary signs including, but not limited to, banners, shall require a temporary sign permit and display period is limited to 30 days and is renewable upon application, but shall not exceed four (4) permits in one (1) calendar year for each separate business.

Comment [DJS24]: Prohibited per MLC 10.1100(1).

2.4.2.3 Construction Fencing Scrims

While considered temporary they often are visible for the duration of the construction project promoting the project under construction. Graphics added to a construction site fence screen makes the site attractive in hiding construction works while providing dust control, security, showcase and provide information on architects, construction companies, building owners, and retailers that will have locations in the finished building.

- MDO or plywood construction barriers may be directly printed on sheets where the painted surfaces are prepared properly. Use on solid surfaces must provide adequate footing details based on local wind code requirements
- Mesh fabric may also be used with a 30% open weave to allow air flow on construction fencing (i.e. chain link, open steel mesh, etc.)
- Permission for such signs shall be made by the Master Developer and/or its Assignee.

Comment [DJS23]: All temporary signs including, but not limited to, banners, shall require a temporary sign permit and display period is limited to 30 days and is renewable upon application, but shall not exceed four (4) permits in one (1) calendar year for each separate business.

2.5.2.4 Banners

All Signs for grand openings or temporary business identification while awaiting permanent signage, pennants, streamers or other such devices shall be subject to the following safety standards and requirements

Comment [DJS25]: All temporary signs including, but not limited to, banners, shall require a temporary sign permit and display period is limited to 30 days and is renewable upon application, but shall not exceed four (4) permits in one (1) calendar year for each separate business.



- Banners shall be attached to a solid structure in a secure manner.
- Banners shall have a minimum clearance of eight (8) feet above grade when placed above an area open for the common or general use of the public.
- Banners shall be vented as required to ensure they will withstand wind pressure from any direction applied to the projected exposed area.
- Banners shall not project above the roof line.

a) Temporary Events

Such signs shall be erected no more than two (2) days prior to the event and shall be removed no more than one (1) day after the event. Total duration of use for such signs not to exceed five (5) days.

Such signs are limited to no more than four (4) events at any one (1) single site in a calendar year.

b) Grand Opening Signage

Temporary business identification is limited to one (1) sign per street front.

Such signs shall be erected for a period not to exceed thirty (30) days.

Permits for grand openings shall be issued only if a valid building permit for construction or alteration of the building or suite for that location has been issued, or a valid application for a certificate of occupancy has been made for the address in question.

c) Parking Lot Banners/Graphics

~~Banners and graphics throughout the year can be seasonal and/or tenant oriented without a time limit.~~

~~2.6 Inflation Devices~~

~~Primarily used in retail applications, these signs are oriented for on-site to advertise temporary events, speciality vendor promotions.~~

~~Total duration of use for such signs not to exceed five (5) days.~~

~~Inflation devices shall be:~~

- ~~- Equipped with a rapid deflation device.~~
- ~~- Located in a manner that does not block or make inoperable doors, vents, emergency access~~

~~windows or other openings serving occupants of a building.~~

- ~~- Restrained, attached, or held in place by a cord, rope, cable or other tethering method to the ground that is engineered to be secure.~~

~~Inflation devices shall not:~~

- ~~- Extend into or over the rights-of-way or be located on rooftops.~~
- ~~- Be of free-floating or flying type.~~
- ~~- Be helium filled over five hundred (500) cubic feet.~~

2.72.5 Projected Signs/Graphics (light)

These signs are oriented for on-site to advertise temporary events, speciality vendor promotions. Total duration of use for such signs not to exceed five (5) days.

Illumination may be innovative and incorporate a variety of lighting types such as neon tubes, fiber optics, incandescent lamps, LEDs, cathode ray tubes, shielded spotlights, and wall washes or similar techniques.

- Permission for such signs shall be made by the Master Developer and/or its Assignee.

Comment [DJS27]: All temporary signs including, but not limited to, banners, shall require a temporary sign permit and display period is limited to 30 days and is renewable upon application, but shall not exceed four (4) permits in one (1) calendar year for each separate business.

