

PLANNING COMMISSION

AGENDA

JUNE 22, 2017



Commission Members

David Culbertson

Joe Foley

Bill Mansfield

David McFadden

Mark McKechnie

E. J. McManus

Patrick Miranda

Alex Poythress

Jared Pulver

Regular Planning Commission meetings

are held on the second and fourth

Thursdays of every month

Meetings begin at 5:30 PM

City of Medford

City Council Chambers

411 W. Eighth Street, Third Floor

Medford, OR 97501

541-774-2380



Planning Commission

Agenda

Public Hearing

June 22, 2017

5:30 PM

**Council Chambers, City Hall, Room 300
411 West Eighth Street, Medford, Oregon**

-
10. **Roll Call**
20. **Consent Calendar/Written Communications (voice vote)**
- 20.1 **LDS-16-090 / E-16-091** Consideration of request to allow a five year expiration period for Delta Estates Subdivision Phases 2 – 5, a 93-lot residential subdivision on 22.34 acres and the associated Exception requests seeking relief to planter strip requirements and street spacing. The subject site is located east of the terminus of Owen Drive and north of the terminus of Cheltenham Way. (Hayden Homes LLC, Applicant; CSA Planning Ltd/Jay Harland, Agent)
30. **Minutes**
- 30.1 Consideration for approval of minutes from the June 8, 2017, hearing.
40. **Oral and Written Requests and Communications**
Comments will be limited to 3 minutes per individual or 5 minutes if representing an organization. **PLEASE SIGN IN.**
50. **Public Hearings**
Comments are limited to a total of 10 minutes for applicants and/or their representatives. You may request a 5-minute rebuttal time. All others will be limited to 3 minutes per individual or 5 minutes if representing a group or organization. **PLEASE SIGN IN.**
- New Business**
- 50.1 **CUP-17-053** Consideration of a request for a Conditional Use Permit (CUP) to construct a new 10-12 foot wide pedestrian/bike path known as Larson Creek Trail Segment II between Black Oak Drive and Ellendale Drive within the Larson Creek Riparian Corridor. Project to include two pedestrian bridges, fence relocation and improvements spanning approximately 7.32 acres zoned SFR-4, SFR-6, MFR-20 and C-C (Single-Family Residential, 4 dwelling units per gross acre, 6 dwelling units per gross acre, Multi-Family Residential, 20 dwelling units per gross acre and Community Commercial) (371W32AA, portions of Tax Lots 200, 300, 400 and 500 and 371W32AB, portions of Tax Lots 3100, 1100 and 3000). (Medford Public Works, Applicant; Richard Stevens & Associates, Agent)
- 50.2 **LDS-17-051 / E-17-052** Consideration of a request for tentative plat approval for Summerfield at Southeast Park Phases 16 through 21, a 138-lot residential subdivision on approximately 96 acres located south of Cherry Lane and east of Lone Oak Drive within an SFR-4/SE (Single Family Residential-4 units per acre/Southeast Overlay) zoning district. The request includes an Exception

to the standards for the permitted length of a residential lane. (Crystal Springs Development Group, Applicant; Neathamer surveying, Inc., Agent)

- 60. Reports**
- 60.1 Site Plan and Architectural Commission
- 60.2 Joint Transportation Subcommittee
- 60.3 Planning Department
- 70. Messages and Papers from the Chair**
- 80. Remarks from the City Attorney**
- 90. Propositions and Remarks from the Commission**
- 100. Adjournment**



STAFF REPORT

Project Delta Estates Subdivision Phases 2 – 5
Applicant: Hayden Homes, LLC, Applicant
Agent: Jay Harland, CSA Planning Ltd.

File no. LDS-16-090 and E-16-091

To Planning Commission *for meeting of June 22, 2017*

From Kelly Akin, Assistant Planning Director *KA*

Date June 15, 2017

Request

Consideration of request to allow a five year expiration period for Delta Estates Subdivision Phases 2 – 5, a 93-lot residential subdivision on 22.34 acres and the associated Exception requests seeking relief to planter strip requirements and street spacing. The subject site is located east of the terminus of Owen Drive and north of the terminus of Cheltenham Way.

Background

The Planning Commission adopted the Final Order granting approval of the referenced applications along with Zone Change ZC-16-089 on November 10, 2016. At that time, the applicant requested the maximum five year expiration as allowed for phased projects under Medford Land Development Code (MLDC) Section 10.269(2). Staff inadvertently overlooked the request and is now seeking the Commission’s decision.

Project Review

Per MLDC Section 10.269(2), the approving authority may authorize a time schedule for platting the various phases in periods exceeding one year, but in no case shall the total time for platting all phases be greater than five years without having to resubmit the tentative plan.

The Commission does not need to make a decision on the expiration of the related Exception application; however, MLDC 10.254 links the expiration of Exception applications to that of related applications in certain circumstances. In this case, the Exception E-16-091 was filed concurrently with the subdivision and is necessary to the development authorized by the other application and will expire with the related LDS-16-090.

If the Commission authorizes the request, the expiration date will be November 10, 2021. Under MLDC 10.269(2), no extensions of time are permitted.

Recommended Action

Approve the five year expiration period for LDS-16-090 and E-16-091 per the Staff Report dated June 15, 2017. The expiration date is November 10, 2021.

Exhibits

- A Email requesting correction received June 8, 2017
- B Approved tentative plat
Vicinity Map

From: Beverly Thruston [mailto:bev@csaplanning.net]
Sent: Thursday, June 08, 2017 2:40 PM
To: Kelly A. Akin
Subject: Delta Estates questions

Hi Kelly,

I am working on property line adjustment to support Hayden Homes moving ahead with Phases 2 & 3 of the Delta Estates subdivision. Ran into a couple of questions that need answering before I go further.

First, when we did the zone change for the Delta Estates Phases 2-5 we changed the zone from SFR-10 to SFR-6 on a portion of each of the two underlying parcels to match with the subdivision layout. We are now looking to do a property line adjustment to reconfigure those underlying parcels to separate out Phases 2 & 3 and came up against this criteria:

- (3) The adjustment will not result in a unit of land that overlaps the city limit line, urban growth boundary, or zoning districts;

This property line adjustment will improve the current split-zoned condition, in that the new configuration will have one parcel fully zoned SFR-6, however the second parcel will remain split-zoned. (*See attached sketches*) My thinking is that the application is consistent with Criteria 3 because the change is an improvement upon the existing condition, but I want to check that you see it the same way. (see attached drawings) Is there anything I should include in my findings to support the concept that by improving the existing condition we meet the criteria?

Second, in looking at the approval letter for the subdivision we realized that even though we requested in the findings a 5-year term for the phases to be built out, the final approval only has the standard 2-year term. We're not sure why that happened, but the client really wants the 5-year term. What is the process to get that one item revised? (see attached background docs)

Thanks for your help. Cheers~

CSA Planning, LTD,

Beverly Thruston, AIA
Associate Planner

4497 Brownridge Terrace #101
Medford, OR 97504
Phone: 541/779-0569 Fax/ 541/779-0114

CITY OF MEDFORD
EXHIBIT # A
File # 125-16-090/E-16-091

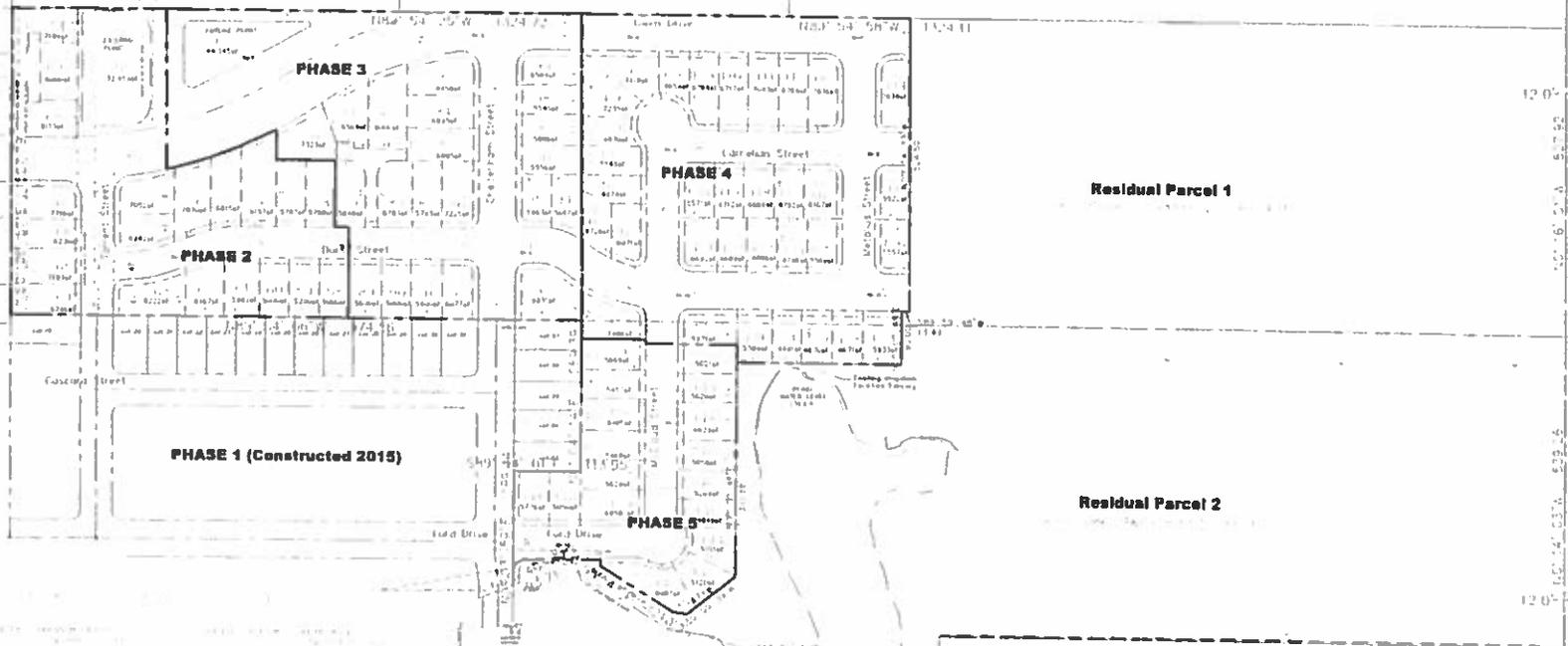


TENTATIVE PLAT - OVERALL SITE

SE1/4 Section 8, T37S, R1W, W.M.
City of Medford, Jackson County, OR



Medford Vicinity Map (T37S, R1W, S8)



Page 7

116'
47' x 80'

CITY OF MEDFORD
EXHIBIT # B 152
File # DS-16-099e-16 091

RECEIVED
SEP 27 2016
PLANNING DEPT.

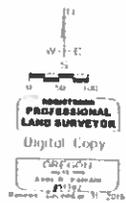
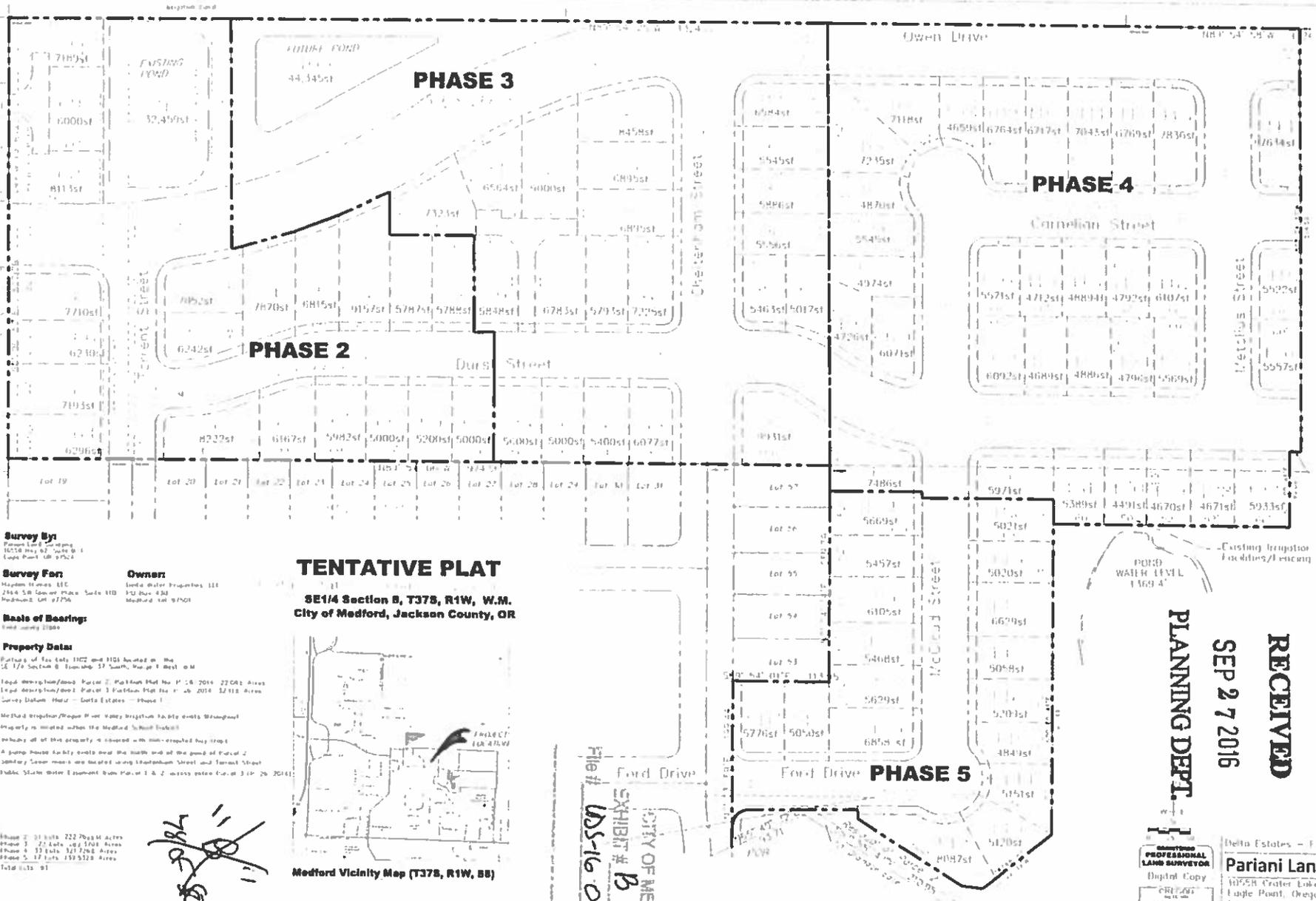


EXHIBIT 11a
Delta Estates - Overall Site Plan
Pariani Land Surveying
10558 Crater Lake Hwy, Suite B-1
Eagle Point, Oregon
Call-810-1131

Printed: 09/27/2016 11:05 AM
Sep 27 2016 11:05 AM 11:05 AM 11 of 2



Survey By
Pariani Land Surveying
10558 Hwy 62, Suite B-1
Eagle Point, OR 97524

Survey For
Hayden Homes LLC
2560 SW Ocean Place - Suite 110
Medford, OR 97504

Owner
Delta Water Properties LLC
110 Hwy 93B
Medford, OR 97501

Base of Bearing:
True Survey Lines

Property Data:
Portion of lots 1102 and 1104 located in the
SE 1/4 Section 8, Township 37 South, Range 1 West, 01M
Legal description/Block: Parcel 2, Platbook Plat No. P 16 2016 27 OR1 Acres
Legal description/Block: Parcel 3, Platbook Plat No. P 16 2016 32 OR1 Acres
Survey Datum: NAD 83 - Delta States - Phase 1

Method: Regular/Platbook Plot Water Right/No Table exists throughout
Property is located within the Medford School District
Boundary of all the property is shown with well-surveyed boundary lines
A jump house facility exists near the north end of the pond of Parcel 2
Sanitary sewer mains are located along Charleston Street and Terrace Street
Public Water Meter Equipment from Parcel 1 & 2, meters meter from 3 (P 26 2016)

Phase 2: 31 lots, 222,795 sq ft acres
Phase 3: 27 lots, 149,108 acres
Phase 4: 33 lots, 147,726 acres
Phase 5: 17 lots, 159,528 acres
Total lots: 91

TENTATIVE PLAT
SE 1/4 Section 8, T37S, R1W, W.M.
City of Medford, Jackson County, OR



Medford Vicinity Map (T37S, R1W, 08E)

File # **185-16-090/E16-04**
EXHIBIT # B 2012
CITY OF MEDFORD



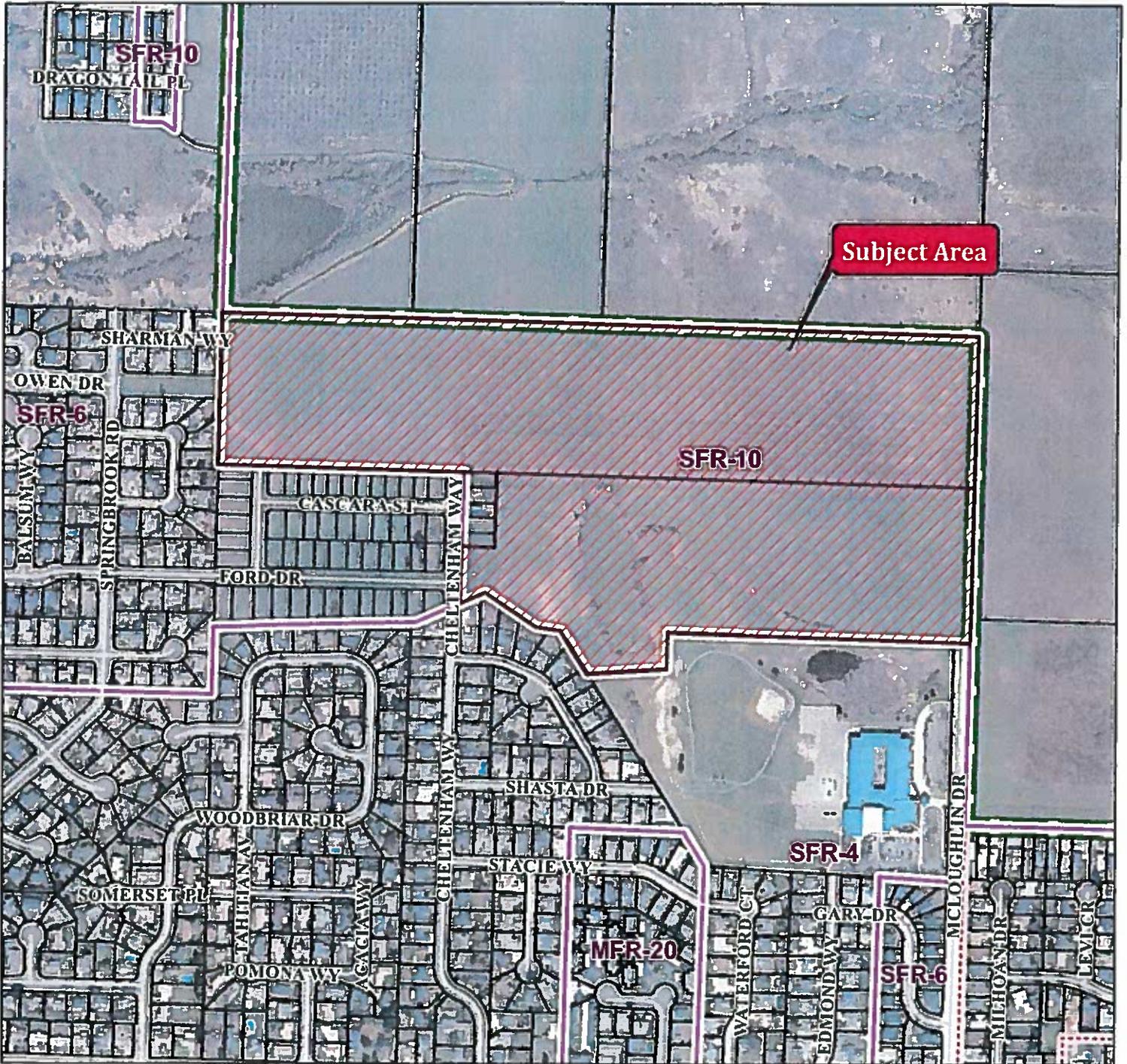
RECEIVED
SEP 27 2016
PLANNING DEPT.

EXHIBIT 11b

Delta Estates - Phases 2 through 5
Pariani Land Surveying
10558 Crater Lake Hwy, Suite B-1
Eagle Point, Oregon
541-890-1111

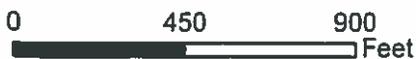
Professional Land Surveyor
Digital Copy
CR 10/1
JAN 10 2016
#1212

Date: 10/12/16 11:20 AM
Sheet: 1 of 2



Project Name:
Delta Estates Phase 2-5

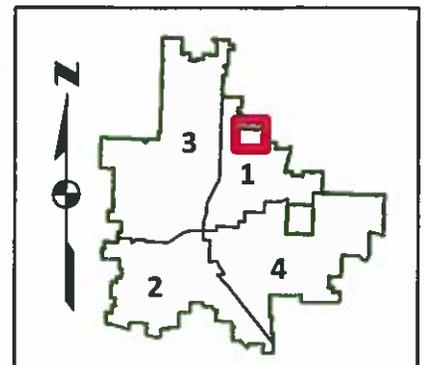
Map/Taxlot:
371W08 TL 1101 & 1102



07/20/2016

Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots
-  Streets
-  IIGB





Planning Commission

Minutes

From Public Hearing on June 8, 2017

The regular meeting of the Planning Commission was called to order at 5:30 PM in the City Hall Council Chambers on the above date with the following members and staff in attendance:

Commissioners Present

David McFadden, Vice Chair
David Culbertson
Joe Foley
Bill Mansfield
Mark McKechnie
E.J. McManus
Jared Pulver

Staff Present

Kelly Akin, Assistant Planning Director
Kevin McConnell, Deputy City Attorney
Terri Rozzana, Recording Secretary

Commissioners Absent

Patrick Miranda, Chair, Excused Absence
Alex Poythress, Unexcused Absence

10. Roll Call

20. Consent Calendar/Written Communications.

20.1 LDS-15-012 Consideration of request for a one-year time extension of the approval of 10th Fairway Office Park Subdivision, a 7-lot commercial subdivision on two parcels totaling 3.79 acres located on the south side of North Phoenix Road, approximately 370 feet south of Hillcrest Road, within the SFR-4 (Single Family Residential – 4 dwelling units per gross acre) and C-S/P (Service Commercial and Professional Office) zoning districts, and the PD (Planned Development) overlay. (Michael Mahar, Applicant; CSA Planning Ltd., Agent)

Motion: Adopt the consent calendar as submitted.

Moved by: Commissioner McKechnie

Seconded by: Commissioner Culbertson

Voice Vote: Motion passed, 7–0.

30. Minutes

30.1. The minutes for May 25, 2017, were approved as submitted.

40. Oral and Written Requests and Communications. None.

The two public hearings scheduled for this evening are continuance requests so Kevin McConnell, Deputy City Attorney, did not read the Quasi-Judicial Statement.

50. Public Hearings – Continuance Request

50.1 ZC-17-041 Consideration of a zone change from SFR-6 (Single Family Residential – 6 dwelling units per gross acre) to MFR-20 (Multi-Family Residential – 20 dwelling units per gross acre) on 0.22 acres located on the southwest corner of Howard Avenue and Bayberry Drive (372W13CB5900). (James Mendolia, Applicant; Milan Hanson, Agent) **The applicant has requested that the item be continued to the September 28, 2017, Planning Commission meeting.**

Motion: The Planning Commission continued ZC-17-041, per the applicant's request to the September 28, 2017, Planning Commission meeting.

Moved by: Commissioner Mansfield

Seconded by: Commissioner Foley

Voice Vote: Motion passed, 7-0.

50.2 PUD-17-023 Consideration of a Preliminary PUD Plan for Coker Butte Business Park, a proposed development consisting of office and light industrial uses to be located on a 14.5-acre site composed of five contiguous lots bounded generally by Crater Lake Highway 62, Coker Butte Road, and Crater Lake Avenue, within the Light Industrial (I-L) zoning district. (Coker Butte LLC & Table Rock LLC, Applicant; CSA Planning Ltd./Craig Stone, Agent). **The applicant has requested that the item be continued to the July 13, 2017, Planning Commission meeting.**

Motion: The Planning Commission continued PUD-17-023, per the applicant's request to the July 13, 2017, Planning Commission meeting.

Moved by: Commissioner Mansfield

Seconded by: Commissioner Foley

Commissioner Pulver asked, are there no timelines when the applicant requests a continuance? Vice Chair McFadden reported that as long as the applicant has requested the continuance there is not a problem. The 120-day rule is automatically extended.

Voice Vote: Motion passed, 7-0.

60. Reports

60.1 Site Plan and Architectural Commission.

Commissioner Culbertson reported that the Site Plan and Architectural Commission met on Friday, June 2, 2017. They had a seven minute meeting.

60.2 Report of the Joint Transportation Subcommittee.

Commissioner Pulver, reported that the Joint Transportation Subcommittee has not met since their last meeting.

60.3 Planning Department

Kelly Akin, Assistant Planning Director, reported that the Planning Commission's next study session scheduled for Monday, June 12, 2017, has been cancelled. There is no business.

There is business scheduled for the Planning Commission on Thursday, June 22, 2017, Thursday, July 13 and Thursday, July 27, 2017.

Last week the City Council initiated a street vacation for a portion of Belknap east of Highway 99.

Next week the City Council will hear the transportation facility proposal for Foothills Road and the mobile food vendor code amendment that the Planning Commission forwarded several weeks back.

70. Messages and Papers from the Chair. None.

80. Remarks from the City Attorney. None.

90. Propositions and Remarks from the Commission.

Commissioner Pulver reported that from Realtor Magazine an article on Home Shoppers Wish List stated that the top three items they were looking for were large backyards, garages and updated kitchens. Commissioner Pulver feels that density is being pushed hard from the State level. Not all cities in Oregon operate the same way. One of the benefits of our community and one of the reasons people come to a less urbanized areas of our State is privacy, yards, etc. He does not know there is a real avenue to win an argument of that nature with the State but he thinks it is worth having. It is possible other communities in the State feel the same way. That some of the requirements that are coming from the State level will have a more metropolitan area in mind, namely Portland and its suburbs. He highlights that because he does not think legislation is one size fits all for all the cities in Oregon.

Commissioner Mansfield stated there are reasons for density but now is not the time to debate it. He thinks it would be healthy for the Planning Commission to have a discussion both ways. He would like to hear the other Commissioner's views. He thinks he knows their views but they should be aired. He would like the opportunity to air the case for density.

Vice Chair McFadden reported that there is high density in the City, which is the State's goal. When limiting footage to a lot and people want more, their only option is to go outside the City into the County area. That increases the development in the area that is not supposed to be developed in some cases.

100. Adjournment

The meeting was adjourned at 6:11 p.m. The proceedings of this meeting were digitally recorded and are filed in the City Recorder's office.

Submitted by:

Terri L. Rozzana
Recording Secretary

David McFadden
Planning Commission Vice Chair

Approved: June 22, 2017



STAFF REPORT

for a Type-C quasi-judicial decision: Conditional Use Permit Revision

PROJECT Larson Creek Trail, Segment II - Black Oak to Ellendale
 Applicant: Medford Public Works Dept.; Agent: Richard Stevens & Assoc.

FILE NO. CUP-17-053

TO Planning Commission *for 06/22/2017 hearing*

FROM Praline McCormack, Planner II *pm*

REVIEWER Kelly Akin, Assistant Planning Director

DATE June 13, 2017

BACKGROUND

Proposal

Consideration of a request for a Conditional Use Permit (CUP) to allow the construction of a multi-use pathway known as Larson Creek Trail Segment II within the Larson Creek Riparian Corridor from Ellendale Drive to Black Oak Drive. Project to include two pedestrian bridges, fence relocation and improvements spanning approximately 7.32 acres zoned SFR-4, SFR-6, MFR-20 and C-C (Single-Family Residential, 4 dwelling units per gross acre, 6 dwelling units per gross acre, Multi-Family Residential, 20 dwelling units per gross acre and Community Commercial). (371W32AA, portions of Tax Lots 200, 300, 400 and 500 and 371W32AB, portions of Tax Lots 3100, 1100 and 3000.)

Surrounding Property Zoning and Uses

North Zone: One lot zoned C-C/PD (Community Commercial/Planned Unit Development), 13 lots zoned MFR-20 (Multi-Family Residential, 20 units per gross acre), 11 lots zoned SFR-4 (Single-Family Residential, 4 units per gross acre), and three lots zoned C-C.

Uses: Commercial offices, townhomes, condominiums, single-family homes, strip mall containing offices and financial institutions, and fraternal group.

South Zone: One lot zoned SFR-4/PD, one lot zoned MFR-20/PD, and one lot zoned SFR-4.

Uses: Retirement center, golf course, wetlands, and school.

East	Zone:	C-C, and SFR-4
	Uses:	Strip mall containing occupational health, restaurants, retail, and subdivision with single-family homes.
West	Zone:	C-C, and SFR-10/PD
	Uses:	Business offices, hotel, Larson Creek trail with connection to Bear Creek Greenway

Related Projects

CUP-08-151	Larson Creek Bridge (expired).
CUP-10-093	Bridge over Larson Creek at North Phoenix Road.
O-2013-164	Ordinance authorizing taking of permanent easements by eminent domain to acquire needed property for the Larson Creek Greenway Trail Improvement Project between the existing Bear Creek Greenway to Ellendale Drive.
CUP-13-138	Larson Creek Trail Segment I – Highland Drive to Ellendale Drive.
O-2014-139	Ordinance authorizing execution of an Intergovernmental Agreement Number 30143 with the Oregon Department of Transportation for Larson Creek Trail Segment II improvements.

Applicable Criteria

CONDITIONAL USE PERMIT APPROVAL CRITERIA

Section 10.248 of the Medford Land Development Code

The approving authority (Planning Commission) must determine that the development proposal complies with either of the following criteria before approval can be granted.

- (1) The development proposal will cause no significant adverse impact on the livability, value, or appropriate development of abutting property, or the surrounding area when compared to the impacts of permitted development that is not classified as conditional.*
- (2) The development proposal is in the public interest, and although the development proposal may cause some adverse impacts, conditions have been imposed by the approving authority (Planning Commission) to produce a balance between the conflicting interests.*

In authorizing a conditional use permit the approving authority (Planning Commission) may impose any of the following conditions:

- (1) *Limit the manner in which the use is conducted, including restricting the time an activity may take place and restraints to minimize such environmental effects as noise, vibration, air pollution, glare and odor.*
- (2) *Establish a special yard or other open space or lot area or dimension requirement.*
- (3) *Limit the height, size, or location of a building or other structure.*
- (4) *Designate the size, number, location, or nature of vehicle access points.*
- (5) *Increase the amount of street dedication, roadway width, or improvements within the street right-of-way.*
- (6) *Designate the size, location, screening, drainage, surfacing, or other improvement of parking or truck loading area.*
- (7) *Limit or otherwise designate the number, size, location, height, or lighting of signs.*
- (8) *Limit the location and intensity of outdoor lighting, or require its shielding.*
- (9) *Require screening, landscaping, or other facilities to protect adjacent or nearby property, and designate standards for installation or maintenance thereof.*
- (10) *Designate the size, height, location, or materials for a fence.*
- (11) *Protect existing trees, vegetation, water resources, wildlife habitat, or other significant natural resources.*

10.249 Conditional Use Permits, Mitigation of Impacts.

Development requiring the mitigation of impacts under Section 10.248(2), Conditional Use Permit Criteria, must do one (1) of the following:

- (1) *Preserve unique assets of interest to the community.*
- (2) *Provide a public facility or public nonprofit service to the immediate area or community.*
- (3) *Otherwise provide a use or improvement that is consistent with the overall needs of the community in a location that is reasonably suitable for its purpose.*

10.920 Riparian Corridors, Purposes

The purposes of establishing riparian corridors are:

- (1) *To implement the goals and policies of the "Environmental Element" and the "Greenway" General Land Use Plan (GLUP) designation of the Medford Comprehensive Plan and achieve their purposes.*
- (2) *To protect and restore Medford's waterways and associated riparian areas, thereby protecting and restoring the hydrologic, ecologic, and land conservation functions these areas provide for the community.*
- (3) *To protect fish and wildlife habitat, enhance water quality, control erosion and sedimentation, and reduce the effects of flooding.*

- (4) *To protect and restore the natural beauty and distinctive character of Medford's waterways as community assets.*
- (5) *To provide a means for coordinating the implementation of the Bear Creek Greenway and other greenways or creek restoration projects within the City of Medford.*
- (6) *To enhance the value of properties near waterways by utilizing the riparian corridor as a visual amenity.*
- (7) *To enhance coordination among local, state, and federal agencies regarding development activities near waterways.*

10.925 Conditional Uses within Riparian Corridors

The following activities, and maintenance thereof, are allowed within a riparian corridor if compatible with Section 10.920, "Riparian Corridors, Purposes," and if designed to minimize intrusion. Such activities shall be subject to approval of a Conditional Use Permit, which may be considered separately or in conjunction with another plan authorization review. The approving authority must determine that the proposal complies with at least one of the Conditional Use Permit criteria. Applicable permits, if any, from the Oregon Department of State Lands and the U.S. Army Corps of Engineers shall subsequently be obtained. All development and improvement plans shall be submitted to the Oregon Department of Fish and Wildlife for a habitat mitigation recommendation pursuant to O.A.R. 635-415 "Fish and Wildlife Habitat Mitigation Policy."

- (1) *Water-related or water-dependent uses, such as drainage facilities and irrigation pumps.*
- (2) *Utilities or other public improvements.*
- (3) *Streets, roads, or bridges where necessary for access or crossings.*
- (4) *Multi-use paths, accessways, trails, picnic areas, or interpretive and educational displays and overlooks, including benches and outdoor furniture.*

10.927 Riparian Corridors, Reduction or Deviation

A request to reduce or deviate from the riparian corridor boundary provisions of this section may be submitted to the Planning Director or designee for consideration. A deviation request may be approved as long as equal or better protection of the riparian area will be ensured through a plan for restoration, enhancement, or similar means. Such a plan shall be submitted to the Oregon Department of Fish and Wildlife for a habitat mitigation recommendation pursuant to O.A.R. 635-415 "Fish and Wildlife Habitat Mitigation Policy." In no case shall activities prohibited in Section 10.926(1) through (3), "Prohibited Activities within Riparian Corridors" be located any closer than 25 feet from top-of-bank. The Planning Commission shall be kept advised of the

outcome of deviation or reduction requests. Any decision of the Planning Director may be appealed to the City Council as provided in Chapter 10 of the Code of Medford.

Project History

The 2003 *Transportation System Plan* identifies the completion of the Larson Creek Multi-Use Path as a priority project to provide cyclists and pedestrians with an alternative route to Barnett Road. In the fall of 2006, the City retained Alta Planning and Design to prepare a *Larson Creek Multi-Use Path Master Plan*. Completed in July of 2007, the *Larson Creek Multi-Use Path Route Assessment* serves as this Master Plan and implementation of the Plan is underway.

In 2013, City Council authorized the taking of permanent easements by eminent domain to acquire needed property for the Larson Creek Multi-Use Path between the existing Bear Creek Greenway to Ellendale Drive (O-2013-164, Exhibit V). Also in 2013 the Planning Commission approved a Conditional Use Permit for Segment I of the Path from Highland Drive to Ellendale Drive (CUP-13-138, Exhibit U). Segment I is located south of and generally parallel to Larson Creek and has been developed and completed.

In 2014, City Council authorized the execution of an Intergovernmental Agreement with the Oregon Department of Transportation for Larson Creek Multi-Use Path Segment II improvements (O-2014-139, Exhibit T). The Agreement provides grant funds for the design and construction of this segment of the Path, which is the subject of this application.

In *Medford Land Development Code* (“MLDC”) Section 10.922 and in the Environmental Element of the *City of Medford Comprehensive Plan*, Larson Creek from Bear Creek east 3.9 miles to North Phoenix Road, and the south fork of Larson Creek from North Phoenix Road east 1.2 miles are designated as fish-bearing streams with riparian corridors. The riparian corridor setback is measured 50-feet from the top-of-bank on each side of the stream. Portions of the multi-use path are proposed to be located inside both the 50-foot setback, as well as within the 25-foot reduced setback (Exhibit C).

The applicant is requesting a Conditional Use Permit to construct Segment II of the Multi-Use Path between Ellendale Drive and Black Oak Drive within the Larson Creek Riparian Corridor. Construction is proposed to include the multi-use pathway in varying widths of 10-12 feet with two foot gravel shoulders on each side, two pedestrian bridges, and fence relocation and improvements (Exhibit D) which will be conducted by the Medford Public Works Department.

Per MLDC Section 10.925, multi-use paths, access ways, trails and bridges are allowed within riparian corridors subject to the approval of a Conditional Use Permit, if

compatible with the purposes of riparian corridors described in MLDC Section 10.920 and if designed to minimize intrusion. The applicant does propose mitigation measures to reduce the impacts associated with construction and development of the multi-use path within the riparian corridor. The approving authority must determine that the proposal complies with at least one of the Conditional Use Permit criteria in MLDC Section 10.248.

The applicant's Narrative and Findings of Fact (Exhibit B) provide further background information on the path.

ISSUES AND ANALYSIS

Comments related to the specifics of re-planting as mitigation were received from the Parks and Recreation Planner ("Parks")(Exhibit M) and the Oregon Department of Fish and Wildlife ("ODFW") (Exhibit N). These comments also address the selected path location, construction practices, intrusion into the riparian corridor, mitigation, planting and maintenance as well as concerns regarding compliance with the Land Development Code and Statewide Planning Goal 5 to protect natural resources, scenic and historic areas, and open spaces.

Committee Comments

No comments were received.

FINDINGS OF FACT

Staff has reviewed the applicant's Narrative and Findings (Exhibit B) and recommends that the Commission adopt the Findings, as supplemented with the information in the sections below.

MLDC Section 10.925 Conditional Uses within Riparian Corridors

Per MLDC Section 10.925, water-related uses such as multi-use paths and bridges are subject to the approval of a Conditional Use Permit and are allowed within a riparian corridor if compatible with MLDC Section 10.920, "Riparian Corridors, Purposes" and if designed to minimize intrusion.

Compatibility With MLDC Section 10.920 Riparian Corridors, Purposes

The first purpose in MLDC Section 10.920 is:

- (1) *To implement the goals and policies of the "Environmental Element" and the "Greenway" General Land Use Plan (GLUP)*

designation of the Medford Comprehensive Plan and achieve their purposes.

This proposal supports the following specific Goals, Policies and Implementation Measures from the Environmental Element.

Goal 5: To achieve and maintain water quality in Medford's waterways.

Policy 5-B: The City of shall implement measures to reduce polluted surface water runoff into the storm drainage system.

Implementation 5-B(3): Require the use of natural waterways for storm drainage wherever possible to decrease flow speed and increase filtering prior to the runoff entering a primary waterway.

In this segment of the Larson Creek Multi-Use Path, flood control is designed to mimic the natural drainage process. Rather than detaining stormwater, it will be allowed to flow from the path into the ground where it will soak into the soil which will filter out large particles and sedimentation. Rather than creating an unnecessary point of discharge into the creek, the naturally filtered water will slowly drain into the creek.

Goal 6: To recognize Medford's waterways and wetlands as essential components of the urban landscape that improve water quality, sustain wildlife habitat and provide open space.

Policy 6-D: The City of Medford shall support the efforts of organizations such as the Bear Creek Watershed Council and the Bear Creek Greenway Foundation, which strive to improve the quality of Bear Creek and its tributaries with activities such as greenway formation, environmental education workshops, creek cleanup events, etc.

By joining Bear Creek Greenway with Segment I and now Segment II of the Larson Creek Multi-Use Path, this proposal supports the use of Bear Creek Greenway and makes the Greenway and Larson Creek more accessible for the types of environmental education, cleanup events and other activities organized by the Watershed Council and Bear Creek Foundation.

Goal 7: To preserve and protect plants and wildlife habitat in Medford.

Policy 7-A: The City of Medford shall encourage the conservation of plant and wildlife habitat...through the appropriate management of parks and public and private open space.

Implementation 7-A (2): Develop and implement regional plans for greenways, wetlands, and linear parks with Jackson County, as wildlife often travel paths that cross jurisdictional boundaries.

The Larson Creek Multi-Use Master Plan envisions a linear pathway from the Bear Creek Greenway to North Phoenix Road to the east. Planned pathways within the Southeast Plan Greenway trail system will further extend the path to the east to Chrissy Park.

The second, third and fourth purposes for riparian corridors outlined in MLDC Section 10.920 are:

- (2) *To protect and restore Medford’s waterways and associated riparian areas, thereby protecting and restoring the hydrologic, ecologic, and land conservation functions these areas provide for the community.*
- (3) *To protect fish and wildlife habitat, enhance water quality, control erosion and sedimentation, and reduce the effects of flooding.*
- (4) *To protect and restore the natural beauty and distinctive character of Medford’s waterways as community assets.*

In their Findings of Fact (Exhibit B, page 9), the applicant contends that the proposal is designed to restore and protect Larson Creek, the associated riparian corridor, and the natural beauty of Larson Creek as well as enhance water quality to protect fish and wildlife habitat. This will be accomplished through the following measures proposed by the applicant:

- As discussed above, improve flood control and water quality by mimicking the natural drainage process.
- Improve flood control and restore the waterway for fish migration through the removal of obstacles (non-native vegetation, shopping carts, debris, etc.) within the channel.
- Restore vegetation displaced by the path.
- Within planting areas, restore wildlife habitat through the removal of invasive species prior to planting of new plants.
- Plant native trees, shrubs and plants which will add habitat for wildlife and provide shade to the stream for fish.

In his letter, Ryan Battleson, the Assistant District Fisheries Biologist from the ODFW (Exhibit N, page 2), expresses concern that the design of the multi-use path and its proposed route will result in “a net loss of riparian habitat, a degradation of water quality, and damage to fish and wildlife habitat.” He comments that the proposed path locations do not minimize intrusion into the riparian corridor, and thereby do not meet

the protective purpose of the riparian corridor designation. The intrusion into the riparian corridor will be discussed in greater detail below.

Purposes five and seven for riparian corridors from MLDC Section 10.920 are similar as they are:

- (5) *To provide a means for coordinating the implementation of the Bear Creek Greenway and other greenways or creek restoration projects within the City of Medford.*
- (7) *To enhance coordination among local, state, and federal agencies regarding development activities near waterways.*

Coordination among local, state and federal agencies has and will continue to occur regarding the proposed project.

The sixth purpose for the riparian corridor is:

- (6) *To enhance the value of properties near waterways by utilizing the riparian corridor as a visual amenity.*

In their Findings of Fact (Exhibit B, page 9), the applicant contends that when the project is completed the value of the properties near Larson Creek may be enhanced due to the proximity to this amenity and asset to the neighborhood and City.

There are less tangible, potential implications of building the path which may be compatible with the purposes in MLDC Section 10.920. The construction of this segment of pathway would bring more community members through an area that is not currently well-traveled. That accessibility might create greater awareness of the waterway's health and potentially serve as a check on other, less beneficial uses of the riparian corridor, including camping, littering and dumping. As the community uses the path, Larson Creek would more likely be considered a community asset to be protected, restored and enhanced.

The applicant indicates (Exhibit B, page 4) that the wetland delineation report (Exhibit L) further demonstrates consistency with MLDC Section 10.920.

The Planning Commission must make the determination about whether the applicant has proposed adequate measures to meet MLDC Section 10.920 and protect and restore Larson Creek, its riparian corridor, fish and wildlife habitat, enhance water quality, control erosion and sedimentation, reduce the effects of flooding and protect and restore the natural beauty and distinctive character of the waterway.

Minimizing Intrusion

The second requirement in MLDC Section 10.925 is that the conditional use must be designed to minimize intrusion. As noted in the applicant's Findings of Fact (Exhibit B, page 3), the path has been located "as far away from Larson Creek and outside the riparian corridor to the greatest extent, given the existing geographical constraints and existing development. Even with this effort portions of the pathway are located within the identified riparian corridor." The path is proposed to be generally parallel to Larson Creek (Exhibits C and D).

This proposal has certain design features geared to minimize intrusion. As described in the applicant's Findings (Exhibit B) those features include the following:

- During construction every effort will be made to avoid damaging or removing any vegetation outside of the path's footprint.
- Equipment and machinery will be staged and operated outside of the riparian corridor as much as possible.
- Existing native vegetation will be protected in place to the best extent possible.

However, as discussed above, it is the opinion of the Assistant District Fisheries Biologist from the Oregon Department of Fish and Wildlife (ODFW) that the development of the multi-use path as proposed is a significant intrusion that results in permanent removal of riparian habitat. The significance is further magnified in areas where there is already little riparian habitat remaining. Therefore, intrusion must be further minimized. The applicant proposes varying path widths of 10 to 12 feet wide with two foot gravel shoulders on each side (Exhibit D). In his letter, Ryan Battleson, ODFW (Exhibit N, page 2) proposes minimizing the footprint of the pathway to 10 feet wide with two feet of gravel on each side which will still maintain the minimum recommended width of a multi-use path. He points out that "upstream of Black Oak Drive, the Larson Creek bike path width of impervious substrate is eight feet wide."

Encroachment into Riparian Setback

MLDC Section 10.923 requires a 50 foot riparian corridor setback from top-of-bank. This setback may be reduced if a request to reduce the setback is submitted to the Planning Director or designee for consideration. Per MLDC Section 10.927 the request may be approved as long as equal or better protection of the riparian area will be ensured through a plan for restoration, enhancement, or similar means. Such a plan shall be submitted to ODFW for a habitat mitigation recommendation pursuant to O.A.R. 635-415. A condition of approval has been added requiring the applicant to submit a plan for restoration, enhancement, mitigation and maintenance to ODFW for a recommendation and to Parks and Recreation for review and approval.

In this segment of the Larson Creek Multi-Use Path a large portion of the path will be located within the 50-foot riparian setback and as well as within the 25-foot setback (Exhibit C). The applicant indicates that as a result of studies conducted, the proposed route has been altered to better protect the stream. All easements for the path are in place for this segment of the path, except for one (Exhibit D). As a result of the route alteration, some easements will have to be further negotiated so that the multi-use path is located within easement boundaries. Once the final location is determined, the last easement will be negotiated. ODFW recommends that the City obtain additional easements, if necessary, in order to reduce the amount of impervious surface placed within the reduced 25-foot riparian corridor setback. Staff notes that the adopted 2003 *Transportation System Plan* identifies the Larson Creek Multi-Use Path as a priority project. The initial assessment of proposed route locations was conducted by Alta Planning in 2006, and many of the easements in place for the path date back to 1992. ODFW's recommendation dismisses decades of planning and would result in additional costs, considerable time and the loss of grant monies obtained to implement this segment of the path which altogether would make this segment of path infeasible.

The Planning Commission must make the determination about whether the applicant has designed the project to minimize intrusion.

MLDC Section 10.248 Conditional Use Permit Criteria

Regarding MLDC Section 10.248 *Conditional Use Permit Criteria*, the proposal complies with Criterion 2. The proposed project is objectively in the public interest. The numerous benefits of the multi-use path include:

- Provides cyclists and pedestrians with a scenic, safe, convenient, alternative route to heavily trafficked Barnett Road where it is impractical to provide bike lanes due to existing development and power transmission lines adjacent to the rights-of-way.
- Provides emergency service vehicles with an alternative to Barnett Road which may be needed during disaster response.
- Provides a needed exercise opportunity for all age groups without charging a user fee.
- Provides a nature trail which is an identified community need in the adopted *Parks and Recreation Leisure Plan*.
- Provides an alternative mode of transportation.
- Incorporates and connects adjacent neighborhoods.
- Preserves and enhances Larson Creek as a natural asset to the community.
- Complies with the adopted Environmental Element (Exhibit I).
- Complies with the adopted Transportation System Plan Element (Exhibit J).
- Complies with the adopted *Parks and Recreation Leisure Plan* (Exhibit K).

The construction of the path will cause some adverse impacts. Since 2000, the 50 foot riparian corridor setback has limited permitted land uses and this project proposes to build a path and two pedestrian bridges within the riparian setback which will have adverse impacts. An additional adverse impact of this segment of the multi-use path is the close proximity to several residential units along their backyards and fences. There may be additional noise associated with users of the path. Another adverse impact is the destruction of plants, shrubs and trees in the route of the path during construction. The next impact is the permanent loss of vegetation and wildlife habitat displaced by the path. The final category of potential impacts is the erosion and creek sedimentation which can result from construction.

The applicant is proposing measures discussed below that aim to mitigate the adverse effects of the proposed facility on the riparian corridor and creek. The Planning Commission may impose additional conditions per MLDC Section 10.248 to produce a balance between the conflicting interests.

MLDC Section 10.249 Mitigation of Impacts

The first adverse impact is the encroachment into the riparian corridor setback. Such encroachment can be approved as long as equal or better protection of the riparian area will be ensured through a plan for restoration, enhancement, or similar means. A condition of approval has been included requiring the applicant to prepare such a plan and submit it to ODFW for a habitat recommendation.

The second adverse impact is the close proximity of the path to several residential units. While the applicant does not identify any mitigation factors regarding this adverse impact, the City does utilize two methods to mitigate noise and use impacts on adjacent residential uses, and those are the use of fences/walls and bufferyard landscaping. The Planning Commission may impose one or both of these, if feasible, to mitigate this adverse impact.

The next adverse impact is the destruction of plants, shrubs and trees in the route of the path during construction. The applicant's Findings (Exhibit B, page 3) indicate that "every effort will be made during construction to avoid damaging or removing any trees, shrubs and native grasses outside of the pathway footprint." As previously discussed, to minimize intrusion equipment and machinery will be staged and operated outside of the riparian corridor "to the greatest extent possible."

The permanent loss of vegetation and wildlife habitat displaced by the path will be addressed through a mitigation re-planting plan to be reviewed and approved by both ODFW and Parks and Recreation. The applicant proposes to plan three trees/shrubs/plants for every 64 square feet of new impervious surface within the

riparian corridor. This is also the standard re-stocking rate for ODFW. This mitigation measure will add wildlife habitat and provide shade to the stream for fish. Parks and Recreation will hire a riparian design consultant (paid by Public Works) to prepare the mitigation re-planting plan. In Exhibit N, ODFW notes that “the standard for such permanent removal of habitat is three acres enhanced for each acre impacted. The rate of mitigation could be reduced for more substantial mitigation efforts, such as reestablishing riparian habitat in areas where it has been completely removed on other sections of the creek.”

To address the last adverse impact of erosion and creek sedimentation during construction, a condition of approval has been included requiring the applicant to implement erosion control measures before construction to ensure that the creek does not suffer from construction-related erosion.

Per MLDC Section 10.249, a development requiring mitigation of impacts under MLDC Section 10.248, must serve one of three purposes. The proposed project meets all three purposes by preserving Larson Creek, a unique asset to the community, providing a public facility to the immediate area and the community and providing an improvement that is consistent with the overall needs of the community in a location that is reasonably suitable for its purpose.

The Commission can find that the development is in the public interest, and although the development may cause some adverse impacts, conditions have been imposed by the approving authority to produce a balance between conflicting interests.

CONCLUSION

The Planning Commission must make the determination about whether the applicant has proposed adequate measures to meet the purposes for the riparian corridor found in MLDC Section 10.920 and whether the project has been designed to minimize intrusion as required in MLDC Section 10.925. The Planning Commission can find that the proposal meets the approval criteria in MLDC Sections 10.248 and 10.249.

RECOMMENDED ACTION

Adopt the Findings as recommended by staff and direct staff to prepare the Final Order for approval of CUP-17-053, per the Staff Report dated June 13, 2017, including Exhibits A through W.

EXHIBITS

- A Conditions of Approval dated June 13, 2017
- B Applicant's Narrative and Findings of Fact, received April 17, 2017
- C Site Plan with aerial photo background, received April 17, 2017
- D Site Plan, received April 17, 2017
- E Elevations and Cross Section of Pedestrian Bridges, received April 17, 2017
- F Jackson County Assessor Maps of project area, received April 17, 2017
- G General Land Use Plan Map designations of project area, received April 17, 2017
- H Zoning Map designations of project area, received April 17, 2017
- I Excerpts from Comprehensive Plan Environmental Element Regarding Adopted Riparian Corridors and Larson Creek, received April 17, 2017
- J Excerpt from Comprehensive Plan Transportation System Element – Figure 1-6: Medford Major Pedestrian Facilities Map, received April 17, 2017
- K Excerpts from Parks and Recreation Leisure Services Plan Regarding Trails, received April 17, 2017
- L Wetland Delineation Report from Terra Science, Inc. dated June 2015, received April 17, 2017 Including: Letter from Department of the Army Corps of Engineers dated January 27, 2016 and Letter from the Oregon Department of State Lands dated December 3, 2015
- M Memorandum from Medford Parks and Recreation received May 26, 2017
- N Letter from the Oregon Department of Fish and Wildlife received May 24, 2017
- O Staff Memo from the Medford Water Commission received May 25, 2017
- P Memorandum from the Planning Department Floodplain Coordinator received May 24, 2017
- Q Email from U.S. Army Corps of Engineers received May 19, 2017
- R Memo from the Building Department received May 24, 2017
- S Ordinance 2014-139 and associated City Council minutes from November 6, 2014 and November 20, 2014
- T Minutes from the Planning Commission Meeting on March 27, 2014 Regarding CUP-13-138
- U Ordinance 2013-164 and associated City Council minutes from November 21, 2013
- V Minutes from the Planning Commission Meetings on January 27, 2011 and February 10, 2011 Regarding CUP-10-093
- W Minutes from the Planning Commission Meetings on February 12, 2009 and February 26, 2009 Regarding CUP-08-151
Vicinity map

PLANNING COMMISSION AGENDA:

JUNE 22, 2017

EXHIBIT A
Conditions of Approval

CUP-17-053
Larson Creek Multi-Use Path Segment II
June 13, 2017

DISCRETIONARY CONDITIONS

1. The placement of benches, interpretive signage, and other ancillary structures normally associated with a multi-use path are permitted.

CODE REQUIREMENTS

2. Prior to issuance of the first building permit, the applicant shall:
 - a. Submit a plan for restoration, enhancement, mitigation and maintenance that will provide equal or better protection of the riparian area to the Oregon Department of Fish and Wildlife and the Parks and Recreation Planner for review and approval.
 - b. Submit a comprehensive mitigation re-planting plan to the Parks and Recreation Planner and the Oregon Department of Fish and Wildlife for review and approval.
 - c. Comply with the Staff Memo from the Medford Water Commission received May 25, 2017 (Exhibit O).
 - d. Comply with the Memorandum from the Floodplain Coordinator received May 24, 2017 (Exhibit P).
 - e. Comply with the email from the U.S. Army Corps of Engineers received May 19, 2017 (Exhibit Q).
 - f. Comply with the Medford Building Department memo received May 24, 2017 (Exhibit R).

CITY OF MEDFORD
EXHIBIT # A
File # CUP-17-053

RECEIVED

APR 17 2017

PLANNING DEPT.

CITY OF MEDFORD
LARSON CREEK TRAIL SEGMENT II

NARRATIVE

The Medford Public Works has easements existing for the placement of the Larson Creek Trail Segment II for a majority of the project area. There is one property adjacent to Black Oak Drive, owned by the Knights of Columbus, where an easement is still needed. The Medford Public Works Department will be negotiating with the Knights of Columbus for the required easement once the final alignment has been established.

Within the existing easements, the property owners granted unto the City of Medford perpetual easements for the construction of a public bicycle and pedestrian pathway along with the perpetual maintenance of the pathway. The easements from several property owners are recorded as: OR 92-30157, OR 92-33531, OR 2011-34199, OR 94-35549 and OR 95-36037.

Due to the wetland study, the floodplain study and comments from ODFW, the alignment of the Larson Creek Trail has been realigned to meet the standards and regulations to the greatest extent. With this realignment of the trail, further negotiations will be needed to modify or adjust the existing easements so that the trail system is located within the easement boundaries. There may also be instances where the Medford Public Works Department will acquire the property from the affected property owners.

This Conditional Use Permit application is to allow the Medford Public Works Department to construct a new pedestrian/bike path with two pedestrian bridges over Larson Creek, between Black Oak Drive and Ellendale Drive. This is part of the Larson Creek Trail system that was approved by the Medford City Council. The proposed pedestrian/bike path with the associated bridges provides for alternative modes of transportation located along Larson Creek. The Larson Creek Trail system will also provide for incorporation of neighborhoods, Saint Mary's High School, and adjacent lands. The Larson Creek Trail pathway is consistent with the transportation system plan for the City of Medford.

The proposed pedestrian/bike path will also serve as the designated bike lane for Barnett Road. The inclusion of bicycle lanes within the right of way of Barnett Road is impractical given the constraints caused by the existing development and the PP&L transmission lines adjacent to the road right of way.

Construction and development of the Larson Creek Trail system which includes the multi-use pathway, the pedestrian bridges, and fence relocation and improvements, will be conducted by the Medford Public Works Department. Maintenance of the pathway and riparian vegetation will be the responsibility of the Medford Parks Department. Maintenance of the storm water system and vegetation within the banks of Larson Creek will be done by the Medford Public Works Department.

RECEIVED

APR 17 2017

PLANNING DEPT.

**BEFORE THE PLANNING COMMISSION FOR
THE CITY OF MEDFORD, OR:**

**IN THE MATTER OF A CONDITIONAL USE)
PERMIT FOR THE ESTABLISHMENT OF A)
PORTION OF THE LARSON CREEK TRAIL)
SEGMENT II, BETWEEN ELLENDALE DR.)
AND BLACK OAK DR.; CITY OF MEDFORD)
PUBLIC WORKS DEPT., APPLICANTS;)
RICHARD STEVENS & ASSOCIATES, INC.)
AGENTS.)**

**FINDINGS OF FACT
AND CONCLUSIONS**

RECITALS:

Applicants- Medford Public Works Department
200 S. Ivy Street
Medford, OR 97501

Agents- Richard Stevens & Associates, Inc.
PO Box 4368
Medford, OR 97501

Proposal:

The purpose of this application is to construct a new pedestrian/bike path with two pedestrian bridges over Larson Creek, between Black Oak Drive and Ellendale Drive. (see site plan, Exhibit "A") This is part of the Larson Creek Trail system, a pedestrian/bicycle pathway that was approved by the Medford City Council. This proposal is within the riparian corridor for Larson Creek; therefore, requires a condition use permit (CUP) approved by the reviewing authority (Medford Planning Commission).

The proposed pedestrian/bike path with the associated bridges provides for alternative modes of transportation with a more scenic and convenient location along Larson Creek. The Larson Creek Trail system also provides for incorporation of the neighborhoods, Saint Mary's High School, and adjacent lands. This pathway is also consistent with the transportation system plan for the City of Medford.



The proposed pedestrian/bike path will also serve as the designated bike lanes for Barnett Road. The inclusion of bicycle lanes within the right of way of Barnett Road is impractical given the constraints caused by the existing development and the PP&L transmission lines adjacent to the road right of way.

For a majority of the project area the storm water runoff from the mulituse pathway will sheet towards Larson Creek. Once the runoff reaches the edge of the pathway the storm water will begin to infiltrate into the soil. The remaining storm water runoff will sheet flow across the soil with the existing and proposed vegetation acting as a filter strip to treat the surface water runoff in accordance with the City of Medford design standards. Due to the location of the pathway in relation to Larson Creek the storm water runoff will not need to be detained. The water will be allowed to sheet flow directly off the pathway onto the existing ground before eventually draining towards Larson Creek. All practical efforts were made to mimic the existing drainage conditions rather than to collect the storm water and to create an unnecessary point discharge into Larson Creek.

Construction and development of the Larson Creek Trail system which includes the multi-use pathway, the pedestrian bridges, and fence relocation and improvements, will be conducted by the Medford Public Works Department. Maintenance of the pathway and riparian vegetation will be the responsibility of the Medford Parks Department. Maintenance of the storm water system and vegetation within the banks of Larson Creek will be done by the Medford Public Works Department.

Authority:

Sections 10.920-10.928 Medford Land Development Code (MLDC) provides for the Riparian Corridor standards for the City of Medford. The purposes of these standards are:

- 1) To implement the goals and policies of the "Environmental Element" and the "Greenway" General Land Use Plan (GLUP) designation of the Medford Comprehensive Plan and achieve their purposes.
- 2) To protect and restore Medford's waterways and associated riparian areas, thereby protecting and restoring the hydrologic, ecologic, and land conservation functions these areas provide for the community.
- 3) To protect fish and wildlife habitat, enhance water quality, control erosion and sedimentation, and reduce the effects of flooding.
- 4) To protect and restore the natural beauty and distinctive character of Medford's waterways as community assets.



- 5) To provide a means for coordinating the implementation of the Bear Creek Greenway and other greenways or creek restoration projects within the City of Medford.
- 6) To enhance the value of properties near waterways by utilizing the riparian corridor as a visual amenity.
- 7) To enhance coordination among local, state, and federal agencies regarding development activities near waterways.

Section 10.922 subsection vi, identifies Larson Creek from Bear Creek to North Phoenix Road, as a fish bearing stream. With this designation the riparian corridor provisions within the Medford Land Development Code are applicable for review. The riparian corridor is measured 50-feet from the top of bank on each side of the stream. Portions of the proposed Larson Creek Trail, Segment 2 is within the riparian corridor for Larson Creek.

The purpose statements of Section 10.920 have been addressed and incorporated in the following discussions and findings, along with the attached maps and site plans in order to demonstrate that the completed project will meet the intent of these purpose statements consistent with the Medford Comprehensive Plan for the Larson Creek riparian corridor. The proposed uses within the riparian corridor (the multi-use paths, access ways, trails and bridges) are listed as conditional uses within Section 10.925 MLDC. This application and site plan also identifies the mitigation measures proposed for the impact on improvements of these facilities on the lands and vegetation within the Larson Creek riparian corridor.

The Medford Public Works Department has made every effort to locate the multiuse pathway as far away from Larson Creek and outside the riparian corridor to the greatest extent, given the existing geographical constraints and existing development. Even with this effort portions of the pathway are located within the identified riparian corridor. Every effort will be made during construction to avoid damaging or removing any trees, shrubs and native grasses outside of the pathway footprint. The equipment and machinery to be used on this project will be staged and operated outside of the identified riparian corridor to the greatest extent possible.

Section 10.925 lists the conditional uses allowed within riparian corridors. Specifically, Subsections 10.925(3) "Streets, roads, or bridges where necessary for access or crossings;" and 10.925(4) "Multi-use paths, accessways, trails, picnic areas, or interpretive and educational displays and overlooks, including benches and outdoor furniture" that are applicable to this application. With these proposed uses identified as conditional uses, Section 10.248 MLDC is the appropriate criterion for review.



APPROVAL CRITERIA:

The approval criteria for a condition use permit are found in Section 10.248(1) and (2), MLDC. The criteria are:

10.248 The approving authority (Planning Commission) must determine that the development proposal complies with either of the following criteria before approval can be granted.

(1) The development proposal will cause no significant adverse impact on the livability, value, or appropriate development of abutting property, or the surrounding area when compared to the impacts of permitted development that is not classified as conditional.

(2) The development proposal is in the public interest, and although the development proposal may cause some adverse impacts, conditions have been imposed by the approving authority (Planning Commission) to produce a balance between the conflicting interests.

Discussion:

The proposed construction of pedestrian and bike path along with the pedestrian bridge facilities for a portion of the Larson Creek Trail system, represents a community need and facility with mitigation measures that have been imposed to strike a balance between conflicting interests consistent with criterion 10.248(2) MLDC. Such measures are characterized as the restoration of vegetation to mitigate the habitat displaced by these facilities. The wetland delineation attached in Exhibit D, further demonstrates that the project remains consistent with the purposes for maintaining riparian corridors.

The proposed Larson Creek Trail segment with the associated bridges provides for alternative modes of transportation with a more convenient and scenic location being along Larson Creek. Barnett Road is a major arterial street that is developed with 5 lanes for movement of vehicles. The existing pedestrian and bicycle system along Barnett Road, with the existing sidewalks, may contribute to conflicts between bicycles and pedestrians, and between bicycles and motor vehicles. Bicyclist must either ride within one of the vehicle travel lanes, risking conflict with motor vehicles, or ride on the sidewalk risking conflict with pedestrians and obstruction along the way. It is not practical to provide sufficient area for bicycle lane facilities within the existing Right of Way for Barnett Road.

The Larson Creek Trail also provides connectivity for pedestrians and bicyclists between existing adjacent neighborhoods. Currently, the only practical way to travel in this area is along the dedicated road right of ways that carry a substantial amount of vehicles.



This trail segment will provide a safer, more enjoyable and scenic route for alternative modes of transportation from St. Mary's High School to the Bear Creek Greenway. This trail segment may also assist in waterway restoration for fish migration, flood control by removing obstacles (nonnative vegetation, shopping carts, etc.) within the channel, with vegetation and habitat restoration.

This accessway is also consistent with the Transportation System Plan element within the Medford Comprehensive Plan. (Exhibit C) This element provides strategies that include this area for bicycle path systems, which states:

Complete Bear Creek Greenway path, the Larson Creek Greenway path, limited segments of a greenway path along Lone Pine Creek and identify other opportunities for multi-use paths., and,

Overcome barriers to bicycle circulation through the use of "bicycle boulevards", accessways, multi-use paths or easements, or other creative strategies.

Within the Transportation System Plan element, Figure 1-5: Medford Bicycle Facilities Plan, identifies the Larson Creek Trail System as a "Planned Multi-Use Path". This has been adopted by the Medford City Council as a significant needed facility for alternative modes of transportation. These multi-use paths also provide for various exercise opportunities such as walking, running, etc.

Figure 1-6: Medford Major Pedestrian Facilities Plan, also identifies this segment of the Larson Creek Trail as part of the adopted plan for pedestrian traffic. This segment being proposed is part of larger project envisioned by the City Council and also numerous residents within the City and surrounding communities.

In reviewing this application, Section 10.248 allows the approving authority the discretion to impose conditions to mitigate any identified conflicts, if any, within the identified riparian corridor. The applicable citation is found in Subsection 10.248(11); which states:

"(11) Protect existing trees, vegetation, water resources, wildlife habitat, or other significant natural resources."

Following the City of Medford Public Works Department consultation and coordination with ODFW, City of Medford Parks Department and the City of Medford arborist, the City of Medford Public Works will mitigate the impact of the proposed asphalt multiuse pathway through the use of new native trees, plants, or shrubs within the riparian corridor. The City of Medford Public Works will plant up to 3 trees, shrubs, or plants for every 64 square feet of new impervious surface within the riparian corridor as recommended by the ODFW Salmon Trout Enhancement Program (STEP) Biologist.



These new plantings will mitigate the impacts and add habitat for wildlife and provide shade to the fish that use Larson creek to spawn.

The City of Medford Parks department will manage the riparian planting and maintenance but will be funded by the City of Medford Public Works. The City of Medford Parks Department will hire a riparian design consultant to form a mitigation planting plan to be approved by ODFW. This design will be installed and maintained throughout the 5 year establishment period by the contractor with oversight by the City of Medford Parks Department. Within the proposed mitigation planting areas the existing invasive species such as blackberries and ivy will be removed prior to planting to allow the new native trees, shrubs, or plants to become established. Existing native vegetation will be protected in place to the best extent possible. Plant type, spacing, and location will be based on the recommendation of the riparian design consultant. Maintenance activities during the 5 year establishment period will consist of irrigation system oversight, invasive plant removal, and native plant fertilizing. Plants will be replaced as necessary on an annual basis.

Conclusion:

The Medford Planning Commission concludes that the proposed pathway may have adverse impacts on the surrounding lands; however, the proposed Larson Creek Trail will be a community benefit. The pathway is a needed trail system that has been reviewed and approved by the Medford City Council as an important link for alternative modes of transportation. The pathway will also provide for bicycle travel adjacent to Barnett Road to ensure public safety from conflicting motor vehicles.

FINDING:

The Medford Planning Commission finds that the Larson Creek Trail system is a community benefit for the neighborhood and the residents of the city. Section 10.248(2), MLDC is applicable and the Medford Planning Commission may apply additional conditions if any additional impacts are identified.

Section 10.249 MLDC, Mitigation of Impacts, requires one of the following to be applicable and met. These are:

- (1) Preserve unique assets of interest to the community.*
- (2) Provide a public facility or public non-profit service to the immediate area or community.*



(3) *Otherwise provide a use or improvement that is consistent with the overall needs of the community in a location that is reasonably suitable for its purpose.*

Discussion:

Any improvement or disturbance within the riparian corridor is an impact to the native vegetation and habitat. A potential impact associated with this segment of the trail system will be the close proximity to several residential units along their backyards and fences. With the pedestrians present, there may be additional noise associated with the travelers as they walk or ride and converse along the accessway.

The riparian corridors are described as assets of interest to the community for open space with fish and wildlife habitats. The pedestrian/bike path with the pedestrian bridges allows the community to view these habitats, and to exercise, and the trail provides alternative routes for alternative modes of transportation. The development of this pathway will assure that open spaces and recreational opportunities are available in the various neighborhoods while preserving and enhancing the natural assets to the greatest extent.

This is supported within the Environmental Element of the Medford Comprehensive Plan for Riparian Corridors. Figure 7 of the Environmental Element identifies the riparian corridors and discusses specifically Larson Creek and the trail system as a potential showcase for a fish bearing stream. With the enhancement and restoration activities proposed, this proposal for a portion of the Larson Creek Trail is consistent with Section 10.249(1) for preserving an asset to the community.

This area may also be defined as a Category "B" public facility as a linear park area along the Larson Creek riparian corridor. The Medford Parks Department will have responsibility for maintenance of the pathway and riparian vegetation along the Larson Creek Trail. The Parks and Recreation section within the Public Facilities Element identifies unique areas and resources within the City that include natural open space areas, trails, paths, bikeways, and greenways. (Exhibit C) Within the Parks, Recreation and Leisure Services section of the Public Works Element a need for nature trails and trailheads are identified. In addition, there is a need for an additional 15 miles of recreational trails by the year 2030. This identified segment of Larson Creek Trail system will provide a part of this need and when fully completed to North Phoenix Road will further be able to connect with the existing and planned pathways within the Southeast Plan Greenway trail system with the eventual connection with Chrissy Park. This will provide an interconnected system of multi-use paths that will provide for a safe and scenic route for pedestrians and bicycles in east Medford.

The development of the Larson Creek Trail System from the Bear Creek Greenway to North Phoenix Road is also consistent with the overall community needs for expanding recreational opportunities. This trail system has been reviewed for many years and is



finally coming to fruition with the construction of segments and when funding is available. Segment 1 from Bear Creek to Ellendale Drive has recently been developed and completed. This proposal for Segment 2 from Ellendale to Black Oak Drive enhances the opportunities while providing for the overall community needs. The presence of Saint Mary's High School and connecting various neighborhoods adjacent to Larson Creek with a multi-use path is a reasonable location that is well suited for pedestrian traffic and recreational opportunities.

Conclusion:

The Medford Planning Commission concludes that the proposed Larson Creek Trail System is a unique asset that is of interest to the community. In addition, this trail system can be defined as a public facility in the area for being used as a linear park area along Larson Creek. Further, the Planning Commission can conclude that the proposed trail system provides for a use that is needed for the community in a suitable location along Larson Creek. The Medford Comprehensive Plan, adopted by the City Council, has identified and included this trail system as a community and city wide benefit.

FINDING:

The Medford Planning Commission finds that the proposed Larson Creek Trail System, Segment II, is consistent with Section 10.249, MLDC. There are impacts to the riparian corridor with the trail and bridges that will be mitigated, consistent with ODFW standards and the Medford Parks and Recreation Department.



SUMMARY:

Based on the above findings, attached site plans and maps, the Planning Commission for the City of Medford, Oregon concludes that this application for a Conditional Use Permit meets the requirements of the Medford Land Development Code and will be consistent with Division of State Lands and Army Corps of Engineers standards. The application is for needed public facilities and is allowed by Section 10.248(2), MLDC, to have some adverse impacts in the immediate area. The Planning Commission further concludes that, where necessary, appropriate conditions and mitigation measures have been applied to the application to mitigate the impacts.

The Planning Commission can also conclude that the proposals for mitigation are consistent with the purposes for establishing the riparian corridors by being: 1) consistent with the applicable goals and policies of the Comprehensive Plan; 2) the proposals are designed to restore and protect Larson Creek and the associated riparian corridor; 3) enhances the water quality to protect the fish and wildlife habitat; 4) restores the natural beauty of Larson Creek; and 5) with completed project improvements the property values may be enhanced in the area as an amenity to the neighborhood and city.

The applicants respectfully request approval of this Conditional Use Permit for Larson Creek Trail System, Segment II to complete the required engineering and submit a riparian landscape plan for review by Oregon Department of Fish and Wildlife, as required by OAR 635-415.

Respectfully Submitted,

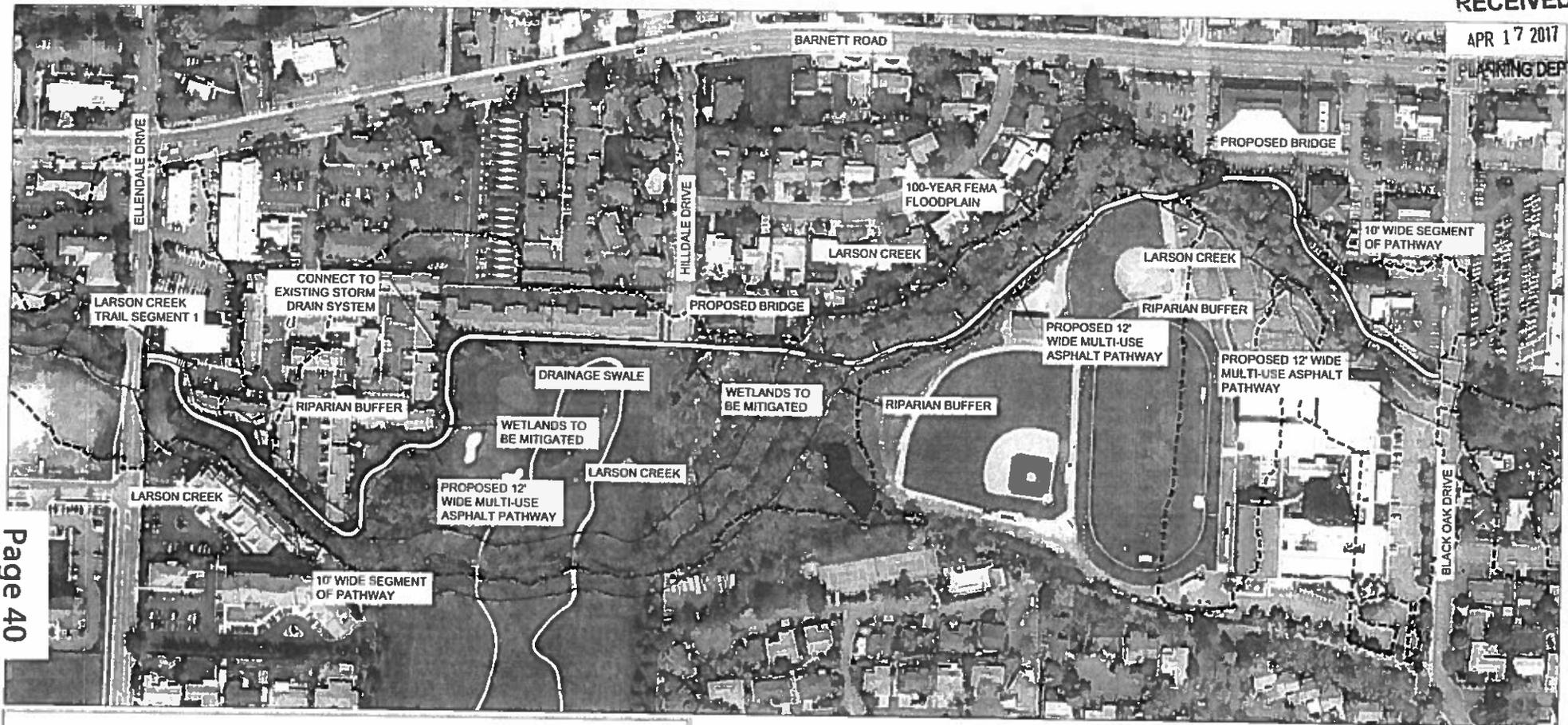


Richard Stevens & Associates, Inc.

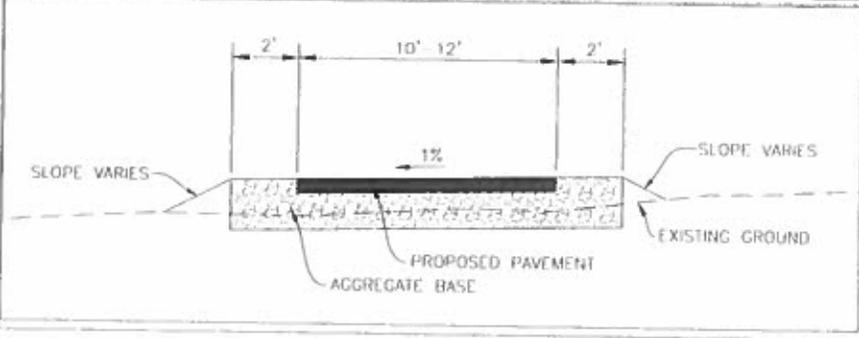


APR 17 2017

PLANNING DEPT.



Page 40



LEGEND

- 100 YEAR FLOODPLAIN
- - - RIPARIAN BUFFER
- PATHWAY
- DIRECTIONAL DRAINAGE FLOW ARROWS

SCALE
1" = 200'

CITY OF MEDFORD
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File # CUP-17-053

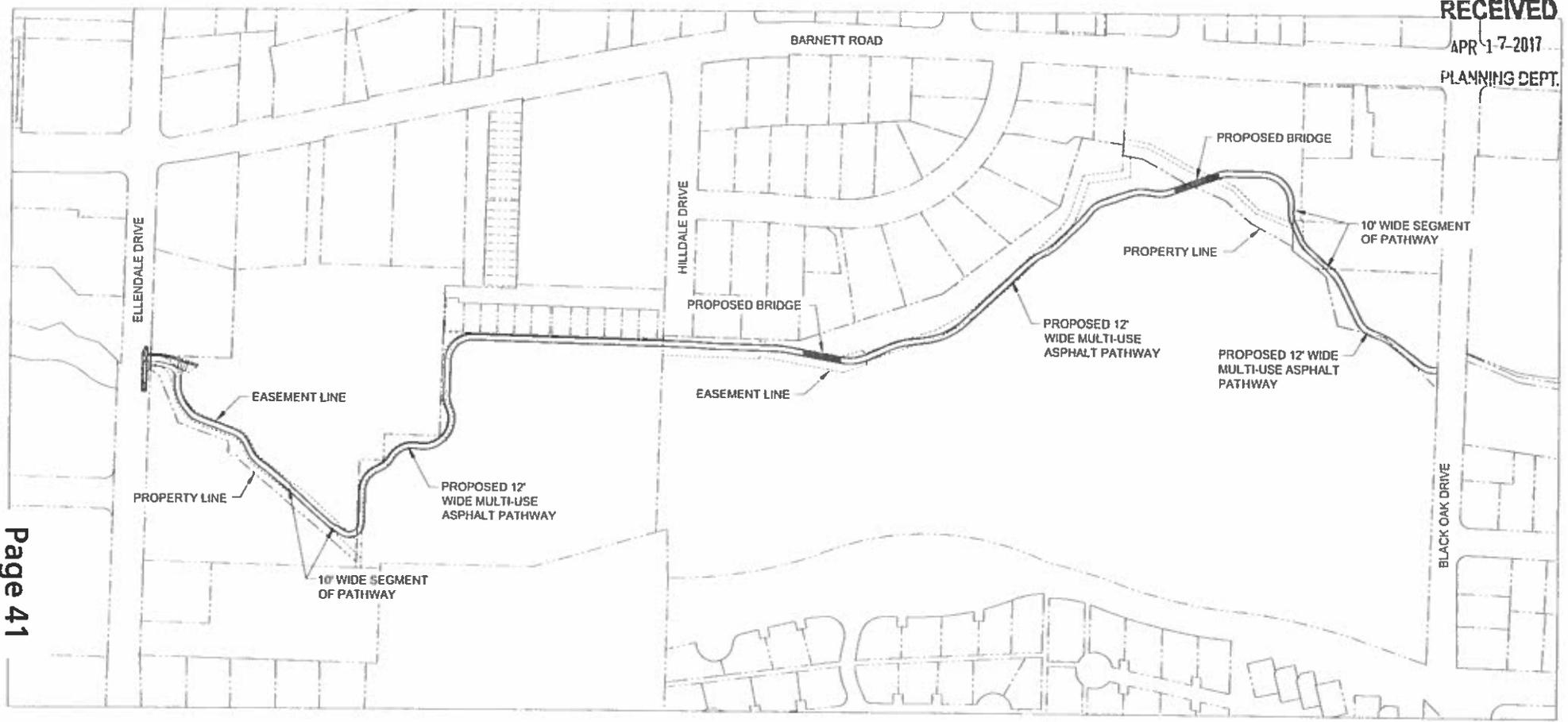
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EXHIBIT # C
File # CUP-17-053

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Page 41

LEGEND

-  PROPERTY LINE
-  EASEMENT LINE
-  PATHWAY

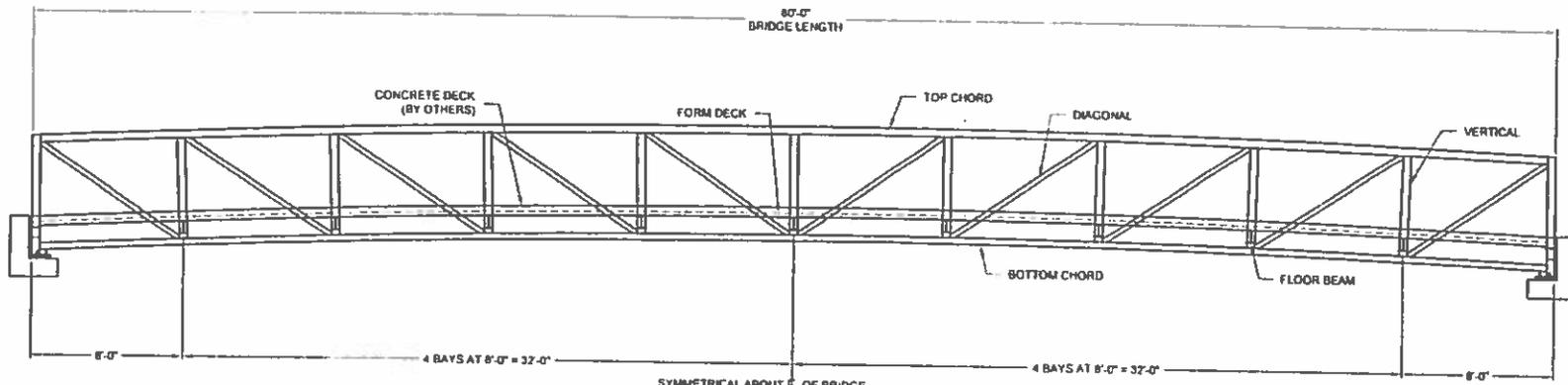


SCALE
1" = 200'

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EXHIBIT #
File # CUP-17-053

EXHIBIT A-2

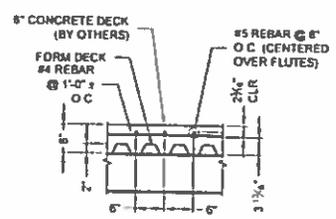
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EXHIBIT # D
File # CUP-17-053



BRIDGE ELEVATION

GENERAL NOTES

- DESIGN STRESSES ARE IN ACCORDANCE WITH "STANDARD SPECIFICATION FOR HIGHWAY BRIDGES" & "GUIDE SPECIFICATIONS FOR DESIGN OF PEDESTRIAN BRIDGES" BY THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO)
- BRIDGE MEMBERS ARE FABRICATED FROM HIGH STRENGTH, LOW ALLOY, ENHANCED ATMOSPHERIC CORROSION RESISTANT ASTM A617 COLD-FORMED WELDED SQUARE AND RECTANGULAR TUBING, AND ASTM A568, ASTM A606, OR ASTM A242 PLATE AND STRUCTURAL SHAPES (F_y = 50,000 F-5)
- CONCRETE DECK GALVANIZED FORM DECK SUPPLIED BY CONTECH CONCRETE, REINFORCING, AND EXPANSION MATERIAL SUPPLIED BY OTHERS SEE CONCRETE DECK SHEET
- THE GAS METAL ARC WELDING PROCESS OR FLUX CORED ARC WELDING PROCESS WILL BE USED WELDING TO BE IN ACCORDANCE WITH AWS D1.1
- ALL TOP AND BOTTOM CHORD SHOP SPICES TO BE COMPLETE PENETRATION TYPE WELDS WELD BETWEEN TOP CHORD AND END VERTICAL SHALL BE AS DETAILED
- UNLESS OTHERWISE NOTED, WELDED CONNECTIONS SHALL BE FILLET WELDS (OR HAVE THE EFFECTIVE THROAT OF A FILLET WELD) OF A SIZE EQUAL TO THE THICKNESS OF THE LIGHTEST GAGE MEMBER IN THE CONNECTION WELDS SHALL BE APPLIED AS FOLLOWS
 - A BOTH ENDS OF VERTICALS, DIAGONALS, AND FLOOR BEAMS SHALL BE WELDED ALL AROUND
 - B BRACE DIAGONALS WILL BE WELDED ALL AROUND
 - C MISCELLANEOUS NON-STRUCTURAL MEMBERS WILL BE STITCH WELDED TO THEIR SUPPORTING MEMBERS
- BRIDGE DESIGN WAS ONLY BASED ON COMBINATIONS OF THE FOLLOWING LOADS WHICH WILL PRODUCE MAXIMUM CRITICAL MEMBER STRESSES
 - A 80 PSF UNIFORM LIVE LOADING ON THE FULL DECK AREA OR ONE 10,000 LB VEHICLE LOAD THE LOAD SHALL BE DISTRIBUTED AS A FOUR WHEEL VEHICLE WITH 80% OF THE LOAD ON THE REAR WHEELS THE WHEEL TRACK WIDTH OF THE VEHICLE SHALL BE 8'-0" AND THE WHEEL BASE SHALL BE 13'-0" THE VEHICLE SHALL BE POSITIONED SO AS TO PRODUCE THE MAXIMUM STRESSES IN EACH MEMBER, INCLUDING DECKING
 - B 35 PSF WIND LOAD ON THE FULL HEIGHT OF THE BRIDGE, AS IF ENCLOSED
 - C 20 PSF UPWARD FORCE APPLIED AT THE WINDWARD QUARTER POINT OF THE TRANSVERSE BRIDGE WIDTH (AASHTO 3.15.3)
- CLEANING ALL EXPOSED SURFACES OF STEEL SHALL BE CLEANED IN ACCORDANCE WITH STEEL STRUCTURES PAINTING COUNCIL SURFACES PREPARATION SPECIFICATIONS NO. 7 BRUSH OFF BLAST CLEANING SSPC-SP7-LATEST EDITION
- MINIMUM MATERIAL THICKNESS OF 1/4" ON ALL STRUCTURAL MEMBERS



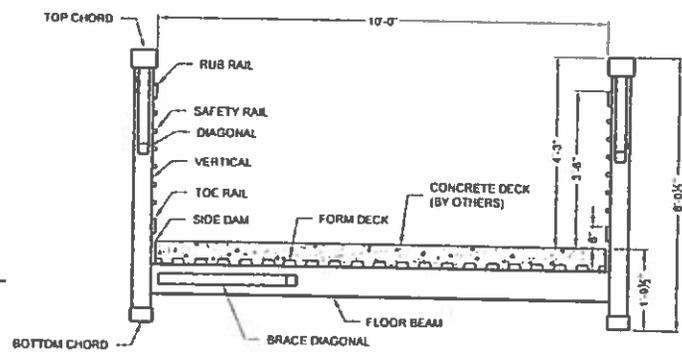
2 TYP SLAB REINFORCEMENT DETAIL

f_c = 4,000 PSI (MINIMUM 28 DAY STRENGTH)
GRADE 63 REINFORCING (f_y = 60,000 PSI)

COMBINE REACTIONS AS PER LOCAL OR GOVERNING BUILDING CODES AS REQUIRED

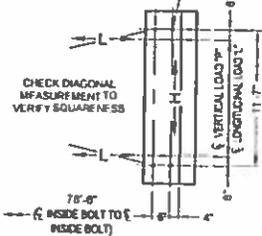
BRIDGE REACTIONS	* UNIFORM LOAD - SPREAD LOAD		
	P (8,880)	H (8,880)	L (8,880)
DEAD LOAD (2)	18,978		
UNIFORM LIVE LOAD	19,200		
VEHICLE LOAD	5,000		
WIND	12,000	8,400	
TOTAL	55,178	8,400	2,500

- 1) VERTICAL LOAD EACH BASE PLATE (4 PER BRIDGE)
 - 2) HORIZONTAL LOAD EACH FOOTING (2 PER BRIDGE)
 - 3) LONGITUDINAL LOAD EACH BASE PLATE (4 PER BRIDGE)
- 1) BRIDGE LIFTING WEIGHT 19,100 LBS
2) BRIDGE FINAL WEIGHT 67,900 LBS
- 1) DOES NOT INCLUDE WEIGHT OF CONCRETE DECK
2) INCLUDES WEIGHT OF CONCRETE DECK

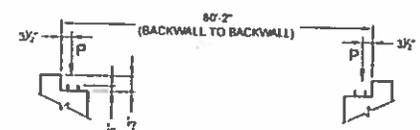


1 BRIDGE SECTION

(8) #3/4" ASTM F1554 GRADE 36 GALV ANCHOR RODS W/2 NUTS AND (1) 2" O.D. WASHER EACH. (BY OTHERS)



PLAN



ANCHOR BOLT ELEVATION

CONTECH FABRICATION DRAWING

NO.	DESCRIPTION	DATE	BY

80'-0" x 10'-0"
AASHTO EXPRESS
PEDESTRIAN BRIDGE
STANDARD CONCRETE DECK

CONTECH
ENGINEERED SOLUTIONS LLC
www.contechsteel.com
1144715

EXPRESS

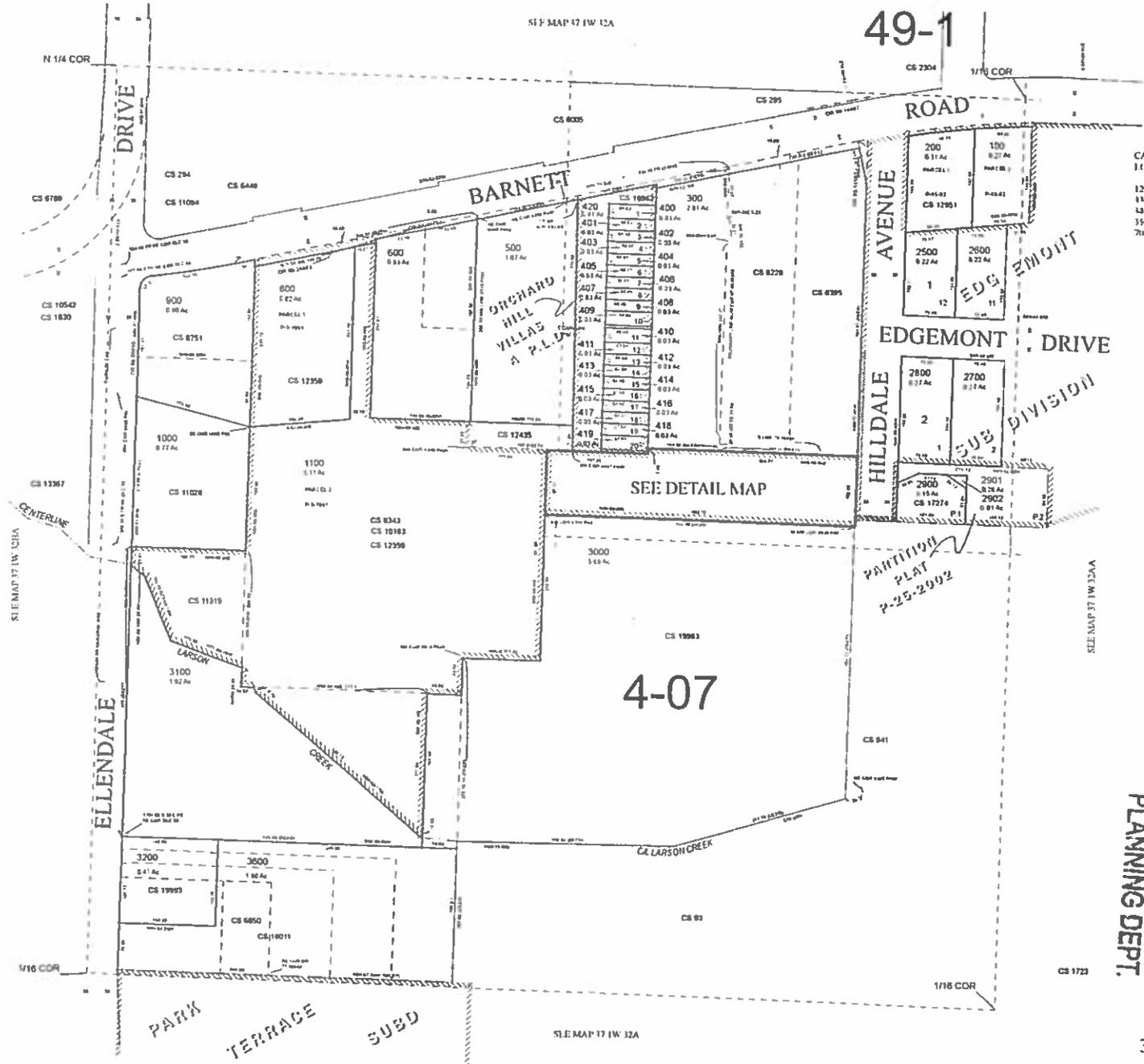
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DR 17 2017
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FOR ASSESSMENT AND TAXATION ONLY

N.W.1/4, N.E. 1/4, SEC. 32, T.37S., R.1W., W.M. JACKSON COUNTY
1" = 100'

37 1W 32AB
MEDFORD



CANCELLED TAX
LOT NUMBERS
1200-2400 (ON DETAIL MAP
3500 ADDED TO 3200
3600 ADDED TO 3600
3800 ADDED TO 3600
700 ADDED TO 6000)

49-1

4-07

PARTITION
PLAT
P-25-2002

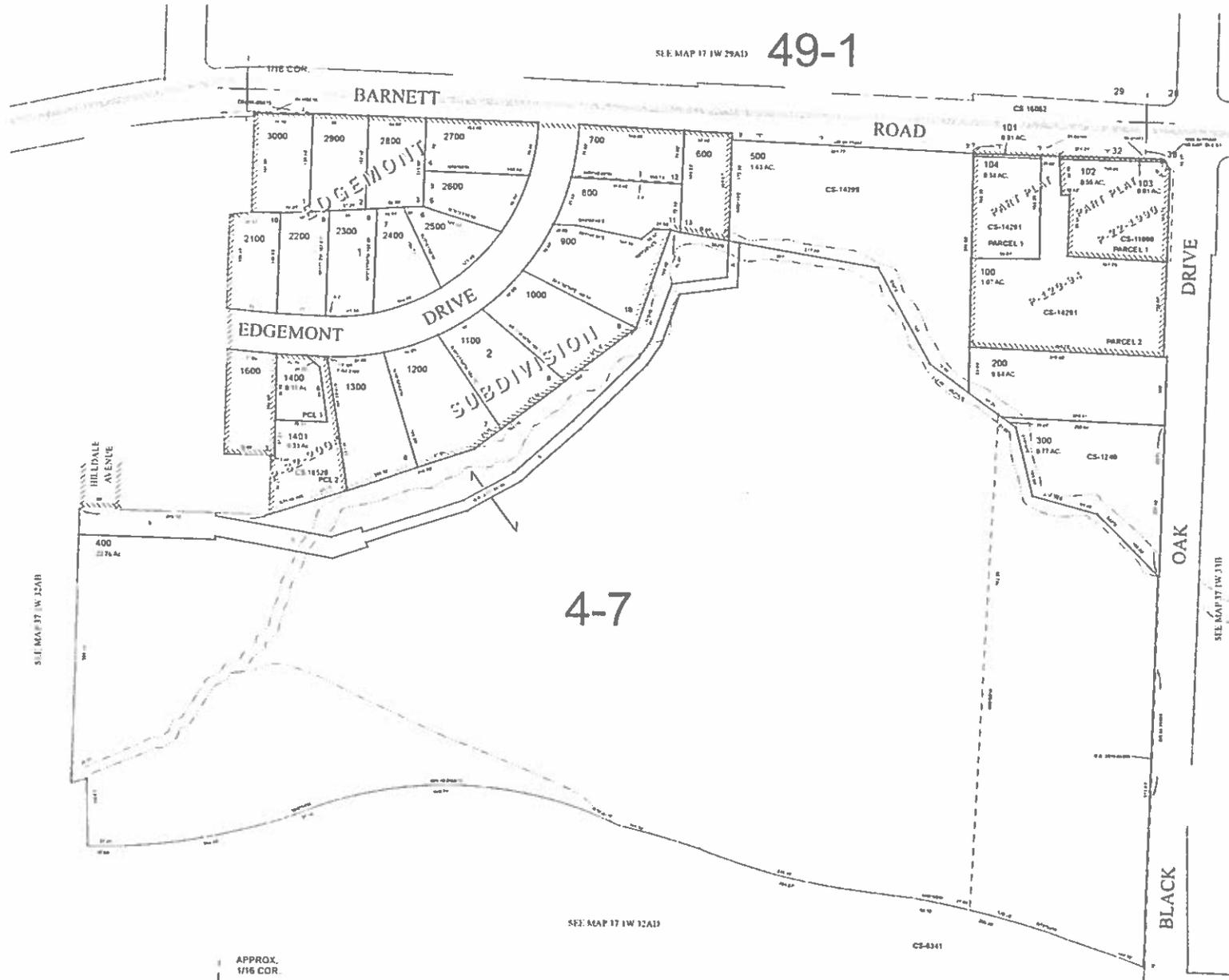
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37 1W 32AB
MEDFORD
NEW MAP JANUARY 08, 1995
REV JANUARY 19, 2006

FOR ASSESSMENT AND
TAXATION ONLY

N.E. 1/4, N.E. 1/4, SEC. 32, T. 37S., R. 1W., W.M.
JACKSON COUNTY
1" = 100'

37 1W 32AA
MEDFORD



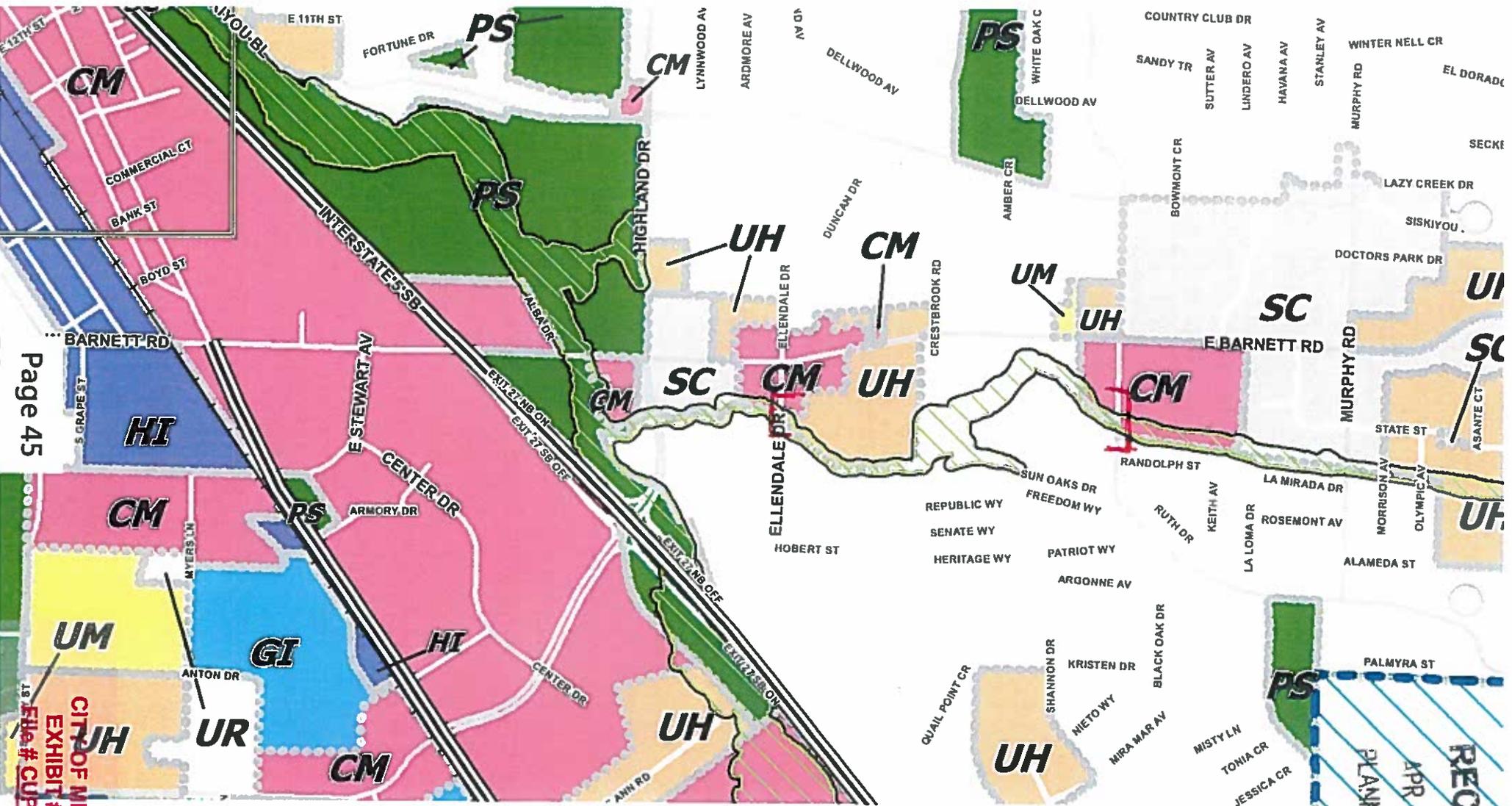
CANCELLED TAX
LOT NUMBERS

- 1540
- 1770
- 1800
- 1900
- 2040
- 1100
- 1101

2

37 1W 32AA
MEDFORD

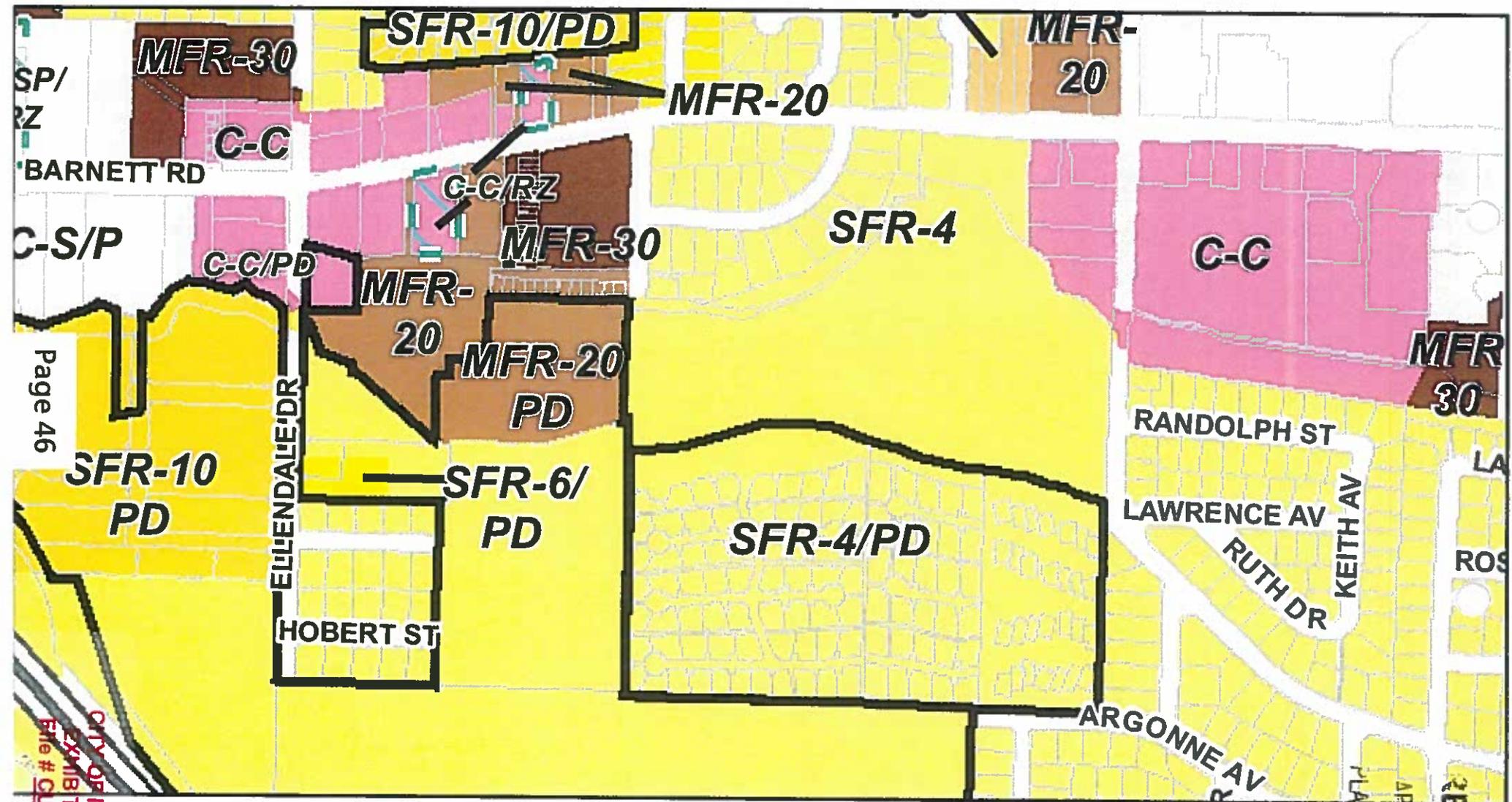
FOR CONVERSION SEPTEMBER 21, 1999
REV JULY 11, 2012



Page 45

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 File # CUP-17-053

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Page 46

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File # CUP-17-053

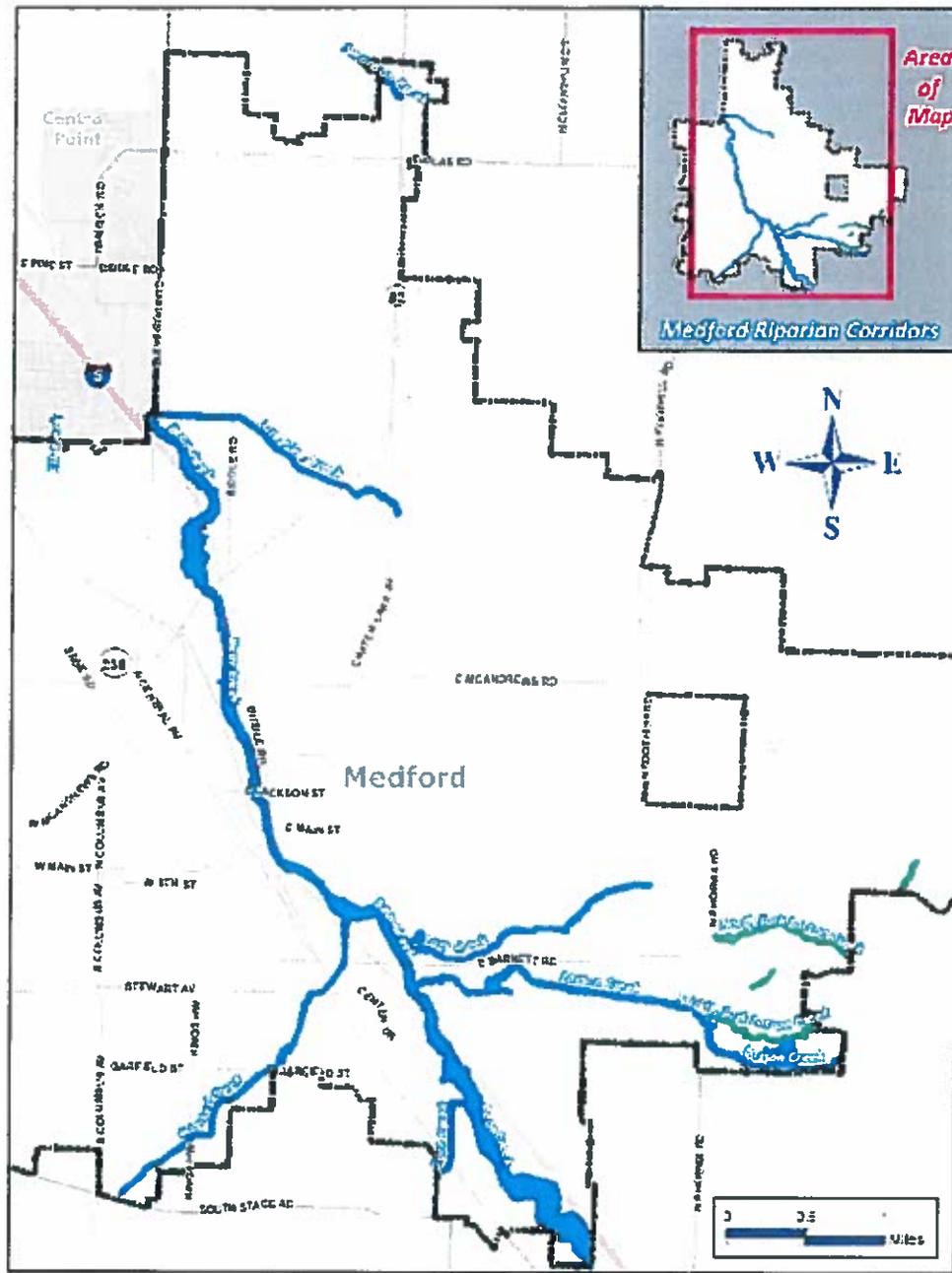
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2

Figure 7: Medford Area Riparian Corridors APR 17 2017

Riparian Corridors - Ordinance 2011-123

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LEGEND

Riparian Corridors

- Existing
- Existing (Protected - SE Plan)

Riparian Corridors based on Ordinance 2011-123

- Vector USG
- Streams
- Freeway
- State - highway
- Major Road
- Other Public Road



Adopted on 10.6.11

**Things You Can do to Help
Restore Salmon Habitats**

- 1) Plant native trees and shrubs along streams to help stabilize the banks and provide cooling shade for the water.
- 2) Use fencing to keep livestock from damaging stream banks.
- 3) Avoid operating heavy equipment in streams, which can ruin spawning beds, create sediment problems, and cause other long-term damage.
- 4) Limit impacts on waterways to only those essential to your operation. Consult with necessary agencies before you act. Oregon and federal laws prohibit diking, channelizing, and water diversions without a permit, and provide a clear set of operational guidelines. Dredging or removing material from rivers is also tightly regulated. **You may not place any artificial structure in a stream or river that blocks fish passage.**
- 5) Check with DEQ about responsible runoff management at your site. Construction can cause serious sediment problems, even well away from a waterway, if stormwater is not properly contained. State law requires larger earth-disturbing developments to go through a permitting process. While smaller operations may not need permits, they can still have impacts.
- 6) If you must use a septic tank, be sure it is properly designed, located, and well maintained. Poorly performing septic tanks can contaminate groundwater and nearby streams.
- 7) Dispose of household chemicals, such as used motor oil, antifreeze, pesticides, paints, etc., at approved collection facilities in your area. Call your local DEQ office for your disposal options.

Source: Oregon Department of Environmental Quality

LARSON CREEK

The Larson Creek stream system is another significant stream system within the UGB that has the potential to become a showcase anadromous fish-bearing stream system. Although needing enhancement, it still has the potential to return to a properly functioning condition. Many of the branches and tributaries of Larson Creek are intermittent streams that run low or under gravel during the summer months. Those that are not intermittent may be supplemented by irrigation return flows. Although impacted by urban development, the section of the creek between Bear Creek and North Phoenix Road contains some important riparian areas and wetlands, and is suitable for enhancement and restoration activities. A multi-use path has been planned along this section of the creek since the 1970s, although only small sections between Black Oak Drive and Larson Creek Drive have been constructed.

The three forks of Larson Creek that traverse the Southeast Area were once all fish-bearing streams that provided steelhead spawning and rearing habitat. A Medford Irrigation District (MID) canal along North Phoenix Road intercepted each fork, reducing or preventing fish passage. An improvement project has reconnected the South Fork with the Middle Fork just east of North Phoenix Road, enhancing fish passage. The canal in this area has been piped. Larson Creek is designated a Riparian Corridor from Bear Creek to North

Phoenix Road,. In addition, the South Fork is designated a Riparian Corridor from North Phoenix Road, east to the 2010 Medford UGB.

Recognizing that Southeast Medford is significant to the overall health of Larson Creek, the Southeast Plan of the "General Land Use Plan Element" and the Southeast (S-E) Overlay Zoning District, adopted in 1998, provide for a "Greenway" designation applied to all three forks of the creek. The overlay district provides a 50-foot structural setback in most segments and restrictions on activities within the setback area. Riparian and instream enhancement activities are encouraged. The vegetative cover is also encouraged to remain as close to natural conditions as possible. Healthy, lush vegetation provides not only cover from fish predation and regulation of water temperature, but

ENVIRONMENTAL ELEMENT

also habitat for food sources (insects), and reduces stress by limiting disturbance to the fish. Multi-use paths are planned along forks of the creek, and small segments have been constructed as of 2010.

RIPARIAN CORRIDOR ORDINANCE

As noted in the “Water Quality” section, to comply with Goal 5 requirements for riparian corridors, specific regulations must be adopted in the *Medford Land Development Code*.

Per the *Medford Land Development Code*, the purposes of establishing riparian corridors are:

1. To implement the goals and policies of the “Environmental Element” and the “Greenway” General Land Use Plan (GLUP) designation of the *Medford Comprehensive Plan* and achieve their purposes.
2. To protect and restore Medford’s waterways and associated riparian areas, thereby protecting and restoring the hydrologic, ecologic, and land conservation functions these areas provide for the community.
3. To protect fish and wildlife habitat, enhance water quality, control erosion and sedimentation, and reduce the effects of flooding.
4. To protect and restore the natural beauty and distinctive character of Medford’s waterways as community assets.
5. To provide a means for coordinating the implementation of the Bear Creek Greenway and other greenways or creek restoration projects within the City of Medford.
6. To enhance the value of properties near waterways by utilizing the riparian corridor as a visual amenity.
7. To enhance coordination among local, state, and federal agencies regarding development activities near waterways.

When reviewing development applications for properties containing a riparian corridor, the approving authority must consider how well the proposal satisfies these objectives. As required by Goal 5, the ordinance provides for a riparian corridor boundary of 50 feet, measured from the top-of-bank along both sides of waterways with an average annual flow of less than 1,000 cubic feet per second (cfs) and identified as being fish-bearing streams, or other waterways having riparian areas determined to be significant.

To sustain and enhance Medford’s existing wildlife habitats, both aquatic and terrestrial, it is important to identify and designate areas as riparian corridors, greenways, wetlands, and other open space preserves. These areas will not only sustain wildlife habitat, but also satisfy the requirements for its protection as mandated by Goal 5. Preserving the existing natural corridors is critical to the preservation and enhancement of wildlife for several reasons. For terrestrial wildlife, particularly those species that require large home ranges, connecting corridors are an essential habitat element, as they permit access into areas that may be otherwise too small to use if isolated. For less transient species, corridors are important in the long-term as they allow movement between populations, providing for genetic exchange and more healthy individuals.

**NATURAL RESOURCES
WATER QUALITY, WETLANDS, AND WILDLIFE HABITAT
CONCLUSIONS**

1. While the groundwater beneath the valley floor is not the domestic water source for the Medford planning area, it is a regionally important natural resource primarily due to its use as a domestic water source for individual wells.
2. Bear Creek and its tributaries are critically important natural resources, yet suffer from poor water quality due to forest and agricultural practices and urban point and non-point discharges.
3. The poor water quality of Bear Creek and its tributaries is partially attributable to non-point pollution from diffuse sources, such as stormwater, agricultural runoff, and septic system seepage. Non-point pollution sources can significantly damage water quality, yet are more difficult to pinpoint and treat than conventional point sources of water pollution.
4. Natural resource cleanup programs involving local schools, clubs, and civic organizations, such as those sponsored by the Bear Creek Watershed Council, are excellent means to engage the public in environmental education. The presence of waterways such as Bear Creek and Larson Creek, and various wetlands in Medford provides a platform for such programs.
5. The City of Medford recognizes wetlands as valuable urban resources that can provide water quality maintenance, stormwater detention, wildlife habitat, and open space. Medford's 2002 *Medford Local Wetlands Inventory and Locally Significant Wetland Determinations* by Wetland Consulting identified and assessed most of the wetlands, in the Urban Growth Boundary. The 2002 *Medford Riparian Inventory and Assessment Bear Creek Tributaries* by Wetland Consulting inventoried and assessed the waterways that are tributary to Bear Creek.
6. Occasionally, the protection of a locally significant wetland (one that has been determined to have significant value according to state criteria) must be balanced against other important community goals. An exceptional "conflicting use" may be more important to the long-term needs of the citizens than preservation of the wetland area.
7. The Medford UGB has been evaluated for potential wetland mitigation sites. Wetland mitigation involves the restoration, enhancement, or creation of wetlands to compensate for permitted wetland losses elsewhere. Restoration and enhancement of existing wetlands is the wetland mitigation most likely to be successful in Medford due to its ecologic and climatic characteristics.
8. Although Bear Creek and the Bear Creek Greenway contain Medford's most valuable fish and wildlife habitat, fish and wildlife habitat exists elsewhere within the Urban Growth Boundary. As of June 8, 2005, portions of the following streams have been identified by ODFW as fish bearing streams, and should be protected per Statewide Planning Goal 5 (OAR 660-023) through the imposition of Riparian Corridor Regulation. These streams, or portions thereof, include: Bear, Elk, Swanson, Lone Pine, Lazy, Larson, Gore, and Crooked Creeks.

**NATURAL RESOURCES
WATER QUALITY, WETLANDS AND, WILDLIFE HABITAT
GOALS, POLICIES, AND IMPLEMENTATION MEASURES**

Goal 4: To preserve and protect Medford's ground water resources and recharge zones.

Policy 4-A: The City of Medford shall ensure the protection of the Big Butte Springs domestic water source working in cooperation with Jackson County.

Implementation 4-A (1): Continue to undertake efforts to protect the Big Butte Springs recharge area from improper use through implementation of a watershed management program.

See also the policies of the *Domestic Water* section of the "Public Facilities Element."

Policy 4-B: The City of Medford shall protect ground water recharge areas in the planning area by striving to restore and maintain the natural condition of watersheds, waterways, and flood plains.

Implementation 4-B (1): Review the *Medford Land Development Code*, and propose amendments where necessary to assure that the amount of impervious surface in development projects is minimized and opportunities for permeation are maximized.

See also the policies of the *Wastewater Collection* section of the "Public Facilities Element."

Goal 5: To achieve and maintain water quality in Medford's waterways.

See also the goals of the *Storm Water Drainage* section of the "Public Facilities Element" and related policies and implementation strategies.

Policy 5-A: The City of Medford shall implement regulations that pertain to discharges into the Rogue River, Bear Creek, and their tributaries, such as the federal *Clean Water Act*.

Implementation 5-A (1): Continue to actively participate in regional water quality monitoring and planning efforts.

Policy 5-B: The City of Medford shall implement measures to reduce polluted surface water runoff into the storm drainage system.

Implementation 5-B (1): Implement the recommendations of the 1996 *Comprehensive Medford Area Drainage Master Plan*, or any updates, regarding surface water runoff quality.

Implementation 5-B (2): Develop and impose design standards for filtering and slowing runoff from paved areas using such methods as vegetated swales, on-site detention ponds, or other technologies as they become feasible, to cleanse the water before entering primary waterways.

ENVIRONMENTAL ELEMENT

Implementation 5-B (3): Require the use of natural waterways for storm drainage wherever possible, to decrease flow speed and increase filtering prior to the runoff entering a primary waterway.

Implementation 5-B (4): Continue to assess storm drainage system development charges and utility fees to assist in the financing and maintenance of public storm drainage improvements, and periodically review for adequacy.

See also Implementation 2-B (2) of the Southeast Plan section of the “General Land Use Plan Element.”

Goal 6: *To recognize Medford’s waterways and wetlands as essential components of the urban landscape that improve water quality, sustain wildlife habitat, and provide open space.*

Policy 6-A: The City of Medford shall regulate land use activities and public improvements that could adversely impact waterways in the interest of preserving and enhancing such natural features to improve water quality and fish and wildlife habitat.

Implementation 6-A (1): Prepare amendments to the Medford *Land Development Code* for consideration by the City Council that adopt the riparian corridor “safe harbor” setback (50 feet from the top of the bank) for Bear Creek and other streams determined to contain fish habitat or significant riparian areas in compliance with Oregon Administrative Rules 660-23.

Policy 6-B: The City of Medford shall regulate land use activities and public improvements that could prevent meeting the federal performance standard of *no net loss* of wetland acreage.

Implementation 6-B (1): Prepare amendments to the Medford *Land Development Code* for consideration by the City Council to adopt “safe harbor” protections or protection developed through an ESEE (environmental, social, economic, and energy) analysis for locally significant wetlands, as defined, pursuant to Oregon Administrative Rules 660-23.