Comment [DJS26]: Prohibited per MLDC 10.1100

PROJECT SIGN MATRIX

PROJECT PHASE								
Section	Sign Type	Location(s)	Qty	Height*	Sign Area*	Materials	Illumination	Comments
C1	Primary Monument	NW & SW corners of Pacific Highway 99 & Garfield Avenue	2	35'-0"	200 s.f.	Steel, aluminum, glass/acrylic, wood, concrete	Internal LED w/external accents	Primary project nomenclature
		Pacific Highway 99 south of Stewart Avenue						
C2	Secondary Monument (Tower)	Corner of Garfield Avenue & Anton Drive	1	15'-0"	100 s.f.	Steel, aluminum, glass/acrylic, wood, concrete	Internal LED w/external accents	Project nomenclature along secondary street intersections. Option to include neighborhood names
	Secondary Monument (Low Profile)	Corner of Garfield Avenue & Myers Lane	3	7'-0"	80 s.f.			
		Corner of Stewart Avenue & Myers Lane						
		Corner of Garfield Avenue & Anton Drive						
C3	Directional Signs	200' before vehicular direction changes	15	9'-0"	36 s.f.	Steel, aluminum, concrete, reflective vinyl, printed graphics, fabric (C12 Street Graphics)	External/Instruct	To provide guidance throughout the project
	Street Graphics	Along streets attached to light custom poles	180	180	180			Changeable graphic panels to report social events, seasons, etc.
	Street ID Signs (Custom)	At street intersections	10	12'-0"	6 s.f.			Custom signs to identify street names
	Regulatory Signs (Custom)	As needed	180	18'-0"	4 s.f.			MUTCD style sign panels on customized posts

*All sign heights are based upon a "not to exceed" for height and square footage area, and not a definitive measurement to be held to when the design.

TENANT/PARCEL SIGN MATRIX

TENANT/PARCEL MONUMENT SIGNS								
Section	Sign Type	Location(s)	Qty	Height	Sign Area*	Material	Signification	Comments
01	1 Commercial/Retail Monument	Internal roadways along parcel frontages)	1 per parcel	12'0" Primary	100 s.f. (Primary)	Steel, aluminum, acrylic, concrete	Internal LED w/external accents	<p>Commercial</p> <p>Single/Multi-Use Corner Parcel</p> <ul style="list-style-type: none"> 12'0" height per side (One (1) Primary Monument or Two (2) Secondary Monuments per side) 100 s.f. Primary Monument or 100 s.f. Secondary Monuments per side (One (1) Primary Monument or Two (2) Secondary Monuments per side) 100 s.f. Primary Monument or 100 s.f. Secondary Monuments per side (One (1) Primary Monument or Two (2) Secondary Monuments per side)
	2 Professional Office Monument		See Comments on exterior sign	12'0" Primary	80 s.f. (Primary)		Internal LED w/external accents	
	3 Light General Industrial Monument		1 per parcel	8'0" Secondary	40 s.f. (Secondary)		Internal LED w/external accents	
02	4 Residential Monument	Internal roadways along parcel frontages)	1 per parcel	8'0"	30 s.f.	Steel, aluminum, acrylic, concrete	Internal LED w/external accents	<p>Single Use Non-Corner Parcel</p> <ul style="list-style-type: none"> 12'0" height (One (1) Secondary Monument) 100 s.f. Secondary Monument <p>Multi-Use Non-Corner Parcel</p> <ul style="list-style-type: none"> 12'0" height (One (1) Secondary Monument) 100 s.f. Secondary Monument <p>Monument signs on primary the street front must include property address numbers</p>
	5 Quasi-Public/Institutional Facilities Monument		1 per parcel	8'0"	30 s.f.		Internal LED w/external accents Electronic Message Board (option)	
03	6 Menu Board	Drive thru lanes within a parcel	1 per drive thru	6'0"	24 s.f.	Steel, aluminum, acrylic	Internal LED	May include two way communication with building
03	7 On Site Parcel Directional	Parcel Entrances, anterior to parcel	1 per driveway	4'0"	0 s.f.	Steel, aluminum, acrylic, vinyl	Internal or external	Only one entrance direct and may include business identification, not to exceed 25% of face. There is to limit of directional signs without identification that are interior to the parcel.
03	8 Fuel Station Sign	Internal roadways along parcel frontages)	1 per parcel	9'	32 s.f.	Steel, aluminum, acrylic, vinyl	Internal LED	This sign is in addition to parcel identity monument
03	9 Aerial View Sign	Roof of building on parcel's 25 acres or more	1	Roof of Building	1000 s.f.	Paint, vinyl	None	Sign shall not be positioned so that it cannot be seen from the ground