Policy 6-C: The City of Medford shall encourage the incorporation of waterways, wetlands, and natural features into site design and operation of development projects.

Implementation 6-C (1): Promote clustered development in order to avoid alteration of topographical and natural features, to reduce impervious surfaces, and to enhance the aesthetics of development projects. Investigate incentives for clustering development.

Policy 6-D: The City of Medford shall support the efforts of organizations such as the Bear Creek Watershed Council and the Bear Creek Greenway Foundation, which strive to improve the quality of Bear Creek and its tributaries with activities such as greenway formation, environmental education workshops, creek cleanup events, etc.

See also Policies 2-A and 2-B of the *Southeast Plan* section of the “General Land Use Plan Element.”

ENVIRONMENTAL ELEMENT

Goal 7: To preserve and protect plants and wildlife habitat in Medford.

Policy 7-A: The City of Medford shall encourage the conservation of plants and wildlife habitat, especially those that are sensitive, rare, declining, unique, or that represent valuable biological resources, through the appropriate management of parks and public and private open space.

Implementation 7-A (1): Develop a long range open space plan for consideration by the City Council that provides for an integrated system of parks, creekside greenways, wetlands, and paths/trails in Medford to enhance the biological diversity and long-term viability of natural resource areas. Coordinate the plan with the *Medford Parks, Recreation, and Leisure Services Plan*, the *Comprehensive Medford Area Drainage Master Plan*, and other relevant plans.

Implementation 7-A (2): Develop and implement regional plans for greenways, wetlands, and linear parks with Jackson County, as wildlife often travel paths that cross jurisdictional boundaries.

Implementation 7-A (3): Distinguish public greenways, waterways, wetlands, and parks with interpretive and informational signage regarding on-site natural resources.

Policy 7-B: The City of Medford shall strive to maintain, rehabilitate, and enhance Medford's waterways, using features such as gently sloped banks, natural riparian vegetation, and meandering alignment.

Implementation 7-B (1): For those riparian areas within the planning area that are not subject to the safe harbor regulations, prepare amendments to the *Medford Land Development Code* using the *Medford Riparian Area Inventory and Assessment Bear Creek Tributaries, 2002*, by Wetland Consulting for consideration by the City Council, that adopt a setback or similar protection.

Implementation 7-B (2): Ensure that improvements, such as multi-use paths and storm drainage facilities sited in or near riparian corridors, waterways, wetlands, or other fish and wildlife habitat, include protective buffers, preserve natural vegetation, and comply with the requirements of Oregon Administrative Rules 660-23.

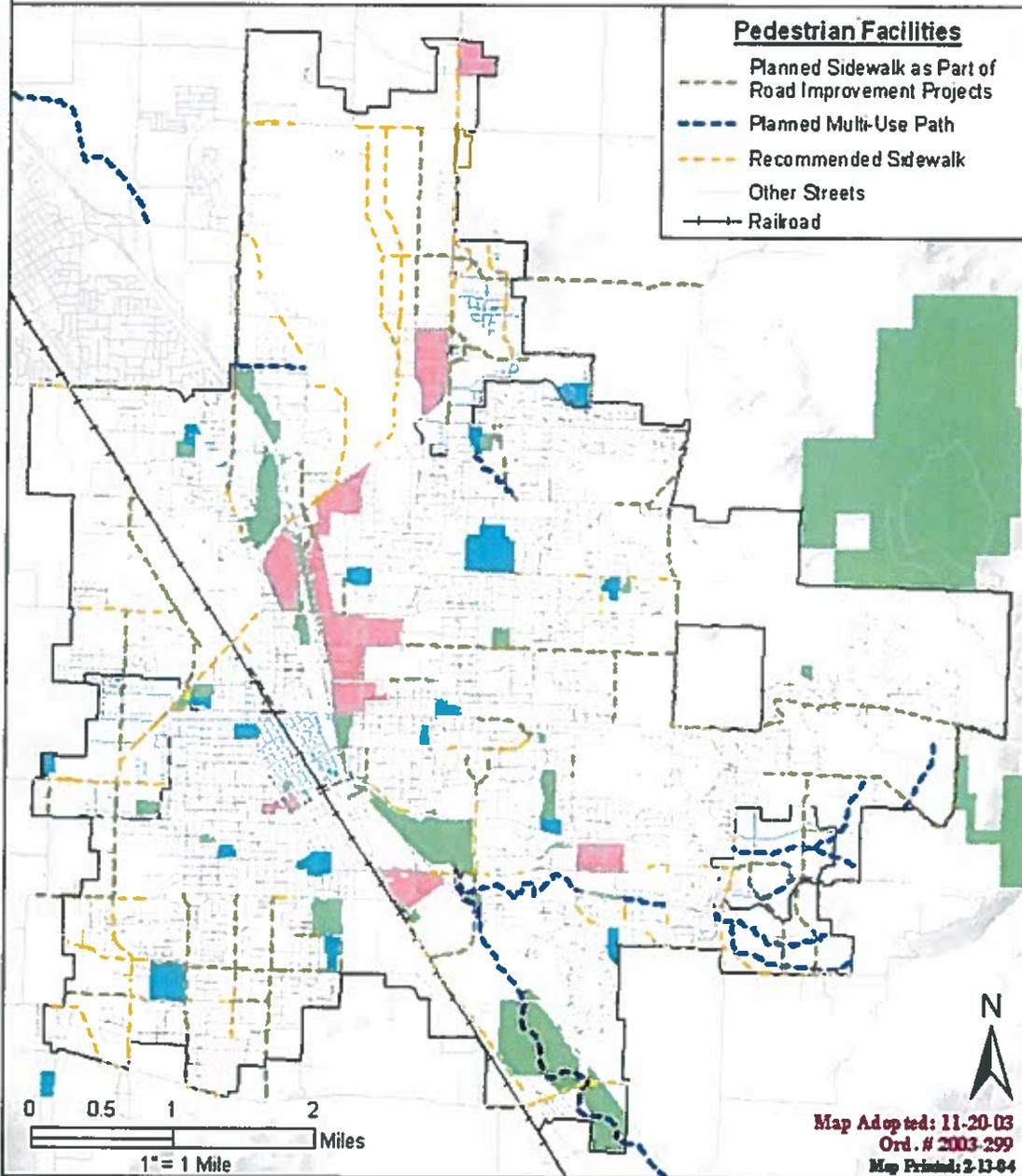
Policy 7-C: The City of Medford shall strive to protect fish and wildlife habitat in accordance with Oregon Department of Fish and Wildlife's (ODFW) management plans.

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Figure 1-6: Medford Major Pedestrian Facilities Plan



Map Adopted: 11-20-03
 Ord. # 2003-299
 Map Printed: 2-13-04

- Commercial Employment Centers
- Neighborhood Commercial Centers
- Schools
- Parks
- TOD Boundaries
- UGB



The Geographic Information System (GIS) data used on this map was developed and maintained by the City of Medford and Medford County, Oregon. It is not the official map or version of any of the agencies included. The map is always more accurate to the public than to the internal map user.

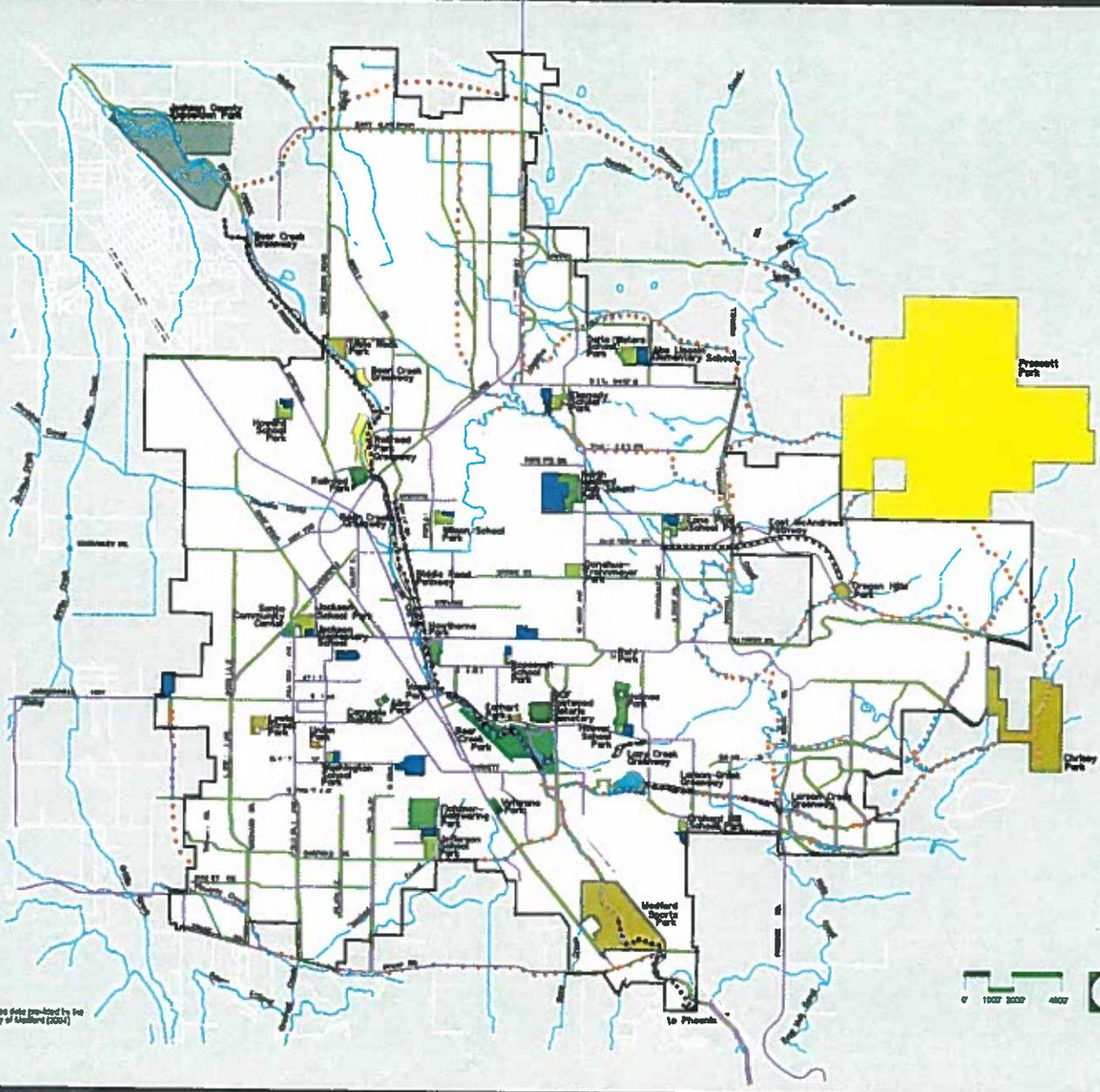
THIS MAP IS BEING PROVIDED THROUGH THE CITY OF MEDFORD'S PUBLIC INFORMATION ACT TO THE PUBLIC. THE CITY OF MEDFORD IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY APPEAR IN THIS MAP. THE CITY OF MEDFORD IS NOT PROVIDING ANY WARRANTY FOR THIS MAP. THE CITY OF MEDFORD IS NOT PROVIDING ANY LIABILITY FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS MAP. THE CITY OF MEDFORD IS NOT PROVIDING ANY LIABILITY FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS MAP.

CITY OF MEDFORD
 EXHIBIT # 5
 File # CUP-17-053

RECEIVED

APR 17 2011

PLANNING DEPT.



LEGEND

- Urban Growth Boundary
- Public Schools
- Private Schools
- Neighborhood Parks
- Community Parks
- Linear Parks
- Greenways/ Open Space
- Special Use Areas
- Undeveloped Areas
- Large Urban Parks
- Mini Parks
- Recreation Land (outside UGB)
- Existing pedestrian/bike path

KEY

- Planned sidewalk as part of road improvement projects
- Planned/proposed bike lanes
- Proposed pedestrian/bike path

Leisure Services Plan
 Figure 6.2
 Trails Plan
 Medford, Oregon



Base data provided by the City of Medford (2004)

June 2005

CITY OF MEDFORD
 EXHIBIT #
 File # CUP-47-053



LEISURE SERVICES PLAN UPDATE

Executive Summary

INTRODUCTION

Medford is the largest city in Southern Oregon and a regional provider of park and recreation services. Rapid population growth has increased the demand for parks, recreation facilities, and programs community wide, and the City has developed a new plan to address meeting existing financial challenges while expanding recreation opportunities and maintaining existing resources.

In the past, the City has shown great vision in acquiring and developing park and recreation facilities to meet community needs. Facilities such as numerous sports fields, the Bear Creek Greenway and Bear Creek Park have become great community assets, attracting residents from all parts of Jackson County. In addition, through a cooperative effort with the Medford School District, the City has developed one of the best neighborhood school/park systems in the Northwest. However, a funding deficit has created problems in maintaining many park sites, and some parks are underdeveloped. Moreover, the City continues to utilize outdated facilities, such as Hawthorne and Jackson pools, which accrue huge operations costs that are not offset due to lower than typical fees. Past levels of recreation programming and community participation in City programs were lower than comparable communities; particularly for youth, teens, and seniors, driving a recent priority to increase recreation programs and services.

As Medford continues to grow and the City looks to the future, this plan will address community needs and provide new direction for the development of parks and leisure services for the next twenty-five years. The City has an excellent foundation for a thriving park system and the potential to provide comprehensive recreation programming for the entire community. However, to provide a higher level of service to residents, this plan supports both improvements to the existing system and early acquisition of new park land while the opportunity exists to do so.

EXISTING RESOURCES

The Medford park system consists of both active and passive recreational areas, including a variety of park types, pathways, and facilities. The City of Medford manages approximately 2501 acres of park land, including nearly 75 acres leased from the Medford and Phoenix/Talent School Districts. The park land inventory includes over 454 acres of active parks, 14 acres of linear parks, nearly 1,923 acres of natural areas and greenways, and more than 124 acres of undeveloped sites. In addition, the City maintains nearly 15 acres of beautification areas, including greens, roadway strips and islands, and landscaped areas around buildings.

The City of Medford is a significant provider of recreation and sport facilities. Additional facilities are provided by other entities as well, such as school districts and private providers. When all resources are counted, the total inventory for all recreation facilities in Medford is relatively high. However, some fields suffice as practice fields only, because they are inadequate for games. Other facilities have scheduling restrictions. The City provides many sports fields, but it depends on school facilities for use of gymnasiums and adult baseball fields. The City has two outdoor pools, but the community relies on private providers to meet indoor swimming needs.

The following facilities in Medford are counted as part of Medford's unrestricted inventory, meaning they are considered adequate for games/practice:

- 1 adult baseball fields
- 6 adult softball fields
- 6 youth softball/baseball fields
- 12 soccer fields
- 1 football field
- 2 gymnasiums
- 0 square feet of pool space

Additional inventory exists in a restricted capacity which is not considered readily available or adequate for games/practice.

COMMUNITY INPUT

This Leisure Services Plan Update incorporates community input in several ways, including a community workshop, a sports group questionnaire, and a city-wide recreation survey.

The community workshop was held on September 14, 2004, in the Santo Community Center. Key findings are summarized below:

- Participants identified the following as the top facilities for priority development:
 - Sports field complex
 - Indoor recreation center
 - City-wide trail system
- Preservation of Prescott Park as a natural area was emphasized. Greater notoriety, easier access, additional parking and a trail-head are desired, along with improved trail systems for pedestrians, bicycles, and horses.
- Participants indicated that they support the expansion of recreational programming.
- The top three issues identified for Medford parks and recreation were:
 - Funding
 - Park and facility maintenance
 - Upgrades to existing parks

In Fall 2004, organized sports providers in Medford were asked to fill out a questionnaire regarding the number of teams and players in the league, season of play, field requirements, etc. This survey of sports group obtained information regarding 27 different programs for adults and youth provided by both the City and private providers in Medford. The data was used to determine sports field and facility needs.

A city-wide survey of public attitudes, recreation interests, and recreation participation was conducted in Fall 2004. Completed questionnaires were obtained from 438 randomly selected households, representing four City quadrants and diverse opinions. Key findings included:

- Neighborhood parks are the most frequently visited type of park or facility.
- Of all park and recreation services, residents want most:
 - Upgrades to existing parks
 - Sports field development
 - More trails and pathways

- Respondents clearly prefer an indoor pool aquatic center to meet future needs.
- The survey supports increased programming for seniors, one of the fastest growing segments of the City of Medford population.
- The survey supports increases to youth and teen programming. A growing national trend and awareness associating relatively minor teen programming costs with exponentially greater reduced law enforcement costs point to a substantial City cost benefit.
- Respondents want more off-street, paved multi-purpose trails throughout Medford.

PARK LAND AND FACILITY NEEDS

Ten additional neighborhood parks and four community parks sites have been identified to meet Medford's service area criteria for parks. However, the 25-year reduced project list adopted 1/19/2006 eliminated a number of the proposed sites. As these are typical facilities for a city the size of Medford, additional creative funding sources will be pursued for these facilities.

As opportunities to develop greenways and linear parks along creeks, canals, utility corridors, and roadways arise, the City will seek to develop a trail system that will interconnect parks, schools, and recreation facilities. The City will also seek opportunities to add linear park and open space/greenways to include trails and pathways.

The current deficiency in sports facilities is:

- 5 adult hardball fields
- 7 adult softball fields
- 12 youth softball/baseball fields
- 10 soccer fields

There is a current need for one additional indoor pool. Two additional pools will be needed to meet future swimming needs.

FACILITIES PLAN

The Leisure Services Plan includes a facilities plan for existing parks, proposed new parks, and new facilities. Key points of the facility plan are summarized below:

- Improvements are proposed to most of the City's parks. Improvements include replacement or repair of aging facilities, changes to facilities to reduce maintenance costs, repair to vandalism, and the addition of new facilities to reflect the changing needs of

a maturing park system. These projects are not growth related SDC eligible projects.

- Significant upgrades are proposed for the outdoor pools at Hawthorne and Jackson parks. Maintenance costs of these two pools (which have aged beyond a pool's typical life cycle) have become extreme. It is recommended that the City evaluate the feasibility of replacing Hawthorne pool with a water-park.
- The Plan also recommends that the City develop an indoor recreation center/aquatic facility in the long term to meet swimming and gymnasium needs.
- One new gymnasium is funded in the '05 – '07 biennium at the existing Santo Community Center. Two gymnasium courts are included in the 25-year plan, and may be integrated with the proposed community centers.
- Four new community park sites have been identified to meet future service area needs as well as community needs for sports facilities. In places where large parcels are not available or where land costs are prohibitive, sites outside the UGB will be utilized.
- A Community Park will be developed on a small portion of Prescott Park, providing improved access, additional parking, trail-heads, the development of an overlook and viewpoint, pedestrian and bike trails, added signage, and a caretaker's residence.
- The plan identifies several parks such as the Sports Park and Chrissy Park as mixed uses.
- The acquisition and development of several small greenway connectors is planned to support the intra-community trail system and to increase park connectivity.
- A joint plan for developing Alba Park and the Carnegie Building is contemplated.
- The plan supports Medford Urban Renewal's efforts for funding and implementing the Bear Creek Master plan and completing trail linkages along Bear Creek.
- Existing City park land will be utilized for new parks whenever park service area requirements can be met.

TRAILS PLAN

A trails plan identifies potential routes for recreational trails, pathways, and bikeways to provide a safe trail network that links

neighborhoods, parks, schools, recreation sites, and other community attractions. The trails plan includes:

- Pedestrian/bike routes as well as an equestrian trail from the Southeast Plan Area, through Chrissy Park, and into Prescott Park.
- Off-street paved, multi-purpose trails for walking and recreational biking.
- A geographic distribution of trails balanced throughout the City. Acquisition of additional routes for future trails and pathways can be extremely challenging and/or expensive, especially in West Medford where infill is extensive.
- Creation of a trail system will require inter-departmental cooperation for successful development of off street paths during the construction of new roads and the development of trails on land out of the UGB with Jackson County zoning.

OTHER CONCLUSIONS

- Working with partner agencies to help meet the demand for indoor and outdoor sports facilities will be of a high priority.
- The City will seek to acquire park land in advance of need to reduce land acquisition costs.
- Opportunities for program marketing and public information will continually be sought out.
- An increase in the following recreation programs and services is anticipated: aquatics, instructional classes, special interest programs, outdoor programs, special events, and senior programs.
- The Plan anticipates increasing recreation programs fees in alignment with fees charged by other providers community wide, while implementing scholarship programs and discounted services for residents in need.
- Improved maintenance management through cost tracking to improve maintenance levels of service at parks and recreation facilities is identified as a priority.
- The City will consider all sources of funding, including bonds, levies, grants, donations, and sponsorships, to address existing financial challenges.

CAPITAL IMPROVEMENT PLAN

The following 25-Year Capital plan was adopted 1/19/2006, funded by a 3-step SDC fee increasing over three years. An SDC fee for single family residences of \$2,544 starts at 80% of this amount in '06, moves to 90% in '07, and 100% in '08.

25-Year Capital Plan	
Item	Cost
2007 - 2012 Budget	
Neighborhood Park	\$1,860,000
Community/Urban Park	\$2,718,765
Recreation Facilities	\$444,300
Sub-total:	\$5,023,065
2012 - 2017 Budget	
Neighborhood Parks	\$1,200,000
Community/Urban Parks	\$3,000,000
Recreation Facilities	\$549,000
Sub-total:	\$4,749,000
2017 - 2022 Budget	
Neighborhood Parks	\$1,860,000
Community/Urban Parks	\$2,589,300
Recreation Facilities	\$596,700
Sub-total:	\$5,046,000
2022 - 2027 Budget	
Neighborhood Parks	\$1,207,500
Community/Urban Parks	\$2,589,300
Recreation Facilities	\$889,000
Sub-total:	\$4,685,800
2027 - 2032 Budget	
Neighborhood Parks	\$2,835,000
Community/Urban Parks	\$0
Recreation Facilities	\$1,916,420
Sub-total:	\$4,751,420
25-year Compliance Costs	\$1,575,000
TOTAL	\$27,822,500

The total cost for the 25-year Parks Master Plan was initially estimated to be \$118,951,250, requiring an SDC fee for single family residence of \$5,900. This is far more than the City will or can finance through SDC fees. The City adopted a reduced project list totaling \$27,822,500 by eliminating a standard for Special Use Areas and linear parks; eliminating 5 Neighborhood and 2 Community Parks; eliminating 5 Adult Baseball/softball fields, 2 Football fields, 9 Soccer Fields, and 1 Gymnasium; and by not including Community Centers, an Aquatic Center, and many proposed trails. These eliminated facilities may be developed using alternative funding sources or developed with an increase to current SDC rates.

The 25-year plan funds five new Neighborhood Parks, three utilizing existing park land. It also funds the completion of three existing and

unfinished Neighborhood Parks. One additional new Neighborhood Park, Summerfield Park, is funded in the current budget, and should be constructed in the spring of 2006.

The plan also completes one existing Community Park, funds the development of one Community Park on existing park land, and funds the acquisition and development of two new Community Parks.

The following recreational facilities are funded by the 25-year plan:

- (18) Youth Baseball/Softball Fields (\$628,200)
- (8) Adult Softball Fields (\$1,006,200)
- (10) Soccer Fields (\$1,941,800)
- (2) Gymnasium Basketball Courts (\$1,500,000)
- 245 miles of trails (\$1,126,000)

Summary of Costs for SDC Eligible Growth Required & Deficiency Projects

Item	Cost
1) SDC Eligible Growth Cost	\$23,940,720
2) Park SDC Deficiency	\$3,881,780
TOTAL	\$27,822,500

As the City's population increases, new facilities must be built to maintain the City's current level of park, recreation and leisure services. Growth required facilities that were not built in the past become deficiency projects which can no longer be funded through park SDC funds. The 25-year cost of deficiency projects totals \$3,881,780, which, when spread out over a 25-year period, will require \$155,271 per year to complete. This is considered achievable anticipating grants, donations through the Parks and Recreation Foundation, volunteer efforts, as well as non-SDC funding sources both existing and proposed such as the Car Rental Tax, the Park Utility Fee, and a \$10,000,000 bond which is assumed in the park SDC methodology.

This Leisure Service plan contemplates all future park funding needs, both required and hoped for. It includes current maintenance and deferred maintenance from past funding shortfalls; replacement of aging facilities; upgrades needed to reduce maintenance costs; and new facilities expected of a vital and contemporary park system. The Parks and Recreation Department proposes a number of innovative funding strategies for the creation and maintenance of a park system the citizens of Medford have envisioned and need for their health and welfare.

**WETLAND DELINEATION REPORT
FOR THE LARSON CREEK TRAIL SEGMENT II -
ELLENDALE DRIVE TO BLACK OAK DRIVE
(T. 37S R. 1W Sections 32AA & 32AB W.M.)
MEDFORD, JACKSON COUNTY, OREGON**

Prepared for

**CITY OF MEDFORD
PUBLIC WORKS DEPARTMENT -
ENGINEERING / DEVELOPMENT DIVISION
200 S. Ivy Street
Medford, Oregon 97501**

Prepared by

**TERRA SCIENCE, INC.
4710 S.W. Kelly Avenue, Suite 100
Portland, Oregon 97239**

TSI Project No. 2015-0324

June 2015

WETLAND DELINEATION / DETERMINATION REPORT COVER FORM

This form must be included with any wetland delineation report submitted to the Department of State Lands for review and approval. A wetland delineation report submittal is not "complete" unless the fully completed and signed report cover form and the required fee are submitted. Attach this form to the front of an unbound report or include a hard copy of the completed form with a CD/DVD that includes a single PDF file of the report cover form and report (minimum 300 dpi resolution) and submit to: **Oregon Department of State Lands, 775 Summer Street NE, Suite 100, Salem, OR 97301-1279**. A single PDF attachment of the completed cover form and report may be e-mailed to Wetland_Delineation@dsl.state.or.us. For submittal of PDF files larger than 10 MB, e-mail instructions on how to access the file from your ftp or other file sharing website. Fees can be paid by check or credit card. Make the check payable to the Oregon Department of State Lands. To pay the fee by credit card, call 503-986-5200.

<input checked="" type="checkbox"/> Applicant <input checked="" type="checkbox"/> Owner Name, Firm and Address: City of Medford Public Works Department – Engineering / Development Division Attn: Dennis Hart 200 S. Ivy Street Medford, Oregon 97501	Business phone # (541) 774-2127 Mobile phone # (optional) N/A FAX # (541) 774-2552 E-mail: Dennis.Hart@cityofmedford.org
<input type="checkbox"/> Authorized Legal Agent, Name and Address: N/A	Business phone # N/A FAX # N/A Mobile phone # (optional) N/A E-mail: N/A
I either own the property described below or I have legal authority to allow access to the property. I authorize the Department to access the property for the purpose of confirming the information in the report, after prior notification to the primary contact. Typed/Printed Name: _____ Signature: _____ Date: _____ Special instructions regarding site access Please call wetland consultant before entering the site.	

Project and Site Information (for latitude & longitude, use centroid of site or start & end points of linear project)

Project Name: Larson Creek Trail Segment II Project Proposed Use: Bike & Pedestrian Path	Latitude: 42.314737° N Longitude: 122.840420° W Tax Maps # 37 1W 32AA & 37 1W 32AB
Project Street Address (or other descriptive location): West end of project is approximately 0.1 miles south of the intersection of Barnett Road and Ellendale Drive on the east side of road. City: Medford County: Jackson	Township 37S Range 01W Section 32 QQ AA & AB Tax Lot (s) Portions of 3100, 1100, & 3000 on 37 1W 32AB Portions of 200, 300, 400, & 500 on 37 1W 32AA Waterway: Larson Creek River Mile: 0.3 to 1.0 NWI Quad(s): Medford East, Oregon Quad

Wetland Delineation Information

Wetland Consultant Name, Firm and Address: Terra Science, Inc., Attn: Jason Clinch 4710 S.W. Kelly Avenue, Suite 100 Portland, Oregon 97239	Phone # (503) 274-2100 Mobile phone # N/A FAX # (503) 274-2100 E-mail: jason@terrascience.com
The information and conclusions on this form and in the attached report are true and correct to the best of my knowledge. Consultant Signature: _____ Date: _____	
Primary Contact for report review and site access is <input checked="" type="checkbox"/> Consultant <input type="checkbox"/> Applicant/Owner <input type="checkbox"/> Authorized Agent	
Wetland/Waters Present? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Study Area size: ±7.32 acres Total Wetland Acreage: 0.249-acre	

Check Box Below if Applicable:

Fees:

<input type="checkbox"/> R-F permit application submitted <input type="checkbox"/> Mitigation bank site <input type="checkbox"/> Wetland restoration/enhancement project (not mitigation) <input type="checkbox"/> Industrial Land Certification Program Site <input type="checkbox"/> Reissuance of a recently expired delineation Previous DSL #: _____ Expiration date: _____	<input checked="" type="checkbox"/> Fee payment submitted \$ <input type="checkbox"/> Fee (\$100) for resubmittal of rejected report <input type="checkbox"/> No fee for request for reissuance of an expired report
Other Information: Has previous delineation/application been made on parcel? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N If known, previous DSL #: _____ Does LWI, if any, show wetland or waters on parcel? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	

For Office Use Only

DSL Reviewer: _____	Fee Paid Date: ____/____/____	DSL WD # _____	DSL Site # _____
Date Delineation Received: ____/____/____	DSL Project # _____	DSL App. # _____	
Scanned: <input type="checkbox"/> Final Scan: <input type="checkbox"/>	DSL WN # _____		



DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS, PORTLAND DISTRICT
EUGENE FIELD OFFICE
211 E 7TH AVENUE, SUITE 105
EUGENE, OREGON 97401-2156

January 27, 2016

Regulatory Branch
Corps No. NWP-2015-355

Mr. Dennis Hart
City of Medford Public Works
200 South Ivy Street
Medford, Oregon 97501

Dear Mr. Hart:

The U.S. Army Corps of Engineers (Corps) has received your request for our concurrence with your wetland delineation of potentially jurisdictional waters located in Medford, Jackson County, Oregon (Section 32, Township 37 South, Range 1 West). Your delineation has been assigned Corps No. NWP-2015-355. Please refer to this number in all correspondence.

The Corps has jurisdiction over water bodies under the authorities provided in the JD Authority. Under Section 404 of the Clean Water Act, the Corps has authority to issue permits for the placement of dredged or fill material into waters of the United States. The term "waters of the United States" includes the territorial seas and tidally influenced waters. Limits of jurisdiction under Section 404 extend landward to the high tide line. "Waters" also include all other waters that are part of a surface tributary system to and including navigable (non-tidal) waters of the United States. Limits of jurisdiction extend landward up to the ordinary high water mark. Wetlands adjacent to these waters are also "waters of the United States."

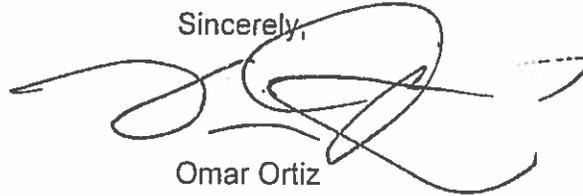
The wetland delineation report entitled "Wetland Delineation Report for the Larson Creek – Trail Segment II – Ellendale Drive to Black Oak Drive, Medford, OR", prepared by Terra Science, Inc. and dated June 2015, delineated approximately 0.249 acres of wetland(s) and 1,780 linear feet of waterways on the subject property. The Corps concurs with the boundaries and extent of these potential waters of the United States as shown in Figure(s) 6A, 6B, & 6C (Enclosure 1). If you propose to discharge fill or dredged material into waters of the United

States as shown in Enclosure 1, a Department of the Army permit may be required under Section 404 before you can proceed.

We have prepared a Preliminary Jurisdictional Determination (JD), which is a written indication that wetlands and waterways within your project area may be waters of the United States (Enclosure 2). Such waters will be treated as jurisdictional waters of the United States for purposes of computation of impacts and compensatory mitigation requirements. If you concur with the findings of the Preliminary JD, please sign it and return it to the letterhead address within two weeks. If you believe the Preliminary JD is inaccurate, you may request an Approved JD, which is an official determination regarding the presence or absence of waters of the United States. If one is requested, you will receive an Approved JD when the permit decision has been made by the Corps.

If you have any questions, please contact me at the letterhead address, by telephone at (541) 465-6878, or E-mail omar.m.ortiz@usace.army.mil.

Sincerely,

A handwritten signature in black ink, appearing to be 'Omar Ortiz', written over a circular stamp or seal.

Omar Ortiz
Project Manager
Regulatory Branch

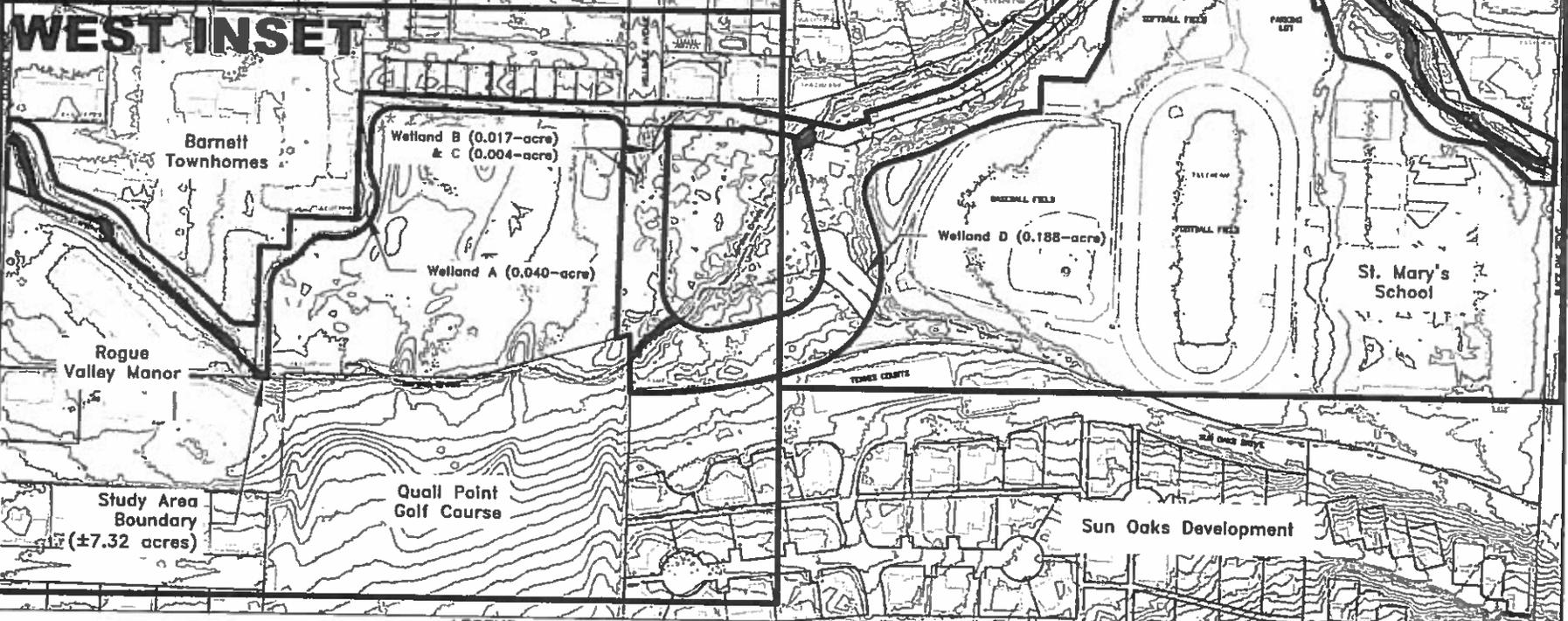
Enclosures

CC:

Oregon Department of State Lands (Lobdell, McAllister)
Terra Science, Inc. (Clinch)

SOURCE: LIDAR-generated topographic contours provided by DOGAMI, 2009. Tax lot boundaries, building and development footprints, trees, and fence locations provided by the City of Medford, Public Works Department - Engineering / Development Division, 2015. Wetland boundaries, ordinary high water boundaries, and sample plot locations mapped by TSI using hand GPS (Ashtech Mobile Mapper 120), 2015.

NOTE: Wetland and upland conditions determined using methodology outlined in the Corps 1987 Manual and Arid West Regional Supplement Version 2.0. Sample plot locations and delineated boundaries were mapped by the field team utilizing an Ashtech hand-held MobileMapper 120 Global Navigation Satellite System (GNSS) receiver running ArcPad Version 10.0 software. ArcPad shape files were then post-processed using Mobile Mapper Office Version 4.5. Corrected files were then exported to AutoCAD compatible files using ArcMap 10.2. Based on the manufacturer's specifications, post-processed horizontal data typically obtains sub-meter accuracy.



LEGEND

Total Wetland (0.249-acre)	2-Foot Topographic Contours (LIDAR)
Waters of the U.S. and/or State of Oregon (±1780 linear feet, 0.759-acre)	Tax Lot Lines
T1-P2 Sample Plot Locations	Building
Photo Point Locations	Creek or Drainage
Trees	Fence

Terra Science, Inc.
Soil, Water, & Wetland Consultants

GRAPHIC SCALE
125' 0' 125' 250' 500'
1 inch = 250'

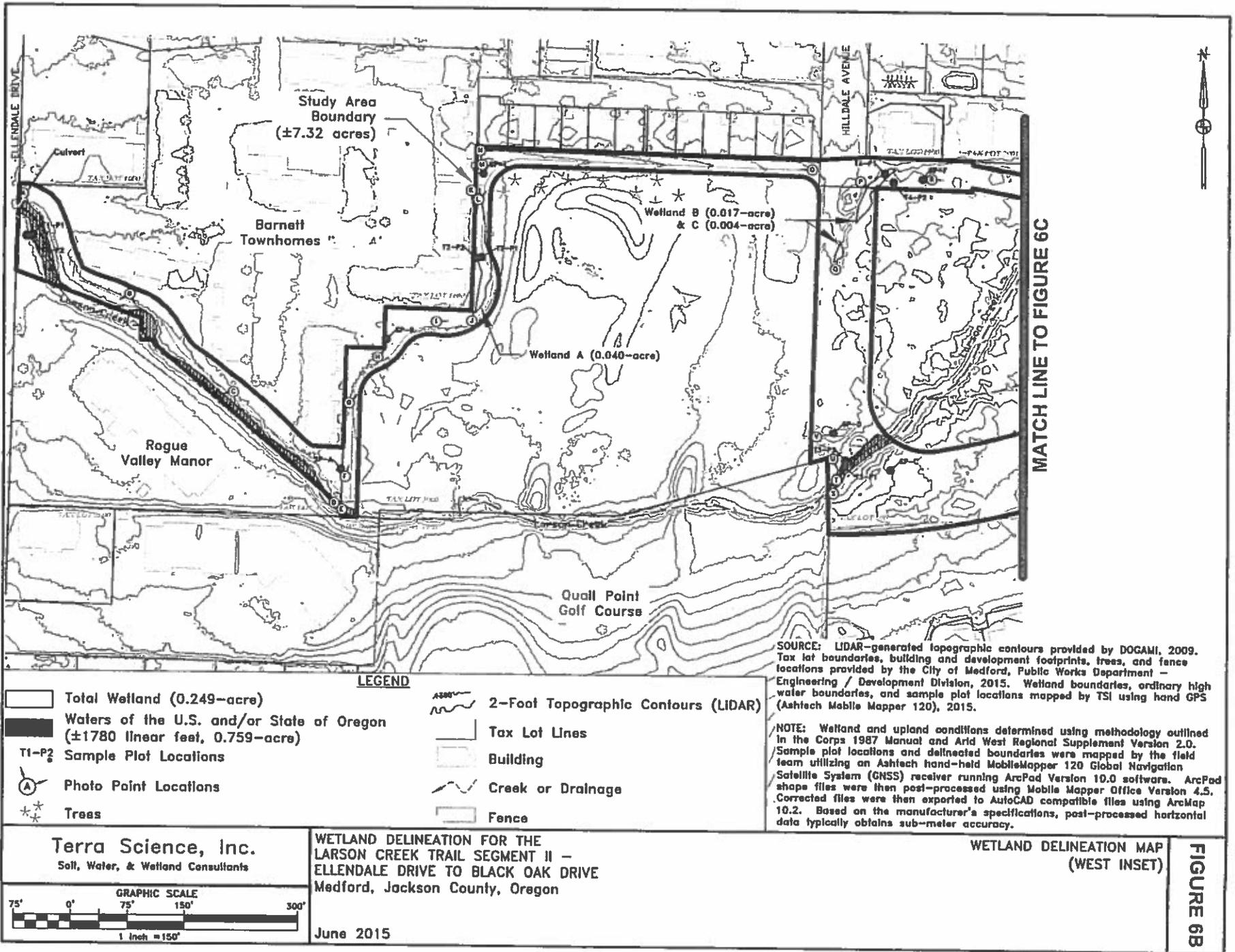
WETLAND DELINEATION FOR THE LARSON CREEK TRAIL SEGMENT II - ELLENDALE DRIVE TO BLACK OAK DRIVE Medford, Jackson County, Oregon

June 2015

WETLAND DELINEATION MAP with INSETS

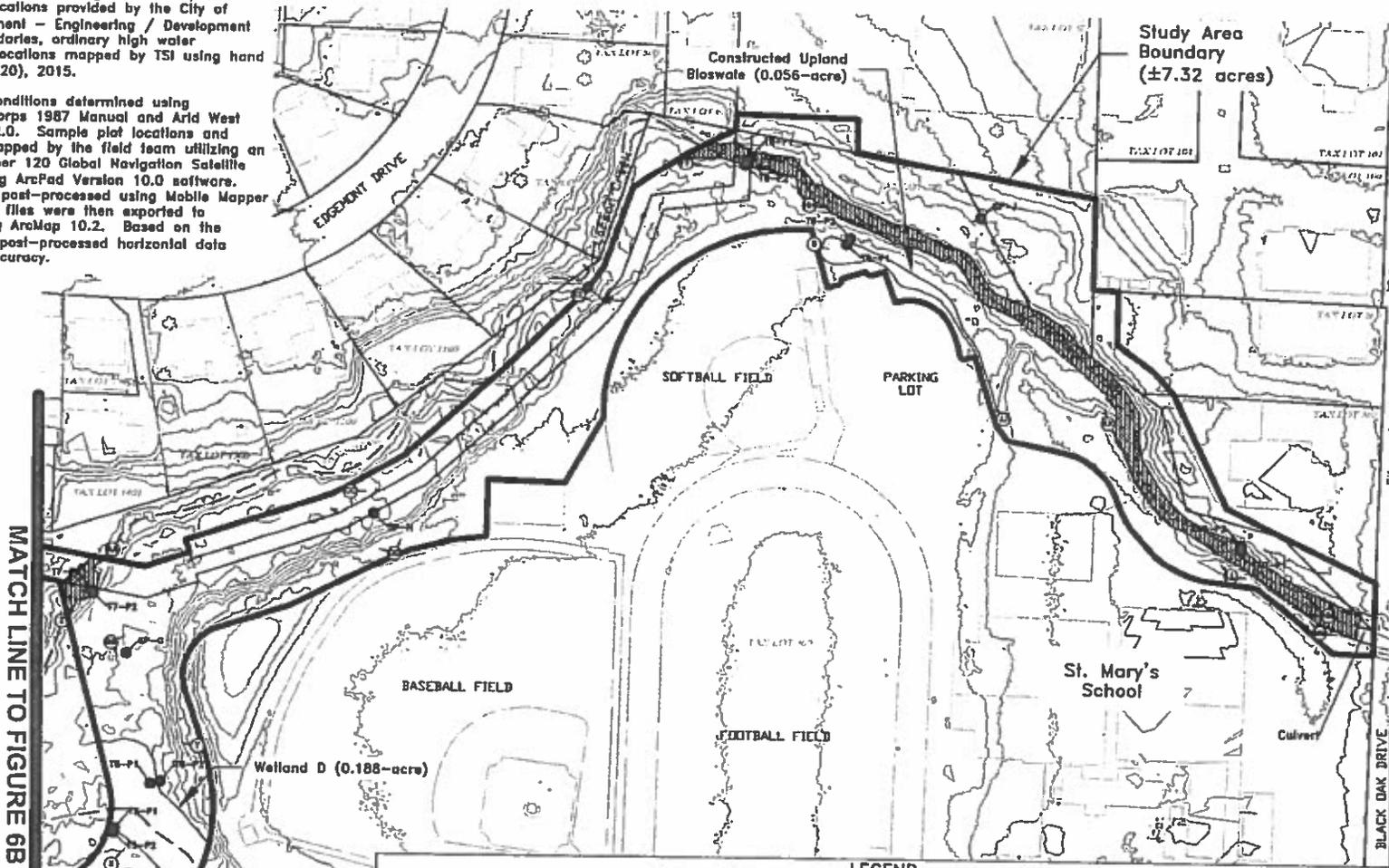
FIGURE 6A

5



SOURCE: LIDAR-generated topographic contours provided by DOGAMI, 2009. Tax lot boundaries, building and development footprints, trees, and fence locations provided by the City of Medford, Public Works Department - Engineering / Development Division, 2015. Wetland boundaries, ordinary high water boundaries, and sample plot locations mapped by TSI using hand GPS (Ashtech Mobile Mapper 120), 2015.

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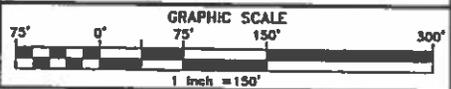
LEGEND	
	Total Wetland (0.249-acre)
	Waters of the U.S. and/or State of Oregon (±1780 linear feet, 0.759-acre)
	Sample Plot Locations
	Photo Point Locations
	Trees
	2-Foot Topographic Contours (LIDAR)
	Tax Lot Lines
	Building
	Creek or Drainage
	Fence

Terra Science, Inc.
Soil, Water, & Wetland Consultants

WETLAND DELINEATION FOR THE
LARSON CREEK TRAIL SEGMENT II -
ELLENDALE DRIVE TO BLACK OAK DRIVE
Medford, Jackson County, Oregon

WETLAND DELINEATION MAP
(EAST INSET)

FIGURE 6C



June 2015

PRELIMINARY JURISDICTIONAL DETERMINATION FORM
U.S. Army Corps of Engineers

BACKGROUND INFORMATION

A. REPORT COMPLETION DATE FOR PRELIMINARY JURISDICTIONAL DETERMINATION (JD): 13Jan2016

B. NAME AND ADDRESS OF PERSON REQUESTING PRELIMINARY JD:

Mr. Dennis Hart
City of Medford Public Works
200 South Ivy Street
Medford, Oregon 97501

C. DISTRICT OFFICE, FILE NAME, AND NUMBER: CENWP-OD-G, City of Medford Public Works (Larson Creek), NWP-2015-355

D. PROJECT LOCATION(S) AND BACKGROUND INFORMATION:
(USE THE ATTACHED TABLE TO DOCUMENT MULTIPLE WATERBODIES AT DIFFERENT SITES)

State: Oregon County: Jackson City: Medford

Center coordinates of site:

Universal Transverse Mercator: Zone 10N, 4684734.4 E, 513150.7 N

Latitude/Longitude (decimal degrees): 42.3147°, -122.8404°

Authority: Section 404 Section 10

Name of nearest waterbody: Larson Creek

Identify (estimate) amount of waters in the review area:

Non-wetland waters: 1,780 linear feet long, 0.759 acres

 Cowardin Class: Riverine

 Stream Flow: Perennial

Wetlands: 0.609 acres.

 Cowardin Class: Palustrine

Name of any water bodies on the site that have been identified as Section 10 waters:

 Navigable Harbors and Bays: Not Applicable

 Navigable Riverways: Not Applicable

E. REVIEW PERFORMED FOR SITE EVALUATION (CHECK ALL THAT APPLY):

Office (Desk) Date: 13Jan2016

Field Determination Date(s): Not Applicable

SUPPORTING DATA. Data reviewed for preliminary JD (check all that apply) - checked items should be included in case file and, where checked and requested, appropriately reference sources below):

Supporting Data:

Maps, plans, plots or plat submitted by or on behalf of the applicant/consultant:

Data sheets prepared/submitted by or on behalf of the applicant/consultant.

Office concurs with data sheets/delineation report.

Office does not concur with data sheets/delineation report.

Data sheets prepared by the Corps:

Corps navigable waters' study:

U.S. Geological Survey Hydrologic Atlas:

USGS NHD data.

USGS 8-digit HUC maps.

USGS 12-digit HUC maps.

U.S. Geological Survey map(s). Cite scale & quad name:

USDA Natural Resources Conservation Service Soil Survey.

National wetlands inventory map(s).

State/Local wetland inventory map(s):

FEMA/FIRM map(s):

100-year Floodplain Elevation is:

(National Geodetic Vertical Datum of 1929)

Photographs:

Aerial (Name & Date):

Other (Name & Date):

Previous determination(s) (File no. and date of response letter):

Applicable/supporting case law:

Applicable/supporting scientific literature:

Other information (please specify):

Reference:

WLD JUL2015

WLD JUL2015

WLD JUL2015

USGS 2015

Rogue (17100308)

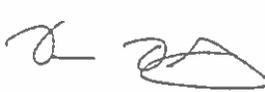
Larson Creek-Bear Creek (1710030801)

1:24,000, OR-Medford East

USFWS 2015

ESRI 2015

IMPORTANT NOTE: The information recorded on this form has not necessarily been verified by the Corps and should not be relied upon for later jurisdictional determinations.

 2016.01.25
08:34:01 -08'00'

Signature and date of Regulatory Project Manager (REQUIRED)

Signature and date of person requesting preliminary JD (REQUIRED, unless obtaining the signature is impracticable)

1. The Corps of Engineers believes that there may be jurisdictional waters of the United States on the subject site, and the permit applicant or other affected party who requested this preliminary JD is hereby advised of his or her option to request and obtain an approved jurisdictional determination (JD) for that site. Nevertheless, the permit applicant or other person who requested this preliminary JD has declined to exercise the option to obtain an approved JD in this instance and at this time.

2. In any circumstance where a permit applicant obtains an individual permit, or a Nationwide General Permit (NWP) or other general permit verification requiring "pre-construction notification" (PCN), or requests verification for a non-reporting NWP or other general permit, and the permit applicant has not requested an approved JD for the activity, the permit applicant is hereby made aware of the following: (1) the permit applicant has elected to seek a permit authorization based on a preliminary JD, which does not make an official determination of jurisdictional waters; (2) that the applicant has the option to request an approved JD before accepting the terms and conditions of the permit authorization, and that basing a permit authorization on an approved JD could possibly result in less compensatory mitigation being required or different special conditions; (3) that the applicant has the right to request an individual permit rather than accepting the terms and conditions of the NWP or other general permit authorization; (4) that the applicant can accept a permit authorization and thereby agree to comply with all the terms and conditions of that permit, including whatever mitigation requirements the Corps has determined to be necessary; (5) that undertaking any activity in reliance upon the subject permit authorization without requesting an approved JD constitutes the applicant's acceptance of the use of the preliminary JD, but that either form of JD will be processed as soon as is practicable; (6) accepting a permit authorization (e.g., signing a proffered individual permit) or undertaking any activity in reliance on any form of Corps permit authorization based on a preliminary JD constitutes agreement that all wetlands and other water bodies on the site affected in any way by that activity are jurisdictional waters of the United States, and precludes any challenge to such jurisdiction in any administrative or judicial compliance or enforcement action, or in any administrative appeal or in any Federal court; and (7) whether the applicant elects to use either an approved JD or a preliminary JD, that JD will be processed as soon as is practicable. Further, an approved JD, a proffered individual permit (and all terms and conditions contained therein), or individual permit denial can be administratively appealed pursuant to 33 C.F.R. Part 331, and that in any administrative appeal, jurisdictional issues can be raised (see 33 C.F.R. §331.5(a)(2)). If, during that administrative appeal, it becomes necessary to make an official determination whether CWA jurisdiction exists over a site, or to provide an official delineation of jurisdictional waters on the site, the Corps will provide an approved JD to accomplish that result, as soon as is practicable. This preliminary JD finds that there "may be" waters of the United States on the subject project site, and identifies all aquatic features on the site that could be affected by the proposed activity, based on the following information:

Site Number	Latitude	Longitude	Cowardin Class/ Stream Flow	Estimated Amount of Aquatic Resource in Review Area	Class of Aquatic Resource
Larson Creek	42.3147°	-122.8404°	Riverine, Upper Perennial	1,780 linear feet	Section 404
Wetland A	42.3147°	-122.8404°	Palustrine, Scrub-shrub	0.040	Section 404
Wetland B	42.3147°	-122.8404°	Palustrine, Forested	0.0017	Section 404
Wetland C	42.3147°	-122.8404°	Palustrine, Forested	0.004	Section 404
Wetland D	42.3147°	-122.8404°	Palustrine, Forested	0.188	Section 404

11



Oregon

Kate Brown, Governor

Department of State Lands

775 Summer Street NE, Suite 100

Salem, OR 97301-1279

(503) 986-5200

FAX (503) 378-4844

www.oregon.gov/dsl

December 3, 2015

State Land Board

City of Medford Public Works Department
Engineering/Development Division
Attn: Dennis Hart
200 S. Ivy Street
Medford, OR 97501

Kate Brown
Governor

Jeanne P. Atkins
Secretary of State

Re: WD # 2015-0362, Wetland Delineation Report for Larson Creek
Trail Segment II Project, Jackson County; T37S R01W Sec.
32AA, Tax Lots 200, 300, 400, and 500; Sec. 32AB, Tax Lots
1100, 3000, and 3100; Medford Local Wetlands Inventory
wetland LA-W01

Ted Wheeler
State Treasurer

Dear Mr. Hart:

The Department of State Lands has reviewed the wetland delineation report prepared by Terra Science, Inc. for the site referenced above. Please note that the study area includes only portions of the tax lots described above (see the attached map). Based upon the information presented in the report and additional information submitted upon request, we concur with the wetland and waterway boundaries as mapped in revised Figures 6A, 6B, and 6C of the report. Please replace all copies of the preliminary wetland maps with these final Department-approved maps.

Within the study area, four wetlands (Wetlands A-D, totaling approximately 0.249 acres), Larson Creek, and a constructed bioswale were identified. The wetlands and Larson Creek are subject to the permit requirements of the state Removal-Fill Law. The bioswale is not jurisdictional because it was determined to be upland. Under current regulations, a state permit is required for cumulative fill or annual excavation of 50 cubic yards or more in the wetlands or below the ordinary high water line (OHWL) of a waterway (or the 2 year recurrence interval flood elevation if OHWL cannot be determined).

However, Larson Creek is an essential salmonid stream; therefore, fill or removal of any amount of material within the OHWL may require a state permit. In addition, at the west end of the study area at the approximate location of photo point B (shown on the enclosed map 6B) riparian plantings were done as part of a bank stabilization project that impacted portions of Larson Creek below the OHWL. Fill or removal of any amount of material within this area of plantings may require a state permit.

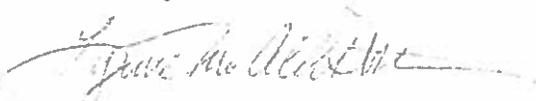
This concurrence is for purposes of the state Removal-Fill Law only. Federal or local permit requirements may apply as well. The Army Corps of Engineers will review the report and make a determination of jurisdiction for purposes of the Clean Water Act If and when a permit application is submitted. We recommend that you attach a copy of this concurrence letter to both copies of any subsequent joint permit application to speed application review.

Please be advised that state law establishes a preference for avoidance of wetland impacts. Because measures to avoid and minimize wetland impacts may include reconfiguring parcel layout and size or development design, we recommend that you work with Department staff on appropriate site design before completing the city or county land use approval process.

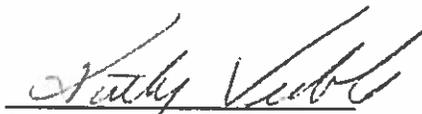
This concurrence is based on information provided to the agency. The jurisdictional determination is valid for five years from the date of this letter unless new information necessitates a revision. Circumstances under which the Department may change a determination are found in OAR 141-090-0045 (available on our web site or upon request). In addition, laws enacted by the legislature and/or rules adopted by the Department may result in a change in jurisdiction; individuals and applicants are subject to the regulations that are in effect at the time of the removal-fill activity or complete permit application. The applicant, landowner, or agent may submit a request for reconsideration of this determination in writing within six months of the date of this letter.

Thank you for having the site evaluated. Please phone me at 503-986-5300 or 503-508-2126 if you have any questions.

Sincerely,

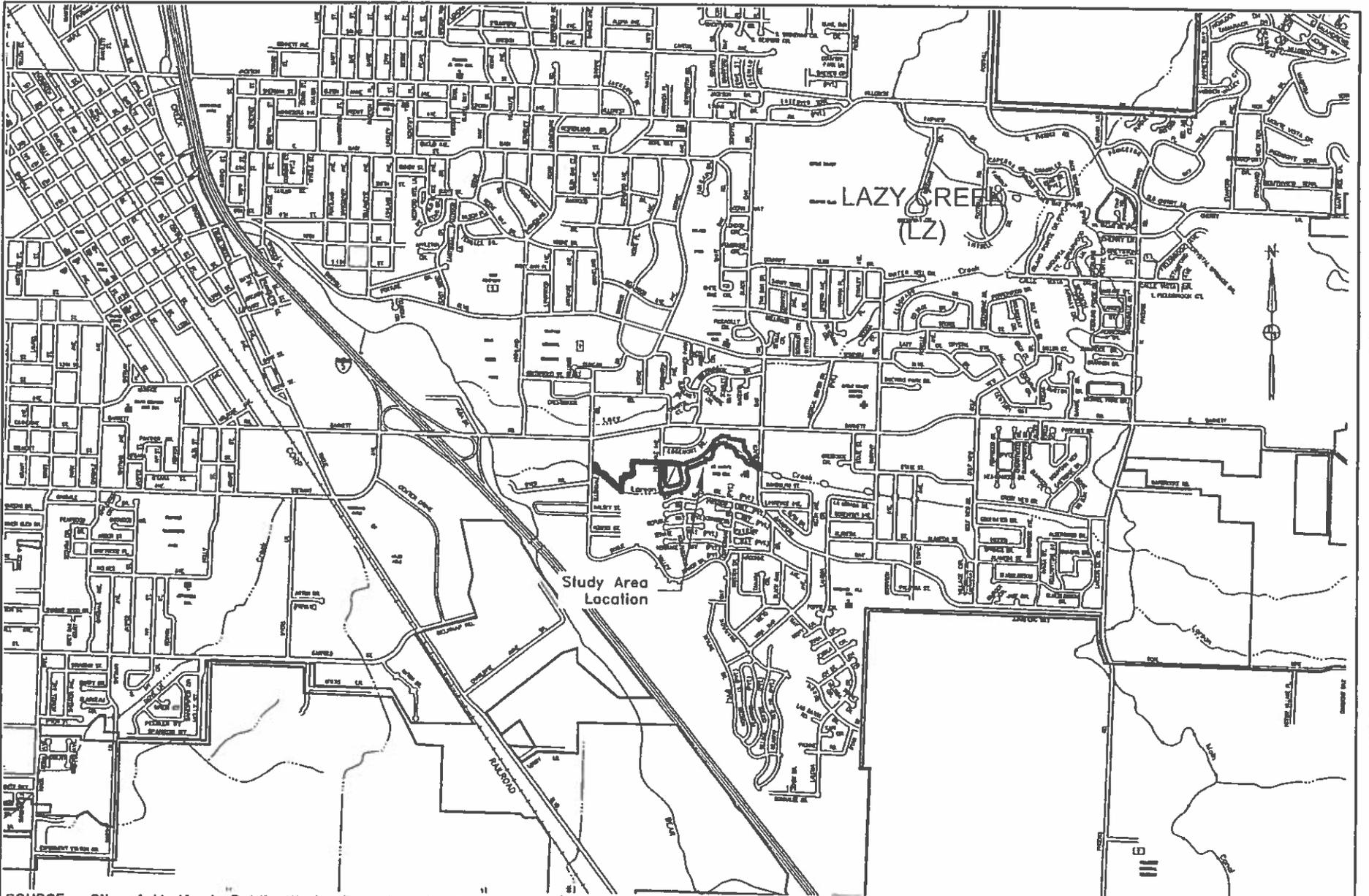


Lynne McAllister
Jurisdiction Coordinator

Approved by 
Kathy Verble, CPSS
Aquatic Resource Specialist

Enclosures

ec: Jason Clinch, Terra Science, Inc.
City of Medford Planning Department (Maps enclosed for updating LWI)
Omar Ortiz, Corps of Engineers
Bob Lobdell, DSL

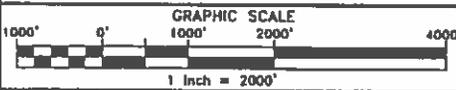


SOURCE: City of Medford, Public Works Department -Engineering / Development Division, 2012.