*All sizes listed are based upon a "not to exceed" for height and square footage area, and not as a definitive measurement to be held to when the design

TENANT BUILDING SIGN MATRIX

TENANT BUILDING SIGNAGE								
Building	Sign Type	Location(s)	Qty	Height*	Sign Area*	Materials	illumination**	Comments
E1	Retail Tenant Building Signage	Over tenant space, street frontage and back building elevations	1 per 200 sq ft of building footprint	As determined by the height of the building	As determined by the perimeter of the building footprint	Aluminum, acrylic, paint, vinyl	Internal LED and/or neon	May be painted or recessed per color and lettering heights. Fixed elevation signage and signs illuminated shall be shielded with projecting signage.
	Projector Signs (Flg Mount)	Over tenant space, front elevation, or corner of building	1	Maximum 10' over building footprint	20' x 10' maximum	Aluminum, steel, acrylic, paint, vinyl	Internal with external accents, LED and/or neon, incandescent	Square footage of sign shall be shielded with fixed elevation building mounted signage.
	Awning/Canopy Signs	Integrated with building mounted awnings and canopies	As building canopy permits	As per building canopy	As per building canopy	Printed graphics, vinyl, paint	Internal	Square footage of sign shall be shielded with fixed elevation building mounted signage.
	Custom Cabinets	Over tenant space, front and back building elevations	1 per 200 sq ft of building footprint	As determined by the height of the building	As determined by the perimeter of the building footprint	Aluminum, steel, acrylic, paint, vinyl	Internal with external accents, LED and/or neon, incandescent	May be substituted for recessed or projecting signage.
	Roof Signs	Above roof line of single-use building on parcels of 25 acres or greater	1 per 200 sq ft of building footprint	As determined by the height of the building	As determined by the perimeter of the building footprint	Aluminum, steel, acrylic, paint, vinyl	Internal with external accents, LED and/or neon, incandescent	Must have Master Developer or its Assignee's approval.
	Single Arcade Signs	Directly over or adjacent to business entry point	1 per 200 sq ft of building footprint	As determined by the height of the building	As determined by the perimeter of the building footprint	Aluminum, steel, wood, acrylic, paint, vinyl	Internal	Square footage of signs do not extend against tenant's signage adobeent.
	Window Signage/Graphics	Ground floor windows on business front elevation	1	As per building footprint	As per building footprint	Printed graphics, vinyl, paint	None	Square footage of signs do not extend against tenant's signage adobeent.
E2	Office/Commercial Wall Signs	Established building sign band, sign does not need to be over leased space on front or back building elevations	1 per 200 sq ft of building footprint	As determined by the height of the building	As determined by the perimeter of the building footprint	Aluminum, acrylic, paint, vinyl	Internal LED and/or neon	
E3	Light General Industrial Wall Signs	Established building sign band, sign does not need to be over leased space on front or back building elevations	1 per 200 sq ft of building footprint	As determined by the height of the building	As determined by the perimeter of the building footprint	Aluminum, acrylic, paint, vinyl	Internal LED and/or neon	
E4	Residential Wall Signs	Street frontage of buildings with four or more residences	1	As determined by the height of the building	As determined by the perimeter of the building footprint	Aluminum, acrylic, paint, vinyl	Internal LED and/or neon	
E5	Quasi-Public/Institutional Wall Signs		1 per 200 sq ft of building footprint	As determined by the height of the building	As determined by the perimeter of the building footprint	Aluminum, acrylic, paint, vinyl		

*All sizes listed are based upon a "not to exceed" for height and square footage area, and not as a definitive measurement to be held to when the design.
**Illumination to be most energy efficient possible. If specific features and lighting intensity subject to approval by Master Developer or its Assignee.

TEMPORARY SIGN MATRIX

TEMPORARY SIGNS								
Access	Sign Type	Location(s)	Qty	Height	Sign Area*	Materials	Mounting/View**	Comments
E1	Project Announcement Signs	Along Pacific Highway (Highway 99) 600 feet minimum between signs	1	20 ft	600 sq ft	Wood, metal, vinyl, printed graphics	External	There must be 100 feet separation between multiple signs
E2	On-Site/Individual Parcel Sales Signs	Individual parcel street frontage(s)	12 signs per parcel Parcel 1 12 signs per parcel Parcel 2 12 signs per parcel Parcel 3 12 signs per parcel Parcel 4	12 ft	120 sq ft (12 signs) 240 sq ft (24 signs) 360 sq ft (36 signs)	Wood, metal, vinyl, printed graphics	None	There must be 100 feet separation between multiple signs
	Construction Signs	Individual parcel street frontage(s)	12 signs per parcel Parcel 1 12 signs per parcel Parcel 2 12 signs per parcel Parcel 3	12 ft	120 sq ft (12 signs)	Wood, metal, vinyl, printed graphics	None	There must be 100 feet separation between multiple signs
	Construction Trailer Graphics	On sides of an on-site construction trailer	1 per site	8 ft high x 6 ft	48 sq ft (1 sign)	Printed graphics, vinyl, paint	None	Graphics shall be attached in a safe permanent manner and may not be made from flammable material
	Construction Enclosure Screens	Attached or integrated into construction enclosures	1 per enclosure	8 ft high x 6 ft	48 sq ft (1 sign)	Wood, mesh fabric	None	Screens must have visibility to allow air to pass through. Permission for use of screens must be made by the Master Developer and/or its Assignee
	Temporary Events Banners	Within parcel	1 per parcel	12 ft	120 sq ft	Banner fabric, vinyl, printed graphics	Indirect	Banners shall be attached to a structure through the roof or back of a parcel building only by the Master Developer and/or Assignee. The banner shall be attached to the structure in a safe manner and shall not be attached to the structure in a way that could cause damage to the structure or the banner. Banners shall be removed by the Master Developer and/or Assignee.
	Grand Opening Banners	Leased portion of building facade	1	8 ft high x 6 ft	48 sq ft	Banner fabric, vinyl, printed graphics	Indirect	Banners shall be attached to a structure through the roof or back of a parcel building only by the Master Developer and/or Assignee. The banner shall be attached to the structure in a safe manner and shall not be attached to the structure in a way that could cause damage to the structure or the banner. Banners shall be removed by the Master Developer and/or Assignee.
	Parking Lot Banners/ Graphics	Parcel/Parking Lot	1 per parcel	12 ft	120 sq ft	Banner fabric, vinyl, printed graphics	Indirect	Banners shall be attached to a structure through the roof or back of a parcel building only by the Master Developer and/or Assignee. The banner shall be attached to the structure in a safe manner and shall not be attached to the structure in a way that could cause damage to the structure or the banner. Banners shall be removed by the Master Developer and/or Assignee.
6	Inflatable Devices	Within parcel	1	8 ft high x 6 ft	48 sq ft	Inflatable vinyl material	None	Must be used in a safe manner and shall not be attached to a structure through the roof or back of a parcel building only by the Master Developer and/or Assignee. The inflatable device shall be attached to the structure in a safe manner and shall not be attached to the structure in a way that could cause damage to the structure or the inflatable device. Inflatable devices shall be removed by the Master Developer and/or Assignee.
7	Projected Signs	Within parcel	1	8 ft high x 6 ft	48 sq ft	Illuminators	External projection	Signs shall be attached to a structure through the roof or back of a parcel building only by the Master Developer and/or Assignee. The sign shall be attached to the structure in a safe manner and shall not be attached to the structure in a way that could cause damage to the structure or the sign. Signs shall be removed by the Master Developer and/or Assignee.