Terra Science, Inc.
Soil, Water, & Wetland Consultants

WETLAND DELINEATION FOR THE
LARSON CREEK TRAIL SEGMENT II -
ELLENDALE DRIVE TO BLACK OAK DRIVE
Medford, Jackson County, Oregon

LOCATION
MAP



June 2015

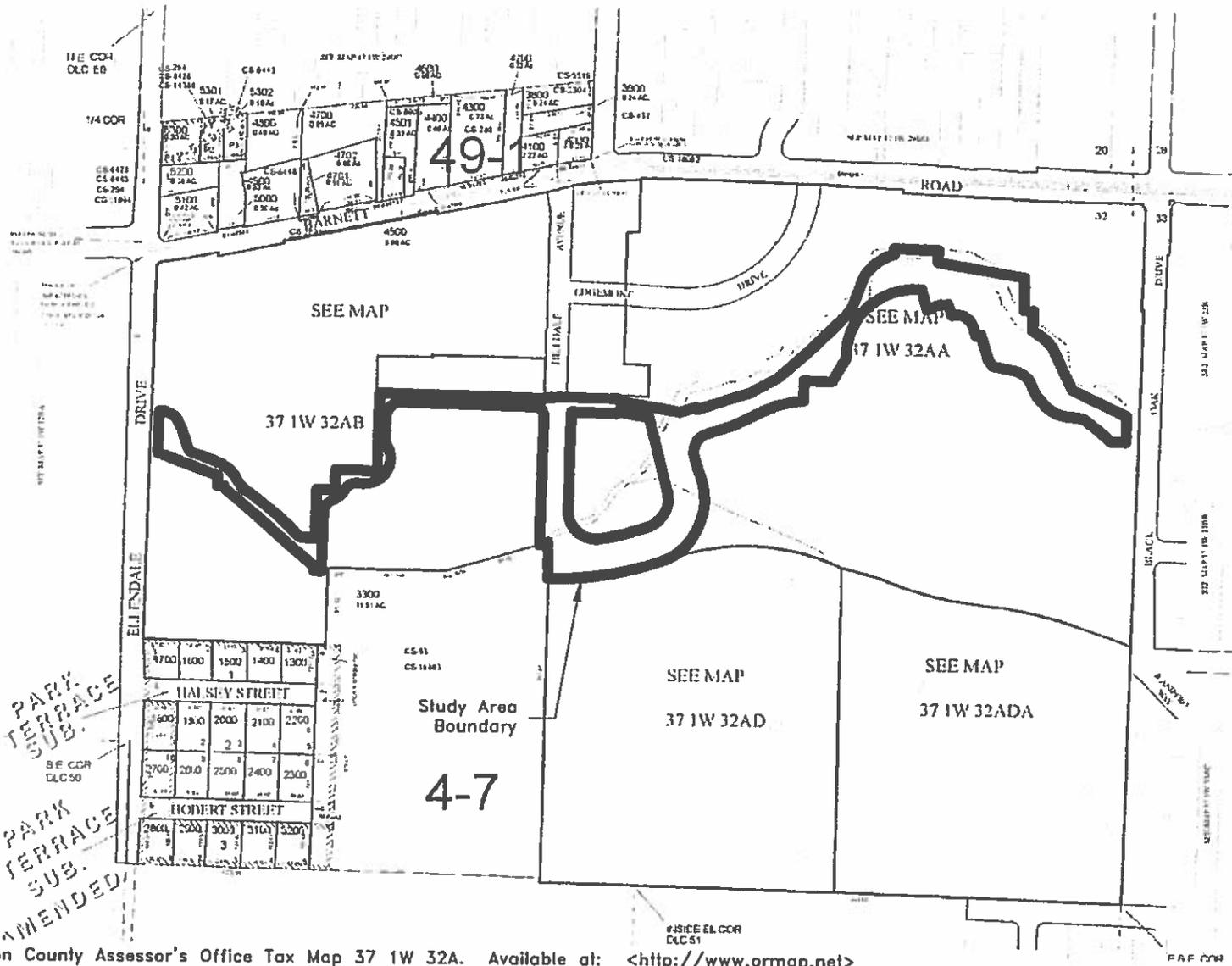
FIGURE 1

14

FORM ASSESSMENT AND TAX MAP CITY

N.E. 1/4, SEC. 32, T.37S., R. 1W., W.M.
JACKSON COUNTY
1" = 200'

37 1W 32A
MEDFORD



CAPITAL TAX
LOT NUMBERS

101-120
130
220
230
240
250
260
270
280
290
300
310
320
330
340
350
360
370
380
390
400

PARK TERRACE SUB.
BE COR
DLC 50

PARK TERRACE SUB.
"WENDED"

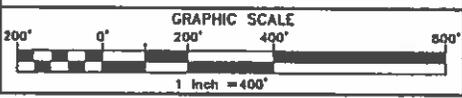
SOURCE: Jackson County Assessor's Office Tax Map 37 1W 32A. Available at: <<http://www.ormap.net>>

Terra Science, Inc.
Soil, Water, & Wetland Consultants

WETLAND DELINEATION FOR THE
LARSON CREEK TRAIL SEGMENT II -
ELLENDALE DRIVE TO BLACK OAK DRIVE
Medford, Jackson County, Oregon

TAX MAP
37 1W 32A

FIGURE 2A



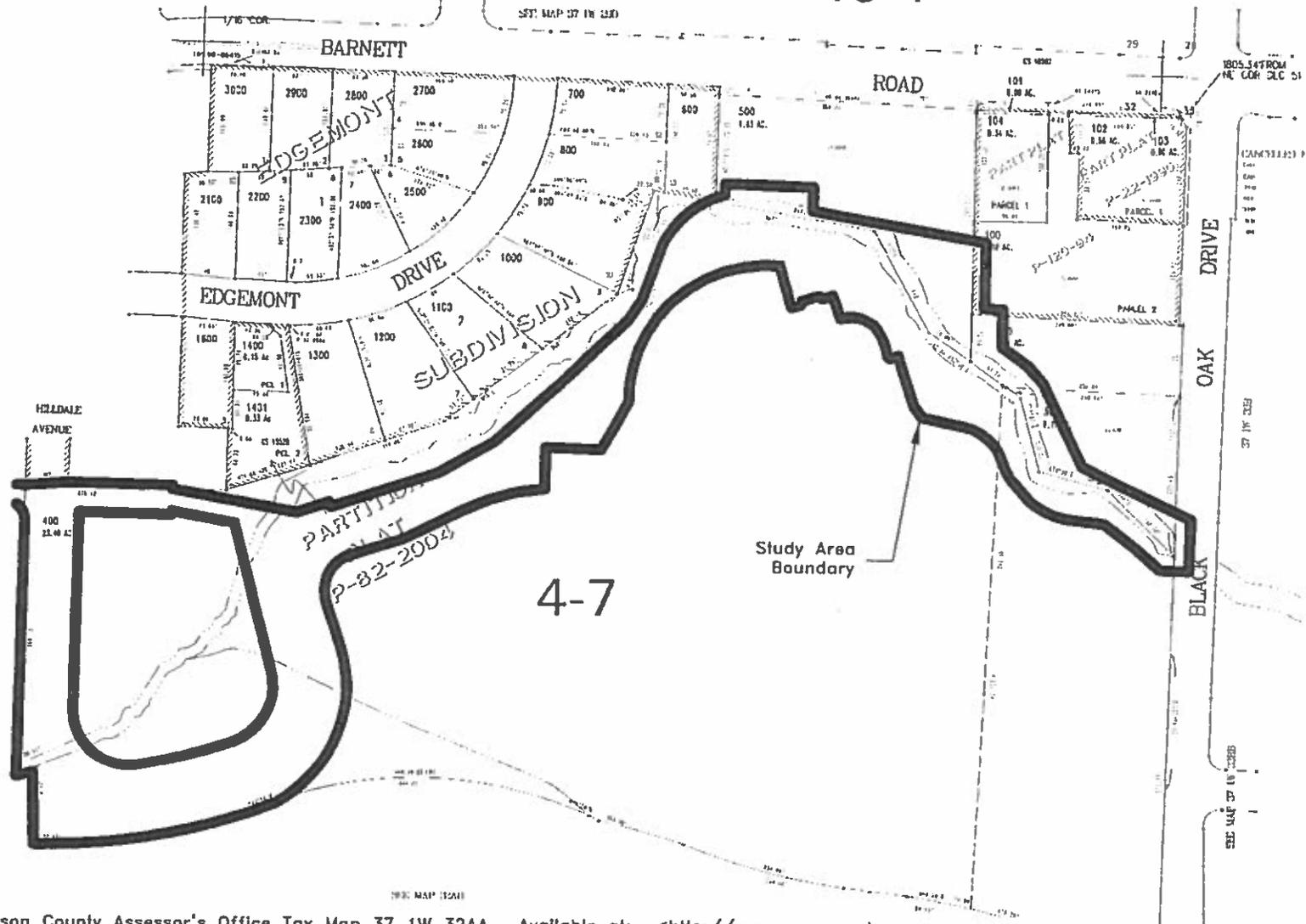
June 2015

THIS MAP WAS PREPARED FOR
ASSESSMENT PURPOSES ONLY

NW1/4 NW1/4 SEC 32 T32N R1W W.M.
JACKSON COUNTY

37 1W 32AA
MEDFORD

49-1



Study Area
Boundary

4-7

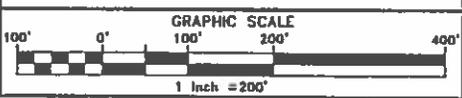
SOURCE: Jackson County Assessor's Office Tax Map 37 1W 32AA. Available at: <<http://www.ormap.net>>

Terra Science, Inc.
Soil, Water, & Wetland Consultants

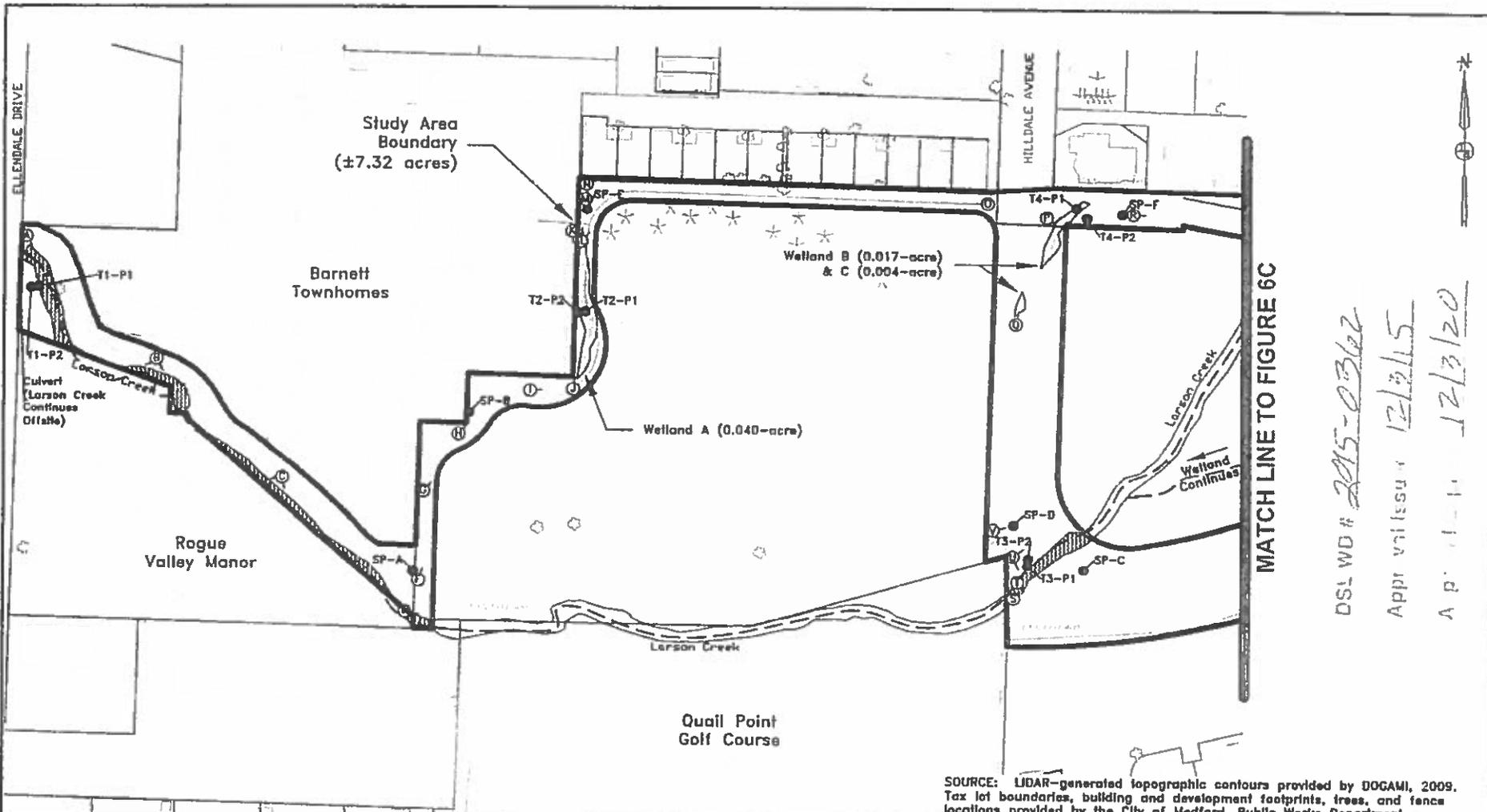
WETLAND DELINEATION FOR THE
LARSON CREEK TRAIL SEGMENT II -
ELLENDALE DRIVE TO BLACK OAK DRIVE
Medford, Jackson County, Oregon

TAX MAP
37 1W 32AA

FIGURE 2C



June 2015



DSI WD # 2015-0362
 Appr vltssu 12/2/15
 A P. 1-1 12/3/20

SOURCE: LIDAR-generated topographic contours provided by DOGAMI, 2009. Tax lot boundaries, building and development footprints, trees, and fence locations provided by the City of Medford, Public Works Department - Engineering / Development Division, 2015. Wetland boundaries, ordinary high water boundaries, and sample plot locations mapped by TSI using hand GPS (Ashtech Mobile Mapper 120), 2015.

NOTE: Wetland and upland conditions determined using methodology outlined in the Corps 1987 Manual and Arid West Regional Supplement Version 2.0. Sample plot locations and delineated boundaries were mapped by the field team utilizing an Ashtech hand-held MobileMapper 120 Global Navigation Satellite System (GNSS) receiver running ArcPad Version 10.0 software. ArcPad shape files were then post-processed using Mobile Mapper Office Version 4.5. Corrected files were then exported to AutoCAD compatible files using ArcMap 10.2. Real time and post-processed horizontal accuracy were both sub-meter based on the accuracy provided by software and hardware manufacturer.

LEGEND

	Total Wetland (0.249-acre)		2-Foot Topographic Contours (LIDAR)
	Waters of the U.S. and/or State of Oregon (±1780 linear feet or 0.531-acre below OHW)		Tax Lot Lines
	T1-P2 Sample Plot Locations		Building
	Photo Point Locations		Creek or Drainage
	Trees		Fence

Terra Science, Inc.
 Soil, Water, & Wetland Consultants

GRAPHIC SCALE
 75' 0' 75' 150' 300'
 1 inch = 150'

WETLAND DELINEATION FOR THE LARSON CREEK TRAIL SEGMENT II - ELLENDALE DRIVE TO BLACK OAK DRIVE Medford, Jackson County, Oregon
 June 2015

WETLAND DELINEATION MAP (WEST INSET)

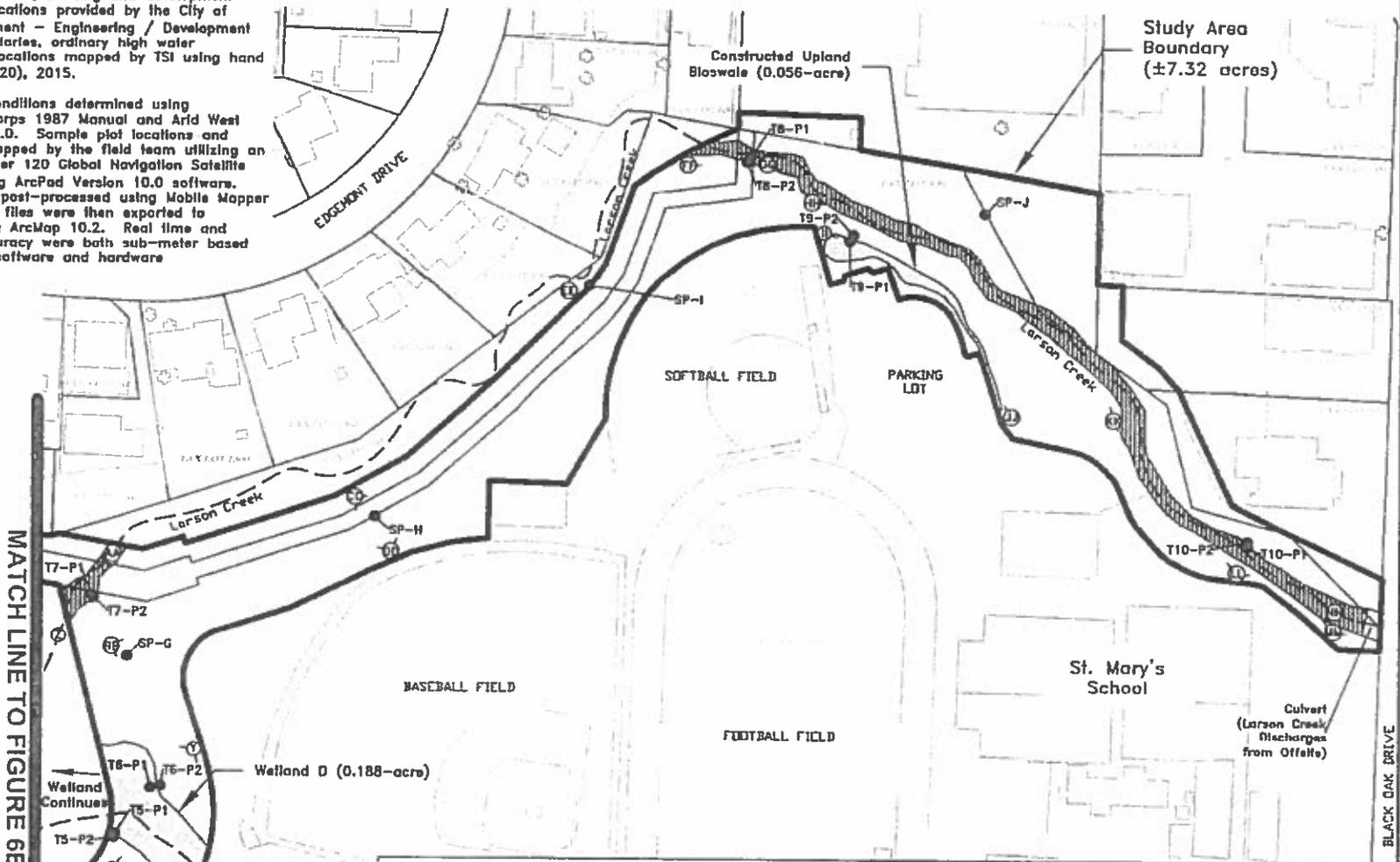
FIGURE 6B

SOURCE: LIDAR-generated topographic contours provided by DOGAMI, 2009. Tax lot boundaries, building and development footprints, trees, and fence locations provided by the City of Medford, Public Works Department - Engineering / Development Division, 2015. Wetland boundaries, ordinary high water boundaries, and sample plot locations mapped by TSI using hand GPS (Ashtech Mobile Mapper 120), 2015.

NOTE: Wetland and upland conditions determined using methodology outlined in the Corps 1987 Manual and Arid West Regional Supplement Version 2.0. Sample plot locations and delineated boundaries were mapped by the field team utilizing an Ashtech hand-held MobileMapper 120 Global Navigation Satellite System (GNSS) receiver running ArcPad Version 10.0 software. ArcPad shape files were then post-processed using Mobile Mapper Office Version 4.5. Corrected files were then exported to AutoCAD compatible files using ArcMap 10.2. Real time and post-processed horizontal accuracy were both sub-meter based on the accuracy provided by software and hardware manufacturer.

DSI: WD # 2015-0362
 Approval Issued 12/3/15
 Approval Expires 12/3/20

MATCH LINE TO FIGURE 6B



LEGEND

	Total Wetland (0.249-acre)		2-Foot Topographic Contours (LIDAR)
	Waters of the U.S. and/or State of Oregon (±1780 linear feet or 0.531-acre below OHW)		Tax Lot Lines
	T1-P2 Sample Plot Locations		Building
	Photo Point Locations		Creek or Drainage
	Trees		Fence

Terra Science, Inc.
 Soil, Water, & Wetland Consultants

GRAPHIC SCALE
 75' 0' 75' 150' 300'
 1 inch = 150'

WETLAND DELINEATION FOR THE LARSON CREEK TRAIL SEGMENT II - ELLENDALE DRIVE TO BLACK OAK DRIVE Medford, Jackson County, Oregon

June 2015

WETLAND DELINEATION MAP (EAST INSET)

FIGURE 6C

MEDFORD PARKS & RECREATION

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RECEIVED

MAY 26 2017

TO: Planning Department, Praline McCormack
FROM: Pete Young, Parks & Recreation Planner
SUBJECT: CUP 17-053; Richard Stevens & Associates, Inc. for City of Medford Public Works Department; Larson Creek path and two bridges between Back Oak Drive and Ellendale Drive
DATE: May 26, 2017

PLANNING DEPT.

I have reviewed the applicant's Conditional Use Permit application as it relates to the mitigation of impacts incurred from the Larson Creek path and bridge construction and have the following observations and comments.

ODF&W has stated they *"feel it necessary to explicitly state our concerns with the project as it relates to the City of Medford's Land Development Codes (attached) which were developed to be consistent with Oregon's Statewide Planning Goal #5 [OAR 660-015-0000(5)] regarding the protection of natural resources, scenic and historic areas, and open spaces (also attached)."*

Impacts resulting from the City of Medford's placement of paths within the riparian corridor are stated to be at odds with ODF&W's recommendations for the proper implementation of the City of Medford Riparian Corridor Ordinance.

"In conclusion, for the Oregon Department of Fish and Wildlife to support the plan for the proposed path, the City of Medford will need to demonstrate that they are minimizing intrusion in the riparian corridor, and that they will adequately mitigate with equal or better protection for the impacts created where there is intrusion into the riparian corridor."

ODF&W is asking the Planning Commission determine if the applicants:

"demonstrate that they are minimizing intrusion in the riparian corridor, and that they will adequately mitigate with equal or better protection for the impacts created where there is intrusion into the riparian corridor."

ODF&W has suggested a reduction in path size, locating the path out of the twenty-five foot zone closest to the creek, acquiring additional land that is already paved for new paved path locations, and a number of other strategies to both reduce the impacts of this application and impacts resulting from the implementation of future projects shown in riparian path master plans.

The City of Medford Parks, Recreation and Facilities Department (PR&FD) is interested in collaborating with the Public Works Department (PWD) on the development of the approved riparian restoration plan for this segment of the Larson Creek Path. The PWD will utilize their expertise in developing the paved path and the PR&FD will utilize its expertise in riparian corridor planting design, installation, and 5-year plant maintenance. The Public Works department will fund all costs for the project and PR&F department's project management.



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CITY OF MEDFORD
EXHIBIT # 001
File # CUP-17-053

ODF&W has in the past and is now again recommending a mitigation of one plant per sixty-four square feet of impacted area. They have estimated the impacted area to be approximately:

- a. 1,595 linear feet of a ten-foot paved path and four additional feet of gravel shoulder, for an impact area of 22,330 square feet;
- b. 1,060 linear feet of a twelve-foot wide paved path and four additional feet of gravel shoulder, for an impact area of 22,330 square feet;

The total impact area is therefore 39,290 linear feet, and will require a minimum of 614 plants. Staff supports the ODF&W recommendation, noting that this is similar to their recommendations made in the recent past years, including the recently constructed Larson Creek Path segment to the west of this proposal.

The location of the plant mitigation site will be one contiguous planted area along the Larson Creek path in the vicinity of Saint Mary's School, west of Black Oak Drive and east of Hillsdale Drive in the riparian corridor that includes an adjacent wetland.

The applicant will install the landscape and irrigation per best practices for the riparian planting of this project site. Install fertilizer, weed mats and brose protection cages for all new plantings. Provide for weeds and invasive plant control. A groundcover consisting of a combination of native grasses, groundcovers and/or mulch must be included in the planting plan for the protection of disturbed soils.

New plantings that die shall be replaced annually throughout the 5-year establishment period. The plant spacing that ODF&W is recommending is the minimum spacing for a successful and thriving riparian planting project. Because the mortality rate of planting on a site such as this can be high, proper initial soil preparation and then on-going maintenance with annual replanting is required to ensure this minimum plant spacing endures.

Staff recommends the PWD fund the PR&FD to write a maintenance contract that, at the time of final acceptance requires the riparian planting project contains a mature and thriving plant pallet of the original project restoration planting plan.

The applicant will fund the PR&FD to oversee a contract with a reputable riparian corridor maintenance professional that, through monthly maintenance ensures the riparian plants are thriving at the original plant quantity and spacing throughout the five year establishment period.

The applicant will fund the PR&FD to oversee a contract that, should any restoration plantings die or fall into poor health during the 5-year establishment period, the plants shall be replaced annually in the fall of the year. The installation shall result in the plantings thriving and being fully established at the end of a five-year establishment period.

The five-year plant establishment period responsibilities include:

- a. Protect existing native plants and shrubs during all construction and maintenance activities;
- b. Install, operate and maintain a temporary irrigation system for dry season watering;

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www.ci.medford.or.us parks@cityofmedford.org

- c. Provide soil preparation for the planting area per industry best practices;
- d. Maintain the planting and replant annually all trees and shrubs not thriving;
- e. Manage undesirable weeds and overgrowth which compete with the planting; and
- f. Stabilizing the soil in all disturbed areas with appropriate best management practices;
- g. Install groundcover consisting of a combination of native grasses, groundcovers and/or mulch; and
- h. Install a mulch at the plant bases to protect the new plantings from competition.

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Larson Creek Path Riparian Mitigation Concept

Description	Length (Feet)	Width (Feet)	Square Feet	One plant per 64 Sq Ft.
1 Ellendale east to golf course	615	14	8,610	135 plants
2 Hillsdale Drive east to bridge	1,060	16	16,960	265 plants
3 Bridge east to Black Oak	980	14	13,720	214 plants
			39,290	614 plants
Lomakatsi estimate based on 22,000 Sq. Ft.	450	50	22,500	352 plants
ODF&W estimates 639,290 Sq. Ft. mitigation	2,655	14 to 16	39,290	614 plants

TREES: 1 gal.

- Alnus rhobifolia
- Calocedrus
- Ponderosa pine
- Fraxinus latifolia
- Acer macrophyllum
- Amelanchier alnifolia
- Populus trichocarpa

SHRUBS: 1 gal.

- Cornus stolonifera
- Physocarpus capitatus
- Rosa nookana
- Manhonia aquifolium
- Prunus virginiana
- Amelanchier alnifolia
- Holodiscus discolor

Hydroseed all exposed soil with upland seed blend or mulch.

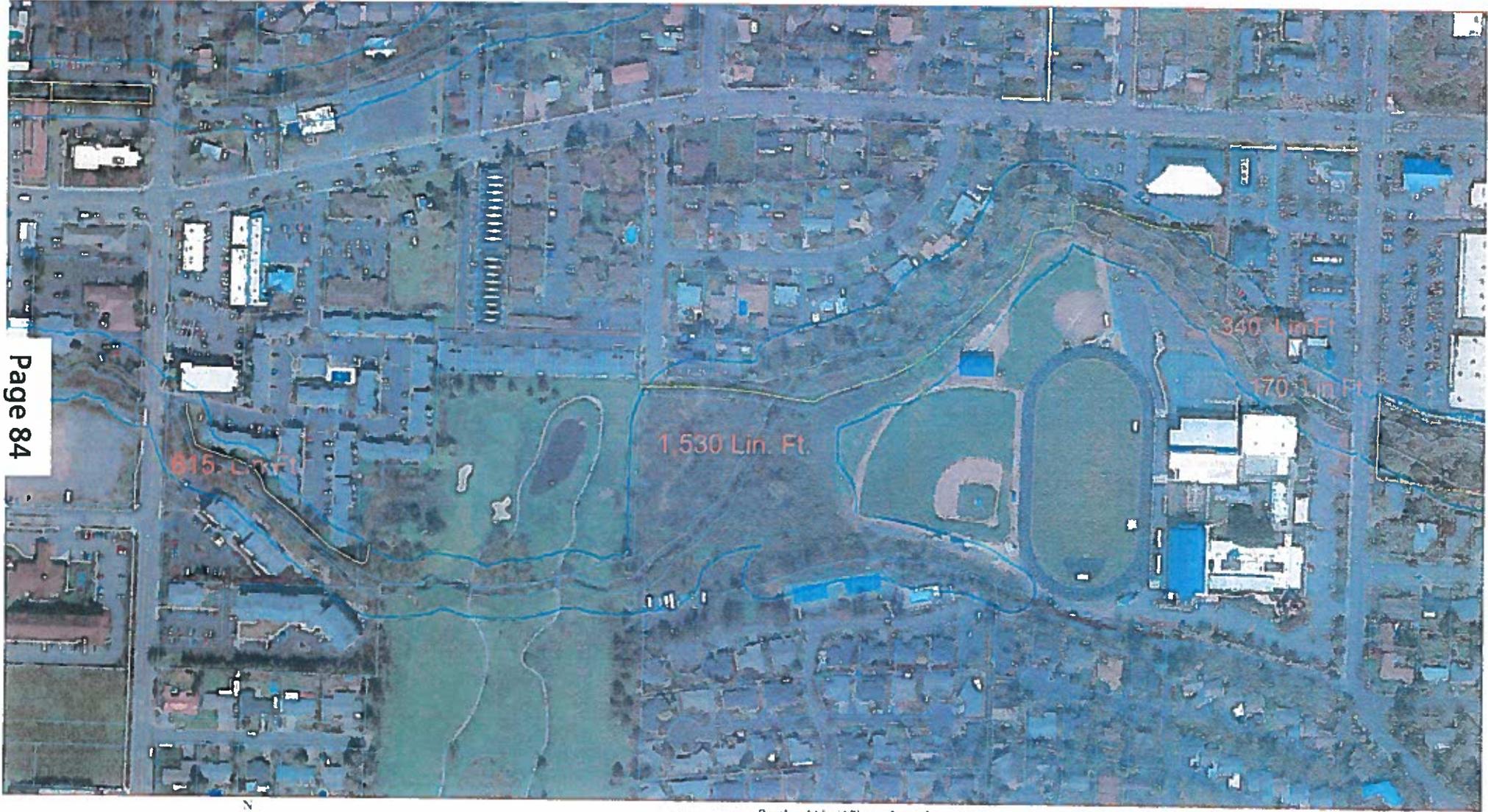
Installation

- Install plant material
- Install weed mats
- Weed/invasive control
- Brose protection cages
- Fertilizer
- Install irrigation system and monitoring
- Ensure successful establishment of plants

5-YEAR Maintenance

- Project management
- Irrigation system oversight
- Mechanical removal of invasive plants
- Native plant fertilizing

CITY OF MEDFORD- LARSON CREEK GREENWAY



Page 84



Section 'A'- 615' ten-foot wide
Section 'B'- 1,530' twelve-foot wide
Section 'C'- ten-foot wide
Section 'D'- twelve-foot wide



Oregon

Kate Brown, Governor

Department of Fish and Wildlife

Rogue Watershed District Office

1495 East Gregory Road

Central Point, OR 97502

(541) 826-8774

Fax: (541) 826-8776

www.odfw.com

RECEIVED
MAY 24 2017
PLANNING DEPT.



May 24, 2017

City of Medford Planning Department
C/O Praline McCormack
Lausmann Annex
200 South Ivy Street
Medford, OR 97501

Project Name: Larson Creek Trail, Segment 2

Re: ODFW Comments regarding CUP-17-053

Dear Ms. McCormack,

The Oregon Department of Fish and Wildlife wishes to comment on the proposed Conditional Use Permit application 17-053, regarding the proposed Larson Creek Trail, Segment 2 project. We have been in contact with the City of Medford Planning Department and City of Medford Parks Department during the initial planning phases and mitigation for the said development. Though our initial comments have been considered in the initial planning and proposed mitigation, we feel it necessary to explicitly state our concerns with the project as it relates to the City of Medford's Land Development Codes (attached) which were developed to be consistent with Oregon's Statewide Planning Goal #5 [OAR 660-015-0000(5)] regarding the protection of natural resources, scenic and historic areas, and open spaces (also attached).

Larson Creek in the vicinity of the proposed multiple-use path has a riparian corridor subject to the provisions of sections 10.920 through 10.928 of the City's Land Development Code which was adopted June 1, 2000 by ordinance 1999-215. This riparian corridor is a 50 foot setback from the top of bank of Larson Creek between its downstream confluence with Bear Creek, upstream past North Phoenix Road. Hence the section between Ellendale and Black Oak is subject to the protection setback. Below are ODFW's comments and how they pertain to the proposed development and Medford's Land Development Codes:

- 1) The primary purpose of the riparian corridors include the protection Medford's waterways, riparian areas, fish and wildlife habitat, water quality, and natural beauty (10.920).

Comment: This is the primary purpose of this Land Development code, rather not to provide a corridor when convenient. Riparian corridors provide habitat and ecological function for the creek. Namely, helping to reduce erosion and stabilize banks, provide food and cover for fish and wildlife, keep stream temperatures cool and filter pollution. Chinook Salmon and ESA-listed SONCC Coho Salmon use Larson Creek in the vicinity of this pathway, as do Steelhead Trout. A number of passage improvements have been completed in the past decade on Larson Creek which gives these species easier access to Larson Creek.

CITY OF MEDFORD
EXHIBIT # N
File # CUP-17-053

- 2) Multiple-use paths can be allowed within riparian corridors under a conditional use permit, however, these paths must be designed to minimize intrusion into the riparian corridor (10.925).

Comment: This allowance is namely for stream crossings. Any conclusion that multi-use paths are a priority use for land within the riparian corridor is incorrect. Given that the riparian corridor along this section of Larson Creek has already been significantly reduced by development. Much of this was prior to the adoption of June 1, 2000 ordinance. It is difficult to conclude that a multi-use path can be placed within the narrow undeveloped corridor and meet the requirements of the City of Medford Municipal Code or other regulations that protect riparian areas and water quality.

It is up to the City of Medford to show how they are following their own ordinance by minimizing their intrusion into the riparian setback. A 12 foot bike path with 2 feet of gravel on each side is an unnecessary biological impact to the riparian corridor. Minimizing the footprint of the pathway to 10 feet wide with 2 feet of gravel on each side will minimize intrusion into the riparian corridor while still maintaining the minimum recommended width of a multi-use pathway. Upstream of Black Oak Drive, the Larson Creek bike path width of impervious substrate is 8 feet wide. Regardless, all area that is maintained as bikepath, including gravel shoulders should be considered as intrusion into the riparian corridor. ODFW would recommend the minimum width possible, especially in areas where the path will be directly adjacent to Larson Creek and within the 25 setback. If additional easements are necessary, then those should be acquired by the City of Medford.

- 3) Plans must be submitted to ODFW for mitigation recommendations (10.925).

Comment: We have seen initial plans to mitigate for the proposed development, however haven't seen a final riparian landscape plan. So far, what Medford Public Work has proposed falls well short of the required standard. For instance, The current proposal has approximately 2,655 linear feet, where the bike path is within the 50 foot riparian setback. Around half of this is within the 25 foot setback. The impacts of having a multi-use path that will permanently displace riparian habitat within the riparian corridor are very significant. This is especially true where there is already little riparian habitat remaining and the path will be located in very close proximity to the creek. The impacts of permanently removing habitat cannot be mitigated for by simply planting trees in an equal-sized area. The standard for such permanent removal of habitat is three acres enhanced for each acre impacted. The standard stocking rate is 680 plants per acre (1 plant /64 square foot of disturbance). The rate of mitigation could be reduce for more substantial mitigation efforts, such as reestablishing riparian habitat in areas where it has been completely removed on other sections of the creek. Thus far, only the area just to the north of Saint Mary's high school has a planting plan that ODFW has seen. This is only about ¼ of the total area being impacted.

- 4) The riparian corridor may be reduced by up to 25 feet as long as equal or better protection of the riparian area will be ensured through a plan for restoration and/or enhancement (10.927).

Comment: We have not been provided evidence that would allow us to conclude that the path can be built without a net loss of riparian habitat, a degradation of water quality, and damage to fish and wildlife habitat. The Oregon Department of Fish and Wildlife does, however, understand the benefit of the multi-use path to the community; therefore, we have been and still are willing to work with the City to develop a plan that would allow for a path with a reasonable amount of impact to the natural resources, and a rate of mitigation that provides equal or better

protection. There are areas on Larson Creek where mitigation could offset the impact to the riparian corridor within the development. This will just require the city to work with private parties.

- 5) To approve the CUP, the City of Medford must ensure the long-term protection and maintenance of the riparian corridor. (10.928).

Comment: ODFW Recommends a 5 year follow up maintenance plan after construction and 80% survival of planted trees at the end of the 5 year maintenance period. Additionally, the City of Medford Parks Department should maintain this pathway in perpetuity, so to preserve as much of the existing riparian corridor as possible. The riparian corridor should be maintained for multi-canopy coverage to preserve the remaining ecological function of the riparian corridor.

In conclusion, for the Oregon Department of Fish and Wildlife to support the plan for the proposed path, the City of Medford will need to demonstrate that they are minimizing intrusion in the riparian corridor, and that they will adequately mitigate with equal or better protection for the impacts created where there is intrusion into the riparian corridor.

Sincerely,



Ryan Battleson
Assistant District Fisheries Biologist
Oregon Department of Fish and Wildlife
541-826-8774 ext. 226
Ryan.d.battleson@state.or.us

**CITY OF MEDFORD
RIPARIAN CORRIDOR ORDINANCE**

Adopted: June 1, 2000 by Ordinance # 1999-215

This new language is located in Article V - Site Development Standards, and replaces the Bear Creek (B-C) Overlay Zoning District. The affected creeks are Bear Creek, Larson Creek, and Lone Pine Creek downstream of Biddle Road. Note: The definitions in Section 10.921 are also located in Section 10.012 A Definitions, Specific.

RIPARIAN CORRIDORS (Sections 10.920 through 10.928)

10.920 Riparian Corridors, Purposes

The purposes of establishing riparian corridors are:

- (1) To implement the goals and policies of the "Environmental Element" and the "Greenway" General Land Use Plan (GLUP) designation of the *Medford Comprehensive Plan* and achieve their purposes.
- (2) To protect and restore Medford's waterways and associated riparian areas, thereby protecting and restoring the hydrologic, ecologic, and land conservation functions these areas provide for the community.
- (3) To protect fish and wildlife habitat, enhance water quality, control erosion and sedimentation, and reduce the effects of flooding.
- (4) To protect and restore the natural beauty and distinctive character of Medford's waterways as community assets.
- (5) To provide a means for coordinating the implementation of the Bear Creek Greenway and other greenways or creek restoration projects within the City of Medford.
- (6) To enhance the value of properties near waterways by utilizing the riparian corridor as a visual amenity.
- (7) To enhance coordination among local, state, and federal agencies regarding development activities near waterways.

10.921 Riparian Corridors, Definitions

The following definitions shall apply to Sections 10.920 through 10.928, "Riparian Corridors":

Fish-bearing stream - A stream inhabited at any time of the year by anadromous or game fish species, or fish that are listed as *threatened* or *endangered* species under the federal or state Endangered Species Acts.

Riparian area - The area adjacent to a stream consisting of the area of transition from the aquatic ecosystem to a terrestrial ecosystem.

Riparian corridor - The area within the boundary established by 10.923 "Riparian Corridors, Location," including the waterway and the setback area on both sides of the waterway.

Riparian vegetation - Native ground cover, shrubs, trees, and other vegetation predominately influenced by their association with water.

Top-of-bank - The elevation at which water overflows the natural bank and begins to inundate upland areas. In absence of physical evidence, the two-year recurrence interval flood elevation may be used to delineate the top of bank.

10.922 Riparian Corridors, Applicability

- A. The provisions of Sections 10.920 through 10.928, "Riparian Corridors," shall be applied to those waterways, or portions thereof, identified by the *Medford Comprehensive Plan* as being fish-bearing streams, and any other waterways, or portions thereof, specified in the *Medford Comprehensive Plan* as having riparian areas determined to be significant. The provisions shall apply regardless of whether or not a building permit, development permit, as defined in 10.101, "The Development Permit Application," or plan authorization, as defined in 10.102, "Plan Authorizations," is required, and do not provide any exemption from state or federal regulations. Where riparian corridors are located within the Southeast (S-E) overlay zoning district, the provisions of Sections 10.920 through 10.928, "Riparian Corridors," shall take precedence. When a locally significant wetland is located within or adjacent to a riparian corridor, the riparian corridor setback will be applied, and shall be measured from the boundary of the wetland.
- B. Applications for plan authorizations (except Annexations), development permits, or building permits, and plans for proposed public facilities on parcels containing a riparian corridor, or a portion thereof, shall contain a to-scale drawing that clearly delineates the top-of-bank and riparian corridor boundary on the entire parcel or parcels.
- C. When reviewing plan authorization or development permit applications for properties containing a riparian corridor, or portion thereof, the approving authority should consider the purpose statements in section 10.920 "Riparian Corridors, Purposes" in determining the extent of the impact on the riparian corridor.
- D. The Planning Commission shall be the approving authority for applications for exceptions to

the provisions herein pertaining to Riparian Corridors. In addition to the provisions of Sections 10.251 through 10.254 "Exception Application," such a request shall be submitted to the Oregon Department of Fish and Wildlife for a habitat mitigation recommendation pursuant to O.A.R. 635-415 "Fish and Wildlife Habitat Mitigation Policy."

10.923 Riparian Corridors, Location

The riparian corridor boundary shall extend 50 feet measured horizontally from the top-of-bank, as defined herein, on both sides of those waterways identified in section 10.922 A. ARiparian Corridors, Applicability, and having an average annual stream flow of less than 1,000 cubic feet per second (cfs), unless a request to reduce the setback has been approved according to section 10.927, ARiparian Corridors, Reduction or Deviation. Where the top-of-bank has been relocated as part of an approved waterway restoration project, at the request of affected property owners, the riparian corridor boundary shall extend 50 feet from the original top-of-bank.

10.924 Permitted Activities within Riparian Corridors

- A. Any use, sign, or structure, and the maintenance thereof, lawfully existing on the date of adoption of the provisions herein, is permitted within a riparian corridor. Such use, sign, or structure may continue at a similar level and manner as existed on the date of adoption of the provisions herein. The maintenance and alteration of pre-existing ornamental landscaping is permitted within a riparian corridor as long as no additional riparian vegetation is disturbed. The provisions of this section shall not be affected by any change in ownership of properties containing a riparian corridor.
- B. The following activities, and maintenance thereof, are permitted within a riparian corridor, subject to obtaining applicable permits, if any, from the Oregon Division of State Lands and the U.S. Army Corps of Engineers. All plans for development and/or improvements within a riparian corridor shall be submitted to the Oregon Department of Fish and Wildlife for a habitat mitigation recommendation pursuant to O.A.R. 635-415 "Fish and Wildlife Habitat Mitigation Policy."
 - (1) Waterway restoration and rehabilitation activities such as channel widening, realignment to add meanders, bank grading, terracing, reconstruction of road crossings, or water flow improvements.
 - (2) Restoration and enhancement of native vegetation, including the addition of canopy trees; cutting of trees which pose a hazard due to threat of falling if the tree is left in the riparian area after felling; or removal of non-native vegetation if replaced with native plant species at the same amount of coverage or density.
 - (3) Normal farm practices, other than structures, in existence at the date of adoption of

the provisions herein, on land zoned for Exclusive Farm Use.

- (4) Normal flood control channel maintenance practices within a waterway, other than structures, necessary to maintain flow.
 - (5) Replacement of a permanent legal nonconforming structure in existence at the date of adoption of the provisions herein with a structure in the same location, if it does not disturb additional riparian area, and in accordance with the provisions of Sections 10.032 through 10.037 "Non-Conformities."
 - (6) Expansion of a permanent legal nonconforming structure in existence at the date of adoption of the provisions herein, if the area of the expansion is not within the riparian corridor, and in accordance with the provisions of Sections 10.032 through 10.037 "Non-Conformities."
 - (7) Perimeter mowing and other cutting necessary for hazard prevention.
- C. New fencing may be permitted subject to consideration by the Planning Director or designee in consultation with the Director of Public Works and applicable state and federal agencies. An application for new fencing within a riparian corridor shall contain a to-scale drawing that clearly delineates the top-of-bank and riparian corridor boundary on the entire parcel or parcels, and shall indicate why the proposal is necessary and how it minimizes intrusion into the riparian corridor.

10.925 Conditional Uses within Riparian Corridors

The following activities, and maintenance thereof, are allowed within a riparian corridor if compatible with Section 10.920, "Riparian Corridors, Purposes," and if designed to minimize intrusion. Such activities shall be subject to approval of a Conditional Use Permit, which may be considered separately or in conjunction with another plan authorization review. The approving authority must determine that the proposal complies with at least one of the Conditional Use Permit criteria. Applicable permits, if any, from the Oregon Division of State Lands and the U.S. Army Corps of Engineers shall subsequently be obtained. All development and improvement plans shall be submitted to the Oregon Department of Fish and Wildlife for a habitat mitigation recommendation pursuant to O.A.R. 635-415 "Fish and Wildlife Habitat Mitigation Policy."

- (1) Water-related or water-dependent uses, such as drainage facilities and irrigation pumps.
- (2) Utilities or other public improvements.
- (3) Streets, roads, or bridges where necessary for access or crossings.

- (4) Multi-use paths, accessways, trails, picnic areas, or interpretive and educational displays and overlooks, including benches and outdoor furniture.

10.926 Prohibited Activities within Riparian Corridors

The following activities are prohibited within a riparian corridor, except as permitted in Sections 10.924 "Permitted Activities within Riparian Corridors" and 10.925 "Conditional Uses within Riparian Corridors."

- (1) Placement of new structures or impervious surfaces.
- (2) Excavation, grading, fill, stream alteration or diversion, or removal of vegetation except for perimeter mowing for fire protection purposes.
- (3) Expansion of areas of pre-existing non-native ornamental landscaping such as lawn, gardens, etc.
- (4) Dumping, piling, or disposal of refuse, yard debris, or other material.

10.927 Riparian Corridors, Reduction or Deviation

A request to reduce or deviate from the riparian corridor boundary provisions of this section may be submitted to the Planning Director or designee for consideration. A deviation request may be approved as long as equal or better protection of the riparian area will be ensured through a plan for restoration, enhancement, or similar means. Such a plan shall be submitted to the Oregon Department of Fish and Wildlife for a habitat mitigation recommendation pursuant to O.A.R. 635-415 "Fish and Wildlife Habitat Mitigation Policy." In no case shall activities prohibited in Section 10.926 (1) through (3), "Prohibited Activities within Riparian Corridors" be located any closer than 25 feet from the top-of-bank. The Planning Commission shall be kept advised of the outcome of deviation or reduction requests. Any decision of the Planning Director may be appealed to the City Council as provided in Chapter 10 of the Code of Medford.

10.928 Conservation and Maintenance of Riparian Corridors

When approving applications for the following plan authorizations: Land Divisions, Planned Unit Developments, Conditional Use Permits, and Exceptions, or for development for properties containing a riparian corridor, or portion thereof, the approving authority shall assure long term conservation and maintenance of the riparian corridor through one of the following methods:

- (1) The area shall be protected in perpetuity by a conservation easement recorded on deeds and plats prescribing the conditions and restrictions set forth in Sections 10.920 through 10.928, "Riparian Corridors," and any imposed by state or federal permits; or,

- (2) The area shall be protected in perpetuity through ownership and maintenance by a private non-profit association by conditions, covenants, and restrictions (CC&R's) prescribing the conditions and restrictions set forth in Sections 10.920 through 10.928, "Riparian Corridors," and any imposed by state or federal permits; or,
- (3) The area shall be transferred by deed to a willing public agency or private conservation organization with a recorded conservation easement prescribing the conditions and restrictions set forth in Sections 10.920 through 10.928, "Riparian Corridors," and any imposed by state or federal permits; or,
- (4) The area shall be protected through other appropriate mechanisms acceptable to the City of Medford which ensure long-term protection and maintenance.

P:\FORMS\riparian corridor ord.doc

Oregon's Statewide Planning Goals & Guidelines

GOAL 5: NATURAL RESOURCES, SCENIC AND HISTORIC AREAS, AND OPEN SPACES

OAR 660-015-0000(5)

(Please Note: Amendments Effective 08/30/96)

To protect natural resources and conserve scenic and historic areas and open spaces.

Local governments shall adopt programs that will protect natural resources and conserve scenic, historic, and open space resources for present and future generations. These resources promote a healthy environment and natural landscape that contributes to Oregon's livability.

The following resources shall be inventoried:

- a. Riparian corridors, including water and riparian areas and fish habitat;
- b. Wetlands;
- c. Wildlife Habitat;
- d. Federal Wild and Scenic Rivers;
- e. State Scenic Waterways;
- f. Groundwater Resources;
- g. Approved Oregon Recreation Trails;
- h. Natural Areas;
- i. Wilderness Areas;
- j. Mineral and Aggregate Resources;
- k. Energy sources;
- l. Cultural areas.

Local governments and state agencies are encouraged to maintain

current inventories of the following resources:

- a. Historic Resources;
- b. Open Space;
- c. Scenic Views and Sites.

Following procedures, standards, and definitions contained in commission rules, local governments shall determine significant sites for inventoried resources and develop programs to achieve the goal.

GUIDELINES FOR GOAL 5

A. PLANNING

1. The need for open space in the planning area should be determined, and standards developed for the amount, distribution, and type of open space.

2. Criteria should be developed and utilized to determine what uses are consistent with open space values and to evaluate the effect of converting open space lands to inconsistent uses. The maintenance and development of open space in urban areas should be encouraged.

3. Natural resources and required sites for the generation of energy (i.e. natural gas, oil, coal, hydro, geothermal, uranium, solar and others) should be conserved and protected;

reservoir sites should be identified and protected against irreversible loss.

4. Plans providing for open space, scenic and historic areas and natural resources should consider as a major determinant the carrying capacity of the air, land and water resources of the planning area. The land conservation and development actions provided for by such plans should not exceed the carrying capacity of such resources.

5. The National Register of Historic Places and the recommendations of the State Advisory Committee on Historic Preservation should be utilized in designating historic sites.

6. In conjunction with the inventory of mineral and aggregate resources, sites for removal and processing of such resources should be identified and protected.

7. As a general rule, plans should prohibit outdoor advertising signs except in commercial or industrial zones. Plans should not provide for the reclassification of land for the purpose of accommodating an outdoor advertising sign. The term "outdoor advertising sign" has the meaning set forth in ORS 377.710(23).

B. IMPLEMENTATION

1. Development should be planned and directed so as to conserve the needed amount of open space.

2. The conservation of both renewable and non-renewable natural resources and physical limitations of the land should be used as the basis for determining the quantity, quality, location, rate and type of growth in the planning area.

3. The efficient consumption of energy should be considered when utilizing natural resources.

4. Fish and wildlife areas and habitats should be protected and managed in accordance with the Oregon Wildlife Commission's fish and wildlife management plans.

5. Stream flow and water levels should be protected and managed at a level adequate for fish, wildlife, pollution abatement, recreation, aesthetics and agriculture.

6. Significant natural areas that are historically, ecologically or scientifically unique, outstanding or important, including those identified by the State Natural Area Preserves Advisory Committee, should be inventoried and evaluated. Plans should provide for the preservation of natural areas consistent with an inventory of scientific, educational, ecological, and recreational needs for significant natural areas.

7. Local, regional and state governments should be encouraged to investigate and utilize fee acquisition, easements, cluster developments, preferential assessment, development rights acquisition and similar techniques to implement this goal.

8. State and federal agencies should develop statewide natural resource, open space, scenic and historic area plans and provide technical assistance to local and regional agencies. State and federal plans should be reviewed and coordinated with local and regional plans.

9. Areas identified as having non-renewable mineral and aggregate resources should be planned for interim,

transitional and "second use" utilization
as well as for the primary use.



BOARD OF WATER COMMISSIONERS

Staff Memo

RECEIVED

MAY 25 2017

PLANNING DEPT.

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: CUP-17-053

PARCEL ID: Larson Creek Trail – Segment 2

PROJECT: Consideration of a request for a Conditional Use Permit (CUP) to construct a new 10-12 foot wide pedestrian/bike path known as Larson Creek Trail Segment II between Black Oak Drive and Ellendale Drive within the Larson Creek Riparian Corridor. Project to include two pedestrian bridges, fence relocation and improvements spanning approximately 7.32 acres zoned SFR-4, SFR-6, MFR-20 and C-C (Single-Family Residential, 4 dwelling units per gross acre, 6 dwelling units per gross acre, Multi-Family Residential, 20 dwelling units per gross acre and Community Commercial) (371W32AA, portions of Tax Lots 200, 300, 400 and 500 and 371W32AB, portions of Tax Lots 3100, 1100 and 3000). Medford Public Works Department, Applicant; Richard Stevens & Associates, Agent. Praline McCormack, Planner.

DATE: May 24, 2017

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. Contractor shall use caution when excavating near existing water lines and water meters for proposed path near the southerly end of Hilldale Avenue, and also along east side of Ellendale Avenue at location of proposed path. Contractor shall also use caution in the area between Sacred Heart School and Black Oak Drive.

COMMENTS

1. No Comments.

CITY OF MEDFORD
EXHIBIT # 0
File # CUP-17-053



Planning Department

Working with the community to shape a vibrant and exceptional city

MEMORANDUM

RECEIVED

MAY 24 2017

PLANNING DEPT.

Subject Larson Creek Trail Segment 2 (between Ellendale Dr. & Black Oak Dr.)

File no. CUP-17-053

To Praline McCormack, Planner II

From Carla Angeli Paladino, Principal Planner, Floodplain Coordinator *Paladino*

Date May 24, 2017

SITE CHARACTERISTICS

- New path installation within several zoning districts (SFR-4, SFR-6, MFR-20, and C-C)
- Larson Creek
- Base Flood Elevations established
- Riparian corridor established
- Existing wetlands
- Path proposed within 1% and 0.2% Annual Chance Flood Hazard Areas
- FIRM panels 41029C 1978F and 41029 1979F effective May 3, 2011

FLOODPLAIN PERMIT REQUIREMENTS

Project Proposal

A conditional use permit to construct a new 10-12 foot wide pedestrian/bike path, including two pedestrian bridges, fence relocations, and other improvements spanning approximately 7.32 acres.

Floodplain Regulations

The Medford Floodplain regulations are found in Sections 9.701-9.707 of the Municipal Code.

A Floodplain Development Permit is required prior to development in the Special Flood Hazard Areas. Development is broadly defined and includes, but is not limited to, grading, filling, paving, and construction of buildings.

Existing and proposed grades shall be provided and the effect of this earth movement on the floodplain shall be described in a narrative. The applicant's narrative mentions a floodplain study for the project. Please provide a copy of the flood study at the time of submitting the floodplain development permit application. Please provide a site plan that identifies the location, height, and type of fencing proposed if located within the Special Flood Hazard Area. Please provide a copy of a landscape plan.

Floodplain Permit

Submit a floodplain development application and fee (\$75) along with submittal requirements identified in Section 9.705 (C). An Elevation Certificate (EC) may be required with the submittal of building permits for the pedestrian bridges. If required, an EC will be needed at the time of building permit submittal, one during construction, and one prior to certificate of occupancy.

Submit copies of all necessary permits from other governmental agencies from which approval is required prior to start of construction.

Construction shall be in compliance with applicable building and fire codes and floodplain regulations.

Expiration of Floodplain Permit

A floodplain Development Permit shall become invalid unless work is started within 180 days after its issuance. Extensions for periods of not more than 180 days each shall be requested in writing.

Praline M. McCormack

From: O'Meara, Melanie S CIV USARMY CENWP (US) <Melanie.S.O'Meara@usace.army.mil>
Sent: Friday, May 19, 2017 12:37 PM
To: Praline M. McCormack
Subject: Response to the City of Medford Planning Department Request for Comments
Attachments: City of Medford Larson Creek Trail Segment II.pdf

Hello,

I am writing in response to the City of Medford Planning Department's request for a written report outlining any necessary conditions required by the U.S. Army Corps of Engineers (Corps) for approval of the Larson Creek Trail Segment II project (attached). Regarding city approval, the Corps has no comment. It should be noted that a Corps permit may be required for any work conducted in waters of the United States. I was unable to determine from the request for comment packet whether or not jurisdictional aquatic resources would be impacted, but would be happy to discuss the project with you further if you would like. I can be reached at this email or the phone number below.

Thank you,

V/r,
Melanie

Melanie O'Meara
U.S. Army Corps of Engineers
Regulatory Project Manager, Eugene Section
211 East 7th Avenue, Suite 105
Eugene, Oregon 97401-2722
(541) 465-6765

RECEIVED
MAY 19 2017
PLANNING DEPT.

CITY OF MEDFORD
EXHIBIT # Q
File # CUP-17-053



Memo

RECEIVED
MAY 24 2017
PLANNING DEPT.

To: Praline McCormick, Planning Department
From: Chad Wiltrout, Building Department (541) 774-2363
CC: Applicant: Richard Stevens & Associates, Agent.
Date: May 24, 2017
Re: May 24, 2017 LDC Meeting: CUP 17-053

Please Note:

This is not a plan review. Unless noted specifically as Conditions of Approval, general comments are provided below based on the general information provided; these comments are based on the 2014 Oregon Structural Specialty Code (OSSC) unless noted otherwise. Plans need to be submitted and will be reviewed by a commercial plans examiner, and there may be additional comments.

Fees are based on valuation. Please contact Building Department front counter for estimated fees at (541) 774-2350 or building@cityofmedford.org.

For questions related to the Conditions or Comments, please contact me, Chad Wiltrout, directly at (541) 774-2363 or chad.wiltrout@cityofmedford.org.

General Comments:

1. For list of applicable Building Codes, please visit the City of Medford website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Design Criteria" on left side of screen and select the appropriate design criteria.
2. All plans are to be submitted electronically. Information on the website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Electronic Plan Review (ePlans)" for information.
3. A site excavation and grading permit will be required if more than 50 cubic yards is disturbed.
4. A separate demolition permit will be required for demolition of any structures not shown on the plot plan.

Comments:

5. Because bridges are non-prescriptive in the structural code, the proposed bridges will be required to be designed by an Oregon licensed design professional.
6. Bridges located in flood hazard areas shall comply with the applicable requirements of ASCE 7-10 and ASCE 24 along with any additional requirements of the flood plain administrator.

CITY OF MEDFORD
EXHIBIT # B
File # CUP-17-053

ORDINANCE NO. 2014-139

AN ORDINANCE authorizing execution of Intergovernmental Agreement No. 30143 with the Oregon Department of Transportation for Larson Creek Trail Segment II improvements.

THE CITY OF MEDFORD ORDAINS AS FOLLOWS:

That execution of an Intergovernmental No. 30143 with the Oregon Department of Transportation for Larson Creek Trail Segment II improvements, which is on file in the City Recorder's office, is hereby authorized.

PASSED by the Council and signed by me in authentication of its passage this 20 day of November, 2014.

ATTEST: Glenda Wilson
City Recorder

APPROVED November 20 2014.

[Signature]
Mayor
[Signature]
Mayor

Agenda & Minutes

City of Medford



When available, the full agenda packet may be viewed as a PDF file by clicking the "Attachments" button and selecting the file you want to view.

Agendas are posted until the meeting date takes place. Minutes are posted once they have been approved.

Mayor & Council [\(View All \(Agendas.asp?SectionID=542&CCBID=0\)\)](#)

City Council Meeting

Minutes

Thursday, November 20, 2014

[View Agenda](#)

Attachments

MINUTES OF THE MEDFORD CITY COUNCIL MEETING

November 20, 2014

The meeting was called to order at noon in Council Chambers, City Hall, 411 W. 8th Street, Medford with the following members and staff present.

Mayor Gary Wheeler; Councilmembers Daniel Bunn, Eli Matthews, Chris Corcoran (*arrived and left as noted), Bob Strosser (*left as noted), Tim Jackle, John Michaels and Dick Gordon.

City Manager Eric Swanson; Deputy City Manager Bill Hoke; Deputy City Attorney Lori Cooper; City Recorder Glenda Wilson.

CITY OF MEDFORD
EXHIBIT # S 2/3
File # CUP-17-053



Employee Recognition/Promotion

Employees from the Fire, Police and Public Works Departments were recognized for their years of service.

*Councilmember Corcoran arrived.

Retirement

Karl Giepel, Fire Department; Ernie Whiteman, Police Department; and Larry Beskow, Public Works Department were recognized for their employment at the City of Medford.

20. Approval or correction of the minutes of the November 6, 2014 regular meeting

There being no corrections or amendments the minutes were approved as presented.

30. Oral requests and communications from the audience

30.1 Quarterly Travel Medford Update by Annie Jenkins

Ms. Jenkins provided an overview of the activities of the organization in promoting travel and tourism in Medford. She spoke to future conventions and events for 2015 including the Color Run, Oregon Quarterhorse Show and the International Food and Wine Travel Writers Association. She spoke to the launch of the Southern Oregon Sports Commission in August. She reported on the hotel/motel occupancy and rates. Councilmember Corcoran questioned when the current contract with Travel Medford would expire and Ms. Jenkins noted the current contract is through June 30, 2015.

30.2 Estelle Voeller representing Mayors for Peace addressed the Council regarding the goals of the organization. They are requesting that the Mayor join this group. She noted that the U.S. Conference of Mayors has been endorsing this organization along with over 6,000 mayors internationally. She provided information to the Mayor on how to join the group.

30.3 Hideko Tamura-Snider addressed the Council regarding the Hiroshima and Nagasaki nuclear attacks. Ms. Tamura-Snider was a child in Hiroshima during the attack. She encouraged the Council to support the Mayors for Peace efforts.

Mayor Wheeler noted the Council would review the information and consider the request.



30.4 Richard Nuckols, 1006 S. Oakdale Ave., Medford addressed the Council regarding the City's ban on medical marijuana dispensaries in Medford.

30.5 Jeanette Sayre, 740 Hilldale Ave., Medford, representing the Hilldale Estates Homeowners Association, addressed the Council regarding the Larson Creek path project. She expressed the concerns of the residents of this neighborhood with the safety impacts that the developed path would bring to this area.

30.6 Diane Archer, 813 Mason Way, Medford addressed the Council regarding the maintenance of Orchard Home Court. She noted she is a bus driver and that the condition of this street with large potholes is dangerous. Cory Crebbin, Public Works Director was asked to speak with her.

30.7 Victor Met, 736 Hilldale Ave., Medford addressed the Council regarding the Larson Creek bike path and noted that a six foot path would be adequate for the pathway by Hilldale Estates.

40. Consent calendar

50. Items removed from consent calendar

60. Ordinances and resolutions

60.1 SECOND READING

COUNCIL BILL 2014-139 An ordinance authorizing execution of Intergovernmental Agreement No. 30143 with Oregon Department of Transportation for Larson Creek Trail Segment II Improvements.

Cory Crebbin, Public Works Director addressed the Council and provided an overview of the meeting held with representatives of the Rogue Valley Manor. He noted a letter from the Rogue Valley Manor was distributed to the Council. The Rogue Valley Manor is agreeable to provide 7 ½ feet to accommodate this path.

Councilmember Corcoran confirmed that the Rogue Valley Manor was not donating the additional land and Mr. Crebbin responded that it would be a purchase being funded from the project budget. He noted that the City cannot agree to any terms at this time as that would need to be done per the grant process and real estate acquisition. He noted that this agenda item would be acceptance of the grant and that any dollars spent

by the City before this grant acceptance is finalized would not be eligible for reimbursement from the grant funds.

Councilmember Bunn questioned if the path cross section could be reduced to ten feet and Mr. Crebbin noted that the grant was based on building the path to City standards but that an exception could be sought for the reduction.

Councilmember Gordon questioned the change of the proposed path to the north side of St. Mary's High School when it was originally on the south side. Mr. Crebbin addressed the design change.

Councilmember Gordon questioned what type of buffering could be expected for the Hillsdale Estates and the additional apartment property north of St. Mary's High School. Mr. Crebbin noted that there would be a lot of options for buffering. Once the intergovernmental agreement is approved and the project is assigned to a project manager, the first steps are to contact the abutting properties to obtain their input into the design. He noted that the Parks Department will be responsible to maintain the path and will also provide input into the design.

Councilmember Bunn noted a potential conflict of interest in that he owns real property across from the eastern terminus of the project but does not feel this will affect his ability to vote in this matter.

Motion: Adopt the ordinance authorizing the agreement with ODOT for the Larson Creek Trail Segment II Improvements.

Moved by: Daniel Bunn

Seconded by: John Michaels

Councilmember Bunn spoke to his motion and expressed his confidence that staff will work with the neighbors to mitigate issues to the degree possible.

Roll Call: Councilmembers Daniel Bunn, John Michaels, Chris Corcoran, Tim Jackle, Eli Matthews and Bob Strosser voting yes. Councilmember Dick Gordon voted no. Ordinance 2014-139 was duly adopted.

60.2 COUNCIL BILL 2014-142 An ordinance authorizing exemption from competitive bidding and the purchase of light fixtures from Northcoast Electric Company in the amount of \$125,482 for the Riverside South Parking Lot Project.

11



Agenda & Minutes

City of Medford



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Mayor & Council ([View All \(Agendas.asp?SectionID=542&CCBID=0\)](#))

City Council Meeting

Minutes

Thursday, November 06, 2014

[View Agenda](#)

Attachments

MINUTES OF THE MEDFORD CITY COUNCIL MEETING

November 6, 2014

Noon

The meeting was called to order at noon in Council Chambers, City Hall, 411 W. 8th Street, Medford with the following members and staff present.

Mayor Gary Wheeler; Councilmembers Dick Gordon, Daniel Bunn, Bob Strosser, Eli Matthews, Tim Jackle, John Michaels and Chris Corcoran (*left and returned as noted).

CITY OF MEDFORD
EXHIBIT # S 3/3
File # CUP-17-053



City Manager Eric Swanson; Deputy City Attorney Lori Cooper; City Recorder Glenda Wilson.

Introduction of the McLoughlin Students of the Month

Rick Parsakian, Assistant Principal updated the Council on school activities and introduced the students.

20. Approval or correction of the minutes of the October 16, 2014 regular meeting and the October 30, 2014 special meeting

There being no corrections or amendments, the minutes were approved as presented.

30. Oral requests and communications from the audience

30.1 Mayor Wheeler read a proclamation regarding Partner of the Rogue Valley Food System Network. Greg Holmes, Chair of the Rogue Valley Food System Network addressed the Council and thanked them for their support. He invited the Council to the November 19th presentation on the Future of Food and Farming in the Rogue Valley.

30.2 Quarterly Governmental Relations update by SmithWest Co.
Chris Smith addressed the Council and provided an update on activities including FEMA consultation and feedback to the National Fisheries Service and FEMA; work with ODOT on the viaduct issues; work with RVCOG on carbon monoxide modeling. He spoke to his desire to coordinate a meeting with Council and Irrigation District members to discuss the implications of the Klamath Basin water issues as this will affect our area. He noted Four Mile reservoir is specifically identified and this could impact 6,000 acres of Rogue Valley irrigated land.

30.3 Economic Improvement District update by Metro Medford

Diane Raymond, Executive Director address the Council and provided an update on Metro Medford efforts in establishing an Economic Improvement District in the downtown core. She noted the next steps are for the City to send an official letter announcing the public hearings before the Council.

Motion: Direct staff to bring forward a resolution at the next Council meeting to initiate the establishment of an EID.

Moved by: Dick Gordon

Seconded by: Bob Strosser



2

Councilmember Gordon requested that staff look at not charging the 5% for administration of the collection of the fee. Councilmember Bunn questioned the inclusion of the city property in the assessment as a means to support the downtown EID.

Roll Call: Councilmembers Dick Gordon, Bob Strosser, Daniel Bunn, Chris Corcoran, John Michaels, Tim Jackle and Eli Matthews voting yes.

Motion carried and so ordered.

30.4 Dennis Reich, representing the Fresh Water Trust, addressed the Council regarding the Oregon Watershed Enhancement Board's effort to prioritize basins in the State. The Fresh Water Trust is submitting comments in support of the Rogue Valley Basin be identified as a prioritized basin. He requested the inclusion the City of Medford as a partner in submitting their comments. City Manager Swanson noted that city staff has been in discussion with DEQ on this issue and staff would be in contact with them regarding this request.

30.5 Mike Whitefield representing the Rogue Valley Vet Outreach program addressed the Council regarding a request for a Special Events permit. Lynette O'Neal, Assistant to the Deputy City Manager addressed the Council and noted that staff is reviewing the permit and this should not be an issue to authorize.

30.6 Kevin Stine, Ward 3 City Council Elect, addressed the Council and expressed appreciation to the voters who supported his campaign. He expressed his commitment to work with all citizens, whether they voted for him or not. He congratulated Council Elect Clay Bearnson and Mike Zarosinski on their elections.

40. Consent calendar

None

50. Items removed from consent calendar

60. Ordinances and resolutions

60.1 COUNCIL BILL 2014-136 A resolution updating information on previously presented delinquent assessments.

Alison Chan, Finance Director provided a staff report and noted that this action corrects



2

issues with tax account numbers that were not correct on the previous action and includes some additional charges for the same properties that were not included.

Councilmember Jackle questioned why the City was not pursuing small claims action on these rather than foreclosure action. Ms. Chan noted that the City has only gone to small claims on one Municipal Court action. She noted that the foreclosure process takes up to a year to get to the actual foreclosure sale and during that time multiple notifications are given to the property owner. Glenda Wilson, City Recorder noted that these are largely vacant, foreclosures that are bank owned with no residents in the property. Deputy City Attorney Lori Cooper noted that a small claims action would fall to the City Attorney's office and that our experience is that this process does result in resolution prior to foreclosure action.

Motion: Adopt the resolution updating information on previously presented delinquent assessments.

Moved by: Bob Strosser Seconded by: Daniel Bunn

Roll Call: Councilmembers Bob Strosser, Daniel Bunn, Chris Corcoran, Dick Gordon, Eli Matthews and John Michaels voting yes. Councilmember Tim Jackle voted no.

Resolution 2014-136 was duly adopted.

60.2 COUNCIL BILL 2014-137 An ordinance awarding a contract in the amount of \$249,890.20 to Vitus Construction, Inc., for construction of a new parking lot located at 230 South Oakdale.

Greg McKown, Parks & Facilities Superintendent, provided a staff report on the project. He noted this will replace existing staff parking which is the location for the new police headquarters.

Motion: Adopt the ordinance awarding a contract in the amount of \$249,890.20 to Vitus Construction, Inc. for construction of a new parking lot at 230 South Oakdale.

Moved by: Daniel Bunn Seconded by: Bob Strosser

Councilmember Corcoran questioned if this cost was a guaranteed maximum price (GMP) and Mr. McKown noted that this bid was not a GMP but was awarded to the lowest bidder.

Roll Call: Councilmembers Daniel Bunn, Bob Strosser, Chris Corcoran, Dick Gordon, John



Michaels, Eli Matthews and Tim Jackle voting yes.
Ordinance 2014-137 was duly adopted.

60.3 COUNCIL BILL 2014-138 A resolution adopting an eighth Supplemental Budget for the 2013-15 biennium.

Alison Chan, Finance Director provided a staff report and explained the actions to be taken.

Councilmember Corcoran questioned where the \$33,000 from Fire Department were from and Ms. Chan noted these were vacancy savings in Personnel Services. Councilmember Corcoran questioned how these funds would be identified in the upcoming budget and Ms. Chan noted each department will be making their requests for Personal Services under our normal budget presentation.

Motion: Adopt the resolution adopting an eighth Supplemental Budget for the 2013-15 biennium.

Moved by: Bob Strosser Seconded by: Daniel Bunn

Councilmember Gordon questioned if the vehicles for Police were replacements or new additional vehicles. Police Chief Tim George noted they will be replacement vehicles. Councilmember Strosser requested information be provided to the Council on the rules governing expenditures of forfeiture funds. Councilmember Corcoran noted he will support the resolution but will be watching the budget for the next biennium as he would sooner have additional personnel in Fire.

Roll Call: Councilmembers Bob Strosser, Daniel Bunn, Dick Gordon, Eli Matthews, Tim Jackle, John Michaels and Chris Corcoran voting yes.
Resolution 2014-138 was duly adopted.

* 60.4 COUNCIL BILL 2014-139 An ordinance authorizing execution of Intergovernmental Agreement No. 30143 with Oregon Department of Transportation for Larson Creek Trail Segment II Improvements.

*Councilmember Corcoran left the meeting.



Councilmember Bunn declared potential conflict of interest as his family is an owner of property in the area but he did not feel this will affect his ability to consider this issue.

Cory Crebbin, Public Works Director addressed the Council and provided a staff report. He reviewed the history of this project and that the Transportation System Plan identifies this as a parallel alternative route for bicycles. He noted that a Federal Grant was received for Phase One which is underway.

*Councilmember Corcoran returned to the meeting.

Mr. Crebbin reviewed the section of the proposed pathway that abuts Hilldale Estates. He noted that there are encroachments from Hilldale Estates into the public right-of-way. The original homes met the required 5 foot setback from the back of the lot at the time of construction but the encroachments were the decks that had been added onto the homes.

He noted if the Council approves the agreement today, the City will need to move forward with construction of the pathway. The proposed path developed to City standards would require additional property be acquired from the Rogue Valley Manor. He noted that the City Council could take action to purchase additional property from the Manor or initiate action to condemn additional footage from the Rogue Valley Manor.

Councilmember Michaels questioned the standards for the path and Mr. Crebbin noted that the standard is for a 12 foot path with shoulders and would require 16 feet to accommodate. Councilmember Corcoran questioned if fencing was going to be installed between the path and the existing homes and Mr. Crebbin noted that would be one option to be considered in designing the project. Councilmember Strosser noted he would like to see 5 feet between the existing decks and the path fencing.

Councilmember Jackle questioned what the timing of approval is for this project and Mr. Crebbin noted that staff has been in discussions with the Rogue Valley Manor regarding this project for many years. Councilmember Strosser provided some information regarding the length of time this project has been discussed. Mr. Crebbin noted that at this point the Council may need to authorize eminent domain in order to bring a resolution to the acquisition of needed land.



6

Councilmember Gordon questioned the timing of this IGA and if further negotiations with the Rogue Valley Manor needed to be done before approval. Mayor Wheeler noted that by approving the IGA may help in the negotiations with the Manor. Mr. Crebbin noted that if the IGA is not approved today, it will make it more difficult for staff to meet the milestones within the agreement. He noted that a meeting with the Manor representatives is scheduled for next week. Councilmember Gordon suggested postponing this item until the next meeting. Councilmembers discussed the issue of postponement of the agreement and the time that has already been spent in negotiations to try to resolve this issue.

Motion: Adopt the ordinance authorizing execution of an Intergovernmental Agreement with Oregon Department of Transportation for Larson Creek Trail Segment II Improvements.

Moved by: Daniel Bunn

Seconded by: John Michaels

Councilmember Bunn spoke to his motion and noted that this will signal our intent to move forward with this project.

Roll Call: Councilmembers Daniel Bunn, Tim Jackle, Eli Matthews, John Michaels and Bob Strosser voting yes. Councilmembers Chris Corcoran and Dick Gordon voting no. Ordinance passed to a second reading.

70. Council Business

70.1 Councilmember Bunn addressed the Council regarding an oral request that the electronic sign code amendment, Agenda Item 120.2 be continued. Staff is requesting that the public hearing be opened so that any member of the audience who is here to speak to the item may speak. He is requesting Council discussion on the issue of continuing the item to the next meeting. He noted that the issues for the continuance request were not stated. Council discussed the request and suggested that staff contact the requestor and obtain a written request including grounds for the request.

80. City Manager and other staff reports

80.1 Police Facility - Site Plan & Architectural Commission Hearing

Greg McKown, Parks & Facilities Superintendent addressed the Council and provided an update on the exterior design presentation to be given at the Site Plan & Architectural Commission tomorrow. Councilmember Gordon questioned the landscaping plan and Mr. McKown provided an overview of the bioswale area. David Wilkerson spoke to the

7





The regular meeting of the Medford Planning Commission was called to order at 5:33 p.m. in the Council Chambers on the above date with the following members and staff in attendance:

Commissioners Present

Michael Zarosinski, Chair
Robert Tull, Vice Chair
Bill Christie
Norman Fincher
Bill Mansfield
David McFadden
Paul Shoemaker

Staff

Jim Huber, Planning Director
Suzanne Myers, Principal Planner
Kelly Akin, Principal Planner
Lori Cooper, Deputy City Attorney
Alex Georgevitch, Transportation Manager
Terri Rozzana, Recording Secretary
Praline McCormack, Planner II

Commissioners Absent

Alec Schwimmer, Excused Absence
Patrick Miranda, Excused Absence

10. Roll Call

20. Consent Calendar/Written Communications.

20.1 CUP-13-139 Final Order approving a Conditional Use Permit for the following improvements in the Lone Pine Creek Riparian Corridor related to the construction of the Highway 62 Bypass: realignment of approximately 400 feet of the creek approximately 100 feet to the east; removal of the existing concrete lined channel and construction of a new channel constructed in a manner that more closely simulates natural conditions; construction of dual 6 foot x 10 foot box culverts countersunk with natural streambed material; and riparian area plantings. Subject site is located just west of Highway 62 approximately 830 feet southwest of Delta Waters Road. (Oregon Department of Transportation, Applicant – Janell Stradtner – ODOT, Agent).

20.2 LDP-14-003 Final Order approving tentative plat review for a two lot partition on a 3.35 acre parcel located between Crater Lake Highway (Hwy 62) and Skypark Drive approximately 400 feet southeast of Whittle Avenue within an I-L (Light Industrial) zoning district. (Crater Terminal LLC, Applicant; Neathamer Surveying, Inc., Agent).

20.3 LDS-13-121 Consideration of a request to change the timing of the street dedication of Cedar Links Drive within Sky Lakes Village Phase 7A, a portion of the Cedar Landing PUD, a mixed-use development on parcels totaling 114 acres on the north and south sides of Cedar Links Drive, west of Foothills Road within an SFR-4/PD (Single Family Residential – 4 units per acre/Planned Development) zoning district. (Cedar Investment Group, LLC, Applicant; Hoffbuhr & Associates, Agent).

Motion: Adopt the consent calendar.

Moved by: Commissioner McFadden

Seconded by: Commissioner Christie

Voice Vote: Motion passed, 6-0-1, with Vice Chair Tull abstaining.

CITY OF MEDFORD
EXHIBIT # I
File # CUP-17-053

30. Minutes.

30.1 The minutes for March 13, 2014, were approved as submitted.

40. Oral and Written Requests and Communications. None.

Lori Cooper, Deputy City Attorney, read the Quasi-Judicial Statement.

50. Public Hearing.

Old Business

* 50.1 CUP-13-138 Consideration of a request for a Conditional Use Permit to allow the construction of a 1425 linear foot multi-use pathway south of Larson Creek and partially within the Larson Creek Riparian Corridor, through 3 lots of approximately 7.31 acres, all zoned SFR-10/PD, located between Highland Drive and Ellendale Drive, approximately 500 feet south of East Barnett Road. (City of Medford Public Works Department, Applicant/Agent).

Chair Zarosinski inquired whether any Commissioners have a conflict of interest or ex parte communication they would like to disclose. None were declared.

Chair Zarosinski inquired whether anyone in attendance wishes to question the Commission as to conflicts of interest or ex-parte contacts. None were disclosed.

Kelly Akin, Principal Planner, read the conditional use permit criteria and gave a staff report.

Vice Chair Tull asked how does the applicant describe the benefit of moving the pathway 15 feet to the north? What is the benefit that they see? Ms. Akin replied that the benefit is that it reduces the amount of impact on the adjoining property owner to the south. It will have further impact into the corridor.

Chair Zarosinski asked, is the relief from both irrigation and landscaping requirements. He thought it was just irrigation Ms. Akin replied that the landscaping requirements specify canopy trees and different things that are not necessarily appropriate in the riparian area. Staff would rely on the recommendation of the Oregon Department of Fish and Wildlife as far as the number of plants.

The public hearing was opened and the following testimony was given.

- a. Alex Georgevitch, City of Medford, Transportation Manager, stated that he has no further comments. They are willing to accept all conditions as purposed staff's recommendation.

Commissioner McFadden asked how soon does the City expect to fill in the other sections of the pathway? Mr. Georgevitch stating that is a difficult question to answer because they are pursuing a grant funding for those. The Public Works Department has applied for a Connect Oregon grant for the section to the immediate east of this section. That process is moving forward. The Public Works Department has not heard how they scored on that process but in the middle of April 2014, Connect Oregon will have their first round of discussions locally and by the middle of summer 2014 they will make their decision on that process state wide. The project is a priority and the Public Works Department will continue to seek grants as they become available. The next grant cycle is two years out. The soonest the Public Works Department would apply for another grant beyond the Connect Oregon grant would be four to six years unless they find funding internally.

Chair Zarosinski asked that in the staff report there was language from the neighboring property owner for a separate tax lot. Is there going to be a separate tax lot or an easement? Mr. Georgevitch replied that he believes it is going to be an easement. Ms. Akin reported that there are three tax lots and the City can adjust without having to partition to create another tax lot. Mr. Georgevitch stated that they are pursuing easements.

Ms. Cooper reported that Rogue Valley Manor's letter states that they will recommend to the Rogue Valley Manor Board approval of the easement documents that the City provided including the new location of the pathway. The City will proceed with the survey work to create the new tax lots that they discussed.

The public hearing was closed.

Motion: Adopt the Final Order for approval of CUP-13-138, meeting criterion #2, as per the Revised Staff Report dated March 20, 2014, including Exhibits A-1 through P, and all Conditions of Approval (Exhibit A-1).

Moved by: Commissioner McFadden Seconded by: Commissioner Fincher

Commissioner McFadden made a friendly amendment: Approving Findings for relief from the irrigation and landscaping requirements in 10.780.

Roll Call Vote: Motion passed, 7-0.

New Business

- 50.2 **DCA-13-129** Consideration of an ordinance amending Medford Municipal Code, Chapter 10 (Land Development Code) Sections 10.012, 10.256, 10.136, 10.258 and 10.408 making specific alterations to historic structures (exterior paint color changes and new awning fabrics on existing awnings) subject to Minor Historic Review rather than Standard Historic Review in Historic Preservation Overlay zoning districts (City of Medford, Applicant).

Praline McCormack, Planner II, presented the purpose, background, summary, process to date, approval criteria, conclusion and recommendation.

The public hearing was opened and there being no testimony, the public hearing was closed.

Motion: Based on the findings and conclusions that all of the approval criteria are either met or are not applicable, the Planning Commission initiates this amendment and forwards a favorable recommendation for adoption to the City Council, per the Staff Report dated March 18, 2014, including Exhibits A through E.

Moved by: Commissioner McFadden Seconded by: Commissioner Christie

Commissioner Mansfield stated that he has never been convinced that artistic tastes are the proper function of the government. It would stand to reason therefore he is in favor of enacting this change.

Roll Call Vote: Motion passed, 7-0.

ORDINANCE NO. 2013-164

AN ORDINANCE authorizing the taking of permanent easements by eminent domain action to acquire needed property for the Larson Creek Greenway Trail Improvement Project between the existing Bear Creek Greenway to Ellendale Drive.

WHEREAS, the City of Medford is duly authorized and empowered to construct improvements to streets and roads within the city limits and to acquire, by purchase, gift, devise, condemnation proceedings or otherwise, such real property as in the judgment of the City Council of the City of Medford is necessary or proper to exercise its powers; and

WHEREAS, for the benefit and welfare of the general public, the City of Medford plans to improve the Larson Creek Greenway Trail between the existing Bear Creek Greenway to Ellendale Drive; now, therefore,

THE CITY OF MEDFORD ORDAINS AS FOLLOWS:

Section 1. The City Council of the City of Medford hereby finds and declares that the real property (permanent easements) shown on Exhibit A, attached and incorporated herein, is needed for the full use and enjoyment of the public by the improvement of the Larson Creek Greenway Trail between the existing Bear Creek Greenway to Ellendale Drive.

Section 2. The real property described is required and is being taken as necessary in the public interest and the project has been planned and located in a manner that will be most compatible with the greatest public good and the least private injury.

Section 3. The City Manager is authorized to attempt to agree with the owners and other persons in interest in the real property described herein as to the compensation to be paid for the appropriation of the property and, in the event that no satisfactory agreement can be reached, the attorney for the City of Medford is directed and authorized to commence and prosecute to final determination such proceedings as may be necessary to acquire the real property and that, upon the filing of such proceeding, possession of the real property may be taken immediately.

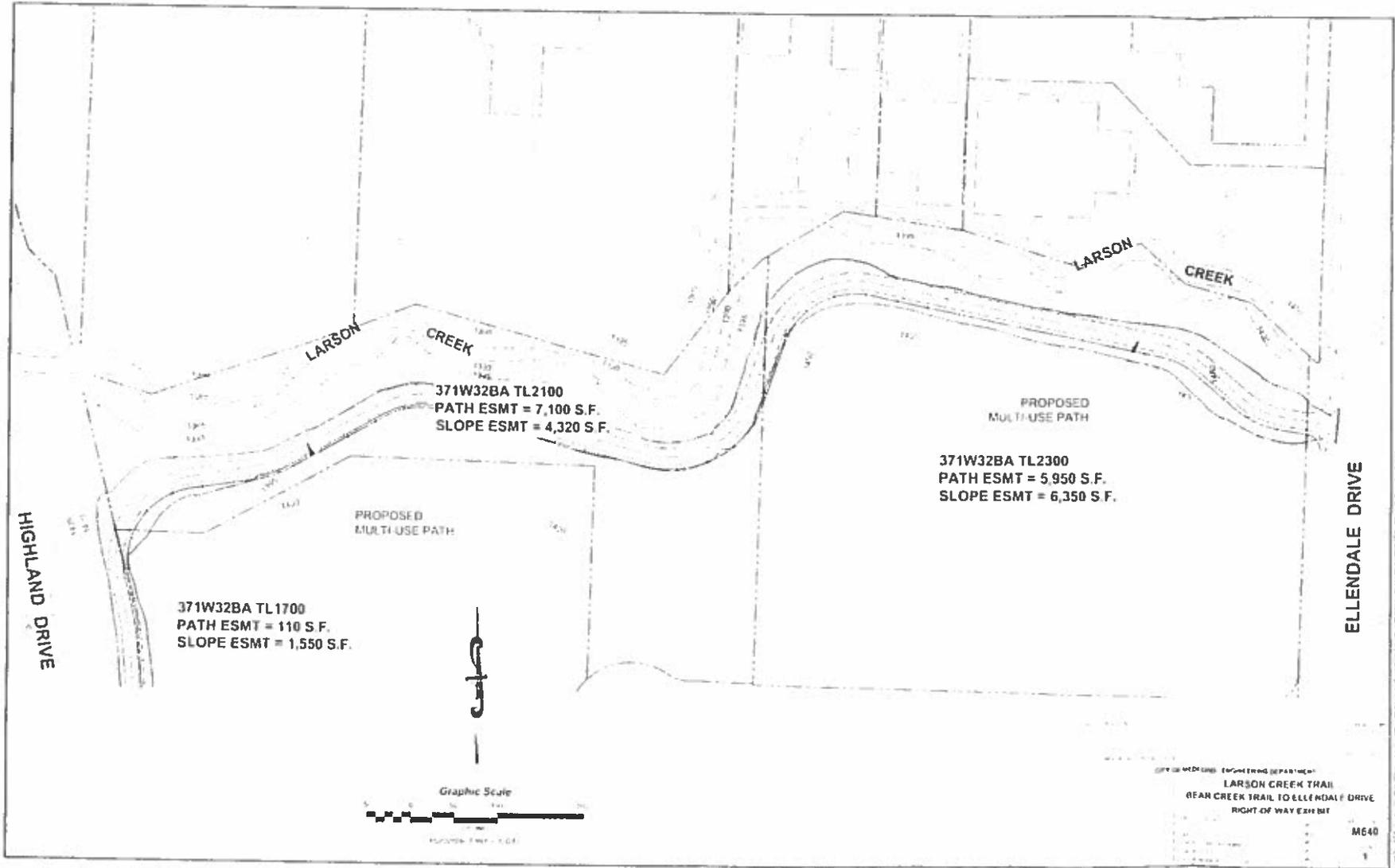
Section 4. The City Attorney is hereby authorized to represent the City in this matter. Upon the trial of any suit or action instituted to acquire the real property, said attorney is authorized to make such stipulation, agreement or admission as in his judgment may be for the best interest of the City of Medford.

PASSED by the Council and signed by me in authentication of its passage this 21 day of Nov., 2013.

ATTEST: Glenda Wilson
City Recorder

APPROVED Nov 21, 2013.

[Signature]
Mayor
[Signature]
Mayor



Agenda & Minutes

City of Medford



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City Council Meeting

Minutes

Thursday, November 21, 2013

[View Agenda](#)

Attachments

MEDFORD CITY COUNCIL MEETING

November 21, 2013

The meeting was called to order at noon in Council Chambers, City Hall, 411 W. 8th Street, Medford with the following members and staff present.

Mayor Gary Wheeler; Councilmembers Dick Gordon, Karen Blair, Daniel Bunn, Bob Strosser, John Michaels (*left as noted), Eli Matthews, Tim Jackle and Chris Corcoran (*left as noted).

City Manager Eric Swanson; Deputy City Manager Bill Hoke; Deputy City Attorney Lori Cooper; City Recorder Glenda Wilson.

CITY OF MEDFORD
EXHIBIT # 1A 2/2
File # CUP-17-053



Employee Recognition

Employees from the City Manager's Office, Finance, Fire, Police and Public Works Departments were recognized for their years of service.

New Employees

Daniel Jones, Laborer and Andrew Hislop, Engineering Technician II in the Public Works Department were introduced.

Retirees

Lance Gray, Firefighter was recognized for his years of service to the City.

20. Approval or correction of the minutes of the November 7, 2013 regular meeting

There being no corrections or amendments the minutes were approved as presented.

30. Oral requests and communications from the audience

30.1 Charter Communications

Mr. Swanson introduced Marian Jackson, Director of Government Relations and noted that the negotiations of the franchise agreement are moving forward. Ms. Jackson addressed the Council and introduced members of the local office. She noted that Charter had received a list of customer complaints from the City and they have addressed those complaints and concerns. She provided background on Charter services and service areas. She spoke to changes in the organizational management that have occurred over the last several years.

Steven Gerber, Senior Manager of Customer Affairs addressed the Council and provided an overview of Charter's role in Oregon. He noted they have 300 employees in the State and a majority of those employees are in the Medford area. He spoke to infrastructure improvements made in the State and how those will improve the services and products they provide. He noted that programming costs are anticipated to continue to increase and they do not have an ability to address or negotiate those costs.

Karen Grosulak, Retail Representative for Oregon and Amanda Gregory, Charter Store Supervisor, addressed the Council and provided information on the types of products that Charter provides. Ms. Gregory noted that customer service call centers are being brought back to the United States from India and provided information on the local service office.



Bob Davis, Technical Operations Manager addressed the Council and reviewed products they offer. Chris Hinzmann, Field Manager addressed the Council.

Jack Hardy, Senior Manager of Field Communications, spoke to their priority for customer service. He noted that they are negotiating a new lease for a larger facility in Medford.

Ms. Jackson spoke to Charter's work in connecting all the local hospitals to the OMN.

Councilmember Gordon addressed citizen complaints including high rates and lack of channel selection. Councilmember Corcoran suggested that a representative from Charter meet with Council on an annual basis and Ms. Jackson noted she would be happy to participate.

*Councilmember John Michaels left the meeting.

30.2 Pacific Power Blue Sky

Monte Mendenhall, Regional Manager for Pacific Power, and Hattie Berg, Outreach Coordinator for Blue Sky program addressed the Council. Ms. Berg announced the successful participation of the City of Medford customers in the Blue Sky Program and that we have exceeded our goal by 30%.

Mr. Mendenhall noted that the City has been recognized by the Environmental Protection Agency (EPA) as a Green Power Community. Medford is now one of fifty communities across the Nation who has been recognized. He spoke to the participation by the community and the benefits that come back to the community from this program. He noted that the Pacific Power will be making a special announcement at the Winter Lights Festival on November 30th about the solar array project that Pacific Power will be providing to the City.

30.3 Bob Calkins, 2618 Wilkshire Drive, Medford addressed the Council regarding the JFK Memorial Exhibit that has been housed at the Medford Center. The owner of the exhibit would like to see the exhibit remain open and is willing to allow the City to manage the exhibit.

Mr. Swanson noted that the City could look into the opportunities and begin



3

conversations.

30.4 Judy Kimmons, Hilldale Estates Homeowners Association, addressed the Council regarding the proposed design of the Larson Creek path abutting their homes and the Rogue Valley Manor golf course. She expressed concern for the resident's safety with a bike/pedestrian path proposed to be right next to their porches.

30.5 Victor Met, 736 Hilldale Ave., Medford addressed the Council regarding the bike path issue at Hilldale Estates. He spoke to the issue with the homes that only have a two foot easement from the proposed path.

Councilmember Strosser noted he had spoken with Mr. Met regarding the issues and he hoped that these issues could be addressed as this project moves forward.

30.6 Claudia Little, 180 Logan Drive, Ashland addressed the Council regarding the medical marijuana dispensary issue. She encouraged the Council to reconsider the City's position regarding this issue. She spoke to the difficulty that Universities have in getting research approval for cannabis studies. This is the only Schedule 1 drug that has difficulty for getting approval for studies.

40. Consent calendar

50. Items removed from consent calendar

60. Ordinances and resolutions

60.1 COUNCIL BILL 2013-163 A resolution authorizing the transfer of \$100,000 from the Public Works Sanitary Sewer, Maintenance, Street Utility and Storm Drain Utility contingency accounts for an Interactive Voice Response unit and \$2,200 from the Street Utility fund contingency account for additional costs of programming the utility billing system.

Motion: Approve the resolution authorizing the transfer of \$100,000 for the additional costs of programming the utility billing system.

Moved by: Chris Corcoran

Seconded by: Bob Strosser

Councilmember Gordon questioned use of carry forward amounts versus contingency. Finance Director Alison Chan addressed the Council and noted that she would review the

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carry forward projections for these funds and report back at the evening meeting.

Motion: Continue Agenda Item 60.1 to the evening meeting.

Moved by: Dick Gordon Seconded by: Daniel Bunn

Roll Call: Councilmembers Dick Gordon, Daniel Bunn, Karen Blair, Tim Jackle, Eli Matthews and Bob Strosser voting yes. Councilmember Chris Corcoran voted no. Motion carried and so ordered.



60.2 COUNCIL BILL 2013-164 An ordinance authorizing the taking of permanent easements by eminent domain action to acquire needed property for the Larson Creek Greenway Trail Improvement Project between the existing Bear Creek Greenway to Ellendale Drive.

Motion: Adopt the ordinance authorizing the taking of permanent easements by eminent domain action to acquire needed property for the Larson Creek Greenway Trail Improvement Project between the existing Bear Creek Greenway to Ellendale Drive.

Moved by: Bob Strosser Seconded by: Daniel Bunn

Public Works Director Cory Crebbin provided a staff report and noted that this action is required by the Federal grant for this project. If a purchase negotiation cannot be reached, then staff would bring back an eminent domain action for Council approval.

Roll Call: Councilmembers Bob Strosser, Daniel Bunn, Karen Blair, Dick Gordon, Chris Corcoran, Eli Matthews and Tim Jackle voting yes.

Ordinance 2013-164 was duly adopted.

60.3 COUNCIL BILL 2013-165 An ordinance awarding a contract in the amount of \$361,341.51 to Central Pipeline, Inc., for storm drain improvements at La Loma Drive/Juanipero Way and at Riverside Avenue/Edwards Street.

*Councilmember Chris Corcoran left the meeting.

Motion: Adopt the ordinance awarding a contract in the amount of \$361,341.51 to Central Pipeline, Inc. for storm drain improvements at La Loma Drive/Juanipero Way and at Riverside Avenue/Edwards Street.

Moved by: Bob Strosser Seconded by: Daniel Bunn

Roll Call: Councilmembers Bob Strosser, Daniel Bunn, Karen Blair, Dick Gordon, Tim



Moved by: Commissioner Potter Seconded by: Commissioner Shean

Friendly Amendment by Commissioner Shean: Page 5 of the Staff Report refers to Exhibit R as a letter from adjacent property owners and Exhibit S as a petition. It should refer to Exhibit S as the letter from adjacent property owners, and Exhibit T as the petition.

Commissioner Nelson commented that the Commission listened to the testimony. He noted that as the rules that were read, the Commission makes decisions based on the *Medford Land Development Code*. He commented that while they sympathize with concerns about wildlife, this is an urban area that was brought into the Urban Growth Boundary and annexed into the City. Chair Nelson noted that the *Medford Comprehensive Plan* designates the property as Urban Residential and it can be developed as SFR-10 as the applicant has chosen. The Commission does not have the authority to designate it as SFR-4.

Roll Call Vote: Motion passed, 6- 0

New Business



- 50.3 CUP-10-093 Consideration of a request for a conditional use permit to allow, within the Larson Creek Corridor, the replacement of a box culvert with a new concrete bridge over Larson Creek on North Phoenix Road approximately 1700 feet south of Barnett within a SFR-4 (Single Family Residential – 4 units per acre) and SFR-10/SE (Single Family Residential – 10 units per acre / Southeast Overlay) zoning district.

Sarah Sousa, Planner III, read the criteria and gave a staff report. Staff recommended approval of CUP-10-093.

Chair Nelson asked if this application was the same today as what was approved two years ago. Ms. Sousa responded that to her knowledge nothing had changed. Mr. Beskow added that construction had been planned for last summer but they did not get approval from the Army Corp of Engineers in time. He noted that the project was identical to what was presented previously.

Commissioner McFadden noted that with the previous application, one gentleman on the west side had access problems. Mr. Beskow confirmed that this would not affect his access.

The public hearing was opened and no testimony was given. The public hearing was closed.

Motion: Direct staff to prepare a Final Order of approval of CUP-10-093 per the Staff Report dated January 20, 2011, including Exhibits A through O.

Moved by: Commissioner Shean Seconded by: Commissioner Jackle

Roll Call Vote: Motion passed, 6 - 0

- 60. **Report of Citizens Planning Advisory Committee.**
- 60.1 Commissioner McFadden reported that CPAC met January 25, 2011, and the speaker was Ric Holt, Professor of Economics at Southern Oregon University.
- 70. **Report of the Site Plan and Architectural Commission.** None
- 80. **Report of the Joint Transportation Subcommittee.**
- 80.1 Commissioner Shean noted that at the last meeting, hybrid electric vehicles were discussed, along with trip quality versus quantity of vehicles. Commissioner Shean is new chairman for the committee.



**MINUTES
Planning Commission Meeting
February 10, 2011**

The regular meeting of the Medford Planning Commission was called to order at 5:30 p.m. in the Council Chambers on the above date with the following members and staff in attendance:

<u>Commissioners</u>		<u>Staff</u>
Norman Nelson, Chair	David McFadden	Kelly Akin, Senior Planner
Tim Jackle, Vice Chair	Robert Tull	Lori Cooper, Deputy City Attorney
Brita Entenmann	Allen Potter	Larry Beskow, City Engineer
Bill Christie		Sarah Sousa, Planner III
Daniel L. Bunn		Kristy Grieve, Recording Secretary
Jerry Shean, Excused Absence		Jim Huber, Planning Director

10. Roll Call

10.1 Election of Officers

Commissioner Tull nominated Commissioner Nelson for Chair. Commissioner Jackle seconded.
Voice Vote: Motion passed, 8 - 0

Commissioner Potter nominated Commissioner Jackle for Vice Chair. Commissioner Nelson seconded.
Voice Vote: Motion passed, 8 - 0

20. Consent Calendar/Written Communications.

20.1 ZC-10-078 Final Order of approval for a change of zone from SFR-00/EA (Single-Family Residential, one dwelling unit per parcel/Exclusive Agricultural Overlay) to SFR-10 (Single-Family Residential, ten dwelling units per acre) on a 65.27 acre parcel at the north terminus of Cheltenham Way (Delta Waters Properties, LLC, Applicant; CSA Planning, Agent)



20.2 CUP-10-093 Final Order of approval for a conditional use permit to allow, within the Larson Creek Corridor, the replacement of a box culvert with a new concrete bridge over Larson Creek on North Phoenix Road approximately 1700 feet south of Barnett within a SFR-4 (Single Family Residential – 4 units per acre) and SFR-10/SE (Single Family Residential – 10 units per acre / Southeast Overlay) zoning district. City of Medford, Applicant

Motion: Approve the consent calendar as submitted,

Moved by: Commission Potter Seconded by: Commissioner Jackle

Voice Vote: Motion passed, 5 – 0 – 3, with Commissioners Tull, Bunn, and Christie abstaining.

30. Minutes. None

40. Oral and Written Requests and Communications. None

50. Public Hearings.

Old Business

50.1 DCA-10-080 Consideration of a proposed Class "A" (Major) legislative amendment of the Medford Land Development Code to revise Sections 10.012, 10.201, 10.280, 10.287, 10.337, 10.735, 10.756, 10.771, 10.812, and 10.828 relating to housekeeping changes necessary for code consistency. City of Medford, Applicant.

**CITY OF MEDFORD
EXHIBIT # ✓ 2/2
File # CUP-17-053**

and Commissioners Entenmann, Shean, Nelson and Hokanson voting no.

Discussion: Commissioner Nelson asked for a continuation of the matter in order to allow time to work out protection of trees and find out health of trees. Commissioner Tull agreed. If the applicant is agreeable they will need an extension letter from applicant.

The public hearing was re-opened:

- a) Justin Abbott will need to provide:
 - 1) Health of trees (age, condition, remaining life)
 - 2) Agreement with owner regarding long-term maintenance of trees.
 - 3) Provide alternate Stealth designs for pole. (flag pole, stick, "pine" tree)
 - 4) Buffering distances - distance to nearest residence.
 - 5) Extension letter.

The public hearing was closed.

Motion: Continue CUP-08-146 to March 12, 2009.

Moved by: Commissioner Nelson Seconded by: Commissioner Tull

Voice Vote: Unanimous

- * 50.6 CUP-08-151 Consideration of a request for a conditional use permit to allow the replacement of a box culvert with a new concrete bridge over Larson Creek on North Phoenix Road approximately 1700 feet south of Barnett Road within a SFR-4 (Single Family Residential – 4 units per acre) and SFR-10 / SE (Single Family Residential – 10 units per acre / Southeast Overlay) zoning district. City of Medford, Applicant

Sarah Sousa, Planner III, gave the Staff Report. Staff recommended approval of CUP-08-151. Ms. Sousa indicated that a bridge needs to be installed in order to widen North Phoenix Road to city standards. The following conditions are acceptable to the applicant and are stipulated hereto:

- 1) The bridge can only be installed between June 15th and September 15th – as that would have the least impact on the fish;
- 2) Installation of riparian plantings;
- 3) Removal of fish barrier; and
- 4) Erosion control during and after construction.

The public hearing was opened and the following testimony was given:

- a) Larry Beskow, City Engineer, indicated that the installation of a bridge has a number of advantages:
 1. Greater hydraulic capacity for 100 year storm;
 2. Eliminating fish barrier. They have received a permit from the Department of State Lands and are waiting to hear from Army Corps of Engineers.
 3. Greenway/Larson Creek Path can go to Creek View Drive and cross North Phoenix Road.

He indicated that there was a new letter from Jackson County Roads.

The public hearing was closed.

Motion: Direct staff to prepare a Final Order for approval of CUP-08-151 per the Staff Report dated February 5, 2009, including Exhibits A through Q and the new letter from Jackson County Roads Department.

Moved by: Commissioner Tull Seconded by: Commissioner Nelson

Roll Call Vote: Motion passed, 6-0-1 Commissioner Hokanson abstained.

- 50.7 LDP-08-156 Consideration of a request for tentative plat approval for a 3-lot partition of a 1.42 acre parcel located on the south side of Sunset Avenue and the North side of Willow Brook Drive, approximately 810 feet west of Orchard Home Drive, within a SFR-6 (Single Family Residential - 6 dwelling units per acre) zoning district. Chris Lane, Applicant (Stephen Terry, Agent)

Summer Williams, Planner I, read the approval criteria and gave the Staff Report. Staff recommended approval of LDP-08-156.

The public hearing was opened and the following testimony was given:

- a) Steve Terry, PO Box 8083, Medford, Or, agent for applicant, concurred with the Staff Report and requested approval of LDP-08-156.

The public hearing was closed.

Motion: Direct staff to prepare a Final Order for approval of LDP-08-156 per the Staff Report dated February 12, 2009, including Exhibits A through O.

Moved by: Commissioner Shean Seconded by: Commissioner Nelson

Roll Call Vote: Motion passed, 7-0

- 50.8 LDP-08-157 Consideration of a request for tentative plat approval for a 3-lot partition of a 0.93 acre parcel located on the south side of Sunset Avenue and the North side of Willow Brook Drive, approximately 950 feet west of Orchard Home Drive, within a SFR-6 (Single Family Residential - 6 dwelling units per acre) zoning district. Chris Lane, Applicant (Stephen Terry, Agent)

Summer Williams, Planner I, read the approval criteria and gave the Staff Report. She indicated that the applicant will submit a property line adjustment with the property owner to the east to gain enough land to meet city's lot width requirement. Staff recommended approval of LDP-08-157.

The public hearing was opened and the following testimony was given:

- a) Steve Terry, PO Box 8083, Medford, Or, agent for applicant concurs with the Staff Report and requests approval of LDP-08-157.



MINUTES
Planning Commission Meeting
February 26, 2009

The regular meeting of the Medford Planning Commission was called to order at 5:30 p.m. in the Jackson County Auditorium on the above date with the following members and staff in attendance:

Commissioners

David McFadden, Chair Norm Nelson
Brita Entenmann Jerry Shean
Tim Jackle Allen Potter
Jared Hokanson Robert Tull

Staff

Kelly Akin, Senior Planner
Lori Cooper, City Attorney's Office
Larry Beskow, Engineer Department
Cheryl Adams, Recording Secretary
Greg Kleinberg, Fire Marshal
Suzanne Myers, Principal Planner

10. Roll Call

20. Consent Calendar/Written Communications:

20.1 LDP-08-094/E-08-095 Final Order of approval for revised tentative plat for a 1-lot partition, with an exception request for a reduction in lot depth, to legally divide 1 parcel totaling 0.68 acres, located approximately 130-feet south of the intersection of Whittle Avenue and Skypark Drive, within an I-L/AA (Light Industrial/Airport Approach Overlay) zoning district. Robert Privitera, Applicant (Neathamer Surveying, Agent)

20.2 ZC-08-144 Final Order of approval for a change of zone from County SR-2.5 (Suburban Residential – 2.5 acre minimum) to City C-C (Community Commercial) on a 7.34 acre parcel located on the southeast corner of N. Ross Lane and W. Mc Andrews Road. Plata Station, LLC, Applicant (CSA Planning, Agent)

20.3 ZC-08-153 Final Order of approval for a change of zone from SFR-4 (Single Family Residential – 4 units per acre) to MFR-15 (Multiple Family Residential – 15 units per acre) on a 1.46 acre property located on the north side of Barnett Road, approximately 300 feet west of Black Oak Drive. (Township 37 Range 1W Section 29DD, Tax Lots 4300, 4400, 4500 and 4601) Yolanda Arellano-Haynes and Gerald Haynes, Applicant (CSA Planning, Agent)

* 20.4 CUP-08-151 Final Order of approval for a conditional use permit to allow the replacement of a box culvert with a new concrete bridge over Larson Creek on North Phoenix Road approximately 1700 feet south of Barnett within a SFR-4 (Single Family Residential – 4 units per acre) and SFR-10 / SE (Single Family Residential – 10 units per acre / Southeast Overlay) zoning district. City of Medford, Applicant

20.5 LDP-08-156 Final Order of approval for a tentative plat for a 3-lot partition of a 1.42 acre parcel located on the south side of Sunset Avenue and the North side of Willow Brook Drive, approximately 810 feet west of Orchard Home Drive, within a SFR-6 (Single Family Residential - 6 dwelling units per acre) zoning district. Chris Lane, Applicant (Stephen Terry, Agent)

CITY OF MEDFORD
EXHIBIT # W2/2
File # CUP-17-053

- 20.6 LDP-08-157 Final Order of approval for a tentative plat approval for a 3-lot partition of a .93 acre parcel located on the south side of Sunset Avenue and the North side of Willow Brook Drive, approximately 950 feet west of Orchard Home Drive, within a SFR-6 (Single Family Residential - 6 dwelling units per acre) zoning district. Chris Lane, Applicant (Stephen Terry, Agent)
- 20.7 LDP-07-054 Consideration of a request for a second one-year time extension of the tentative plat for a two-lot partition on a 0.68 acre parcel located on the southeast side of Angelcrest Drive, approximately 120 feet south of Cloudcrest Drive, within an SFR-4 (Single Family Residential-4 units per acre) zoning district. Walter & Penny Sokolowski, Applicant (Hoffbuhr & Associates, Inc., Agent)
- 20.8 LDS-07-020 Consideration of a request for a second one-year time extension of the tentative plat for Bullock Business Park, a seven-lot subdivision on a 4.75 acre parcel located on the east side of Bullock Road, approximately 2,200 feet north of Crater Lake Highway, within an I-L/A-A (Light Industrial/Airport Approach Overlay) zoning district. Frank Pulver, Applicant (Hoffbuhr & Associates, Inc., Agent)

Motion: Approve Consent Calendar Items 20.1 through 20.8

Moved by: Commissioner Nelson Seconded by: Commissioner Potter

Voice Vote: Motion passed.

20.1 through 20.6--7-0-1 Commissioner Potter abstained

20.7 and 20.8--8-0

- 30. **Minutes.** No Minutes were submitted.
- 40. **Oral and Written Requests and Communications.** None
- 50. **Public Hearings.** Lori Cooper, Senior Assistant City Attorney, read the Quasi Judicial Statement.

New Business

- 50.1 LDP-08-155 Consideration of a request for a 2-lot partition of a 0.28 acre parcel located on the east side of Beekman Avenue, approximately 700 feet south of Stewart Avenue, within an SFR-6 (Single Family Residential – 6 dwelling units per gross acre) zoning district.

Summer Williams, Planner I, read the criteria and gave the Staff Report. Staff recommends approval of LDP-08-155.

The public hearing was opened and the following testimony was given:

- a) John Fields, 845 Oak Street, Ashland, Oregon 97520, agent for applicant, Habitat for Humanity. Mr. Fields indicated that they had previously obtained an exception for the lot and now will be able to build two homes after the partition is approved. He agreed with the Staff Report and requested approval of LDP-08-155.

The public hearing was closed.



City of Medford
Planning Department

Vicinity
 Map

File Number:
CUP-17-053



Project Name:
**Larson Creek Trail
 Segment 2**

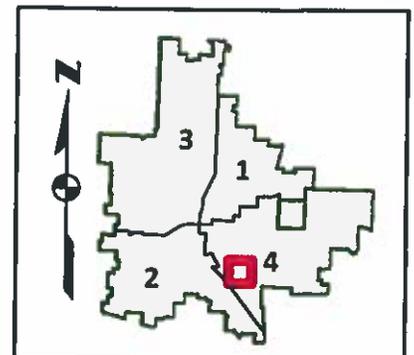
Map/Taxlot:
371W 32



05/10/2017

Legend

- Larson Creek Trail, Segment 2
- Medford Zoning
- Tax Lots





Planning Department

Working with the community to shape a vibrant and exceptional city

STAFF REPORT

for a Type-C quasi-judicial decision: **Land Division and Exception**

Project Summerfield at South East Park Phases 16-21
 Applicant: Crystal Springs Development Group; Agent: Neathamer
 Surveying, Inc.

File no. LDS-17-051/E-17-052

To Planning Commission *for June 22, 2017 hearing*

From Liz Conner, Planner II

Reviewer Kelly Akin, Assistant Planning Director *KA*

Date June 15, 2017

BACKGROUND

Proposal

Consideration of a request for tentative plat approval for Summerfield at Southeast Park Phases 16 through 21, a 138-lot residential subdivision on approximately 96 acres located south of Cherry Lane and east of Lone Oak Drive within an SFR-4/SE (Single Family Residential-4 dwelling units per gross acre/Southeast Overlay) zoning district. The request includes an Exception to the standards for the permitted length of a residential lane.

Subject Site Zoning, GLUP Designation and Existing Uses

Zone: SFR-4/SE (Single Family Residential-4 dwelling units per gross acre/Southeast Overlay)

SE Plan Sub-Area: 2 – Standard Lots

GLUP: UR (Urban Residential)

Use: Vacant land and one single family residential dwelling

Surrounding Property Zoning and Uses

North Zone: SFR-2/SE (Single Family Residential - 2 dwelling units per gross acre/Southeast Overlay)

SE Plan Sub-Area: 1

SE Plan Category: Estate Lot

Use: Single family dwellings

	Zone:	SFR-00/SE (Single Family Residential – 1 dwelling unit per existing lot/Southeast Overlay)
	SE Plan Sub-Area:	1
	SE Plan Category:	Estate Lot
	Use:	Single family dwellings
	Zone:	County RR-5 (Rural Residential – 1 unit per 5-acre lot)
	Use:	Rural residential dwellings, vacant land
<i>South</i>	Zone:	SFR-4/SE (Single Family Residential - 4 dwelling units per gross acre/Southeast Overlay)
	SE Plan Sub-Area:	9
	SE Plan Category:	Park
	Use:	Vacant land
	Zone:	SFR-10/SE (Single Family Residential – 10 dwelling units per gross acre/Southeast Overlay)
	SE Plan Sub-Area:	11
	SE Plan Category:	Small Lot
	Use:	Vacant land
	Zone:	MFR-20/SE (Multiple-Family Residential – 20 dwelling units per gross acre/Southeast Overlay)
	SE Plan Sub-Area:	Village Center - 10
	SE Plan Category:	High Density
	Use:	Vacant land
<i>East</i>	Zone:	SFR-00/SE
	SE Plan Sub-Area:	2
	SE Plan Category:	Standard Lot
	Use:	Vacant land
	Zone:	County EFU (Exclusive Farm Use)
	Use:	Vacant land
<i>West</i>	Zone:	SFR-4/SE
	SE Plan Sub-Area:	2
	SE Plan Category:	Standard Lot
	Use:	Single family Dwellings, vacant land

Zone: SFR-10/SE
SE Plan Sub-Area: 6
SE Plan Category: Small Lot
Use: Single family dwellings, vacant land

Related Projects

LDS-06-278 Summerfield at Southeast Park, Phases 14-22 (expired)
E-06-274 Exception for length of residential lane (expired)
ZC-02-081 Zone Change from EFU to SFR-4/SE
ZC-03-180 Zone Change from EFU to SFR-4/SE
ZC-03-278 Zone Change from EFU to SFR-4/SE
ZC-06-277 Zone Change from SFR-10/SE to SFR-4/SE

Applicable Criteria

Medford Municipal Code §10.270 - Land Division Criteria

The approving authority (Planning Commission) shall not approve any tentative plat unless it first finds that the proposed land division, together with the provisions for its design and improvement:

1. Is consistent with the Comprehensive Plan, any other applicable specific plans thereto, including Neighborhood Circulation Plans, and all applicable design standards set forth in Article IV and V;
2. Will not prevent development of the remainder of the property under the same ownership, if any, or of adjoining land or of access thereto, in accordance with this chapter;
3. Bears a name that has been approved by the approving authority and does not use a word which is the same as, similar to, or pronounced the same as a word in the name of any other subdivision in the City of Medford; except for the words "town", "city", "place", "court", "addition", or similar words; unless the land platted is contiguous to and platted by the same applicant that platted the land division bearing that name; or unless the applicant files and records the consent of the party who platted the land division bearing that name and the block numbers continue those of the plat of the same name last filed;
4. If it includes the creation of streets or alleys, that such streets or alleys are laid out to be consistent with existing and planned streets and alleys and with the plats of land divisions already approved for adjoining property, unless the

approving authority determines it is in the public interest to modify the street pattern;

5. If it has streets or alleys that are proposed to be held for private use, that they are distinguished from the public streets or alleys on the tentative plat, and reservations or restrictions relating to the private streets or alleys are set forth;
6. Will not cause an unmitigated land use conflict between the land division and adjoining agricultural lands within the EFU (Exclusive Farm Use) zoning district.

Medford Municipal Code §10.253 -Exception Approval Criteria

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority having jurisdiction over the plan authorization unless it finds that all of the following criteria and standards are satisfied. The power to authorize an exception from the terms of this code shall be sparingly exercised. Findings must indicate that:

1. The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The approving authority shall have the authority to impose conditions to assure that this criterion is met.
2. The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.
3. There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.
4. The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.

Corporate Names

According to the Oregon Secretary of State Business Name Registry, the authorized representative for Crystal Springs Development Group Joint Venture is John Hassen, and the registrant is Michael Mahar.

ISSUES AND ANALYSIS

Background

A tentative plat for phases 14-21 of Summerfield at Southeast Park was granted a five-year approval on April 26, 2012. An exception to the standard for the permitted length of a residential lane was also approved on April 26, 2012. The tentative plat and the exception request expired April 26, 2017.

Phase 14 obtained final plat approval and was recorded on June 10, 2014, while Phase 15 obtained final plat approval and subsequently recorded May 4, 2016.

The applicant is now requesting approval of the remainder of the project, phases 16 through 21 consisting of 138 residential lots on approximately 96 acres. The proposal includes the previously approved exception which is for the residential lane in Phase 19.

Density

The proposed subdivision is within Sub-area 2 of the Southeast Plan Overlay, and is designated for standard residential lots. The standard density calculation for the SFR-4 zone is between 2.5 and 4.0 dwelling units per acre. Per the MLDC Section 10.373, the Standard Lot Land Use Category for the Southeast Plan permits an increase in the maximum density to 6.0 units per acre. As a result, the permitted density range for this development is between 118 and 282 dwelling units. This applicant is proposing 138 lots to be constructed to the SFR-4 development standards in six phases.

Southeast Plan

Street Tree and Planter Strip

As the proposed tentative plat is within the Southeast Plan Overlay, the applicant is required by MLDC 10.379 to submit a Streetscape and Planter Strip Plan. The applicant has submitted a Street Tree Master Plan that indicates a variety of tree species proposed for the planter strips throughout the subdivision (Exhibit F). The plan indicates that any additional plant material in the planter strip will be at the discretion of the property owner. The Street Tree Master Plan lists the variety of trees proposed in the development. It is stated that an appropriate sized underground irrigation system will be designed and as-built drawings shall be submitted. A condition is included that

requires the CC&R's for each phase to contain provisions for the installation and maintenance of the planter strip vegetation, in compliance with MLDC 10.379(1)(b).

The Code requires the applicant to enter into an agreement that will guarantee the installation of street trees prior to issuance of the Certificate of Occupancy. A condition is included requiring the applicant to comply with MLDC 10.379(6) prior to approval of the final plat for each phase.

Lighting Plan

The Southeast Plan also requires the applicant to install pedestrian-scale street lights in accordance with MLDC 10.380. A condition is included requiring the applicant to install pedestrian-scale street lighting within the subdivision in accordance with Section 10.380.

Greenway Planting Plan

The proposed subdivision contains a planned greenway trail through portions of Phases 17, 19 and 20 (Exhibit G). Per the Southeast Circulation Plan map, the greenway is designated a G3, or minor greenway with surface drainage. The tentative plat indicates the creek bed will be re-routed in conformance with the submitted plan, and is to be dedicated to the City of Medford (Exhibit B). The proposed 40-foot wide greenway includes a 2-foot wide cobble streambed, a 10-foot wide planted riparian zone, and an 8-foot wide asphalt pathway lined on both sides by lawn grasses. In accordance with MLDC Section 10.384, the applicant is required to obtain approval of the greenway plan from the Site Plan and Architectural Commission prior to approval of the final plat for any phase containing the greenway. Such a condition is included.

Additionally, staff notes that detailed agreements have yet to be made regarding the installation, transfer of ownership, and maintenance of the greenway. A condition is included that requires the applicant to enter into an agreement with the City, to the satisfaction of the City Attorney, that will address these issues in compliance with MLDC Section 10.384.

Finally, staff has concerns regarding the section of the greenway that is located between the lots that front on Autumn Hill Drive and Birchcreek Drive, within Phases 19 and 20. The section of the Greenway between lots 569, 570, and 571 on Autumn Hills Drive, and lots 578, 579, and 580 on Birchcreek Drive, cannot be seen from any public location. Per the MLDC, property owners of those lots would be allowed to install fences up to eight feet in height, effectively creating a 200-foot long corridor that could compromise the safety and security of the greenway path. To address the situation, a discretionary condition is included that limits the fencing along those lots to black powder-coated chain link, in accordance with MLDC 10.382(3).

Streets

The street circulation proposed is consistent with the Southeast Plan Circulation Map (Exhibit U), and conforms to the plats of land divisions already approved for adjoining properties. The report from the Public Works Department describes the required dedications and improvements for the proposal (Exhibit M).

The Public Works report also contains conditions for shared driveways with onsite vehicular turnaround areas for lots that have direct access on Cherry Lane, so that vehicles can access Cherry Lane in a forward manner per MLDC 10.746. To facilitate vehicular access to the lower order streets, the report places access restrictions on specific lots on Major Collector streets and on corner lots within the subdivision (Exhibit M, p. 5).