*All signs listed are based upon a "not to exceed" for height and square footage area, and not as a definitive measurement to be held to when the design
 **Mounting to be most energy efficient possible. If spaced fixtures and lighting intensity subject to approval by Master Developer or its Assignee

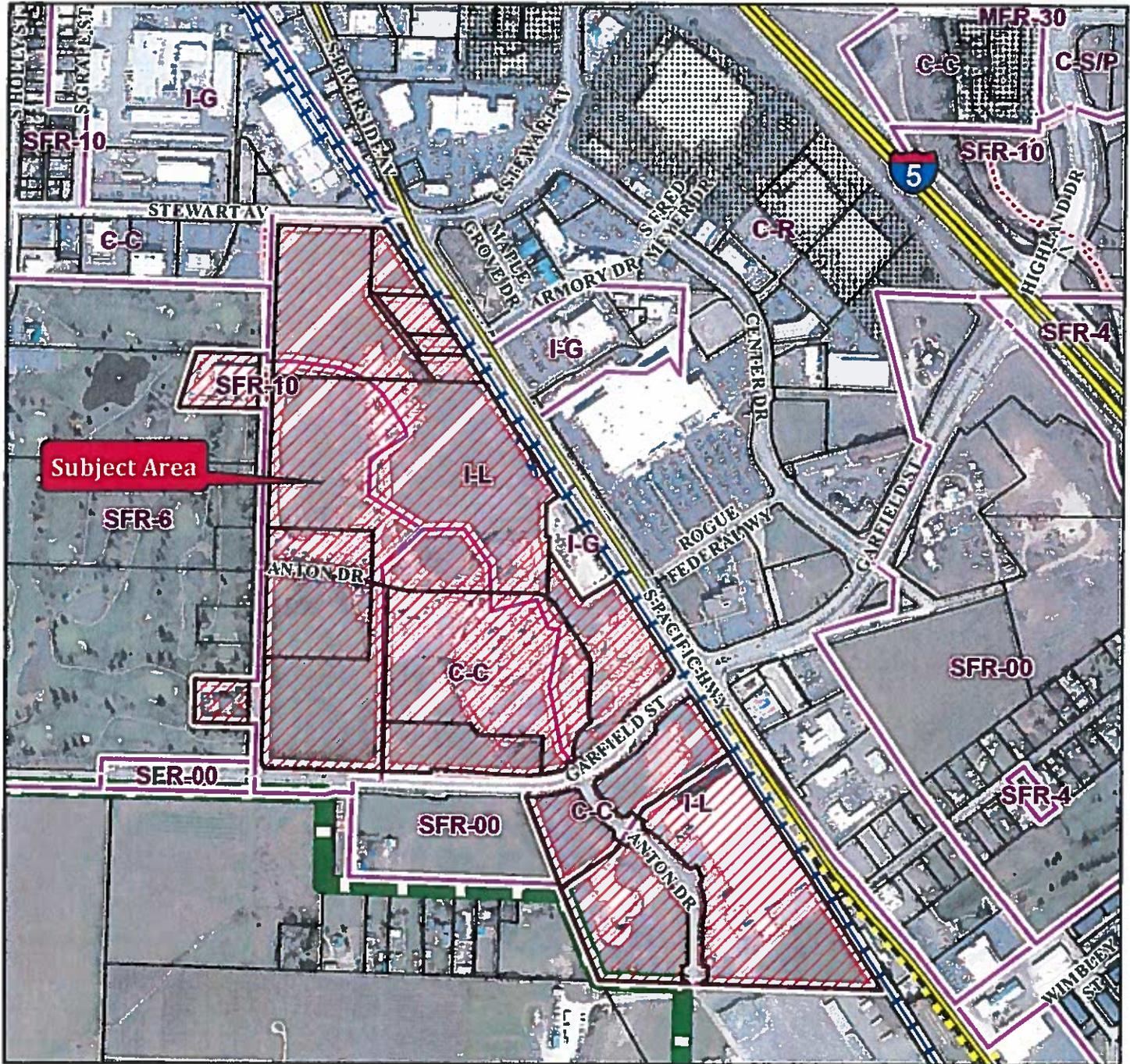
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City of Medford
Planning Department

Vicinity
 Map

File Number:
PUD-17-003
ZC-17-004



Project Name:
**Stewart Meadows PUD Revision
 and Zone Change**

Map/Taxlot:
371W31A



01/17/2017

Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots
-  Streets