Exception Request

Sunleaf Avenue is proposed as a Residential Lane oriented in an east-west direction between Waterstone Drive and Autumn Hills Drive. As described above, the applicant is requesting relief from the Code standard for the permitted length of a Residential Lane. The length of the proposed residential lane is 807 feet; MLDC 10.430(3) limits the length of a Residential Lane to no more than 450 feet. The applicant's Findings state that a central reason for approving the exception request is to provide a context-sensitive street that is collinear with a planned greenway trail and the Southeast Plan recognizes this arrangement as beneficial to the greenway resource (Exhibit J). Regarding health and safety, the residential lane will serve five lots, less than the eight permitted by Section 10.430, and can be accessed from two directions. The approval of the Exception will not establish a use that is not permitted in the zone; as the applicant's Findings point out, the nature of the request is one that was contemplated by the Southeast Neighborhood Circulation Plan.

The Findings provide the discussion of Section 10.384(C)(1)(d), the Greenway Special Design and Development Standards within the Southeast Plan; that states "where feasible, street shall be collinear and adjacent to Greenways". The applicant presents alternative designs and compares the attributes of each with the proposed design, stating the requirement for a minor residential street in that location would serve no legitimate purpose and would be an unnecessary increase in the ratio of public street area to private residential acreage (Exhibit J). The Findings also conclude that the exception is a function of specific components of the Southeast Plan itself, and that there is no evidence that this request is the result of an illegal act or that the impacts of the greenway and circulation planning by the property directly.

Per the Public Works report, if the Exception request is approved, the applicant shall dedicate a 33-foot right-of-way, and construct a 26-foot wide paved section, complete with curb and gutter, a 5-foot sidewalk adjacent to the north curb, and street lights (Exhibit M). Should the Commission deny the Exception request, then Sunleaf Avenue shall be dedicated and improved to Minor Residential Street standards, including a 55-foot right-of-way width, with a 28-foot paved section. The same specifications for curb, gutter, a 5-foot sidewalk, and street lights shall apply. If the Exception is not approved by the Commission, the tentative plat cannot be approved as submitted, as no alternative design has been proposed.

Staff supports the applicants Findings for the Exception, and recommends the Commission approve the request.

Sanitary Sewer

Per the report from the Public Works Department, the public sanitary sewer system within this development shall be extended to the boundary of the subdivision such that future development can extend service without having to excavate back into the improvements provided in this subdivision (Exhibit M).

Storm Drainage

The report from the Public Works Department requires the storm drainage system for this development to extend to the boundary of the subdivision, such that future development does not require work beyond its boundaries in order to serve the future developments. The report also contains conditions that refer to the dedication and improvement of the 40-foot wide drainage swale, as designated on the tentative plat (Exhibit B). According to the report, the swale shall be designed and constructed with the adjacent phases.

Medford Fire Department

The report from the Fire Department includes, but is not limited to, requirements and specifications for address identification and fire hydrants within the development (Exhibit O). The report also requires the developer to install residential fire sprinklers within 26 homes where the access roads exceed a 10% grade. The affected lots are in the southeast area of the subdivision, within Phase 21, and are specifically identified as 597 through 609, and 614 through 626. Driveways on the Minor Residential Streets throughout the subdivision shall be clustered and offset, and parking shall be prohibited and posted on one side of the Residential Lane.

Agricultural Impact Assessment

The proposed subdivision abuts the City limits and the Urban Growth Boundary on a portion of the east property line, and the abutting property carries a County zoning designation of Exclusive Farm Use (EFU). The land was historically farmed for fruit crops, but active agriculture has long since been abandoned in anticipation of urbanization. As required by MLDC Section 10.802, the applicant has submitted an Agricultural Impact Assessment (AIA), and stipulates to the required mitigation measures for passive agricultural use, (Exhibit L). These include a deed declaration per MLDC 10.804(3)(b), and fencing along the east boundary of Phase 21. The applicant's AIA states that generally accepted engineering practices for storm water management for urban development will assure the potential for storm and irrigation runoff will not impact the subject property or surrounding lands zoned EFU (Exhibit L).

Approval Period and Phase Boundaries

As it is the applicant's intent to develop the subdivision in phases, the approving authority may authorize an extended approval period no greater than five years, per MLDC Section 10.269(2), and the applicant is requesting a 5-year approval period. A condition is included that grants the applicant a 5-year approval period for the tentative plat for Summerfield at Southeast Park Subdivision, Phases 16-21.

The applicant's has also request, that the applicant be granted "flexibility with respect to the precise phase boundary locations to allow for minor phasing changes as the same is often appropriate to respond to detailed engineering issues." A discretionary condition is included that allows the applicant to make minor changes to the precise phase boundaries without amending a previously approved planning action, providing there are no changes to the number or size of lots approved for the development as a whole.

Committee Comments

No comments were received from a committee.

No other issues were identified by staff.

FINDINGS OF FACT

Staff has reviewed the applicant's Findings of Fact and Conclusions of Law (Exhibits H and I) and recommends that the Commission adopt the Findings as presented.

RECOMMENDED ACTION

Adopt the Findings as recommended by staff and direct staff to prepare a Final Order for approval of LDS-17-051 and E-17-052 per the Staff Report dated June 15, 2017, including Exhibits A through Z.

EXHIBITS

- A Conditions of Approval dated June 16, 2017
- B Tentative Plat, received June 8, 2017
- C Exception Site Plan, received April 14, 2017
- D Conceptual grading Plan, received April 14, 2017
- E Slope Analysis, received April 14, 2017
- F Street Tree Master Plan, received April 14, 2017
- G Greenway Planting Plan, received April 14, 2017
- H Jackson County Assessor's Map page, received April 14, 2017
- I Applicant's Land Division Findings of Fact and Conclusions of Law, received April 14, 2017
- J Applicant's Exception Findings of Fact and Conclusions of Law, received April 14, 2017
- K Geotechnical Evaluation Report, received April 14, 2017
- L Agricultural Impact Assessment Report, received April 14, 2017
- M Public Works Department Report, received June 12, 2017
- N Medford Water Commission Memorandum, received June 8, 2017
- O Fire Department Report, received May 31, 2017
- P City of Medford Building Department Memo, received May 23, 2017
- Q Response from Department of State Lands, received June 8, 2017
- R Jackson County Roads letter, received May 25, 2017
- S Oregon Department of Aviation comments, received May 19, 2017
- T Jackson County Airport Comments, received May 19, 2017
- U Southeast Circulation Plan Map dated March 7, 2013
- V Southeast Plan Map, dated March 7, 2013
- W Medford Slope Map, Excerpt
- X 2002 Local Wetland Inventory, Excerpt
- Y Urban Growth Boundary Amendment Map dated April 13, 2016
- Z Density Calculation dated June 8, 2017
Vicinity Map

PLANNING COMMISSION AGENDA:

June 22, 2017

EXHIBIT A
CONDITIONS OF APPROVAL
LDS-17-051/E-17-052
SUMMERFIELD AT SOUTHEAST PARK PHASES 16-21
June 15, 2017

DISCRETIONARY CONDITIONS

1. The Commission authorizes a 5-year approval period allowed for a phased project in compliance with Medford Land Development Code Section 10.269(2).
2. Minor changes to the precise phase boundaries may be made without an amendment to a previously approved planning action, as long as there are no changes to the number or size of lots approved for the development as a whole.
3. Fencing along the rear property lines of lots 569, 570, and 571 in Phase 19, and lots 578, 579, and 580 in Phase 20 shall be limited to black dip coated chain link in accordance with MLDC 10.382(3).
4. The Commission accepts the applicant's stipulations below. If a stipulation conflicts with a requirement of the Medford Land Development Code or other condition of approval applied by the Commission, the MLDC or other condition applies.
 - a. **Storm Drainage; Storm Water Detention.** Applicant will undertake detailed engineering of a storm drainage system to serve the property. The system will be engineered and constructed according to Medford standards and will meet the storm water conditions attached at the time of tentative plat approval.
 - b. **Final Landscape Plans.** Detailed final landscape plans, where required, will be furnished as part of the Final Plat process and at the time permits are issued for individual houses.
 - c. **Restrictive Covenant.** Pursuant to MLDC 10.804(2)(C) Applicant agrees at the time of Final Plat to record in the official records of Jackson County, a deed restriction accepting and acknowledging farm practices on the lands zoned EFU that are outside the UGB.

CODE CONDITIONS

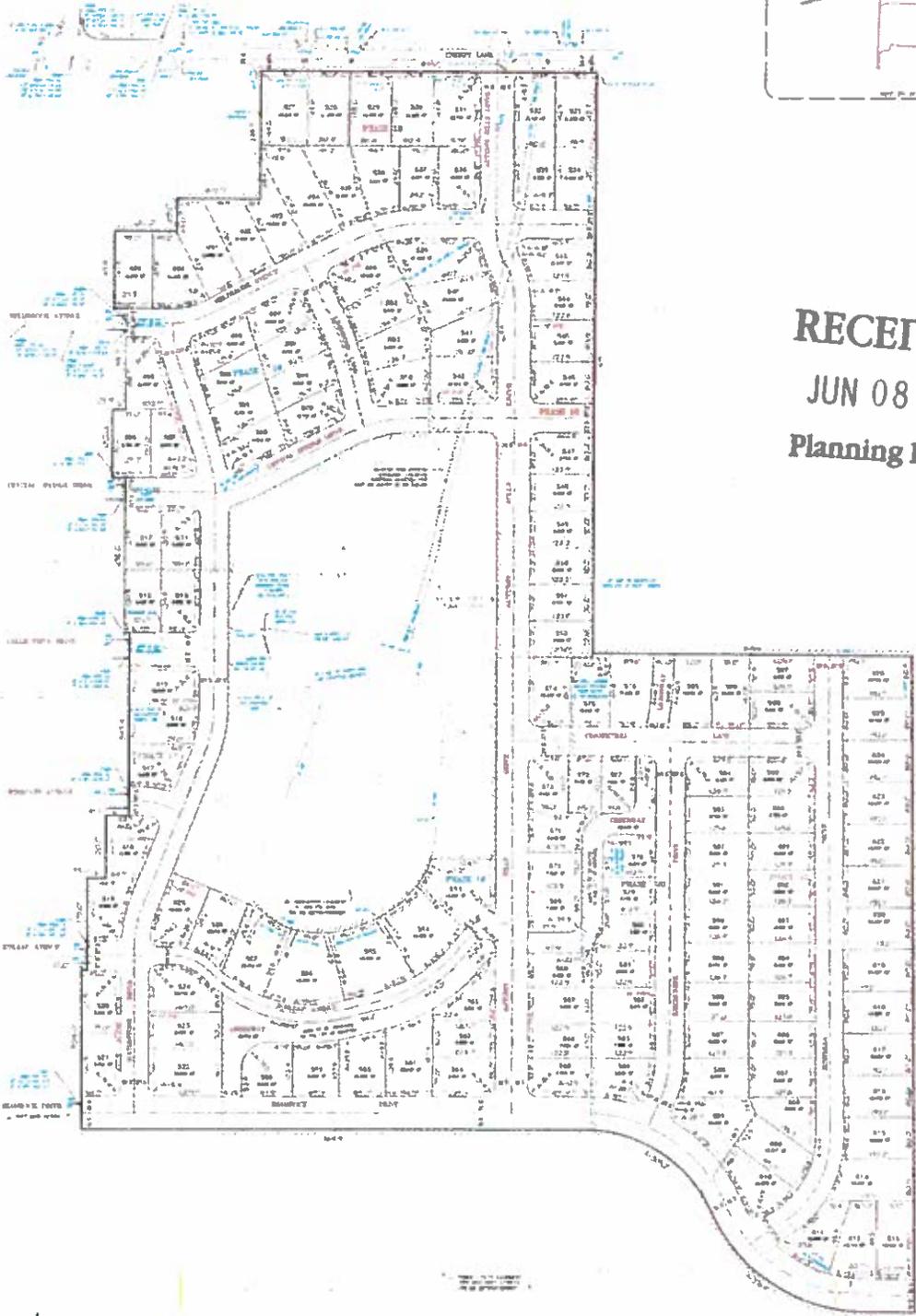
5. Prior to approval of the final plat for each phase, the applicant shall provide evidence of compliance with MLDC 10.379(1)(b), regarding the installation and maintenance of the planter strip vegetation.
6. Prior to approval of the final plat for each phase, the applicant is required to comply with MLDC 10.379(6) regarding the provisions that guarantee the installation of street trees prior to the issuance of the Certificate of Occupancy.
7. Prior to approval of the final plat for each phase, the applicant shall comply with MLDC 10.380 regarding street lighting standards.

8. Prior to approval of the final plat for any phase containing the proposed greenway (Phases 17, 19, and 20), the applicant is required to obtain approval of the entire greenway plan, as proposed on the tentative plat for Summerfield Phases 16 through 21, from the Site Plan and Architectural Commission per MLDC 10.384.
9. Prior to approval of the final plat for any phase containing the proposed greenway (Phases 17, 19, and 20), the applicant shall enter into an agreement with the City, to the satisfaction of the City Attorney, that will address the installation, transfer of ownership, and maintenance of the greenway, in compliance with MLDC Section 10.384.
10. Prior to approval of the final plat for Phase 21, the applicant shall comply with MLDC 10.804(3) regarding mitigation for passive agriculture.
11. Prior to approval of the final plat, the applicant shall comply with the Department of State Lands received June, 8, 2017 (Exhibit Q).
12. Prior to approval of the final plat for each phase, the applicant shall:
 - a. Comply with the report from the Public Works Department, received March 30, 2012 (Exhibit M);
 - b. Comply with the memorandum from the Medford Water Commission, received March 21, 2012 (Exhibit N);
 - c. Comply with the report from the Medford Fire Department, received March 21, 2012 (Exhibit O).

TENTATIVE PLAN
SUMMERFIELD AT SOUTH
EAST PARK, PHASES 16-21

This Plan is not subject to Chapter 227 and the City of Medford, Oregon, shall not be bound by the provisions of Chapter 227 of the City of Medford, Oregon, unless the City of Medford, Oregon, specifically agrees to do so.

PREPARED FOR
MAHAR HOMES INC
 600 West Oregon Street
 Medford, Oregon 97504



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Planning Dept.

CONTENTS

SHEET 1 TENTATIVE PLAN (PHASES 16-21)
 SHEET 2 PROJECT INFORMATION LEGEND AND STREET DETAILS

GENERAL SURVEY NOTES

1. All bearings and distances are as shown on this plan, unless otherwise noted. All bearings are true bearings, unless otherwise noted. All distances are in feet and inches, unless otherwise noted.

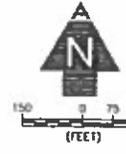
REGISTERED PROFESSIONAL LAND SURVEYOR
 ORIGIN
 MAY 16, 2005
 ROBERT G. SHAWBEE
 2875

PREPARED BY: **Arlander Surveying, Inc.**
 3126 State St., Suite 202
 P.O. Box 1584
 Medford, Oregon 97501
 Phone: (541) 755-2883
 Fax: (541) 755-1380

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EXHIBIT # 2.0

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1417000 Medford\07001-Medford Homes\Summerfield Estates PHASE 16-22 Conceptual Storm-drain.dwg 4/13/2017 11:44 AM Issue



LEGEND

- PHASE BOUNDARY
- PROJECT BOUNDARY
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- DRAINAGE DIRECTION

NOTE:
 EXTENSIVE GRADING OF THE PROJECT SITE IS NOT ANTICIPATED. PROPOSED SITE GRADING SHALL GENERALLY MATCH THE EXISTING SITE TOPOGRAPHY.

CITY OF MEDFORD
EXHIBIT # 16
File # LDS-17-051/E-17-052

No. REVISION		DATE	BY
CITY OF MEDFORD ENGINEERING DEPARTMENT		CITY PROJECT	
SUMMERFIELD ESTATES PHASE 16 - PHASE 22		SHEET NO.	
CONCEPTUAL GRADING PLAN		1/1	
REV. CITY ENGINEER	DATE		

ADKINS
 CONSULTING ENGINEERS, P.C.
 200 West St., Suite 111 - Medford, Oregon 97504
 Phone: 503.775.1111 Fax: 503.775.1112
 Copyright © 2017 ADKINS CONSULTING ENGINEERS, LP

**SLOPE ANALYSIS
SUMMERFIELD AT SOUTH
EAST PARK, PHASES 16-21**

Located in the Northeast One-quarter and the Southeast One-quarter of
Section 27, Township 37 South, Range 1 East of the Willamette
Meridian, in the City of Medford, Jackson County, Oregon.

PREPARED FOR:

MAHAR HOMES, INC.
270 New Center Drive
Jackson County, Oregon



LEGEND:

Indication slopes 0% - 22%

**REGISTERED
PROFESSIONAL
LAND SURVEYOR**

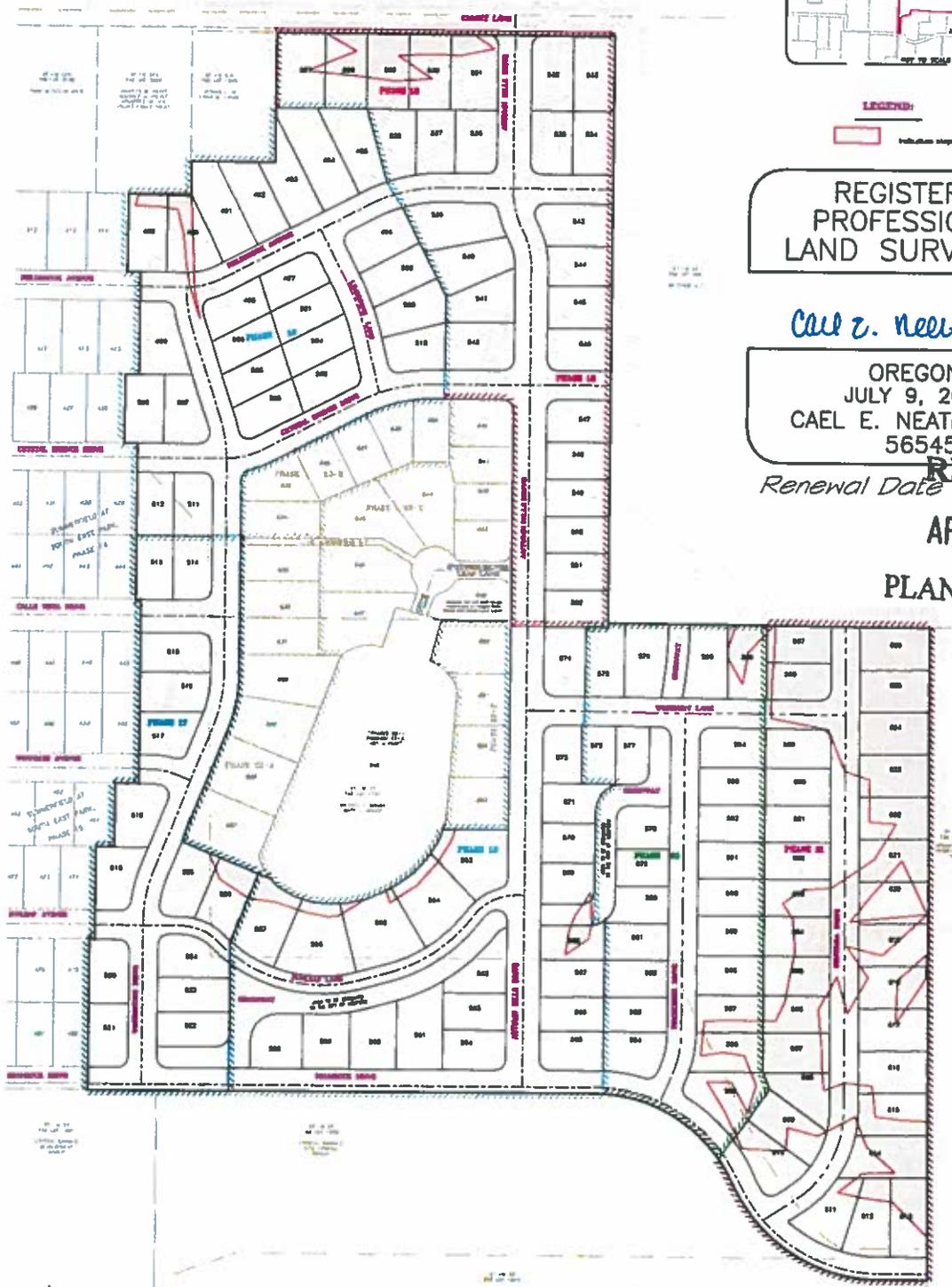
Call C. Neethamer

OREGON
JULY 9, 2001
CAEL E. NEETHAMER
56545

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Renewal Date 12/31/16

APR 14 2017

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REDUCED SCALE

GENERAL SURVEY NOTES:

Contours: 1-foot contour interval, 3-foot below contour interval.
There are no slopes that exist on the subject property that are greater than 22%.

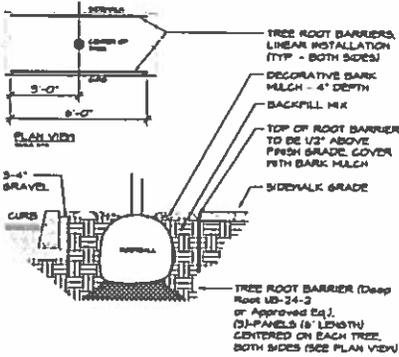
**CITY OF MEDFORD
EXHIBIT # E**

MS-17-051/E-17-052

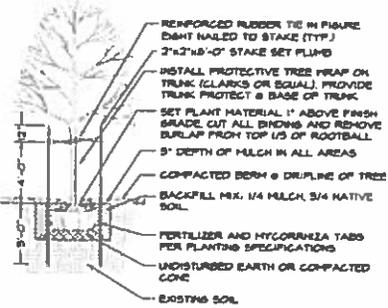
PREPARED BY: Neethamer Surveying, Inc.
3180 State St. Suite 203
P.O. Box 1584
Medford, Oregon 97501
Phone (541) 732-2869
FAX (541) 732-1322

PLAT DATE: April 14, 2017 **PROJECT NUMBER:** 1880-10
Sheet 1 of 1

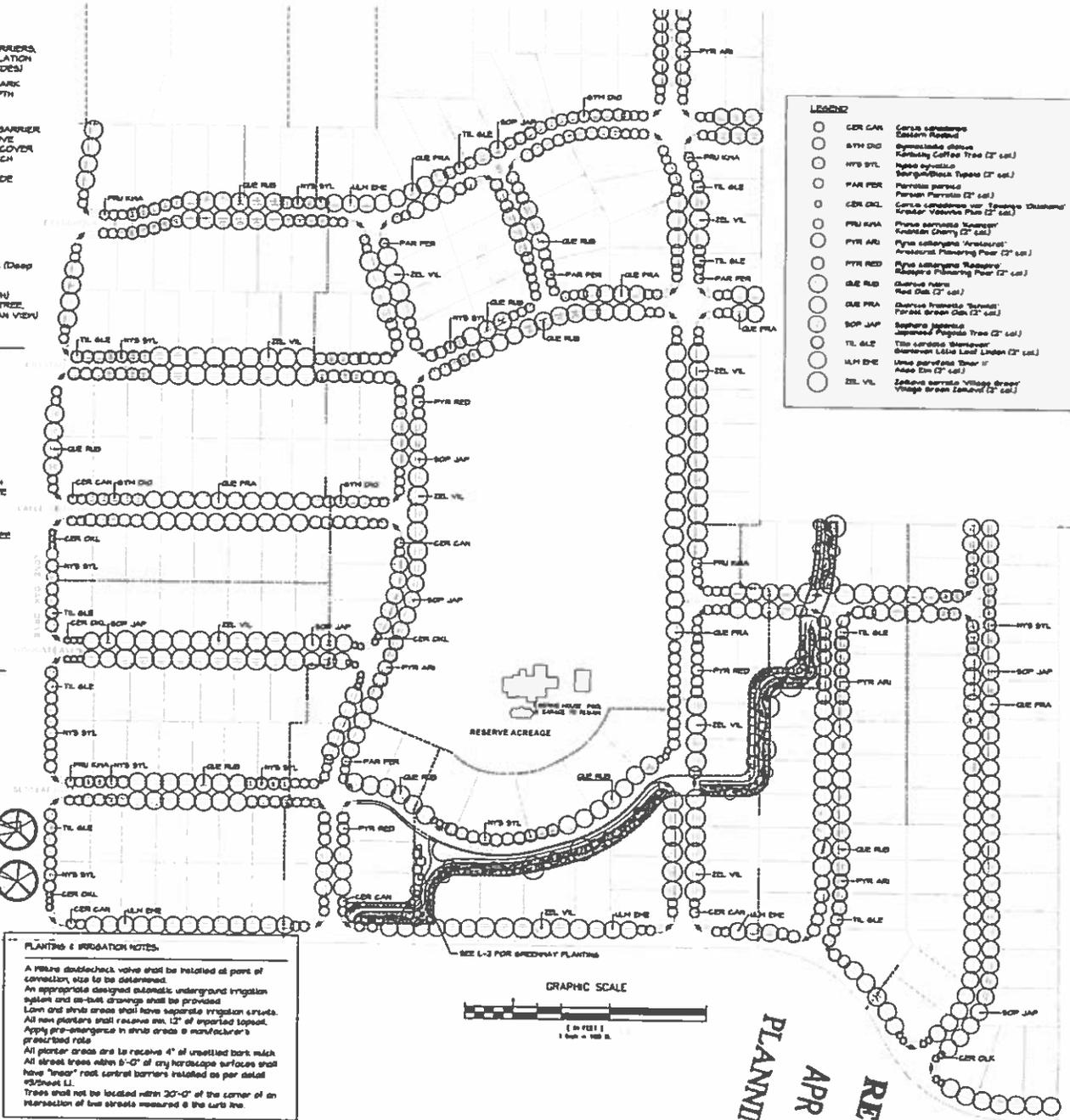
15



1 Tree Root Barrier-linear application
Scale: 1/2" = 1'-0"



2 Section - Tree Planting and Staking
Scale: 1/2" = 1'-0"



LEGEND

○	CER CAN	Carolin Yew
○	BTH DIO	Blackberry Dogwood
○	HTS STL	Hamamelis
○	PAR PER	Parrotia persica
○	CER DKL	Carolin Dogwood
○	PRU EVA	Prunella
○	PTR ARJ	Prunella
○	PTR RED	Prunella
○	OLE RUB	Oleaster
○	OLE PRA	Oleaster
○	SOP JAP	Sorbus
○	TL BLE	Tree Lilac
○	ALH DNE	Alnus
○	ZEL VL	Zelkova

PLANTING & IRRIGATION NOTES:

A 1/2" diameter check valve shall be installed at point of connection, also to be determined.

An appropriate designed automatic, underground irrigation system and on-site drawings shall be provided.

Low and shrub areas shall have separate irrigation systems.

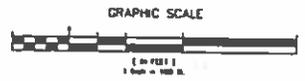
All new planters shall receive min. 12" of exported topsoil.

Apply pre-mixtures in shrub areas @ manufacturer's prescribed rate.

All planter areas are to receive 4" of unmulched bark mulch.

All street trees within 5'-0" of any hardscape surfaces shall have "linear" root control barriers installed as per detail #230001.1.

Trees shall not be located within 30'-0" of the corner of an intersection of two streets measured @ the curb line.



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galbraith
LANDSCAPE ARCHITECTURE & SITE PLANNING
314 S. GRAPE STREET
MEDFORD, OR 97504
PH: 541.750.7664
FAX: 541.750.5164

REGISTERED
LANDSCAPE ARCHITECT
234

SUMMERFIELD
PHASES 14-21
MEDFORD, OREGON

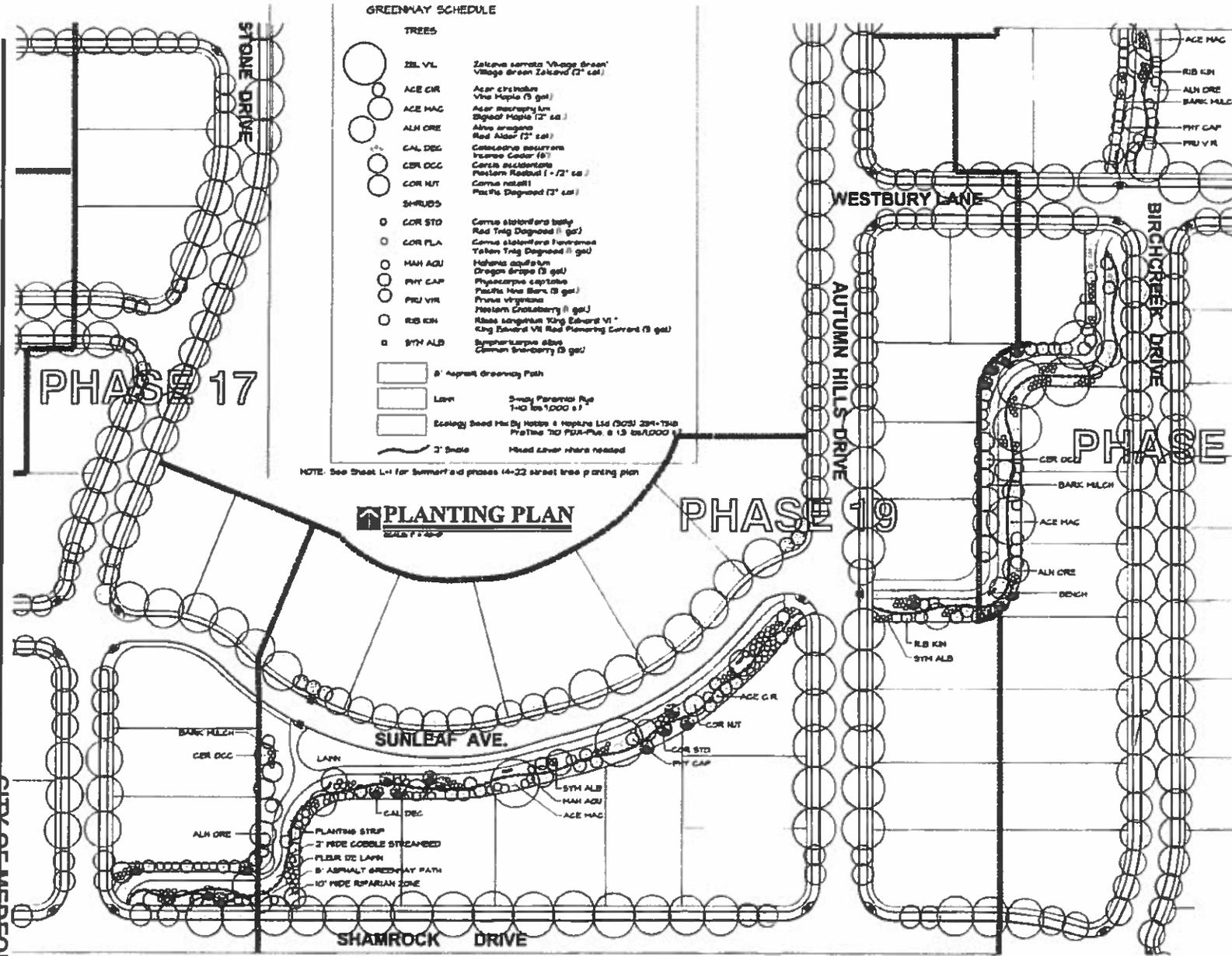
△ October 1, 2016 Planning change
△ Planning change

STREET TREE MASTER PLAN

○	CODE
○	DATE
○	BY
○	NO.

L-1

16



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SUMMERFIELD
PHASES 14-21

MEDFORD, OREGON

REVISED

- 1/18/11 200 Planning design
- 11/18/11 2011 Planning design
- 7/11/12 2012 Planning design

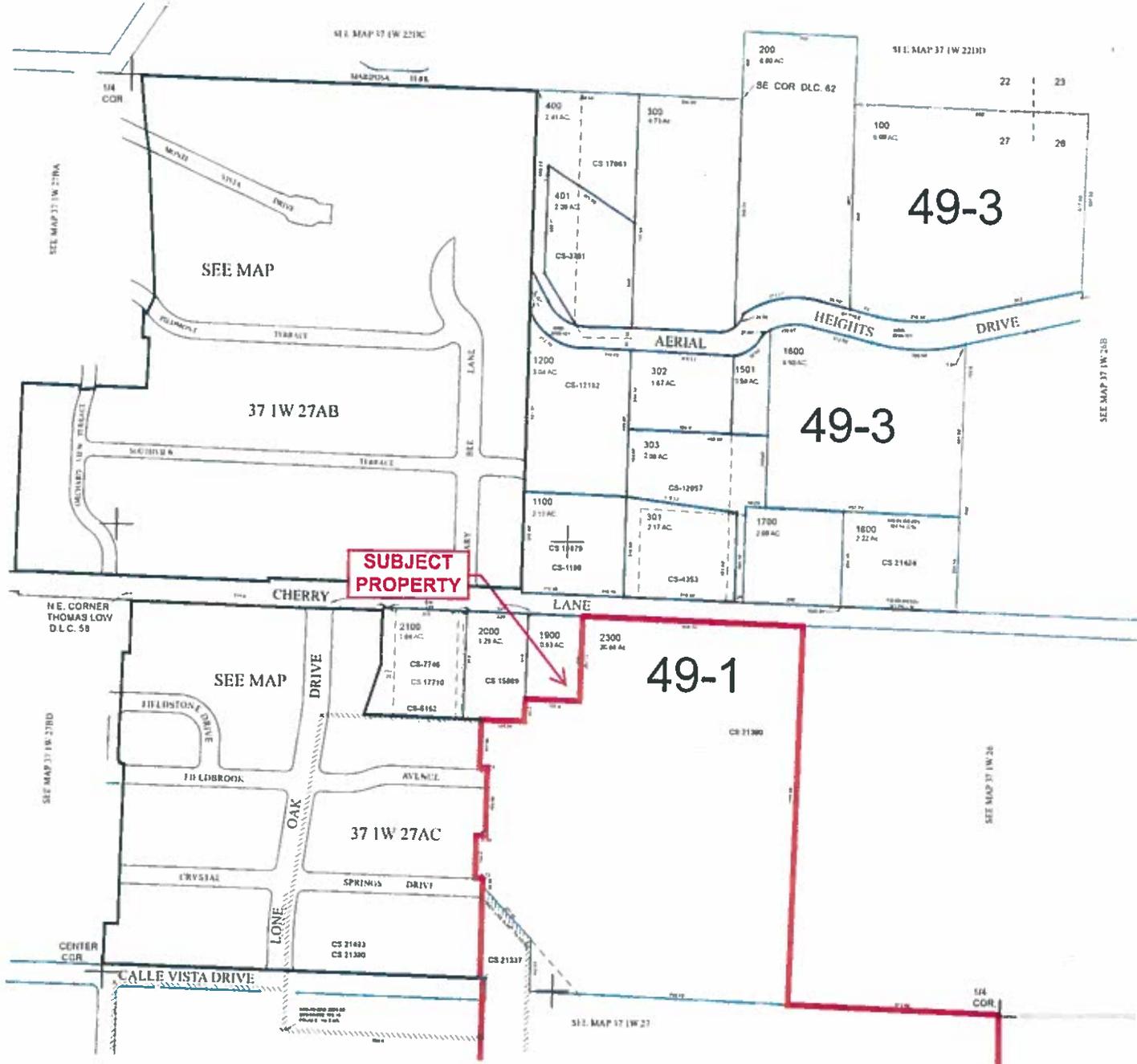
GREENWAY PLANTING PLAN

DATE	BY
11/18/11	JG

N.E. 1/4, SEC. 27, T. 37S., R. 1W., W.M.
 JACKSON COUNTY
 1" = 200'

37 1W 27A
 (MEDFORD)

FOR ASSESSMENT AND
 TAXATION ONLY



CANCELLED TAX
 LOT NUMBERS

- 1000 TO 1015
- 1300 KILLED TO STREET
- 1400 KILLED TO STREET
- 1702
- 2200 REMAPPED TO 371W27AC
- 2301 REMAPPED TO 371W27AC
- 2402 REMAPPED TO 371W27BII
- 2403 REMAPPED TO 371W27BII
- 2404, 2405 REMAPPED TO 371W27AC
- 2406 ALIGNED TO 371W27-902
- 2407 REMAPPED TO 371W27AC
- 2408 REMAPPED TO 371W27AC-400
- 2409 ALIGNED TO 2401
- 2410 REMAPPED TO 371W27DB-300
- 390 KILLED TO STREET
- 390-301 REMAPPED TO 371W27AB
- 502 REMAPPED TO 371W27AB
- 503 TO 523 REMAPPED TO 371W27AB
- 600-602 REMAPPED TO 371W27AD
- 700 TO 710

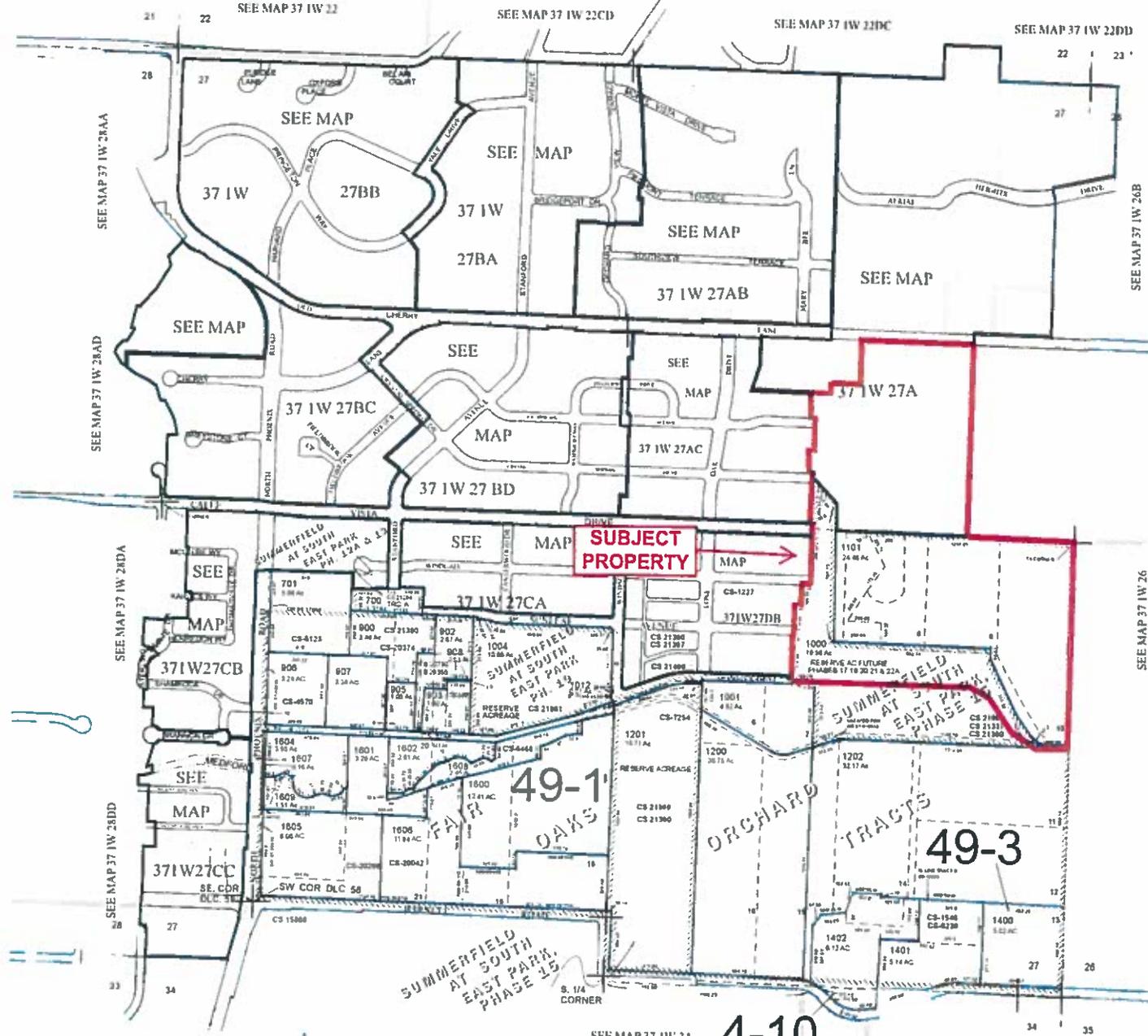
RECEIVED
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37 1W 27A
 MEDFORD
 INFO CONVERTION APRIL 11 1999
 REV JUNE 27 2014

FOR ASSIGNMENT AND
TAXATION ONLY

SECTION 27, T.37S., R.1W., W.M.
JACKSON COUNTY
1" = 400'

37 1W 27
& INDEX
MEDFORD



- CANCELLED TAX
LOT NUMBERS
- 100-101
 - 1002 ADDED TO 101 802
 - 1003 ADDED TO 171W27A-2101
 - 1005 ADDED TO 1004
 - 1006, 1007 REMAPPED TO 371W27DB
 - 1008 REMAPPED TO 371W27CA
 - 1009 REMAPPED TO 372W27DB
 - 1010 ADDED TO 1201
 - 1011 REMAPPED TO 171W27DB-500
 - 1100
 - 1300
 - 1401
 - 1501
 - 1500
 - 1900
 - 2000
 - 200-201
 - 2100
 - 2200
 - 2100
 - 300
 - 400
 - 400
 - 500-519
 - 541-542 RE-MAPPED TO 371W27BC
 - 600-601
 - 701 REMAPPED TO 171W27CB-2100
 - 701, 705 ADDED TO 702
 - 705 REMAPPED TO 371W27DB
 - 706-729
 - 800, 802 REMAPPED TO 371W27CA
 - 801 REMAPPED TO 371W27DB
 - 803 REMAPPED TO 371W27DB
 - 901, 909 ADDED TO 901
 - 904
 - 910

Page 152

CITY OF MEDFORD
EXHIBIT # 49-1
File # #LDS-17-051/E-17-052

DATE: APR 13 2016 11:05:27 AM
DRAWN BY: JLS

SEE MAP 37 1W 34 4-10

37 1W 27
& INDEX
MEDFORD

INR CONVERSION APRIL 13 1999
RLV JUNE 01 2016

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FINDINGS OF FACT AND CONCLUSIONS OF LAW

**BEFORE THE CITY OF MEDFORD
PLANNING COMMISSION**

**IN THE MATTER OF AN APPLICATION
FOR THE TENTATIVE PLAT APPROVAL
OF SUMMERFIELD AT SOUTH EAST
PARK, PHASES 16-21.**

APPLICANT: Crystal Springs Development Group,
a Joint Venture
815 Alder Creek Drive
Medford, OR 97504

AGENT: Neathamer Surveying, Inc.
P.O. Box 1584
Medford, OR 97501

A. BACKGROUND INFORMATION

On April 26, 2012 the Planning Commission approved Phases 14-21 of Summerfield at South East Park (LDS-12-004). Included in the approvals was an exception to the standards for the permitted length of a residential lane located near the southerly end of the project (E-12-005).

Since then, Phases 14 and 15 have been developed and the associated final plats have been approved/filed. Construction plans for Phases 17 and 22-A have been approved and construction has commenced. Construction plans for Phases 16 and 22-B are currently in the process of being reviewed.

However, as the approval per LDS-12-004 was authorized for a period of five years, the remaining Phases 16-21 will be expiring on April 26, 2017.

The following are the Medford Planning Commission Files Numbers associated with the project: LDS-12-004, E-12-005 and LDS-15-055

B. SCOPE, PURPOSE, AND OVERVIEW OF THE APPLICATION

The purpose of this application is for the resubmittal and approval of a Tentative Plat for the remaining Phases 16-21, consisting of 138-lot residential lots with detached, single-family dwelling units.

Pursuant to the Medford Land Development Code (MLDC), Section 10.269(2), the Applicant respectfully requests the Planning Commission to authorize a five year time period approval for the platting of the remaining Phases 16-21 of Summerfield at South East Park.

C. APPROVAL CRITERIA

CITY OF MEDFORD LAND DEVELOPMENT CODE

SECTION 10.270 – LAND DIVISION CRITERIA

Section 10.270 of the Medford's Land Development Code (MLDC) states that:

The approving authority (Planning Commission) shall not approve any tentative plat unless it first finds that, the proposed land division together with the provisions for its design and improvement:

- 1. Is consistent with the Comprehensive Plan, any other applicable specific plans thereto, including Neighborhood Circulation Plans, and all applicable design standards set forth in Article IV and V;*
- 2. Will not prevent development of the remainder of the property under the same ownership, if any, or of adjoining land or of access thereto, in accordance with this chapter;*
- 3. Bears a name that has been approved by the approving authority and does not use a word which is the same as, similar to, or pronounced the same as a word in the name of any other subdivision in the City of Medford; except for the words "town", "city", "place", "court", "addition", or similar words; unless the land platted is contiguous to and platted by the same applicant that platted the land division bearing that name; or unless the applicant files and records the consent of the party who platted the land division bearing that name and the block numbers continue those of the plat of the same name last filed;*
- 4. If it includes the creation of streets or alleys, that such streets or alleys are laid out to be consistent with existing and planned streets and alleys and with the plats of land divisions already approved for adjoining property unless the approving authority determines it is in the public interest to modify the street pattern;*
- 5. If it has streets or alleys that are proposed to be held for private use, that they are distinguished from the public streets or alleys on the tentative plat, and reservations or restrictions relating to the private streets or alleys are set forth;*
- 6. Will not cause an unmitigated land use conflict between the land division and adjoining agricultural lands within the EFU (Exclusive Farm Use) zoning district.*

D. FINDINGS OF FACT AND CONCLUSIONS OF LAW

CRITERION NO. 1

1. *Is consistent with the Comprehensive Plan, any other applicable specific plans thereto, including Neighborhood Circulation Plans, and all applicable design standards set forth in Article IV and V;*

FINDINGS OF FACT

The proposed development contained herein is substantially consistent with the already approved Phases 14-21, per LDS-12-004. Other than the removal of the already completed Phases 14 and 15, and the following minor changes to the layout, there are no significant changes proposed at this time.

Near the northwest corner of the project, a further analysis of the boundary indicated the previous layout contained in LDS-12-004 did not coincide with the adjacent property lines. As a result, Lots 493, 494, and Lots 527 through 531 have been adjusted in order to accommodate the updated boundary resolution. All of said adjusted lots increased in size and are well within the minimum and maximum lot area range of 6,500 to 18,750 square feet, as specified in the SFR-4 site standards per MLDC Section 10.710.

Lots 572 and 575 were moved from Phase 19 to Phase 20.

It should be noted that these changes are minor and do not change the use or overall nature of the project. As a result, the development is consistent with the Comprehensive Plan, and the existing surrounding uses, per the original approval.

An application for an exception to the permitted length for the residential lane, Sunleaf Lane, is being submitted concurrently with the subject land division application. Said exception request is congruous with the original submittal and approval per E-12-005.

Other than said exception request, the development is consistent with the relevant design criteria specified in Article IV and V of the MLDC.

CRITERION NO. 2

2. *Will not prevent development of the remainder of the property under the same ownership, if any, or of adjoining land or of access thereto, in accordance with this chapter;*

FINDINGS OF FACT

The proposed development provides a means of connectivity by extending the existing streets to adjacent lands, being consistent with the planned streets per

the Southeast Circulation Plan Map. As a result, approval of the land division contained herein will not prevent the development of the remainder of the property under the same owner, or the adjoining lands. A portion of the surrounding properties to the east of the proposed development are zoned Exclusive Farm Use (EFU) and are located outside of the current Urban Growth Boundary (UGB), to which this criterion does not apply.

CRITERION NO. 3

3. *Bears a name that has been approved by the approving authority and does not use a word which is the same as, similar to, or pronounced the same as a word in the name of any other subdivision in the City of Medford; except for the words "town", "city", "place", "court", "addition", or similar words; unless the land platted is contiguous to and platted by the same applicant that platted the land division bearing that name; or unless the applicant files and records the consent of the party who platted the land division bearing that name and the block numbers continue those of the plat of the same name last filed;*

FINDINGS OF FACT

The name of the subdivision, Summerfield at South East Park, Phases 16-21, is a name that has already been approved by the Planning Commission per the original submittal (LDS-12-004). No new subdivision name is being proposed.

CRITERION NO. 4

4. *If it includes the creation of streets or alleys, that such streets or alleys are laid out to be consistent with existing and planned streets and alleys and with the plats of land divisions already approved for adjoining property unless the approving authority determines it is in the public interest to modify the street pattern;*

FINDINGS OF FACT

The project is located within the Southeast Plan and is subject to the Southeast Circulation Plan Map, adopted March 7, 2013. The layout of the proposed streets are generally consistent with the adopted plan, with slight variations within the local streets. Additionally, the proposed streets are designed to connect to the existing streets adjacent to the project. Furthermore, no changes to the street layouts have occurred from the previously approved layout contained in LDS-12-004.

CRITERION NO. 5

5. *If it has streets or alleys that are proposed to be held for private use, that they are distinguished from the public streets or alleys on the tentative plat, and reservations or restrictions relating to the private streets or alleys are set forth;*

FINDINGS OF FACT

There are no private streets or alleys that are proposed to be held for private use.

CRITERION NO. 6

6. *Will not cause an unmitigated land use conflict between the land division and adjoining agricultural lands within the EFU (Exclusive Farm Use) zoning district.*

FINDINGS OF FACT

Adjoining to the east of the subject project are lands that are zoned Exclusive Farm Use (EFU). However, the adjoining property is not being actively farmed and is not under any intensive day-to-day management or operation. As such, and per the definition contained in the MLDC Chapter 10.801.D.(1), the agricultural classification of the subject property is defined as passive.

Mitigation measures for passively classified agricultural are outlined in MLDC Chapter 10.801.D.(3). Pursuant to said MLDC, a 6-foot solid fence along the easterly boundary is proposed to mitigate any potential conflicts with the EFU lands and the proposed development. For a further analysis and supporting documentation, please refer to the Agricultural Impact Analysis Report included as part of the application submittal.

CONCLUSION OF LAW

Based upon the submitted application materials and the above Findings of Facts, the Planning Commission concludes that the application complies with the applicable provisions of all city ordinances.

E. ULTIMATE CONCLUSION

The Planning Commission concludes that the application for Summerfield at South East Park, Phases 16-21 is consistent with the relevant criteria for a land division found in Section 10.270 of Medford's Land Development Code, and can therefore be approved.

Respectively Submitted,

Neathamer Surveying, Inc.

Robert V. Neathamer PLS
Robert V. Neathamer, President

Agent for Applicant:
Crystal Springs Development Group, a Joint Venture

Dated: April 13, 2017

FINDINGS OF FACT AND CONCLUSIONS OF LAW
BEFORE THE CITY OF MEDFORD
PLANNING COMMISSION

RECEIVED
APR 14 2017
PLANNING DEPT.

IN THE MATTER OF AN
APPLICATION FOR AN EXCEPTION
TO THE PERMITTED LENGTH OF A
RESIDENTIAL LANE.

APPLICANT: Crystal Springs Development Group,
a Joint Venture
815 Alder Creek Drive
Medford, OR 97504

AGENT: Neathamer Surveying, Inc.
P.O. Box 1584
Medford, OR 97501

A. BACKGROUND INFORMATION

On April 26, 2012 the Planning Commission approved Phases 14-21 of Summerfield at South East Park (LDS-12-004). Included in the approvals was an exception to the standards for the permitted length of a residential lane located near the southerly end of the project (E-12-005). However, as the approval for LDS-12-004 was authorized for a period of five years, the remaining undeveloped Phases 16-21 will be expiring on April 26, 2017.

The subject exception application is being submitted in conjunction with a land division application for said remaining phases of Summerfield at South East Park, Phases 16-21. The land division consists of 138-lot residential lots with detached, single-family dwelling units.

B. SCOPE, PURPOSE, AND OVERVIEW OF THE APPLICATION

Pursuant to Section 10.430(3), of the Medford Land Development Code (MLDC), the maximum permitted length of a residential land is no more than 450 feet. Included in the subject proposal is Sunleaf Lane, a residential lane that measures approximately 807 feet in length (when measured along the centerline of Sunleaf Lane from its intersection with Waterstone Drive to its intersection with Autumn Hills Drive). The purpose of this exception application is to allow an increase to the permitted length in order to support a collinear access adjacent to the Greenway and the associated connectivity of the overall development.

It should be noted that the proposal contained in the land division and this exception application are both substantially consistent with the originally submitted and approved land use actions contained in LDS-12-004 and E-12-005.

C. APPROVAL CRITERIA

CITY OF MEDFORD LAND DEVELOPMENT CODE

SECTION 10.253 – CRITERIA FOR AN EXCEPTION

Section 10.253 of the Medford's Land Development Code (MLDC) states that:

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority having jurisdiction over the plan authorization unless it finds that all of the following criteria and standards are satisfied. The power to authorize an exception from the terms of this code shall be sparingly exercised. Findings must indicate that:

- 1. The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The approving authority shall have the authority to impose conditions to assure that this criterion is met. (Effective Dec. 1, 2013).*
- 2. The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.*
- 3. There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.*
- 4. The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.*

D. FINDINGS OF FACT AND CONCLUSIONS OF LAW

CRITERION NO. 1

1. *The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The approving authority shall have the authority to impose conditions to assure that this criterion is met. (Effective Dec. 1, 2013).*

FINDINGS OF FACT

A prominent feature of the adopted Southeast Plan is the preservation of water resources through the protection of the designated Greenways. According to the MLDC, Section 10.384(C)(d), states that, "Where feasible, streets shall be collinear and adjacent to Greenways." Sunleaf lane has been designed to adhere to the design criteria by placing the residential lane adjacent to and collinear with the subject Greenway. As a result, the proposal is consistent with the general purpose of the Southeast Plan and was already approved with the original submittal in 2012.

Furthermore, the approval of the requested exception will not be injurious to the general area or negatively impact the general welfare or adjacent natural resources. Sunleaf Lane will provide a beneficial means of access along a natural resource, and will reduce the impacts of impervious surfaces by keeping the width of the access way to a minimum while still providing access to the five lots it serves.

CRITERION NO. 2

2. *The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.*

FINDINGS OF FACT

The proposed single-family residential use is consistent with the permitted uses in the zoning district, the General Land Use Plan (GLUP) and Southeast Plan designations. The granting of the subject exception will not permit the establishment of a use which is not permitted in the zoning district. In fact, the approval of the exception will have the no impact on the type of use associated with the development, the exception only provides a means of collinear access with consideration to Greenway feature.

CRITERION NO. 3

3. *There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.*

FINDINGS OF FACT

The lot width, depth and density requirements in conjunction with the above-stated design criteria associated with the existing Greenway, all propose a unique circumstance specific to the site. Although the proposed residential lane could potentially be relocated to reduce the length to the permitted standards, the lane would no longer adhere to the standard stated in MLDC Section 10.384(C)(d), which holds that when possible, an access way should be designed to be collinear and adjacent to the existing stream.

Additionally, as the lane only provides access to five lots, upgrading the access to a minor residential street would require additional right-of-way, which would be unnecessary and excessive when taking into account the number of lots the access serves. Increasing impervious surfaces within a stream source can also provide other undesirable effects.

Ultimately, the proposed design is a best-fit solution to the unique circumstance surrounding the site. A portion of the development contained in the original approvals has already been completed (Phases 14 and 15), and development is currently underway for Phases 16-17. The subject proposals contained herein are a portion of an already approved, cohesive design.

CRITERION NO. 4

- 4. The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.*

FINDINGS OF FACT

As established in the original approval, the Planning Commission has already concluded the need for this exception is not due to an illegal act, nor is it established on the basis of a purchaser of the land. The property is impacted by the existing natural feature of the stream and the associated Greenway established by the adopted Southeast Plan. The proposal contained herein is a solution that creates an access way in collinear manor alongside the current location of said stream.

CONCLUSION OF LAW

Based upon the submitted application materials and the above Findings of Facts, the Planning Commission concludes that the application complies with the applicable provisions of the exception criteria.

E. ULTIMATE CONCLUSION

The Planning Commission concludes that the application for an exception to increase the permitted length of a residential lane is consistent with the relevant criteria for an exception contained in Section 10.253 of Medford's Land Development Code, and can therefore be approved.

Respectively Submitted,

Neathamer Surveying, Inc.


Robert V. Neathamer, President

Agent for Applicant:
Crystal Springs Development Group, a Joint Venture

Dated: April 13, 2017

April 11, 2017

Crystal Springs Development Group
815 Alder Creek Drive
Medford, OR 97504

SUBJECT: GEOTECHNICAL AND GEOLOGIC INVESTIGATION, SUMMERFIELD AT SOUTH EAST PARK, PHASES 16 TO 21, MEDFORD, OREGON

At your request, Applied Geotechnical Engineering and Geologic Consulting LLC (AGEGC) has conducted a geotechnical and geologic investigation for Phases 16 through 21 of the Summerfield at South East Park Development in east Medford, Oregon. The general location of the site is shown on the Vicinity Map, Figure 1. Our investigation consisted of a review of available previously completed geotechnical information for the development and other projects in the area, a ground-level site reconnaissance, and engineering analyses. This report summarizes our work and provides our conclusions and recommendations for suitably founding the new residential development on this property.

SITE DESCRIPTION

A senior geotechnical engineer and geologist provided by AGEGC completed a site visit on April 7, 2017. The proposed road alignments were not staked at the time of our site visits; however, existing landmarks adjacent to the area to be developed could be used to gain an approximate idea of our location on the property.

These phases of the development are located south of Cherry Lane. The area is bounded on the west by single-family homes of previous phases of this development, and on the south and east by undeveloped land. An existing home is located in the southern portion of the development, on a small knoll. The eastern portion of the development is located on a west facing slope (the area slopes down to the west).

The areas south and west of the existing home were used for an orchard until after 2000. Trees have been removed and the property subsequently used as pasture. A small pond was located northwest of the existing home. The pond berm appears to have been removed and the pond drained.

The majority of the surficial soils in this area have significant desiccation cracks during summer and fall months, indicating the surficial soils consist of moderately to highly expansive clayey silt soils. Expansive soils have a significant volume change with corresponding changes in moisture content. Expansive soils have relatively low shear strengths.

Based on our experience with other projects in this area, this project site is mantled with highly expansive clayey silt soils over weathered sandstone and siltstone. The sandstone can be locally relatively hard and difficult to excavate.

PROJECT DESCRIPTION

We understand the project will consist of single-family residential lots, with associated roadways and utilities. The site has relatively gentle slopes, and we anticipate that cuts and fills required for mass grading will be minor (mostly the cuts and fills required due to the expansive clayey silt soils). We understand that the new roads are considered Standard Residential Streets (traffic index of 7.22).

SUBSURFACE CONDITIONS

As part of a previous geotechnical investigation for this development, several test pits were completed across the site. The test pits typically encountered a surficial layer of highly expansive clayey silt soils over weathered sandstone over hard sandstone. Expansive index tests on two representative soil samples indicated an IE of 95 and 97 for the surficial clayey silt soils.

Groundwater was not observed in any of the test pits. Perched groundwater can occur on the sandstone and siltstone, with groundwater approaching the ground surface during periods of heavy and/or extended rainfall.

CONCLUSIONS AND RECOMENDATIONS

General. Based on the results of this investigation and our experience with similar projects, it is our opinion that the site is suitable for the proposed development, from a geotechnical and geologic standpoint. Surficial soils and native slopes are similar to those found in previous developed phases of this development. There is no increased risk of geologic hazards if the site is developed as recommended below.

In our opinion, the most important geotechnical and geologic considerations associated with the planned development are the presence of surficial expansive clays, locally shallow hard sandstone/siltstone, possible local areas of uncontrolled fill, and seasonally perched groundwater. The following sections provide our recommendations for development of the site.

Rock Excavation. Hard sandstone was encountered in utility trenches for previous phases of this development. We anticipate that the moderately-sloped areas of the development have hard sandstone at relatively shallow depths. Based on our experience in this area, we anticipate that hard sandstone/siltstone underlies all of the site, but harder rock typically occurs at a deep of greater than 5 ft, except on the knoll where the home is located and on the slopes on the eastern portion of the development. Hard sandstone will likely be encountered in utility trenches and will required rock excavation techniques.

Site Preparation. In our opinion, the ground surface in areas to receive fill should be stripped of surficial organics to a minimum depth of 12 in. including roadways and sidewalks. Locally deeper stripping will be required in areas with uncontrolled fill, possibly including the area where the pond was once located. Deeper overexcavations will be required for installation of roadways, sidewalks and building pads.

Subgrade must be protected from disturbance due to construction activities and climate (wetting, drying, and/or freezing). We recommend that the geotextile fabric and aggregate base rock be placed within 6 hours of excavation to subgrade elevations. The subgrade should be left at least 18 in. high prior to final excavation to design subgrade, to minimize the drying of the subgrade soils during installation of utilities. The subgrade should be evaluated by the project geotechnical engineer prior to placement of structural fill on the subgrade.

Site strippings and untreated clayey silt soils cannot be used as structural fill and will need to be removed from the development.

Past experience has indicated that the fine-grained soils on this site are sensitive to moisture content. Typically, these soils have significant drying during hot and dry summer months, resulting in desiccation cracks that may be up to 3 ft deep. For this reason, we recommend that, if practical, all site preparation and earthwork for the roadways be accomplished during early summer months, before the soils are allowed to significantly dry. Wetting of the subgrade soils, aggregate road base, and utility trench sidewalls will be required during typically drier summer and fall months.

If the subgrade is disturbed during construction, soft, disturbed and dried soils should be overexcavated to firm soil and replaced with approved structural fill.

The test pit excavations for this investigation were backfilled with relatively loose spoils from the excavations at the time of excavation. During mass grading of the site, test pit excavations encountered during construction should be overexcavated and replaced with structural fill.

As an alternative to overexcavation and removal of the clayey silt soils, the fine-grained on-site soils (the expansive soils) may be treated with an admixture to reduce the post-construction shrink/swell of the subgrade soil (and increase the shear strength). In our opinion, treated soils are suitable for use as subgrade soils within roadways, sidewalks and building pads if properly blended, wetted and compacted. For clayey silt soils, an admixture of anhydrous lime blended with the clayey silt soil at approximately 8% by weight would be adequate (actual percentages must be determined prior to construction based on laboratory testing). During placement of the lime treatment, the moisture content of the clayey silt soil must be controlled to allow hydration of the lime with the soil.

Site Grading. We anticipate that relatively minor grading will be required for development of the site (cuts and fills of less than 5 ft). Cut and fill slopes for mass grading of the development should be graded no steeper than 2H:1V.

Structural Fills. All structural fill should be compacted to at least 95% of the maximum dry density as determined by ASTM D 698. In general, at least four to five passes with a medium-weight, smooth-drum (48-in.-diameter drum) vibratory roller are required to achieve adequate compaction for imported crushed rock fill for roadway, sidewalk and building pads. Placement and compaction of structural fill should be evaluated by a geotechnical engineer on an intermittent basis during construction of the roadway sections.

Structural fills for roadways and sidewalks should consist of imported crushed rock, such a ¾-in.-minus crushed rock (aggregate base).

In our opinion, utility trench excavations within 4 ft of any pavement, sidewalk and building pad areas should be backfilled with granular material, such as sand, sand and gravel, or crushed rock with a maximum size of up to ¾ in., and with not more than 5% passing the No. 200 sieve (washed analysis). All trenches should be backfilled as soon as practical following placement of the utility. Desiccated sidewalls of utility trenches must be removed and replaced with structural fill. The granular backfill should be compacted to at least 95% of the maximum dry density as determined by ASTM D 698. Flooding or jetting the backfilled trenches with water to achieve the recommended compaction should not be permitted. We recommend use of vibratory compaction equipment for the trenches. Each lift of backfill in the trench should be less than 18-in.-thick (loose).

Pavement Sections. The recommended pavement sections for this development are based on the assumption that the subgrade consists of firm, undisturbed fine-grained clayey silt soil and that the soil does not have significant desiccation cracks. Proof rolling with a loaded 10 yd³ dump truck, or equivalent, may be used at the geotechnical engineer's discretion to evaluate pavement subgrade. If soft areas (disturbed due to excessive construction traffic or desiccation of the subgrade soils) are disclosed by the proof rolling and/or visual observation by the geotechnical engineer, they should be overexcavated and replaced with structural fill.

Excavation of the clayey silt soils should be completed using a trackhoe equipped with a smooth-lip bucket to minimize disturbance of the subgrade soils.

We anticipate that the street improvements will be completed using asphaltic concrete (A.C.) pavement. For design purposes, we have assumed a 20-year design life for the pavement sections. We understand that the new roadways are considered Standard Residential streets (traffic index of 7.22).

The subgrade soils along the alignment consist of fine-grained silt soils. The existing fine-grained soils typically have an R-Value (ASTM D 2844) of about 2.

Based on the above design consideration, we recommend the pavement section for the new roadways consist of 3.5 in. of asphaltic concrete over 19 in. of aggregate base. The aggregate section for the roadway may be decreased where undisturbed, moderately hard sandstone is encountered as pavement subgrade and as approved by the geotechnical engineer.

Sidewalks should be underlain by a minimum of 18 in. of crushed aggregate base rock that extends a minimum of 18 in. beyond the edge of the pavement.

We recommend the rock section for the roadways be underlain by a woven geotextile with a weight of at least 5 oz. per square yard.

The crushed rock base (CRB) should also be placed and compacted in a single lift with a large, smooth-drum vibratory roller. The rock should be compacted to at least 95% of the maximum dry density as determined by ASTM D 698.

The above pavement sections are based on the assumption that pavement construction will be accomplished during the dry season. If wet-weather pavement construction is considered, it will likely be necessary to increase the thickness of crushed rock base to support construction equipment and protect the moisture-sensitive subgrade soils from disturbance. It should be noted that the pavement sections may not be adequate for the support of construction traffic.

All workmanship and materials should conform to the applicable standards of the current Oregon Department of Transportation (ODOT) Standard Specifications for Highway Construction.

Geologic Hazards. The site has gentle slopes and is underlain by sandstone at relatively shallow depths. In our opinion, the main geologic hazards associated with development of this property are the expansive surficial clayey silt soils and the potential for perched groundwater conditions.

In our opinion, the risks of slope instability are very low if the geotechnical recommendations provided in our report are followed. Based on the results of our investigation, the location of the site, and the nature of the underlying soil/rock, we anticipate that the potential for earthquake-induced fault displacement, subsidence, liquefaction-induced settlement and/or lateral displacement, or seiches at this site is very low.

In our opinion, based on the State of Oregon's Structural Specialty Code Amendments and the International Building Code, the subsurface conditions at this site may be classified as a Site Class B for seismic design purposes.

Preliminary Foundation Support Recommendations. Based on the results of our investigation and our experience with other residential homes in east Medford, it is our opinion that the lots for this project can be developed with single-family residences. It is also our opinion that foundation support for the new

homes can be provided by spread footing foundations established on crushed rock fill. The existing surficial clayey silt soils are not suitable for support of spread footing foundations or concrete flatwork (including sidewalks, patios and driveways) without significant post-construction differential movements. Each lot should have a lot-specific geotechnical evaluation during construction of the building pad for the lot. The intent of the evaluation is to determine the most appropriate foundation type and design criteria, and for the geotechnical engineer of record for each lot to work closely with the builder for the home on the lot.

Design Review and Construction Services. We welcome the opportunity to review and discuss construction plans and specifications as they are being developed. In addition, AGE GC should be retained to review all geotechnical-related portions of the plans and specifications to evaluate whether they are in conformance with the recommendations provided in our report. Additionally, to observe compliance with the intent of recommendations, design concepts, and the plans and specifications, we are of the opinion that all construction operations dealing with site grading should be observed by an AGE GC representative. Our construction-phase services will allow for timely design changes if site conditions are encountered that are different from those described in this report. If we do not have the opportunity to confirm our interpretations, assumptions, and analyses during construction, we cannot be responsible for the application of our recommendations to subsurface conditions that are different from those described in this report.

LIMITATIONS

This report has been prepared to aid the design team in the completion of this project. The scope is limited to the specific project and location described herein, and our description of the project represents our understanding of the significant aspects of the project relevant to the design and construction of the earthwork, pavements, and sidewalks. In the event that any changes in the design and location of the roadways as outlined in this report are planned, we should be given the opportunity to review the changes and to modify or reaffirm the conclusions and recommendations of this report in writing.

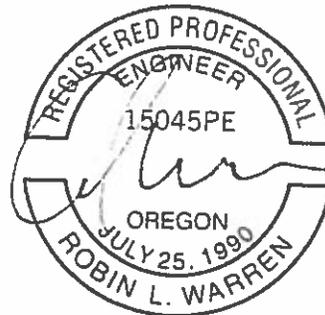
The conclusions and recommendations submitted in this report are based on sources of information discussed in this report. In the performance of subsurface investigations, specific information is obtained at specific locations at specific times. However, it is acknowledged that variations in soil conditions may exist between test pit locations. This report does not reflect any variations that may occur between these explorations. The nature and extent of variation may not become evident until construction. If, during construction, subsurface conditions different from those encountered in the explorations are observed or encountered, we should be advised at once so that we can observe and review these conditions and reconsider our recommendations where necessary.

Sincerely,

Applied Geotechnical Engineering and Geologic Consulting, LLC



Robin L. Warren, P.E., G.E., R.G.
Principal



Renewal: June 2018

RECEIVED

APR 14 2017

AGRICULTURAL IMPACT ASSESSMENT REPORT PLANNING DEPT.

BEFORE THE CITY OF MEDFORD
PLANNING COMMISSION

IN THE MATTER OF AN APPLICATION
FOR THE TENTATIVE PLAT APPROVAL
OF SUMMERFIELD AT SOUTH EAST
PARK, PHASES 16-21.

APPLICANT: Crystal Springs Development Group,
a Joint Venture
815 Alder Creek Drive
Medford, OR 97504

AGENT: Neathamer Surveying, Inc.
P.O. Box 1584
Medford, OR 97501

A. BACKGROUND INFORMATION

The subject property is located at Tax Lots 1000, 1101 and 1202 in Section 27 and Tax Lot 2300 in Section 27A, in Township 37, Range 1 West of the Willamette Meridian, Jackson County, Oregon. According to the City of Medford Zoning Map, the property is currently zoned Single Family Residential – 4 units/acres (SFR-4) in the Southeast Plan Overlay (SE) with Restricted Zoning (RZ). The proposed development consists of 138 single-family residential lots with detached dwelling units.

Adjoining to the east of the subject project are lands that are zoned Exclusive Farm Use (EFU). According to the City of Medford Municipal Code (MLDC), Section 10.801.B states:

B. Applicability

The provisions of this Section apply to the development permit applications listed below in this subsection where land proposed for urban development is not in an urban reserve (see Regional Plan Element) and abuts and has a common lot line with other land which is zoned Exclusive Farm Use (EFU) or Exclusive Agriculture (EA). However, development which requires City approval for more than one of the below development permit applications for the same development shall be required to demonstrate compliance with the provisions of this Section only in the first such application.

- (1) Land Divisions.
- (2) Planned Unit Developments.
- (3) Conditional Use Permits.

(4) Site Plan and Architectural Review or Historic Review where the action being sought will result in the construction of one or more buildings intended for human occupancy as dwellings or for business purposes.

As the property adjoins EFU lands, the provisions contained in MLDC Chapter 10.801 apply to the proposed development.

B. SCOPE, PURPOSE, AND OVERVIEW

The purpose of this AIAR is to demonstrate compliance with the provisions of the MLDC Chapter 10.801, in order to mitigate any potential conflicts with adjoining EFU lands and to obtain approval for the associated Tentative Plat.

C. APPROVAL CRITERIA

CITY OF MEDFORD LAND DEVELOPMENT CODE

SECTION 10.810.C – INFORMATION REQUIRED: AGRICULTURAL IMPACT ASSESSMENT REPORT.

Section 10.810.C of the MLDC states that:

As part of any land use or development application listed in Subsection 10.801.B where the agricultural buffering provisions in Subsections 10.801.A through E apply, an applicant for such application shall supply the Planning Department with the following information in a report entitled "Agricultural Impact Assessment Report":

- 1. An excerpt of a City of Medford and/or Jackson County zoning map showing the zoning of land adjacent and within two hundred (200) feet of the property proposed for urban development.*
- 2. A description of the type and nature of agricultural uses and farming practices, if any, which presently occur on adjacent lands zoned EFU or EA and sources of such information. The information thus required, if applicable, shall include:*
 - (a) Method of irrigation.*
 - (b) Type of agricultural product produced.*
 - (c) Method of frost protection.*
 - (d) Type of agricultural equipment customarily used on the property.*
- 3. Detailed information obtained from the Natural Resources Conservation Service (NRCS) concerning soils which occur on adjacent lands zoned EFU or EA, and whether the land has access to water for irrigation.*
- 4. Wind pattern information.*
- 5. A description of the measures proposed to comply with the requirements of Subsections 10.801.A through E.*

6. *The persons who prepared said report and all persons, agencies, and organizations contacted during preparation of the report.*
7. *All statements shall be documented, sources given as reference, and any other detailed information needed to substantiate conclusions should be provided in the appendices.*

D. DISCUSSIONS

CRITERION NO. 1

1. *An excerpt of a City of Medford and/or Jackson County zoning map showing the zoning of land adjacent and within two hundred (200) feet of the property proposed for urban development.*

RESPONSE

North: The subject property abuts Cherry Lane to the north. The properties northerly of Cherry Lane have a zoning designation of SFR-00/SE. Additionally, there are properties that are located within the Urban Growth Boundary (UGB), but are currently outside of City Limits (CL).

East: Properties to the east consist of lands within the UGB and CL, with a zoning designation of SFR-00/SE. Additionally, there are lands located outside the UGB and CL, with a zoning designation of EFU.

South: Southerly of the subject property are undeveloped lands with a zoning designation of SFR-10/RZ/SE.

West: To the west of the subject property are residential lots already developed within Phases 14 and 15 of Summerfield at South East Park. The properties have a zoning designation of SFR-4/RZ/SE (same as the subject property).

An excerpt of said zoning map has been included for reference.

CRITERION NO. 2

2. *A description of the type and nature of agricultural uses and farming practices, if any, which presently occur on adjacent lands zoned EFU or EA and sources of such information. The information thus required, if applicable, shall include:*
 - (a) *Method of irrigation.*
 - (b) *Type of agricultural product produced.*
 - (c) *Method of frost protection.*
 - (d) *Type of agricultural equipment customarily used on the property.*

RESPONSE

The EFU lands to the east of the subject project (Jackson County Assessor's Map Number 37 1W 26, Tax Lots 103 and 105) are vacant lands which are not being used for farming or agricultural purposes. Furthermore, the EFU lands are owned by the applicant, who do not have any plans to use the lands for farming or agricultural purposes for the foreseeable future.

According to the City of Medford Municipal Code, Section 10.801.D(1) states:

D. Mitigation and Impact Management.

(1) Agricultural Classification (Intensive or Passive). For the purposes of this Section, agricultural land is hereby classified as either intensive or passive. Intensive agriculture is defined as farming which is under intensive day-to-day management, and includes fruit orchards and the intensive raising and harvesting of crops or, notwithstanding its current use, has soils of which a majority are class I through IV as determined by the NRCS, has irrigation water available and is outside of the Urban Growth Boundary. Passive agriculture is defined as farming that is not under intensive day-to-day management, and includes land used as pasture for the raising of livestock. The approving authority shall determine whether adjacent agricultural uses are intensive or passive based upon the specific circumstances of each case and the nature of agriculture which exists on the adjacent land zoned EFU or EA at the time the urban development application is filed and accepted by the City.

The property is not being actively farmed and is not under any intensive day-to-day management or operation (including irrigation). Furthermore, there is no customarily used agricultural equipment on the site, nor a method being actively performed for frost protection. As such, and per the above-described definition, the agricultural classification of the subject property is defined as passive.

CRITERION NO. 3

3. *Detailed information obtained from the Natural Resources Conservation Service (NRCS) concerning soils which occur on adjacent lands zoned EFU or EA, and whether the land has access to water for irrigation.*

RESPONSE

The NRCS soil report for the adjacent EFU property indicates there are the following six soil types located on the subject property:

- (17C) Brader-Debenger loams 1 to 5 percent slopes is 12 to 40 inches deep to bedrock. It is a well-drained loam soil occurring on knolls and ridges. Permeability is moderately high with an available water capacity of

about 4.8 inches. The water table is present at depths more than 80 inches.

- (27B) Carney Clay 1 to 5 percent slopes is 20 to 40 inches deep to bedrock. It is a moderately well drained clay soil occurring on alluvial fans. Permeability is very low with an available water capacity of about 4.9 inches. The water table is present at depths of 36 to 42 inches.
- (27D) Carney Clay 5 to 20 percent slopes is 20 to 40 inches deep to bedrock. It is a moderately well drained clay soil occurring on alluvial fans. Permeability is very low with an available water capacity of about 4.9 inches. The water table is present at depths of 36 to 42 inches.
- (33A) Coker Clay 0 to 3 percent slopes is more than 80 inches deep to bedrock. It is a somewhat poorly drained clay soil occurring on alluvial fans. Permeability is moderate with an available water capacity of about 9.0 inches. The water table is present at depths of 6 to 18 inches.
- (33C) Coker Clay 3 to 12 percent slopes is more than 80 inches deep to bedrock. It is a somewhat poorly drained clay soil occurring on alluvial fans. Permeability is moderate with an available water capacity of about 9.0 inches. The water table is present at depths of 6 to 18 inches.
- (43B) Darow 1 to 5 percent slopes is more than 20 to 40 inches deep to bedrock. It is a moderately well drained silty clay loam occurring on hillslopes. Permeability is moderately low to moderately high with an available water capacity of about 5.6 inches. The water table is present at depths of 36 to 42 inches.

There is no evidence that the property has access to irrigation.

For reference, a copy of the NRCS soils report is included.

CRITERION NO. 4

4. *Wind pattern information.*

RESPONSE

According to the Western Regional Climate Center, the prevailing wind direction for the Medford area is predominately West-Northwest during May through September and North for the remainder of the year. Please find the attached climate data summary that was used for reference.

CRITERION NO. 5

5. *A description of the measures proposed to comply with the requirements of Subsections 10.801.A through E.*

RESPONSE

Mitigation for passive agriculture is outlined in MDLC Section 10.801.D(3), which states:

(3) Mitigation - Passive Agriculture. To minimize or mitigate the adverse potential impacts associated with the proximity of urban and agricultural land uses, the following measures shall be undertaken by the developer when urban development is proposed adjacent to land in passive agricultural use:

- (a) Fencing. A wood fence, chain link fence, or masonry wall, not less than six (6) feet in height shall be installed at the property boundary where the development property adjoins and has a common property line with land zoned EFU or EA. In no case shall a fence or wall be required within a front yard area. The fence or wall used to buffer agricultural land shall comply with the regulations regarding fencing, Sections 10.731 through 10.735. Information shall be provided regarding the long-term maintenance responsibility for the fence or wall.*
- (b) Deed Declaration. The deed declaration required in subsection 10.801.D(2)(c) shall be required.*
- (c) Irrigation Runoff. Measures appropriate to the circumstances present shall be undertaken by the urban developer to mitigate adverse impacts which occur from periodic naturally occurring runoff and inadvertent agricultural irrigation runoff.*

Pursuant to Section 10.801.D(2)(a), a 6-foot solid fence along the easterly boundary is proposed to mitigate any potential conflicts with the EFU lands and the proposed development.

The deed declaration required in Section 10.801.D(2)(b) will be included which will require the owner and all successors in interest to recognize and accept common, customary and accepted farming practices.

The proposed storm water management facilities are typical for residential purposes and will adhere to the standards set forth by the MLDC. Due to the passive nature of the EFU lands, said facilities will suffice in the mitigation of adverse impacts which occur from periodic naturally occurring runoff and inadvertent agricultural irrigation runoff.

CRITERION NO. 6

6. *The persons who prepared said report and all persons, agencies, and organizations contacted during preparation of the report.*

RESPONSE

This Agricultural Impact Assessment Report was prepared by Neathamer Surveying, Inc. The individuals involved in the preparation of the AIAR include Robert V. Neathamer, PLS, and Nathan Ruf, CFM.

The report was prepared with information reference from the following agencies/entities:

- City of Medford
- Natural Resources Conservation Services (NRCS)
- Western Regional Climate Center

CRITERION NO. 7

7. *All statements shall be documented, sources given as reference, and any other detailed information needed to substantiate conclusions should be provided in the appendices.*

RESPONSE

All sources that were utilized during the preparation of this report and referenced herein are listed on the attached References page. Furthermore, copies of the referenced information are also attached.

The following attachments have been included:

- Excerpt of the City of Medford Zoning Map
- Custom Soil Resource Report for Jackson County Area (NRCS)
- Climate Data Summaries (Western Regional Climate Center)

E. CONCLUSION

Pursuant to the information provided herein, the application for Summerfield at South East Park, Phases 16-21 is consistent with the relevant criteria for the Agricultural Buffering in Non-Urban Reserve Areas per Section 10.801 of Medford's Land Development Code, and can therefore be approved.

Respectively Submitted,

Neathamer Surveying, Inc.

Robert V. Neathamer, PLS
Robert V. Neathamer, President

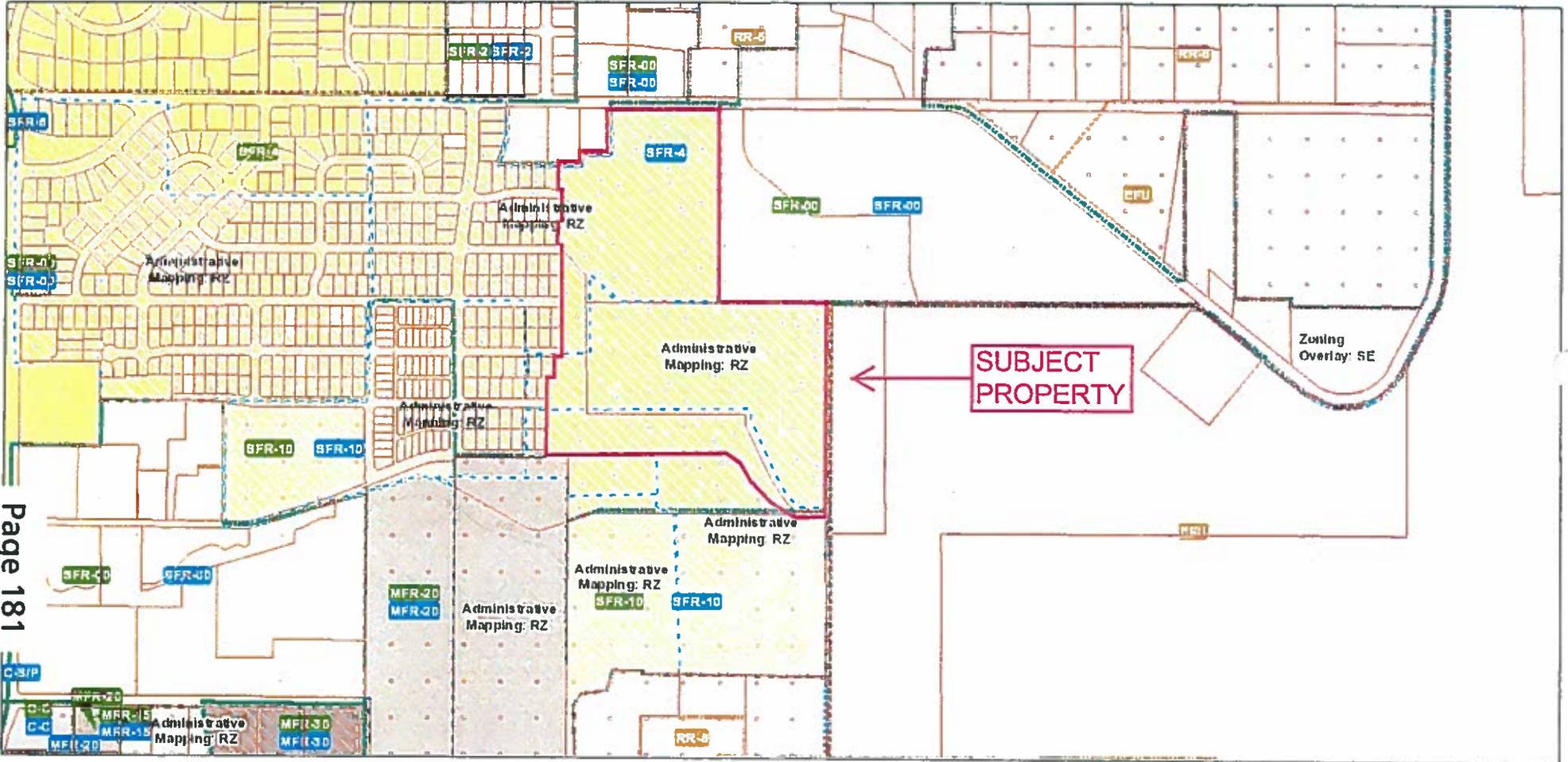
Agent for Applicant:
Crystal Springs Development Group, a Joint Venture

Dated: April 13, 2017

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- "Average Wind Direction | Western Regional Climate Center." *Average Wind Direction*. Western Regional Climate Center, n.d. Web. 07 April 2017. <<http://www.wrcc.dri.edu/climatedata/climtables/westwinddir/>>.
- "City of Medford Zoning Map." *ArcGIS Web Application*. City of Medford, Jackson County, n.d. Web. 07 April 2017. <<https://gisapps.medfordmaps.org/mli/>>.
- "Custom Soil Resource Report for Jackson County Area, Oregon, Parts of Jackson and Klamath Counties." *Web Soil Survey*. USDA Natural Resources Conservation Services, n.d. Web. 10 April 2017. <<http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx>>.

City of Medford Map



Page 181

April 7, 2017

<ul style="list-style-type: none"> Taxlots Zoning Administrative Mapping Airport Fence Restricted Zoning Downtown Parking District Limited Service Planned Development 	<p>Zoning Overlays</p> <ul style="list-style-type: none"> Airport Approach Area of Concern/Airport Notify Zone Runway Protection Zone Exclusive Agricultural Airport Radar Historic Central Business 	<ul style="list-style-type: none"> Freeway Limited Industrial Southeast Zoning Districts - Outlines Zoning Districts - Shaded Multiple-Family Residential - 30 Units Multiple-Family Residential - 20 Units Multiple-Family Residential - 15 Units 	<ul style="list-style-type: none"> Single-Family Residential - 18 Units Single-Family Residential - 8 Units Single-Family Residential - 4 Units Single-Family Residential - 2 Units Single-Family Residential - 1 Unit Heavy Commercial Regional Commercial Community Commercial 	<ul style="list-style-type: none"> Neighborhood Commercial Service Commercial and Professional Office Heavy Industrial District General Industrial Light Industrial District Zoning Districts - County Urban Growth Boundary 	<p>1:9,028</p> <p>0 0.075 0.15 0.3 mi</p> <p>0 0.075 0.15 0.3 km</p> <p>Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), SwasLogo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community</p>
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City of Jackson, OR, MRLC, Bureau of Land Management, State of Oregon, State of Oregon DOT, State of Oregon GEO, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA, U.S. Forest Service | City of Medford | Google and Jackson County | City of Medford, Jackson County

CITY OF MEDFORD
 EXHIBIT # L 10/2017
 File # LDS-17-051/E-17-05

Medford Land Information system



United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for Jackson County Area, Oregon, Parts of Jackson and Klamath Counties



CITY OF MEDFORD

EXHIBIT # L 11/36

File # LDS-17-051/E-17-052

Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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Contents

Preface.....	2
How Soil Surveys Are Made.....	5
Soil Map.....	8
Soil Map.....	9
Legend.....	10
Map Unit Legend.....	12
Map Unit Descriptions.....	12
Jackson County Area, Oregon, Parts of Jackson and Klamath Counties.....	14
17C—Brader-Debenger loams, 1 to 15 percent slopes.....	14
27B—Carney clay, 1 to 5 percent slopes.....	15
27D—Carney clay, 5 to 20 percent slopes.....	17
33A—Coker clay, 0 to 3 percent slopes.....	18
33C—Coker clay, 3 to 12 percent slopes.....	20
43B—Darow silty clay loam, 1 to 5 percent slopes.....	21
References.....	24

How Soil Surveys Are Made

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units).

Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

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scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

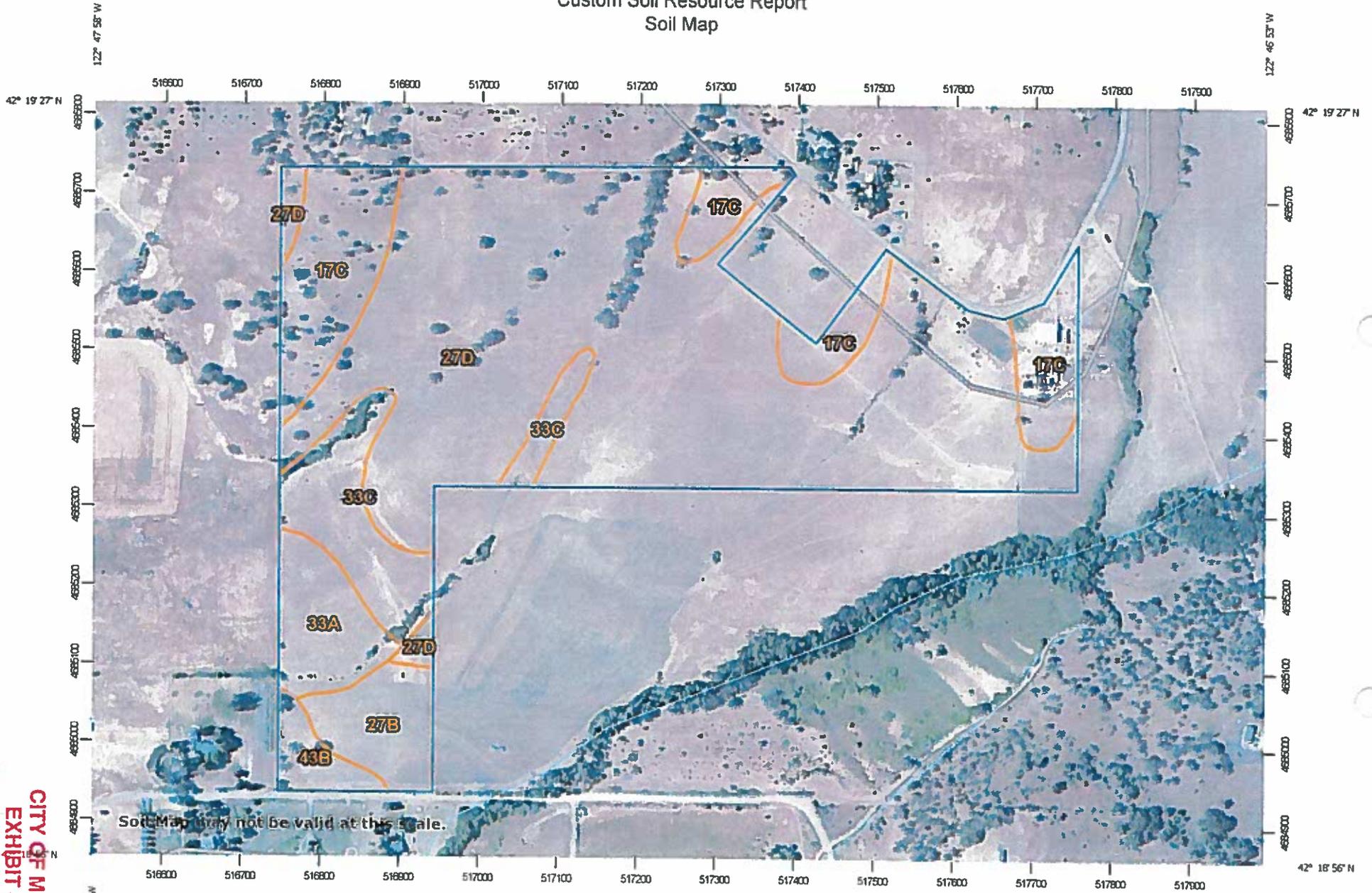
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identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

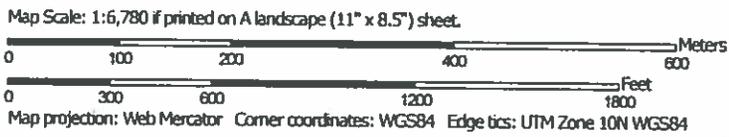
Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

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Soil Map



Soil Map may not be valid at this scale.



MAP LEGEND

- Area of Interest (AOI)**
 -  Area of Interest (AOI)
- Soils**
 -  Soil Map Unit Polygons
 -  Soil Map Unit Lines
 -  Soil Map Unit Points
- Special Point Features**
 -  Blowout
 -  Borrow Pit
 -  Clay Spot
 -  Closed Depression
 -  Gravel Pit
 -  Gravelly Spot
 -  Landfill
 -  Lava Flow
 -  Marsh or swamp
 -  Mine or Quarry
 -  Miscellaneous Water
 -  Perennial Water
 -  Rock Outcrop
 -  Saline Spot
 -  Sandy Spot
 -  Severely Eroded Spot
 -  Sinkhole
 -  Slide or Slip
 -  Sodic Spot
- Water Features**
 -  Streams and Canals
- Transportation**
 -  Rails
 -  Interstate Highways
 -  US Routes
 -  Major Roads
 -  Local Roads
- Background**
 -  Aerial Photography
- Other**
 -  Spoil Area
 -  Stony Spot
 -  Very Stony Spot
 -  Wet Spot
 -  Other
 -  Special Line Features

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Jackson County Area, Oregon, Parts of Jackson and Klamath Counties
 Survey Area Data: Version 14, Mar 23, 2017

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 28, 2010—Jul 17, 2010

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background

MAP LEGEND

MAP INFORMATION

imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Jackson County Area, Oregon, Parts of Jackson and Klamath Counties (OR632)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
17C	Brader-Debenger loams, 1 to 15 percent slopes	16.1	15.4%
27B	Carney clay, 1 to 5 percent slopes	4.7	4.5%
27D	Carney clay, 5 to 20 percent slopes	67.8	64.9%
33A	Coker clay, 0 to 3 percent slopes	5.3	5.0%
33C	Coker clay, 3 to 12 percent slopes	8.4	8.1%
43B	Darow silty clay loam, 1 to 5 percent slopes	2.2	2.1%
Totals for Area of Interest		104.5	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not

mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Jackson County Area, Oregon, Parts of Jackson and Klamath Counties

17C—Brader-Debenger loams, 1 to 15 percent slopes

Map Unit Setting

National map unit symbol: hrqc
Elevation: 1,000 to 4,000 feet
Mean annual precipitation: 18 to 35 inches
Mean annual air temperature: 46 to 54 degrees F
Frost-free period: 120 to 180 days
Farmland classification: Not prime farmland

Map Unit Composition

Brader and similar soils: 60 percent
Debenger and similar soils: 20 percent
Minor components: 3 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Brader

Setting

Landform: Knolls, ridges
Landform position (two-dimensional): Summit, shoulder
Landform position (three-dimensional): Crest, interflue, nose slope
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Colluvium derived from sandstone

Typical profile

H1 - 0 to 6 inches: loam
H2 - 6 to 13 inches: loam
H3 - 13 to 23 inches: weathered bedrock

Properties and qualities

Slope: 1 to 15 percent
Depth to restrictive feature: 12 to 20 inches to paralithic bedrock
Natural drainage class: Well drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 1.98 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Available water storage in profile: Very low (about 2.1 inches)

Interpretive groups

Land capability classification (irrigated): 6e
Land capability classification (nonirrigated): 6e
Hydrologic Soil Group: D
Ecological site: LOAMY HILLS 20-35 PZ (R005XY026OR)
Other vegetative classification: Well Drained < 15% Slopes (G005XY004OR)
Hydric soil rating: No

Description of Debenger

Setting

Landform: Knolls, ridges

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Landform position (two-dimensional): Summit, shoulder
Landform position (three-dimensional): Crest, interfluve, nose slope
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Colluvium derived from sandstone

Typical profile

H1 - 0 to 9 inches: loam
H2 - 9 to 27 inches: clay loam
H3 - 27 to 37 inches: weathered bedrock

Properties and qualities

Slope: 1 to 15 percent
Depth to restrictive feature: 20 to 40 inches to paralithic bedrock
Natural drainage class: Well drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 1.98 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Available water storage in profile: Low (about 4.7 inches)

Interpretive groups

Land capability classification (irrigated): 4e
Land capability classification (nonirrigated): 4e
Hydrologic Soil Group: C
Ecological site: LOAMY SLOPES 18-24 PZ (R005XY034OR)
Other vegetative classification: Well Drained < 15% Slopes (G005XY004OR)
Hydric soil rating: No

Minor Components

Padigan

Percent of map unit: 2 percent
Landform: Alluvial fans
Ecological site: POORLY DRAINED BOTTOM (R005XA016OR)
Hydric soil rating: Yes

Aquepts

Percent of map unit: 1 percent
Landform: Hills
Hydric soil rating: Yes

27B—Carney clay, 1 to 5 percent slopes

Map Unit Setting

National map unit symbol: hrry
Elevation: 1,200 to 4,000 feet
Mean annual precipitation: 18 to 30 inches
Mean annual air temperature: 46 to 54 degrees F

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Frost-free period: 120 to 180 days

Farmland classification: Farmland of statewide importance

Map Unit Composition

Carney and similar soils: 80 percent

Minor components: 7 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Carney

Setting

Landform: Alluvial fans

Landform position (three-dimensional): Tread

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Alluvium and colluvium derived from tuff breccia

Typical profile

H1 - 0 to 6 inches: clay

H2 - 6 to 35 inches: clay

H3 - 35 to 45 inches: weathered bedrock

Properties and qualities

Slope: 1 to 5 percent

Depth to restrictive feature: 20 to 40 inches to paralithic bedrock

Natural drainage class: Moderately well drained

Capacity of the most limiting layer to transmit water (Ksat): Very low to moderately low (0.00 to 0.06 in/hr)

Depth to water table: About 36 to 42 inches

Frequency of flooding: None

Frequency of ponding: None

Available water storage in profile: Low (about 4.9 inches)

Interpretive groups

Land capability classification (irrigated): 3s

Land capability classification (nonirrigated): 4e

Hydrologic Soil Group: D

Ecological site: DROUGHTY FAN 18-26 PZ (R005XY024OR)

Other vegetative classification: Moderately Well Drained < 15% Slopes (G005XY006OR)

Hydric soil rating: No

Minor Components

Phoenix

Percent of map unit: 2 percent

Landform: Alluvial fans

Ecological site: POORLY DRAINED BOTTOM (R005XA016OR)

Hydric soil rating: Yes

Padigan

Percent of map unit: 2 percent

Landform: Alluvial fans

Ecological site: POORLY DRAINED BOTTOM (R005XA016OR)

Hydric soil rating: Yes

Cove

Percent of map unit: 2 percent

Custom Soil Resource Report

Landform: Flood plains
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: POORLY DRAINED BOTTOM (R005XY016OR)
Other vegetative classification: Poorly Drained (G005XY009OR)
Hydric soil rating: Yes

Aquerts

Percent of map unit: 1 percent
Landform: Alluvial fans
Hydric soil rating: Yes

27D—Carney clay, 5 to 20 percent slopes

Map Unit Setting

National map unit symbol: hrrz
Elevation: 1,200 to 4,000 feet
Mean annual precipitation: 18 to 30 inches
Mean annual air temperature: 46 to 54 degrees F
Frost-free period: 120 to 180 days
Farmland classification: Farmland of statewide importance

Map Unit Composition

Carney and similar soils: 80 percent
Minor components: 6 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Carney

Setting

Landform: Alluvial fans, hillslopes
Landform position (two-dimensional): Shoulder, backslope
Landform position (three-dimensional): Side slope, nose slope, riser
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Alluvium and colluvium derived from tuff breccia

Typical profile

H1 - 0 to 6 inches: clay
H2 - 6 to 35 inches: clay
H3 - 35 to 45 inches: weathered bedrock

Properties and qualities

Slope: 5 to 20 percent
Depth to restrictive feature: 20 to 40 inches to paralithic bedrock
Natural drainage class: Moderately well drained
Capacity of the most limiting layer to transmit water (Ksat): Very low to moderately low (0.00 to 0.06 in/hr)
Depth to water table: About 36 to 42 inches
Frequency of flooding: None

Custom Soil Resource Report

Frequency of ponding: None
Available water storage in profile: Low (about 4.9 inches)

Interpretive groups

Land capability classification (irrigated): 4e
Land capability classification (nonirrigated): 4e
Hydrologic Soil Group: D
Ecological site: DROUGHTY FAN 18-26 PZ (R005XY024OR)
Other vegetative classification: Moderately Well Drained < 15% Slopes (G005XY006OR)
Hydric soil rating: No

Minor Components

Phoenix

Percent of map unit: 2 percent
Landform: Alluvial fans
Ecological site: POORLY DRAINED BOTTOM (R005XA016OR)
Hydric soil rating: Yes

Padigan

Percent of map unit: 2 percent
Landform: Alluvial fans
Ecological site: POORLY DRAINED BOTTOM (R005XA016OR)
Hydric soil rating: Yes

Cove

Percent of map unit: 2 percent
Landform: Flood plains
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: POORLY DRAINED BOTTOM (R005XY016OR)
Other vegetative classification: Poorly Drained (G005XY009OR)
Hydric soil rating: Yes

33A—Coker clay, 0 to 3 percent slopes

Map Unit Setting

National map unit symbol: hrs8
Elevation: 1,000 to 4,000 feet
Mean annual precipitation: 18 to 30 inches
Mean annual air temperature: 46 to 54 degrees F
Frost-free period: 120 to 180 days
Farmland classification: Farmland of statewide importance

Map Unit Composition

Coker and similar soils: 80 percent
Minor components: 8 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Coker

Setting

Landform: Alluvial fans
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Clayey alluvium derived from tuff breccia

Typical profile

H1 - 0 to 33 inches: clay
H2 - 33 to 70 inches: clay

Properties and qualities

Slope: 0 to 3 percent
Depth to restrictive feature: More than 80 inches
Natural drainage class: Somewhat poorly drained
Capacity of the most limiting layer to transmit water (Ksat): Very low to moderately low (0.00 to 0.06 in/hr)
Depth to water table: About 6 to 18 inches
Frequency of flooding: None
Frequency of ponding: None
Salinity, maximum in profile: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
Available water storage in profile: Moderate (about 9.0 inches)

Interpretive groups

Land capability classification (irrigated): 4w
Land capability classification (nonirrigated): 4w
Hydrologic Soil Group: D
Ecological site: SEMI-WET MEADOW (R005XY012OR)
Other vegetative classification: Somewhat Poorly Drained < 15% Slopes (G005XY008OR)
Hydric soil rating: No

Minor Components

Padigan

Percent of map unit: 2 percent
Landform: Alluvial fans
Ecological site: POORLY DRAINED BOTTOM (R005XA016OR)
Hydric soil rating: Yes

Phoenix

Percent of map unit: 2 percent
Landform: Alluvial fans
Ecological site: POORLY DRAINED BOTTOM (R005XA016OR)
Hydric soil rating: Yes

Cove

Percent of map unit: 2 percent
Landform: Flood plains
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: POORLY DRAINED BOTTOM (R005XY016OR)
Other vegetative classification: Poorly Drained (G005XY009OR)

Hydric soil rating: Yes

Gregory

Percent of map unit: 2 percent

Landform: Stream terraces

Landform position (three-dimensional): Tread

Down-slope shape: Linear

Across-slope shape: Linear

Ecological site: POORLY DRAINED BOTTOM (R005XY016OR)

Other vegetative classification: Poorly Drained (G005XY009OR)

Hydric soil rating: Yes

33C—Coker clay, 3 to 12 percent slopes

Map Unit Setting

National map unit symbol: hrs9

Elevation: 1,000 to 4,000 feet

Mean annual precipitation: 18 to 30 inches

Mean annual air temperature: 46 to 54 degrees F

Frost-free period: 120 to 180 days

Farmland classification: Farmland of statewide importance

Map Unit Composition

Coker and similar soils: 80 percent

Minor components: 8 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Coker

Setting

Landform: Alluvial fans

Landform position (three-dimensional): Riser

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Clayey alluvium derived from tuff breccia

Typical profile

H1 - 0 to 33 inches: clay

H2 - 33 to 70 inches: clay

Properties and qualities

Slope: 3 to 12 percent

Depth to restrictive feature: More than 80 inches

Natural drainage class: Somewhat poorly drained

Capacity of the most limiting layer to transmit water (Ksat): Very low to moderately low (0.00 to 0.06 in/hr)

Depth to water table: About 6 to 18 inches

Frequency of flooding: None

Frequency of ponding: None

Salinity, maximum in profile: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

Available water storage in profile: Moderate (about 9.0 inches)

Interpretive groups

Land capability classification (irrigated): 4e
Land capability classification (nonirrigated): 4e
Hydrologic Soil Group: D
Ecological site: SEMI-WET MEADOW (R005XY012OR)
Other vegetative classification: Somewhat Poorly Drained < 15% Slopes (G005XY008OR)
Hydric soil rating: No

Minor Components

Padigan

Percent of map unit: 2 percent
Landform: Alluvial fans
Ecological site: POORLY DRAINED BOTTOM (R005XA016OR)
Hydric soil rating: Yes

Phoenix

Percent of map unit: 2 percent
Landform: Alluvial fans
Ecological site: POORLY DRAINED BOTTOM (R005XA016OR)
Hydric soil rating: Yes

Cove

Percent of map unit: 2 percent
Landform: Flood plains
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: POORLY DRAINED BOTTOM (R005XY016OR)
Other vegetative classification: Poorly Drained (G005XY009OR)
Hydric soil rating: Yes

Gregory

Percent of map unit: 2 percent
Landform: Stream terraces
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: POORLY DRAINED BOTTOM (R005XY016OR)
Other vegetative classification: Poorly Drained (G005XY009OR)
Hydric soil rating: Yes

43B—Darow silty clay loam, 1 to 5 percent slopes

Map Unit Setting

National map unit symbol: hrsn
Elevation: 1,000 to 4,000 feet
Mean annual precipitation: 18 to 30 inches

Custom Soil Resource Report

Mean annual air temperature: 46 to 54 degrees F

Frost-free period: 120 to 180 days

Farmland classification: All areas are prime farmland

Map Unit Composition

Darow and similar soils: 80 percent

Minor components: 7 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Darow

Setting

Landform: Hillslopes

Landform position (two-dimensional): Shoulder, summit

Landform position (three-dimensional): Interfluve, crest, nose slope

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Colluvium derived from sedimentary rock

Typical profile

H1 - 0 to 12 inches: silty clay loam

H2 - 12 to 32 inches: silty clay

H3 - 32 to 42 inches: weathered bedrock

Properties and qualities

Slope: 1 to 5 percent

Depth to restrictive feature: 20 to 40 inches to paralithic bedrock

Natural drainage class: Moderately well drained

Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.06 to 0.20 in/hr)

Depth to water table: About 36 to 42 inches

Frequency of flooding: None

Frequency of ponding: None

Available water storage in profile: Low (about 5.6 inches)

Interpretive groups

Land capability classification (irrigated): 3s

Land capability classification (nonirrigated): 4e

Hydrologic Soil Group: D

Ecological site: DROUGHTY NORTH 18-35 PZ (R005XY032OR)

Other vegetative classification: Moderately Well Drained < 15% Slopes (G005XY006OR)

Hydric soil rating: No

Minor Components

Padigan

Percent of map unit: 2 percent

Landform: Terraces

Ecological site: POORLY DRAINED BOTTOM (R005XA016OR)

Hydric soil rating: Yes

Cove

Percent of map unit: 2 percent

Landform: Flood plains

Landform position (three-dimensional): Tread

Down-slope shape: Linear

Custom Soil Resource Report

Across-slope shape: Linear
Ecological site: POORLY DRAINED BOTTOM (R005XY016OR)
Other vegetative classification: Poorly Drained (G005XY009OR)
Hydric soil rating: Yes

Gregory

Percent of map unit: 2 percent
Landform: Stream terraces
Landform position (three-dimensional): Tread
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: POORLY DRAINED BOTTOM (R005XY016OR)
Other vegetative classification: Poorly Drained (G005XY009OR)
Hydric soil rating: Yes

Aquolls

Percent of map unit: 1 percent
Landform: Alluvial fans
Hydric soil rating: Yes

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OREGON

PREVAILING WIND DIRECTION

STATION	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	ANN
ASTORIA AIRPORT, OR (KAST).	E	E	E	S	W	W	NW	NW	NW	E	E	E	E
AURORA AIRPORT, OR (KUAO).	S	S	S	S	S	S	N	N	N	S	S	S	S
BAKER CITY AP, OR (KBKE). W	ESE	ESE	ESE	N	N	NNW	NNW	NNW	NNW	N	ESE	ESE	NNW
BURNS MUNI AP, OR (KBNO). W	E	E	WNW	NW	NW	WNW	WNW	WNW	WNW	WNW	E	E	WNW
CORVALLIS AP, OR (KCVO). WI	S	S	S	S	WNW	NW	NW	NW	WNW	S	S	S	S
EUGENE AIRPORT, OR (KEUG).	S	S	S	S	N	N	N	N	N	S	S	S	N
HERMISTON MUNI AP, OR (KHRI)	WSW	S	WSW	WSW	WSW	WSW	WSW	WSW	SW	WSW	S	WSW	WSW
KLAMATH FALLS AP, OR (KLMT).	SSE	SSE	W	W	W	W	W	W	NNW	W	SSE	SSE	W
LA GRANDE AP, OR (KLGD). WI	S	S	S	NW	NW	NW	NW	NW	NW	S	S	S	S
LAKEVIEW AIRPORT, OR (KLVV).	S	S	S	N	N	N	N	N	N	N	S	S	N
MCMINNVILLE MUNI AP, OR (KMM)	N	N	S	SW	SW	SW	SW	SW	N	N	N	N	N
MEACHAM AIRPORT, OR (KMEH).	SSE	S	W	W	W	W	W	N	W	W	S	S	W
MEDFORD AIRPORT, OR (KMFR).	N	N	N	N	WNW	WNW	WNW	WNW	WNW	N	N	N	N
NEWPORT MUNI AP, OR (KONP).	E	E	S	S	NNW	NNW	NNW	NNW	N	S	S	E	S
NORTH BEND MUNI AP, OR (KOTH)	SSE	SSE	SSE	SSE	N	N	N	N	N	N	SSE	SSE	N
ONTARIO MUNI AP, OR (KONO).	W	W	W	W	W	NW	W	W	W	W	W	W	W
PENDLETON AP, OR (KPDT). WI	S	S	W	W	W	W	W	W	SE	SE	S	S	W
PORTLAND INT'L AP, OR (KPDY)	ESE	ESE	ESE	S	NNW	NNW	NNW	NNW	NW	NW	ESE	ESE	ESE
PORTLAND-HILLSBORO AP, OR (K	S	S	S	S	NW	NW	NW	NW	NW	S	S	S	S
PORTLAND-TROUTDALE AP, OR (K	E	E	E	E	W	W	W	W	W	E	E	E	E
REDMOND AIRPORT, OR (KRDM).	S	S	S	WNW	NW	NW	NNW	NNW	S	S	S	S	S
ROME, OR (KRED). WIND ROSE.	S	S	SSE	S	N	WSW	N	S	SSE	SSE	S	S	S
ROSEBURG AIRPORT, OR (KRBG).	S	S	N	N	N	N	N	N	N	N	S	SSE	N
SALEM AIRPORT, OR (KSLE). W	S	S	S	S	S	N	N	N	N	S	S	S	S
SEXTON SUMMIT, OR (KSXT). W	S	S	S	S	NNW	NNW	NNW	NNW	NNW	S	S	S	S
THE DALLES AP, OR (KDLS). W	E	NW	NW	WNW	NW	NW	NW	NW	NW	WNW	E	E	NW

CITY OF MEDFORD
 EXHIBIT # L 36/34
 File # LDS-17-051/E-17-052



Continuous Improvement Customer Service

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Planning Dept.

CITY OF MEDFORD

Revised Date: 6/9/2017

File Numbers: LDS-17-051_E-17-052

Reference: LDS-06-278, ZC-17-277, E-17-274, LDS-12-004, E-12-005, LDS-15-055

PUBLIC WORKS DEPARTMENT STAFF REPORT
Summerfield at Southeast Park
Phases 16-21

Project: Consideration of a request for tentative plat approval for Summerfield at Southeast Park Phases 16 through 21, a 138- lot residential subdivision on approximately 96 acres.

Location: located south of Cherry Lane and east of Lone Oak Drive within an SFR-4/SE (single Family Residential-4 units per acre/Southeast Overlay) zoning district. The request includes an Exception to the standards for the permitted length of a residential lane.

Applicant: Applicant: Crystal Springs Development Group; Agent: Neathamer Surveying Inc.; Planner: Liz Conner.

Applicability: The Medford Public Works Department's conditions of Approval for Summerfield PUD were adopted by Order of the Medford Planning Commission (PUD-05-247 and also LDS-05-246) on January 26th, 2006. In addition, Summerfield at Southeast Park, Phase 14 through 21 was adopted by Order of the Medford Planning Commission (LDS-06-278) and has since expired on December 14th, 2011. Furthermore, the Planning Commission approved Phases 14 through 21 again on April 26th, 2012 with LDS-12-004/E-12-005 and has also since expired on April 26th, 2017. The adopted conditions of these actions which have not expired shall remain in full force as originally adopted except as amended or added to below.

NOTE: Phases 14 and 15 have been developed and the associated final plats have been approved. Construction plans for Phases 17 & 22A have been approved and public improvements have commenced with Summerfield Subdivision Phase 17 & 22A Public Improvement Plans (P1846D). Public Improvement Plans for Phases 16 & 22B (P1882D) have recently been approved by the City of Medford as of April 27th, 2017. At this time the improvements have yet to be completed for P1846D or P1882D, therefore criteria for improvements have been included with this report.

The following items shall be completed and accepted prior to the respective events under which they are listed:

- Approval of Final Plat:
Right-of-way, construction and/or assurance of the public improvements in accordance with Medford Land Development Code (MLDC), Section 10.666 & 10.667 (Items A, B & C)
- Issuance of first building permit for residential construction:
Construction of public improvements (Items A through E)
- Issuance of Certificates of Occupancy for individual units:
Sidewalks (Items A2)

A. STREETS

1. Dedications

Cherry Lane is classified as a Major Collector street within the Medford Land Development Code (MLDC) 10.428. The Developer shall dedicate for public right-of-way, sufficient width of land along the frontage to comply with the half width of right-of-way, which is 37-feet. **The Developer's surveyor shall verify the amount of additional right-of-way required.**

The developer will receive SSDC (Street System Development Charge) credits for the public right-of-way dedication on **Cherry Lane**, per the methodology established by the MLDC 3.815. **Should the developer elect to have the value of the land be determined by an appraisal, a letter to that effect must be submitted to the City Engineer within sixty (60) calendar days of the date of the Final Order of the Planning Commission. The City will then select an appraiser, and a cash deposit will be required as stated in Section 3.815.**

Autumn Hills Drive and Calle Vista Drive are proposed as Standard Residential streets with a right-of-way width of 63-feet, consistent with the standard prescribed by MLDC 10.430.

Shamrock Drive is proposed as a Standard Residential street with a right-of-way width of 63-feet, consistent with the standard prescribed by MLDC 10.430.

Birchcreek Drive, Crystal Springs Drive, Fieldbrook Avenue, Limestone Lane, Sunterra Drive, Waterstone Drive, Connection Lane and Windgate Avenue are proposed as Minor Residential streets with a right-of-way width of 55-feet, consistent with the standard prescribed by MLDC 10.430.

Sunleaf Avenue is proposed as Residential Lane with a right-of-way width of 33-feet, consistent with the standard prescribed by MLDC 10.430. However, as proposed, it exceeds the maximum length allowed. The developer is requesting **an exception** to the right-of-way length of Sunleaf Avenue between Autumn Hills Drive and Waterstone Drive. If the Planning Commission grants the exception, the developer shall dedicate a 33-foot wide right-of-way to the public for Sunleaf Avenue. If the Planning Commission denies the exception, then the standards for a Minor Residential Street classification shall apply, and the developer shall dedicate a right-of-way

width of 55-feet.

Corner radii shall be provided at the right-of-way lines of all intersecting streets per MLDC 10.445.

Streets, as shown on the Tentative Plat, in which any portion terminates to a boundary line of the Development shall be dedicated to within one foot of the boundary line, and the remaining one foot shall be granted in fee, as a non-access reserve strip to the City of Medford. Upon approved dedication of the extension of said streets, the one-foot reserve strip shall automatically be dedicated to the public use as part of said street without any further action by the City of Medford (MLDC 10.439).

Public Utility Easements, 10-feet in width, shall be dedicated along the street frontage of all the Lots within this development (MLDC 10.471).

The right-of-way and easement dedications shall be submitted directly to the Engineering Division of the Public Works Department. The submittal shall include: the right-of-way and easement dedication, including an exhibit map; a copy of a current Lot Book Report, Preliminary Title Report, or Title Policy; a mathematical closure report (if applicable), and the Planning Department File Number; for review and City Engineer acceptance signature prior to recordation by the applicant. Releases of interest shall be obtained by holders of trust deeds or mortgages on the right-of-way and PUE area.

2. Public Improvements

a. Public Streets

Cherry Lane shall be improved to Major Collector street standards, along the frontage of this development, in accordance with MLDC 10.428. The developer shall improve the south half plus 12-feet north of the centerline, or to the far edge of the existing pavement, whichever is greater, along the frontage of this development

The developer shall receive Street System Development Charge credits for the public improvements on Cherry Lane per the value established by the Medford Municipal Code, Section 3.815.

Autumn Hills Drive and Calle Vista Drive shall be constructed to Standard Residential street standards, in accordance with MLDC 10.430.

Shamrock Drive shall be constructed to Standard Residential street standards, along the frontage of this development, in accordance with MLDC 10.430. The Developer shall improve the north half plus 8-feet south of the centerline.

Birchcreek Drive, Crystal Springs Drive, Fieldbrook Avenue, Limestone Lane, Sunterra Drive, Waterstone Drive, Connection Lane and Windgate Avenue shall be constructed to Minor Residential street standards, in accordance with MLDC 10.430.

Sunleaf Avenue is proposed as Residential Lane, mostly consistent with the standards

prescribed by MLDC 10.430. However, as proposed, it exceeds the maximum length allowed. The developer is requesting an exception to the length of Sunleaf Avenue between Autumn Hills Drive and Waterstone Drive. The request is to allow the length to measure 807-feet in length, exceeding the maximum length (450-feet) specified in MLDC 10.430. Per the Applicant, "The purpose of this exception application is to allow an increase to the permitted length in order to support a collinear access adjacent to the Greenway and the associated connectivity of the overall development." If the exception request is denied, Sunleaf Avenue shall be constructed to Minor Residential street standards, in accordance with MLDC 10.430.

b. Street Lights and Signing

The developer shall provide and install in compliance with Section 10.495 of the Medford Municipal Code (MMC). Based on the preliminary plan submitted, the following number of street lights and signage will be required:

Street Lighting – Developer Provided & Installed:

- A. 4 – Type C 250 HPS with BMC on Cherry Lane
- B. 10 – Type R 100 HPS
- C. Multi Base Mounted Cabinets (BMCs) serving street lighting and to be determined (TBD) Pedestrian Lighting System.
 - a. Design Pedestrian lighting per Municipal Code 10.380 showing conduit/wire/load calculations for placements/quantity of lighting system. Submit for review/approval.

Traffic Signs and Devices – City Installed, paid by the Developer:

- A. 4 – Type 3 Barricades
- B. 10 – Street Name Signs
- C. 2 – Dead End Signs
- D. 1 – Stop Sign
- E. 1 – Speed Sign

NOTE: Findings/Tentative Plat include Phase 17 but this has already been approved (P1846D).

Numbers are subject to change if changes are made to the plans. All street lights shall be installed per City standards and be shown on the public improvement plans. Public Works will provide preliminary street light locations upon request. All street lights shall be operating and turned on at the time of the final "walk through" inspection by the Public Works Department.

The Developer shall pay for City installed signage required by the development. City installed signs include, but are not limited to, street name signs, stop signs, speed signs, school signs, dead end signs, and dead end barricades. Sign design and placement shall be per the Manual on Uniform Traffic Control Devices (MUTCD). All signs shall be shown on the public improvement plans and labeled as City installed.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer's contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided the Developer.

c. Pavement Moratoriums

There are no pavement cutting moratoriums currently in effect along the respective frontages.

The developer shall be responsible for notifying by certified letter all utility companies, as well as all current property owners of parcels which are adjacent to any Public Street being constructed or paved as part of this project. The letter shall inform the utility companies and property owners of the City's street moratorium policy with respect to pavement cutting for future utility services. The utility companies and property owners shall be given the opportunity to install utility services within the right-of-way prior to paving and the subsequent moratorium. Notifications shall be mailed by the Developer at least 6 months before a street is resurfaced or rebuilt per Medford Municipal Code (MMC), Section 3.070. Copies of the certifications shall be submitted to the City Engineer with the submittal of the preliminary construction drawings.

d. Soils Report

The Developer's engineer shall obtain a soils report to determine if there is shrink-swell potential in the underlying soils in this development. If they are present, they shall be accounted for in the roadway and sidewalk design within this Development. The soils report shall be completed by a licensed Geotechnical Engineer in the state of Oregon.

e. Access and Circulation

Driveway access and street circulation to and through the proposed development shall comply with MLDC 10.550 and 10.426.

The lots that have direct vehicle access to Cherry Lane, with the exception of Lots 531 and 532, shall have shared driveways with onsite vehicular turnaround areas so that vehicles may access Cherry Lane in a forward manner, MLDC Sections 10.550 and 10.746. Lots 531 and 532 shall have direct vehicular access restricted to Autumn Hills Drive, in accordance with Development Code; and the plat shall be notated to indicate this access restriction

The ingress and egress easement, or portions thereof, for the existing access to residence located on TL 1101, per instrument # 89-04157 & 90-02028, shall be dissolved through the quitclaim process prior to the approval of the final plat for each respective phase.

3. Section 10.668 Analysis

To support a condition of development that an applicant dedicate land for public use or provide a public improvement, the Medford Code requires a nexus and rough proportionality analysis which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

10.668 Limitation of Exactions

Notwithstanding any other provisions of this Chapter 10, an applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless:

*(1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose and that there is a rough proportionality between the burden of the exaction on the developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or
(2) a mechanism exists and funds are available to fairly compensate the applicant for the excess burden of the exaction to the extent that it would be a taking.*

1. Nexus to a legitimate government purpose

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, and pedestrians. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

2. Rough proportionality between the dedications and improvements, and the impacts of development.

No mathematical formula is required to support the rough proportionality analysis. It has been described as comparing apples to oranges. Further, we are allowed to consider the benefits to the development from the dedication and improvements when determining “rough proportionality.”

As set forth below, the dedications and improvements recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development.

Cherry Lane is classified as a Major Collector street per the adopted Circulation Plan. It is the primary connector between Hillcrest Road and N Phoenix Road. As a Major Collector, Cherry Lane will have one travel lane in each direction, a center-turn median, bike lanes in each direction, and sidewalks. It will provide safe travel for vehicles, bicycles, and pedestrians. As a higher order street, it is eligible for street SDC credits for both the right-of-way and roadway improvements, per MMC, Section 3.815 (5). Street SDC credits offset costs to the developer and is the mechanism provided by the City of Medford to fairly compensate the applicant for the excess burden of dedicating for and constructing higher order streets.

Autumn Hills Drive, Calle Vista Drive, Shamrock Drive, Birchcreek Drive, Crystal Springs Drive, Fieldbrook Avenue, Limestone Lane, Sunleaf Avenue, Sunterra Drive, Waterstone Drive, Connection Lane and Windgate Avenue: In determining rough proportionality, the City averaged the lineal footage of roadway per dwelling unit for road improvements and averaged square foot of right-of-way per dwelling unit for dedications. The proposed development has 138 dwelling units and will improve approximately 10,725 lineal feet of roadway which equates to 77.7 lineal feet per dwelling unit. Also the development will dedicate approximately 620,515 square feet of right-of-way which equates to approximately 4,496 square feet per dwelling unit.

To determine proportionality a neighborhood with similar characteristics was used. The

P:\Staff Reports\LDS\2017\LDS-17-051_E-17-052 Summerfield Phases 16-21\LDS-17-051_E-17-052 Staff Report-Revised.docx Page 6

PUBLIC WORKS DEPARTMENT
ENGINEERING & DEVELOPMENT DIVISION

200 S. IVY STREET
MEDFORD, OREGON 97501
www.ci.medford.or.us

TELEPHONE (541) 774-2100
FAX (541) 774-2552

development used was previous phases of Summerfield Subdivision located between Stanford and Lone Oak and Cherry Lane and Shamrock and consisted of 152 dwelling units. The previous development improved approximately 7,530 lineal feet of roadway and dedicated approximately 425,230 square feet of right-of-way (GIS data used to calculate, approximations only). This equates to approximately 49.5 lineal feet of road per dwelling unit and approximately 2,800 square feet of right-of-way per dwelling unit.

- a. Dedication will ensure that new development and density intensification provides the current level of urban services. This development will create an additional 56 Lots within the City of Medford and increase vehicular traffic by approximately 533 average daily trips. The proposed street improvements will provide a safe environment of all modes of travel (vehicular, bicycles, & pedestrians) to and from this development.
- b. Dedication will ensure adequate street circulation is maintained. The street layout and connectivity proposed in this development will provide alternate route choices for the residents that will live in this neighborhood. This will decrease emergency vehicle response times and will decrease overall vehicle miles traveled.
- c. Dedication will provide access and transportation connections at urban level of service standards for this development. Each Lot in this development will have direct access to a public street with facilities that will allow for safe travel for vehicles, bicycles and pedestrians. There is also sufficient space for on-street parking with the exception of Lone Oak Drive. The connections proposed in this development will enhance the connectivity for all modes of transportation and reduce trip lengths. As trip lengths are reduced, it increases the potential for other modes of travel including walking and cycling.
- d. Dedication of connecting streets will decrease emergency response times and provide emergency vehicles alternate choices in getting to an incident and reducing miles traveled.
- e. Dedication of PUE will benefit development by providing public utility services, which are out of the roadway and more readily available to each Lot being served.
- f. The additional traffic of all modes of travel generated by this proposed development supports the dedication and improvements for all modes of travel and utilities. As indicated above, the area required to be dedicated and improved for this development is necessary and roughly proportional to that required in previous adjacent developments to provide a transportation system that meets the needs for urban level services.

The additional traffic of all modes of travel generated by this proposed development supports the dedication and improvements for all modes of travel and utilities. As indicated above, the area required to be dedicated and improved for this development is necessary and roughly proportional to that required in previous developments in the vicinity to provide a transportation system that meets the needs for urban level services.

B. SANITARY SEWERS

The proposed development is situated within the Medford sewer service area. The Developer shall provide one service lateral to each platted lot prior to approval of the Final Plat. A 12-foot wide paved access shall be provided to any public sanitary sewer manholes which are not constructed within the street section.

Public sanitary sewer mains shall be extended on their courses to the exterior boundaries of this subdivision, such that future development can extend service without having to excavate back into the improvements provided by this subdivision.

C. STORM DRAINAGE

1. Hydrology

The Design Engineer shall provide an investigative report of the off-site drainage on the subdivision perimeter, a distance not less than 100-feet in all directions. All off-site drainage affecting the subdivision shall be addressed on the subdivision drainage plan. A hydrology map depicting the amount of area the subdivision will be draining shall be submitted with hydrology and hydraulic calculations. The opening of each curb inlet shall be sized in accordance with ODOT design standards. These calculations and maps shall be submitted with the public improvement plans for approval by the Engineering Division.

The proposed drainage swale extending from the northeasterly corner of Lot 576 to the southwesterly corner of Lot 522, through Phases 17, 19 and 20, shall be a dedicated right-of-way for drainage, and shall be a minimum of 40 feet in width. It shall be improved with a drainage swale, designed to convey the 10-year storm, and to prevent erosion. It shall be planted with riparian grasses and trees approved by the Medford Parks Department. The swale shall be designed and constructed with the adjacent phases. The landscape plan for the swale shall be submitted with the construction drawings for the street improvements.

2. Stormwater Detention and Water Quality Treatment

This development shall provide stormwater detention in accordance with MLDC, Section 10.486, and water quality treatment in accordance with the Rogue Valley Stormwater Quality Manual per MLDC, Section 10.481. For developments over five acres, Section 10.486 requires that the development set a minimum of 2% of the gross area as open space to be developed as open ponds for stormwater detention and treatment.

Each phase will be required to have its own stormwater detention and water quality treatment. If the Developer desires to do so, a Stormdrain Masterplan may be submitted in lieu of requiring each phase to have separate stormwater detention and water quality treatment. The Stormdrain Masterplan shall be submitted and reviewed with each phase's construction plans and shall be constructed with any phase to be served by the facility.

Upon completion of the project, the developer's design engineer shall provide written certification to the Engineering Division that construction of the water quality and detention facilities were constructed per plan. This letter shall be received by the City of Medford Public

P:\Staff Reports\LDS\2017\LDS-17-051_E-17-052 Summerfield Phases 16-21\LDS-17-051_E-17-052 Staff Report-Revised.docx Page 8

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Works Engineering Department prior to acceptance of the subdivision.

The City is responsible for operational maintenance of the public detention facility, irrigation and maintenance of landscape components shall be the responsibility of the developer or a Home Owners Association (HOA). The developer's engineer shall provide an operations and maintenance manual for the facility that addresses responsibility for landscape maintenance prior to subdivision acceptance. Regarding water quality maintenance, the Rogue Valley Stormwater Quality Design Manual states: "Vegetation shall be irrigated and mulched as needed to maintain healthy plants with a density that prevents soil erosion."

3. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed subdivision will be submitted with the public improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

4. Mains and Laterals

The Developer shall show all existing and proposed Storm Drain mains, channels, culverts, outfalls and easements on the Conceptual Grading and Drainage Plan and the final Construction Plans.

In the event the lot drainage should drain to the back of the lot, the developer shall be responsible for constructing a private drain line, including a tee at the low point of each lot to provide a storm drain connection. All roof drains and foundation drains shall be connected directly to a storm drain system.

A storm drain lateral shall be constructed to each tax lot prior to approval of the Final Plat. Easements shall be shown on the Final Plat for storm drain laterals crossing lots other than the one being served by the lateral.

All public storm drain mains shall be located in paved public streets or within easements. All manholes shall be accessible by paved, all-weather roads. All easements shall be shown on the Final Plat and the public improvement plans.

5. Wetlands

The Developer shall contact the Division of State Lands for the approval and/or clearance of the subject property with regards to wetlands and/or waterways, as they are present on the site.

6. Erosion Control

Subdivisions of one acre and greater require a run-off and erosion control permit from DEQ. The approved permit must be submitted to the Engineering Division prior to public improvement plan approval. The erosion prevention and sediment control plan shall be included as part of the plan set. All disturbed areas shall have vegetation cover prior to final inspection/"walk-through"

for this subdivision.

D. SURVEY MONUMENTATION

All survey monumentation shall be in place, field-checked, and approved by the City Surveyor prior to the final "walk-through" inspection of the public improvements by City staff.

E. GENERAL CONDITIONS

1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the Public Works Engineering office.

2. Construction Plans

Construction drawings for any public improvements for this project shall be prepared by a Professional Engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Construction drawings for public improvements shall be submitted only for the improvements to be constructed with each phase. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets, minimum access drives, sanitary sewers, storm drains, and street lights as required by the governing commission's Final Order, together with all pertinent details and calculations. A checklist for public improvement plan submittal can be found on the City of Medford, Public Works web site (<http://www.ci.medford.or.us/Page.asp?NavID=3103>). The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

In order to properly maintain an updated infrastructure data base, the Surveyor of Record shall submit an as-built survey prior to the Final Inspection and, the Engineer of Record shall submit mylar "as-constructed" drawings to the Engineering Division within sixty (60) calendar days of the Final Inspection (walk through). Also, the Engineer shall coordinate with the utility companies, and show all final utility locations on the "as built" drawings.

3. Phasing

The Tentative Plat shows that this subdivision will be developed in phases. Any public improvements needed to serve a particular phase shall be improved at the time each corresponding phase is being developed. Public improvements not necessarily included within the geometric boundaries of any given phase, but are needed to serve that phase shall be

constructed at the same time. Construction drawings for public improvements shall be submitted only for the improvements to be constructed with each phase.

4. Draft of Final Plat

The developer shall submit 2 copies of the preliminary draft of the final plat at the same time the public improvement plans (3 copies) are submitted. Neither lot number nor lot line changes shall be allowed on the plat after that time, unless approved by the City and all utility companies.

5. Permits

Building Permit applications for vertical construction shall not be accepted by the Building Department until the Final Plat has been recorded, and a "walk through" inspection has been conducted and approval of all public improvements as required by the Planning Commission has been obtained for this development.

Concrete or block walls built within a PUE, or within sanitary sewer or storm drain easements require review and approval from the Engineering Division of Public Works. Walls shall require a separate permit from the Building Department and may also require certification by a Professional Engineer.

6. System Development Charges (SDC)

Buildings in this development are subject to sewer collection, treatment and street SDCs. These SDC fees shall be paid at the time individual building permits are taken out.

This development is also subject to storm drain system development charges, the Developer is eligible for storm drain system development charge credits for the installation of storm drain pipe which is 24 inches in diameter or larger and is not used for storm drain detention in accordance with Medford Municipal Code (MMC), Section 3.891. The storm drain system development charge shall be collected at the time of the approval of the final plat

7. Construction and Inspection

Contractors proposing to do work on public streets, sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings, that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit to perform from the County.

For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and storm drain mains be inspected by video camera prior to acceptance of these systems by the City.

Where applicable, the developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

Prepared by: Doug Burroughs

P:\Staff Reports\LDS\2017\LDS-17-051_E-17-052 Summerfield Phases 16-21\LDS-17-051_E-17-052 Staff Report-Revised.docx Page 11

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FAX (541) 774-2552

SUMMARY CONDITIONS OF APPROVAL

Summerfield at Southeast Park Phases 16-21

LDS-17-051_E-17-052

A. Streets

1. Street Dedications to the Public:

- Dedicate additional right-of-way on **Cherry Lane**.
- Dedicate full width right-of-way (63') on **Autumn Hills Drive and Calle Vista Drive**.
- Dedicate additional right-of-way (43.5') on **Shamrock Drive**.
- Dedicate full width right-of-way (55') on **Birchcreek Drive, Crystal Springs Drive, Fieldbrook Avenue, Limestone Lane, Sunleaf Avenue, Sunterra Drive, Waterstone Drive, Connection Lane and Windgate Avenue**. Unless approved otherwise through the exception request (Sunleaf Only).
- Dedicate 10-foot public utility easements (PUE).

2. Public Improvements:

- Improve **Cherry Lane** to Major Collector street standards.
- Construct **Autumn Hills Drive and Calle Vista Drive** full width, to Standard Residential street standards.
- Improve **Shamrock Drive** half plus 8', to Standard Residential street standards.
- Construct **Birchcreek Drive, Crystal Springs Drive, Fieldbrook Avenue, Limestone Lane, Sunleaf Avenue, Sunterra Drive, Waterstone Drive, Connection Lane and Windgate Avenue** full width, to Minor Residential street standards. Unless approved otherwise through the exception request (Sunleaf Only).

Lighting and Signing

- Developer supplies and installs all street lights at own expense.
- City installs traffic signs and devices at Developer's expense.

Other

- Provide pavement moratorium letters.
- Provide soils report.
- Shared driveways for lots with access from **Cherry Lane**.
- Quitclaim existing ingress/egress easements with respective phase's final plat.

B. Sanitary Sewer:

- Provide a private lateral to each lot.

C. Storm Drainage:

- Provide an investigative drainage report.
- Provide water quality and detention facilities.
- Provide a comprehensive grading plan.
- Provide storm drain laterals to each tax lot.
- Provide DSL signoff if wetlands are present.
- Provide Erosion Control Permit from DEQ.

D. Survey Monumentation

- Provide all survey monumentation.

E. General Conditions

- Provide public improvement plans and drafts of the final plat.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.

P:\Staff Reports\LDS\2017\LDS-17-051_E-17-052 Summerfield Phases 16-21\LDS-17-051_E-17-052 Staff Report-Revised.docx Page 12

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BOARD OF WATER COMMISSIONERS

Staff Memo

RECEIVED

TO: Planning Department, City of Medford
FROM: Rodney Grehn P.E., Water Commission Staff Engineer
SUBJECT: LDS-17-051 & E-17-052
PARCEL ID: 371W27 TL's 1000, 1101, 1202; 371W27A TL 2300

JUN 08 2017

Planning Dept.

PROJECT: Consideration of a request for tentative plat approval for Summerfield at Southeast Park Phases 16 through 21, a 138- lot residential subdivision on approximately 96 acres located south of Cherry Lane and east of Lone Oak Drive within an SFR-4/SE (single Family Residential-4 units per acre/Southeast Overlay) zoning district. The request includes an Exception to the standards for the permitted length of a residential lane. Applicant: Crystal Springs Development Group; Agent: Neathamer Surveying Inc.; Planner: Liz Conner.

DATE: June 8, 2017

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. Installation of a new (Zone 2) 8-inch water line is required in Cherry Lane from the existing (Zone 2) 12-inch water line located in front of TL 2000 (Pickett). This required 8-inch water line shall extend east in Cherry Lane to Autumn Hills Drive, then south down Autumn Hills Drive to the south boundary of Phase 19, also being Shamrock Drive.
4. Applicant civil engineer shall coordinate with MWC engineering staff on Pressure Zone 2 and Pressure Zone 3 interface within Phases 16, 18, and Phase 21
5. Installation of a new (Zone 3) 12-inch water line is required in Cherry Lane from the existing (Zone 3) 12-inch water line stub located at the southeast property corner of TL 600 (Fordyce Land Company LLC). This required 12-inch water line shall extend east in Cherry Lane to Autumn Hills Drive, then south down Autumn Hills Drive to either Fieldbrook Avenue or Crystal Springs Drive. Applicants' civil engineer shall coordinate water facility layout with MWC engineering staff.
6. Future water service to a portion of the northerly Lots in Phase 21 shall come from a (Zone 3) water line. This water line shall extend from either Fieldbrook Avenue or Crystal Springs Drive and across TL 371W26200 in a "future" roadway providing connectivity to these lots located in



BOARD OF WATER COMMISSIONERS

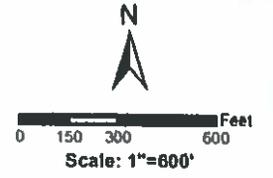
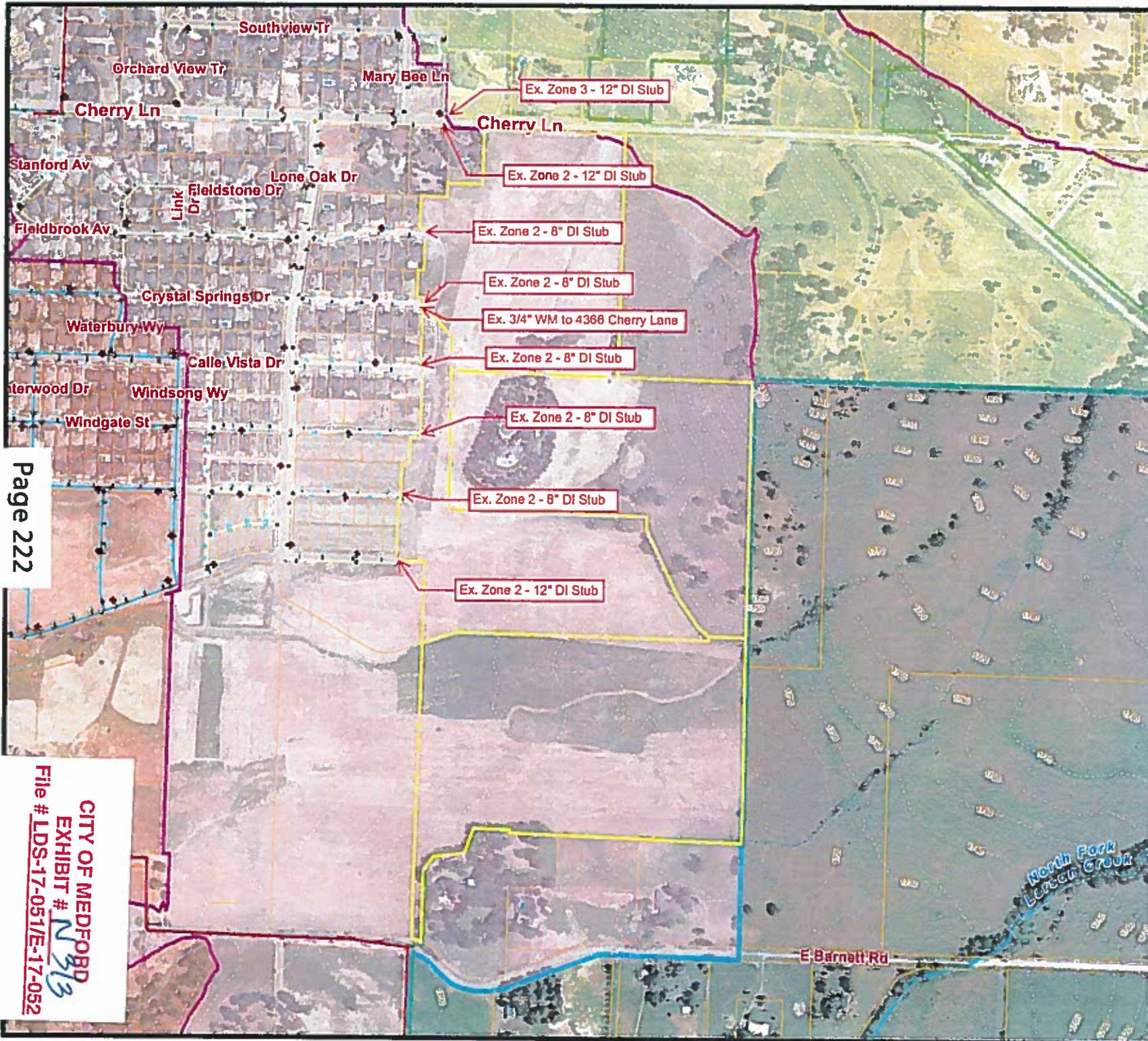
Staff Memo

future Zone 3. Applicant shall secure a 20-foot wide easement from adjacent property owner for this off-site water line installation. (See Condition 4 above)

7. Installation of 12-inch water lines is required in Shamrock Drive between the existing stub located just west of the proposed street intersection of Shamrock Drive and Waterstone Drive, and shall extend easterly in Shamrock Drive to the east property line of Phase 21.
8. Installation of 8-inch waters is required in all other streets within all phases of this proposed development.
9. Applicants' civil engineer shall coordinate with MWC engineering staff for water line layout of all phases, and provide future home pad elevations along Autumn Hills Drive (Phase 16), and Sunterra Drive (Phase 21).
10. The existing water meter serving the existing home at 4366 Cherry Lane is required to be relocated and reconnected to existing home during the construction of Phase 17. Applicant's civil engineer shall coordinate with MWC engineering staff for "future" location of this water meter.

COMMENTS

1. Off-site water line installation is required. (See Condition 3 and 4 above)
2. On-site water facility construction is required. (See Condition 5 above)
3. MWC-metered water service does exist to this property. A ¾" water meter serves the existing dwelling 4366 Cherry Lane. (See Condition 10 above)
4. Access to MWC water lines is available. There are existing Zone 2, 8-inch water lines stubbed to the west property line of this subdivision for extension to the east in Fieldbrook Avenue, Crystal Springs Drive, Calle Vista Drive, Wingate Street, and Sunleaf Avenue. There is also a Zone 2, 12-inch water line stubbed for extension to the east in Shamrock Drive. There is a Zone 2 12-inch water line stubbed for extension in Cherry Lane in front of the existing home at 4210 Cherry Lane, and a Zone 3 water line stubbed for extension in Cherry Lane which is located at the southeast property corner of TL 600. (See Condition 5 & 6)



**Water Facility Map
for
LDS-17-051 &
E-17-052**

Legend

- Ar Valve
- Sample Station
- Fire Service
- Hydrant
- Reducer
- Blow Off
- Plug-Caps
- Water Meters:**
 - Active Meter
 - On Wall
 - Unknown
 - Vacant
- Water Valves:**
 - Butterfly Valve
 - Gate Valve
 - Tapping Valve
- Water Mains:**
 - Active Main
 - Abandoned Main
 - Reservoir Drain Pipe
 - Pressure Zone Line
- Boundaries:**
 - Urban Growth Boundary
 - City Limits
 - Tax Lots
- MWC Facilities:**
 - Control Station
 - Pump Station
 - Reservoir



The map is based on a 2010 inventory by the Medford Water Commission and is not a warranty of accuracy. The Medford Water Commission makes no warranty as to the accuracy of the information shown on this map. The Medford Water Commission is not responsible for any errors or omissions on this map. © 2010 Medford Water Commission

Page 222

CITY OF MEDFORD
EXHIBIT # *N 313*
File # LDS-17-051/E-17-052



Medford Fire Department

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Phone: 774-2300; Fax: 541-774-2514;
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LAND DEVELOPMENT REPORT - PLANNING

To: Liz Conner

LD Meeting Date: 05/31/2017

From: Greg Kleinberg

Report Prepared: 05/25/2017

Applicant: Applicant: Crystal Springs Development Group.; Agent: Neathamer Surveying

File #: LDS - 17 - 51

Associated File #'s: E - 17 - 52

Site Name/Description: ummerfield at Southeast Park Phases 16 through 21

Consideration of a request for tentative plat approval for Summerfield at Southeast Park Phases 16 through 21, a 138-lot residential subdivision on approximately 96 acres located south of Cherry Lane and east of Lone Oak Drive within an SFR-4/SE (single Family Residential-4 units per acre/Southeast Overlay) zoning district. The request includes an Exception to the standards for the permitted length of a residential lane. Applicant: Crystal Springs Development Group.; Agent: Neathamer Surveying Inc.; Planner: Liz Conner.

DESCRIPTION OF CORRECTIONS	REFERENCE
----------------------------	-----------

Requirement FIRE HYDRANTS

OFC 508.5

Fire hydrants with reflectors will be required for this project.

Fire hydrant locations shall be as follows: 25 Total fire hydrants required as follows:

Cherry Lane

One in front of lot #528

One ion the corner in front of lot #532

Fieldbrook Ave.

One in front of lot #490

One on the corner in front of lot #496

One on the corner in front of lot #543

Crystal Springs Drive

One on the corner in front of lot #507

One on the corner in front of lot #509

One on the corner in front of lot #547

Calle Vista Drive

One on the corner in front of lot #514

Windgate Avenue

One on the corner in front of lot #517

Sunleaf Avenue

One on the corner in front of lot #519

One in front of lot #556

One on the corner in front of lot #553

Shamrock Drive

One on the corner in front of lot #521

One in front of lot #559

One on the corner in front of lot #564



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Site Name/Description: ummerfield at Southeast Park Phases 16 through 21

One on the corner in front of lot #584

One on the corner in front of lot #610

Autumn Hills Drive

One on the corner in front of lot #573

Silver Leaf Lane

One on the corner in front of lot #643

Birchcreek Drive

One on the corner in front of lot #594

One in front of lot #590

Sunterra Drive

One on the corner in front of lot #598

One in front of lot #620/621

One in front of lot #616

The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Plans and specifications for fire hydrant system shall be submitted to Medford Fire Department for review and approval prior to construction. Submittal shall include a copy of this review (OFC 501.3).

Requirement FD ACCESS-10% GRADE REQUIREMENT EXCEEDED

OFC

503.2.7

The fire apparatus access roads leading to the following described lots have a grade greater than 10% and therefore require an alternate method of protection (residential fire sprinklers).

Lots/Units Affected: Lots #597-609 and #614-626 (26 homes)

The determination has been made that this project does not meet fire apparatus access requirements as set forth in the Oregon Fire Code section 503. The Building Official has been advised that an alternate method of protection construction standard (home fire sprinkler system) will be required in lieu of the deficiency. Ref: OAR 918-480-0125

The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus.

CITY OF MEDFORD
EXHIBIT # 02/7
File # LDS-17-051/E-17-052
Page 2



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Applicant: Applicant: Crystal Springs Development Group.; Agent: Neathamer Surveying

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Site Name/Description: ummerfield at Southeast Park Phases 16 through 21

Fire apparatus access roads shall not exceed 10 percent in grade.

Exception: Grades steeper than 10 percent as approved by the Fire Chief.

A minimum size 3/4" x 3/4" water meter is normally required to supply the required water flow for a residential fire sprinkler system. Consult the Medford Water Commission for additional information.

Requirement MEDFORD CODE STREET DESIGN OPTIONS

MEDFORD 10.430

For the 26' wide curb-to-curb street, Section 10.430 of the Medford Code allows parking on one side only. The other side of the street shall be marked "FIRE LANE - NO PARKING" as addressed elsewhere in this document.

Section 10.430 of the Medford Code states the following:

In order to ensure that there is at least twenty (20) feet of unobstructed clearance for fire apparatus, the developer shall choose from one of the following design options:

- (a) Clustered, offset (staggered) driveways (see example) (design approved by Fire Department), and fire hydrants located at intersections with the maximum fire hydrant spacing along the street of 250-feet.
- (b) All dwellings that front and take access from minor residential streets to be equipped with a residential (NFPA 13D) fire sprinkler system, and fire hydrants located at intersection with the maximum fire hydrant spacing along the street of 500-feet.
- (c) Total paved width of 33-feet with five-and-a-half (5 ½) foot planter strips.

The Oregon Fire Code requires; "Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches" (OFC 503.2.1). "The required width of a fire apparatus access road shall not be obstructed in any manner, including parking of vehicles. Minimum required widths and clearances established in Section 503.2.1, shall be maintained at all times." (OFC 503.4).

When the clustered-offset driveway option is chosen, a note indicating driveway locations shall be included on the final plat. In areas where the clustered-offset option cannot be utilized because of lot layout, parking restrictions may apply in certain areas and No Parking - Fire Lane signs may be required.



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To: Liz Conner

LD Meeting Date: 05/31/2017

From: Greg Kleinberg

Report Prepared: 05/25/2017

Applicant: Applicant: Crystal Springs Development Group.; Agent: Neathamer Surveying

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Site Name/Description: ummerfield at Southeast Park Phases 16 through 21

Minor residential streets have a 28 foot paved surface. When vehicles are parked on both sides of the street there is 14 feet for fire department access, which is considerably less than the 20 foot requirement. Fire department pumpers are approximately 9 feet wide, this leaves approximately 2.5 feet on each side to remove equipment, drag hose, etc. We normally dispatch 3 fire engines and the ladder truck to all reported structure fires. The 14 feet becomes so congested that fire engines and or ambulances are required to back-up to leave the fire scene. Sometimes the on scene equipment is dispatched to another alarm. This backing up slows response times. The citizens of the City of Medford have certain expectations that when they require our assistance we will arrive in a timely manner. With a 20 foot clear and unobstructed width engines are able to pass on the side when necessary to respond to another incident or clear to return to their assigned area.

Requirement "NO PARKING" SIGNS REQUIRED

OFC

503.3

Parking shall be posted as prohibited on one side of Sunleaf Lane and both sides of the narrow portion of the entrance to Silver Leaf Lane.

Parking shall be posted as prohibited on the South side of Shamrock Dr. until the street is fully improved.

Where parking is prohibited on public roads for fire department vehicle access purposes, NO PARKING signs shall be spaced at minimum 50' intervals along the fire lane (minimum 75' intervals in 1 & 2 family residential areas) and at fire department designated turn-around areas. The signs shall have red letters on a white background stating "NO PARKING".

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths (20' wide) and clearances (13' 6" vertical) shall be maintained at all times (OFC 503.4; ORS 98.810-12).

Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).

This restriction shall be recorded on the property deed as a requirement for future construction.

Contact Public Works Transportation Manager Karl MacNair 541-774-2115 for further information.

CITY OF MEDFORD
EXHIBIT # 0 4/7
File # LDS-17-051/E-17-052
Page 4



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File #: LDS - 17 - 51

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Site Name/Description: ummerfield at Southeast Park Phases 16 through 21

Requirement WILDFIRE HAZARD ZONE MITIGATION MEASURES

OFC

IWUIC

Part of this development is located in a "Wildfire Hazard Zone". A minimum fire resistant rated Class A or B rated roof is required.

In addition, it is recommended that the following measures be taken to reduce the possibility of home ignition during a wildfire:

Fire Resistant Structure Planning including:

- Ignition-resistant siding
- Exterior venting that is designed to prevent the intrusion of flame and embers that have corrosion resistant maximum 1/8" grid wire mesh
- Boxed-in eaves and overhangs
- Non-combustible rain gutters with screening
- Solid skirting around the bottom of decks
- Non-combustible fencing attached to house

Landscaping Planning including:

- 0-5 feet perimeter non-combustible zone (concrete or non-combustible ground covering)
- Utilize fire resistant vegetation (See Oregon State University's "Fire Resistant Shrubs and Trees in SW Oregon")

Fully grown tree crown positioning to provide a minimum 10' horizontal clearance to chimneys or any part of structure

- Fully grown tree crown positioning to provide a minimum 15' clearance to other fully grown tree crowns
- Consider ladder fuels (vegetation like taller shrubs below trees that will spread fire into tree crown)

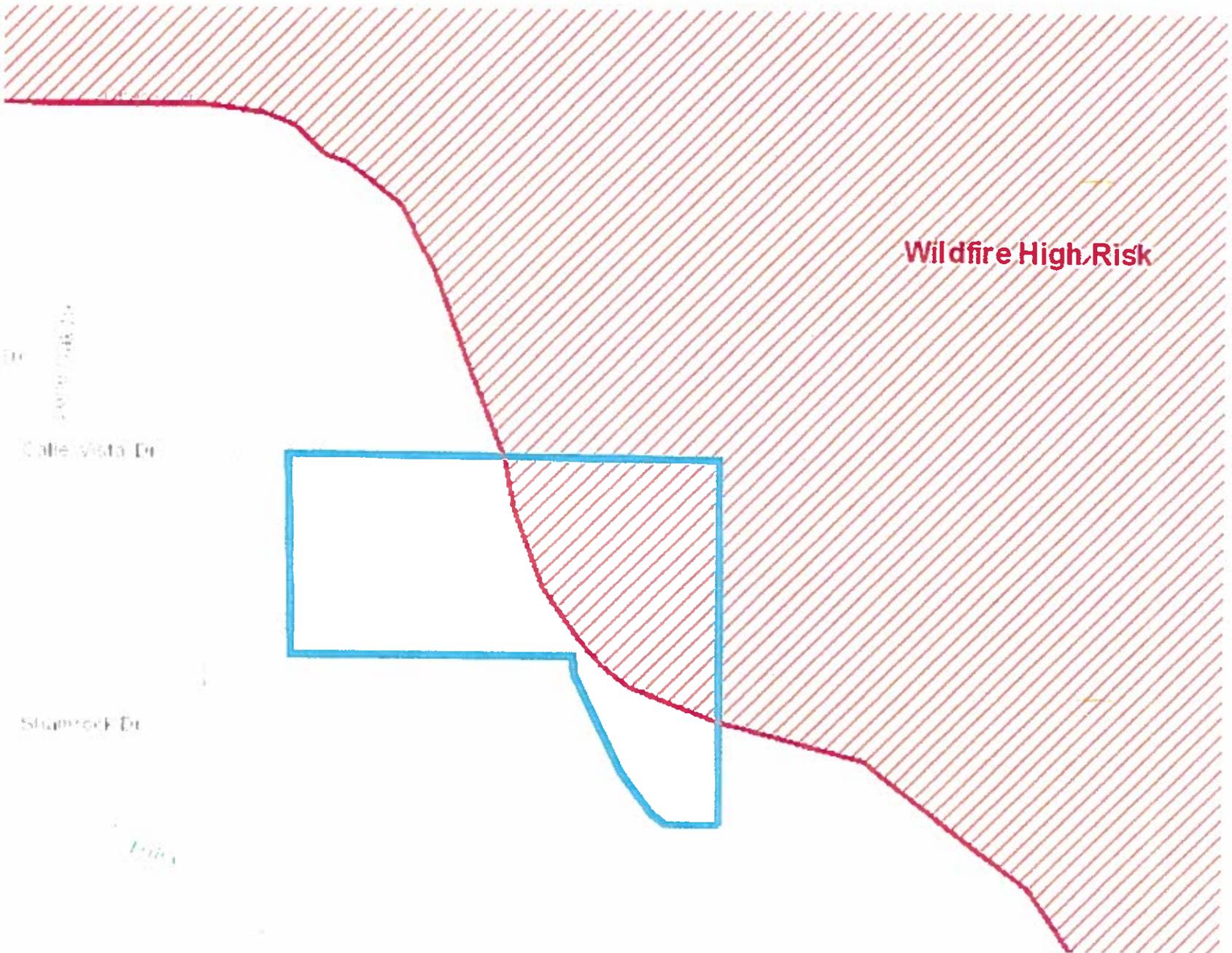
Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.



Wildfire High Risk

Calle Vista Dr

Shamrock Dr

Shamrock Dr

Shamrock Dr



RECEIVED

MAY 23 2017

Planning Dept.

Memo

To: Elizabeth Conner, Planning Department
From: Mary Montague, Building Department
CC: Bob Neathamer, Applicant
Date: May 31, 2017
Re: LDS-17-051; E-17-052; Summerfield at Southeast Park Phases 17-21

Building Department:

Please Note: This is not a plan review. These are general notes based on general information provided. Plans need to be submitted and will be reviewed by a residential plans examiner to determine if there are any other requirements for this occupancy type. Please contact the front counter for fees.

1. Applicable Building Codes are 2014 ORSC with additional Oregon amendments to the 2011 ORSC; 2014 OPSC; and 2014 OMSC. For list of applicable Building Codes, please visit the City of Medford website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Design Criteria" on left side of screen and select the appropriate design criteria.
2. All plans are to be submitted electronically. Information on the website: www.ci.medford.or.us Go to "City Departments" at top of screen; click on "Building"; click on "ELECTRONIC PLAN REVIEW (ePlans)" for information.
3. Site Excavation permit required to develop, install utilities.
4. Demo Permit is required for any buildings being demolished.
5. A site specific soils geotech report is required by a Geotech Engineer prior to foundation inspections. The report must contain information on how you will prepare the lot for building and a report confirming the lot was prepared per their recommendations.



RECEIVED

JUN 08 2017

Planning Dept.

WETLAND LAND USE NOTIFICATION RESPONSE
OREGON DEPARTMENT OF STATE LANDS
775 Summer Street NE, Suite 100, Salem, OR 97301-1279
Phone (503) 986-5200
www.oregonstatelands.us

DSL File Number: WN2017-0245

Cities and counties have a responsibility to notify the Department of State Lands (DSL) of certain activities proposed within wetlands mapped on the Statewide Wetlands Inventory. Liz Conner from submitted a WLUN pertaining to local case file #: LDS-17-051, E-17-052.

Activity location:

township: 37S	range: 01W	section: 27	quarter-quarter section:
tax lot(s): 2300; 1000, 1101, 1202			
street address: 0 Calle Vista Dr			
city: Medford		county: Jackson	
latitude: 42.321892		longitude: -122.800336	

Mapped wetland/waterway features:

- The national wetlands inventory shows a wetland on the property.
- The local wetlands inventory shows a wetland on the property.

Oregon Removal-Fill requirement (s):

- A state permit is required for 50 cubic yards or more of removal and/or fill in wetlands, below ordinary high water of streams, within other waters of the state, or below highest measured tide where applicable.

Your activity:

- It appears that the proposed project may impact wetland and requires a wetland delineation.
- A state permit will be required for the proposed project if impacts below ordinary high water of streams of within wetland boundaries exceed 50 cubic yards.

Contacts:

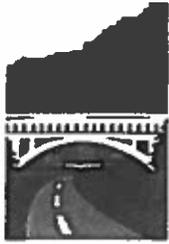
- For wetland delineation report requirements and information contact DSL Wetlands Specialist (see website for current list)
http://www.oregonstatelands.us/DSL/contact_us_directory.shtml#Wetlands Waterways

- This is a preliminary jurisdictional determination and is advisory only.

Comments: The presence or absence of wetlands cannot be determined with certainty from in-house examination. Soils in the project area are partially hydric and may support wetlands. There are also

intermittent streams that enter the project area from the east which are potentially jurisdictional. A wetland delineation is needed to characterize all waters and wetlands in the project area so that DSL can make jurisdictional determinations and advise whether a permit is needed for the project.

Response by: *Sydney McAllister* date: 06/08/2017



JACKSON COUNTY

Roads

RECEIVED

MAY 25 2017

Planning Dept.

Roads
Engineering

Kevin Christiansen
Construction Manager

200 Antelope Road
White City, OR 97503
Phone: (541) 774-6255
Fax: (541) 774-6295
christke@jacksoncounty.org

www.jacksoncounty.org

May 22, 2017

Attention: Elizabeth Conner
Planning Department
City of Medford
200 South Ivy Street, Lausmann Annex, Room 240
Medford, OR 97501

RE Tentative plat approval for Summerfield at Southeast Park and an Exception for the permitted length of a residential Street off Cherry Lane – A City – Maintained Street
Planning File: LDS-17-051 & E-17-052

Dear Elizabeth:

Thank you for the opportunity to comment on the consideration of a request for tentative Plat approval for Summerfield at Southeast Park Phases 16 through 21, a 138-lot residential subdivision on approximately 96 acres located south of Cherry Lane and east of Lone Oak Drive within an SFR-4/SE (single family Residential-4 units per acre/Southeast Overlay) zoning district. The request includes an Exception to the standards for the permitted length of a residential lane. Jackson County Roads has no comments.

If you have any questions or need further information feel free to call me at 774-6255.

Sincerely,

Kevin Christiansen
Construction Manager

Liz A. Conner

From: CAINES Jeff <Jeff.CAINES@aviation.state.or.us>
Sent: Friday, May 19, 2017 4:44 PM
To: Liz A. Conner
Subject: LDS-17-051-E-17-052 - ODA Comments

Elizabeth:

Thank you for allowing ODA to comment on the proposed subdivision located in the Summerfield at Southwest Park Phase 16. ODA has reviewed the proposed development and have the following comments:

The site is approximately 4.33 miles SW of the Rogue Valley Int'l airport. Due to the distance, topography, and existing development between the site and the airport ODA will not require a FAA Form 7460-1 to be filed with this department. The proposed development will not pose a hazard to air navigation.

Thank you again. Please feel free to contact me if you or the applicant have any questions.

Jeff

Jeff Caines, AICP
Oregon Department of Aviation
Aviation Planner / SCIP Coordinator
3040 25th St. SE | Salem, OR 97302
Office: 503.378.2529
Cell / Text: 503.507.6965
Email: Jeff.Caines@aviation.state.or.us

*****CONFIDENTIALITY NOTICE*****

This e-mail may contain information that is privileged, confidential, or otherwise exempt from disclosure under applicable law. If you are not the addressee or it appears from the context or otherwise that you have received this e-mail in error, please advise me immediately by reply e-mail, keep the contents confidential, and immediately delete the message and any attachments from your system.

Liz A. Conner

From: Marcy Black <BlackMA@jacksoncounty.org>
Sent: Friday, May 19, 2017 11:09 AM
To: Liz A. Conner
Subject: File No. LDS-17-051-E-17-052 Project Name: Summerfield at Southeast Park, Phases 17-21

Elizabeth:

Since the development is outside the Airport Concern Boundary, the Airport doesn't have a proposed condition; however, I input the project latitude and longitude using a structure height of 10' into the FAA's notice criteria tool and the result is as follows:

The requirements for filing with the Federal Aviation Administration for proposed structures vary based on a number of factors: height, proximity to an airport, location, and frequencies emitted from the structure, etc. For more details, please reference [CFR Title 14 Part 77.9](#).

You must file with the FAA at least 45 days prior to construction if:

- your structure will exceed 200ft above ground level
- your structure will be in proximity to an airport and will exceed the slope ratio
- your structure involves construction of a traverseway (i.e. highway, railroad, waterway etc...) and once adjusted upward with the appropriate vertical distance would exceed a standard of 77.9(a) or (b)
- your structure will emit frequencies, and does not meet the conditions of the [FAA Co-location Policy](#)
- your structure will be in an instrument approach area and might exceed part 77 Subpart C
- your proposed structure will be in proximity to a navigation facility and may impact the assurance of navigation signal reception
- your structure will be on an airport or heliport
- filing has been requested by the FAA

If you require additional information regarding the filing requirements for your structure, please identify and contact the appropriate FAA representative using the [Air Traffic Areas of Responsibility map](#) for Off Airport construction, or contact the [FAA Airports Region / District Office](#) for On Airport construction.

The tool below will assist in applying Part 77 Notice Criteria.

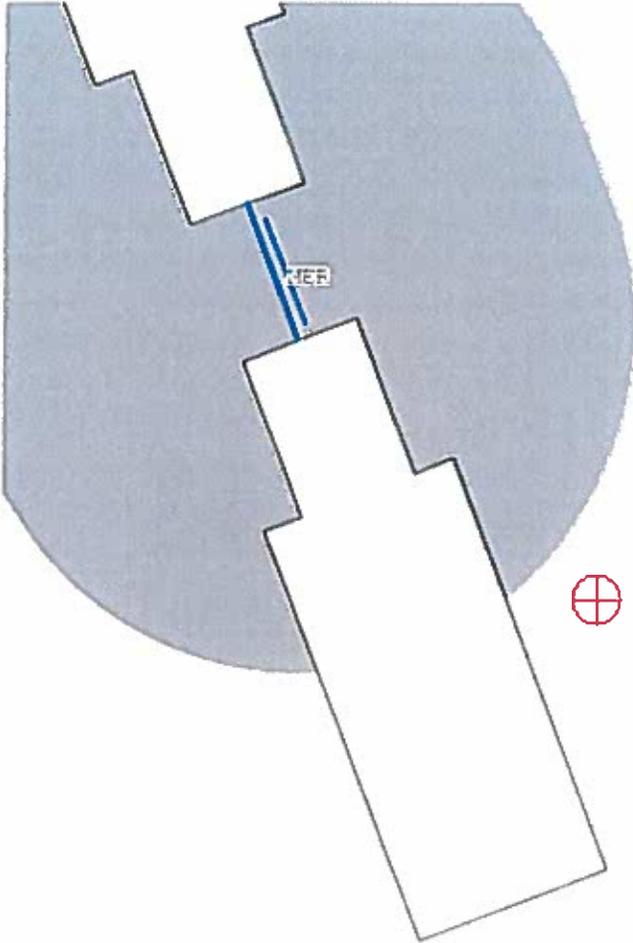
Latitude:	Deg M S
Longitude:	Deg M S
Horizontal Datum:	
Site Elevation (SE):	(nearest foot)
Unadjusted Structure Height :	Structure Height : (nearest foot)
Height Adjustment:	(nearest foot)
Total Structure Height (AGL):	10 (nearest foot)
Traverseway:	(Additional height is added to certain structures under 77.9(c)) User can increase the default height adjustment for Traverseway, Private Roadway and Waterway
Is structure on airport:	No Yes

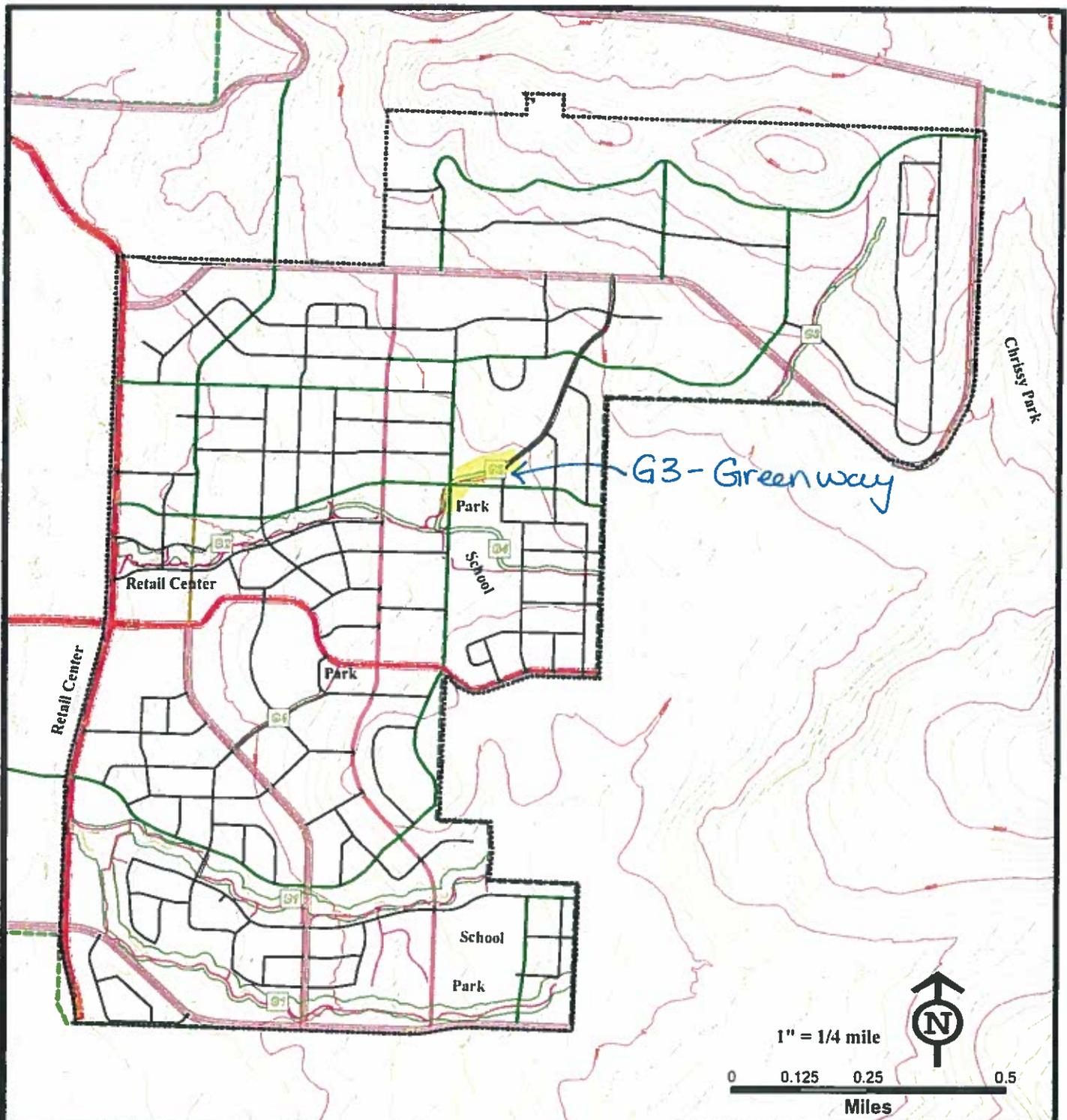
Results

You exceed the following Notice Criteria:

Your proposed structure is in proximity to a navigation facility and may impact the assurance of navigation signal reception. The FAA, in accordance with 77.9, requests that you file.

The FAA requests that you file





**ADOPTED March 7, 2013
ORDINANCE #2013-42**

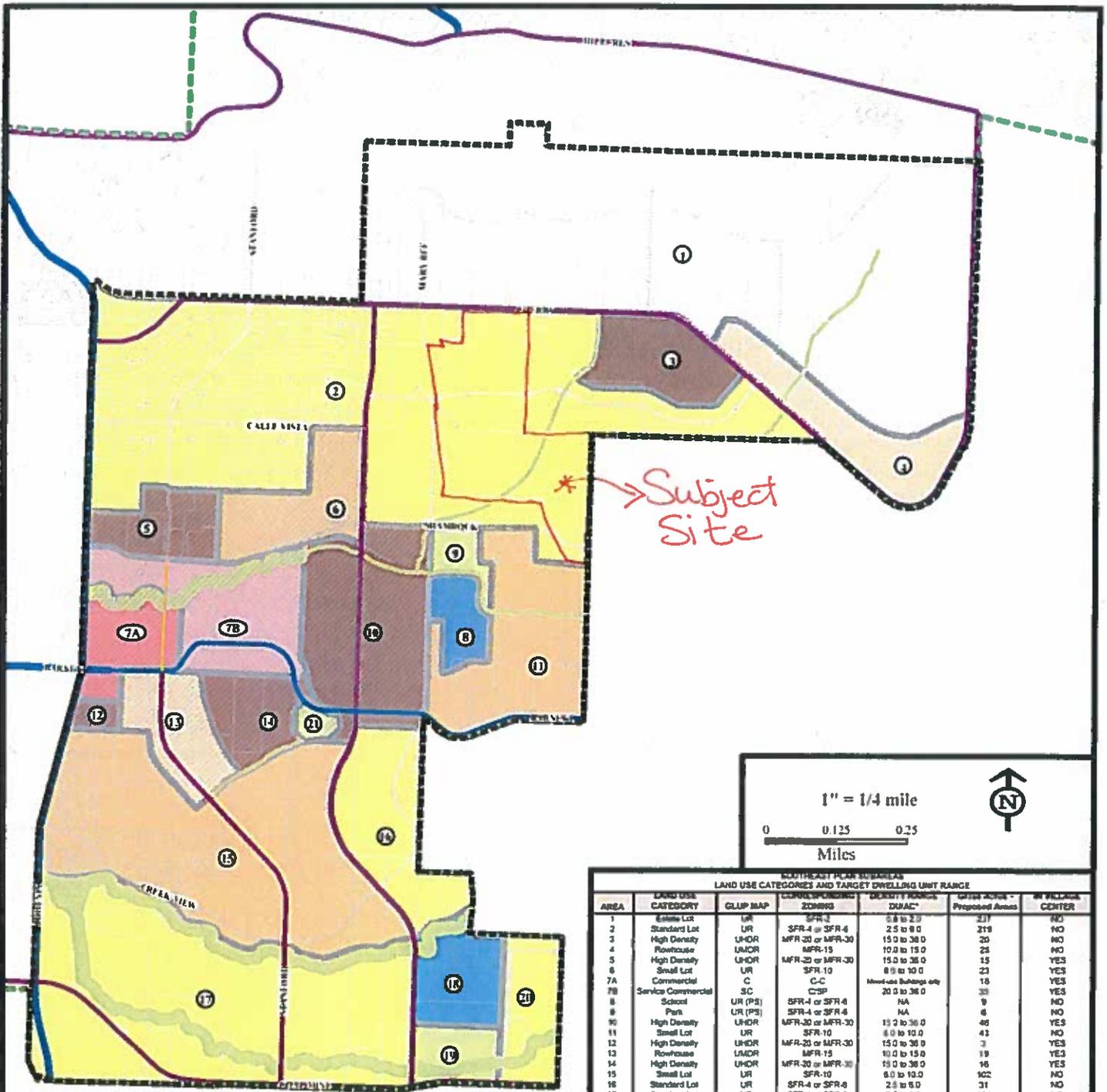
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SOUTHEAST CIRCULATION PLAN MAP

- Major Arterial
- Minor Arterial
- Major Collector
- Minor Collector
- Commercial Street
- Standard Residential
- Local Street
- Multi-Use Paths

- Greenway
- Greenway Design Standard (See Circulation Plan Document)
- UGB
- SE Plan Boundary
- Contours**
 - 100 Foot
 - 20 Foot





SOUTHEAST PLAN 2004
LAND USE CATEGORIES AND TARGET DWELLING UNIT RANGE

AREA	LAND USE CATEGORY	GLUP MAP	CORRESPONDING ZONING	DENSITY RANGE DU/AC*	OFFICE SPACE - Proposed Amount	IN FUTURE CENTER
1	Estate Lot	UR	SFR-2	0.8 to 2.0	237	NO
2	Standard Lot	UR	SFR-4 or SFR-6	2.5 to 8.0	219	NO
3	High Density	UHDR	MFR-20 or MFR-30	15.0 to 38.0	20	NO
4	Rowhouse	UMDR	MFR-15	10.0 to 15.0	25	NO
5	High Density	UHDR	MFR-20 or MFR-30	15.0 to 38.0	15	YES
6	Small Lot	UR	SFR-10	8.0 to 10.0	23	YES
7A	Commercial	C	C-C	Mixed-use Buildings only	18	YES
7B	Service Commercial	SC	C-SP	20.0 to 38.0	35	YES
8	School	UR (PS)	SFR-4 or SFR-6	NA	9	NO
9	Park	UR (PS)	SFR-4 or SFR-6	NA	6	NO
10	High Density	UHDR	MFR-20 or MFR-30	15.0 to 38.0	48	YES
11	Small Lot	UR	SFR-10	8.0 to 10.0	43	NO
12	High Density	UHDR	MFR-20 or MFR-30	15.0 to 38.0	3	YES
13	Rowhouse	UMDR	MFR-15	10.0 to 15.0	19	YES
14	High Density	UHDR	MFR-20 or MFR-30	15.0 to 38.0	16	YES
15	Small Lot	UR	SFR-10	8.0 to 10.0	102	NO
16	Standard Lot	UR	SFR-4 or SFR-6	2.5 to 8.0	31	NO
17	Standard Lot	UR	SFR-4 or SFR-6	2.5 to 8.0	624	NO
18	School	UR (PS)	SFR-4 or SFR-6	NA	17	NO
19	Park	UR (PS)	SFR-4 or SFR-6	NA	10	NO
20	Standard Lot	UR	SFR-4 or SFR-6	2.5 to 8.0	17	NO
21	Park	UR (PS)	SFR-4 or SFR-6	NA	3	NO

*Medford's PLD (Planned Unit Development) process permits an increase in density of up to 20%.

ADOPTED March 7, 2013
ORDINANCE #2013-42

SOUTHEAST PLAN MAP

- UGB
- Major Arterial
- Estate Lot
- SE Plan Boundary
- Minor Arterial
- Standard Lot
- Village Center TOD
- Major Collector
- Small Lot
- Existing Taxlots
- Minor Collector
- Row House
- Greenway
- Commercial Street
- High Density
- Standard Residential
- Commercial
- Service Commercial
- Schools
- Parks

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Medford Slope Map

LEGEND

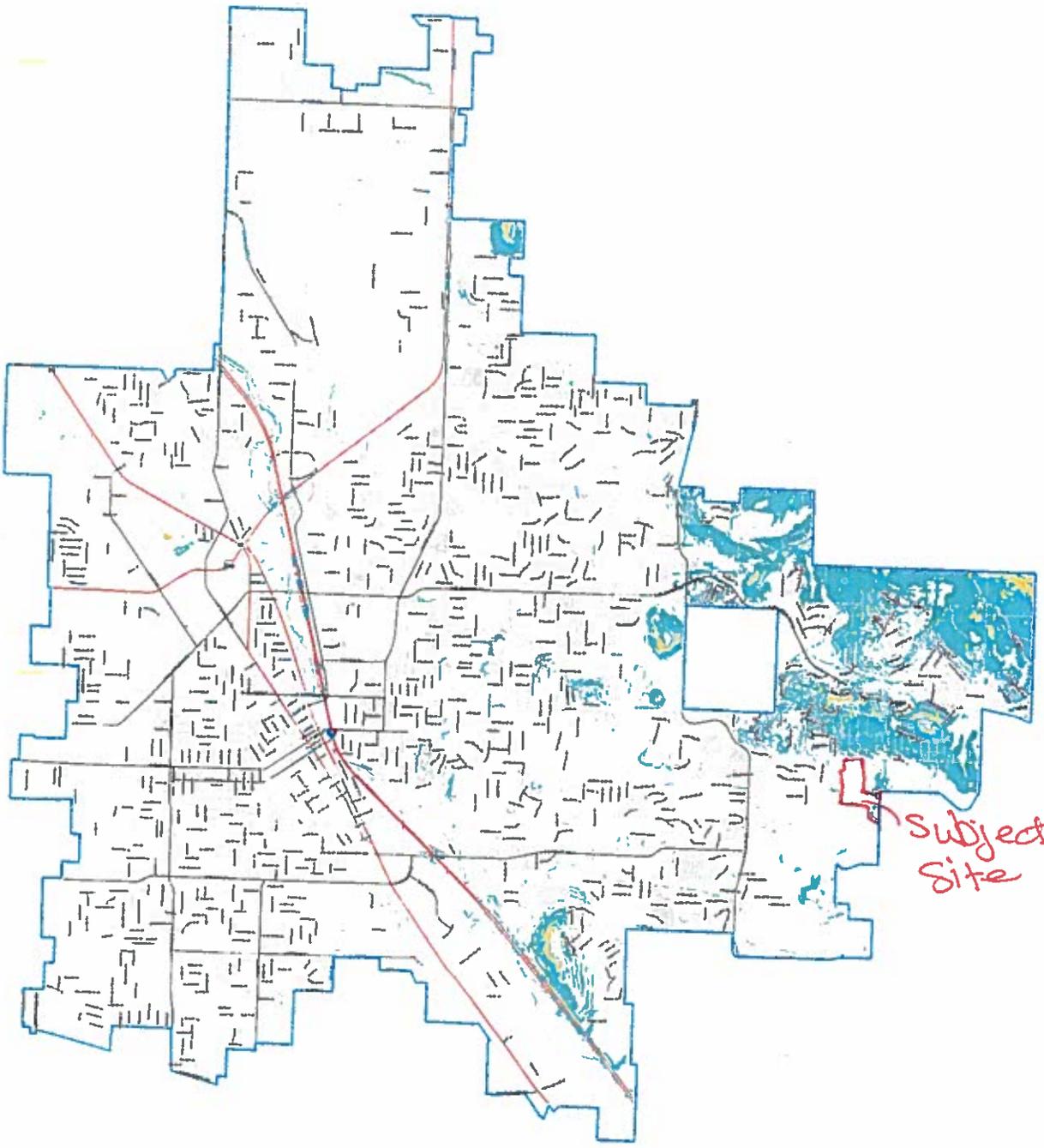
-  Slopes 15%-35%
-  Slopes >35%
-  UGB
-  Taxlots
-  Freeway
-  Freeway Ramp
-  State Highway
-  Major Road



The user shall be a reader in disregard of any other data or information. It is the user's responsibility to verify the information and to use it for the intended purpose only. The City of Medford is not responsible for any errors or omissions.



5.6.09

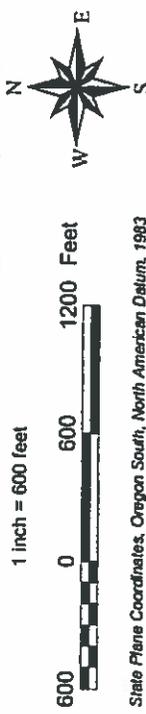




--- URBAN GROWTH BOUNDARY

The Medford Local Wetland Inventory includes a 1:24,000 index map, eight 1:7200 inventory maps and a map of potential wetland mitigation and restoration sites

MAP 5



1 inch = 600 feet

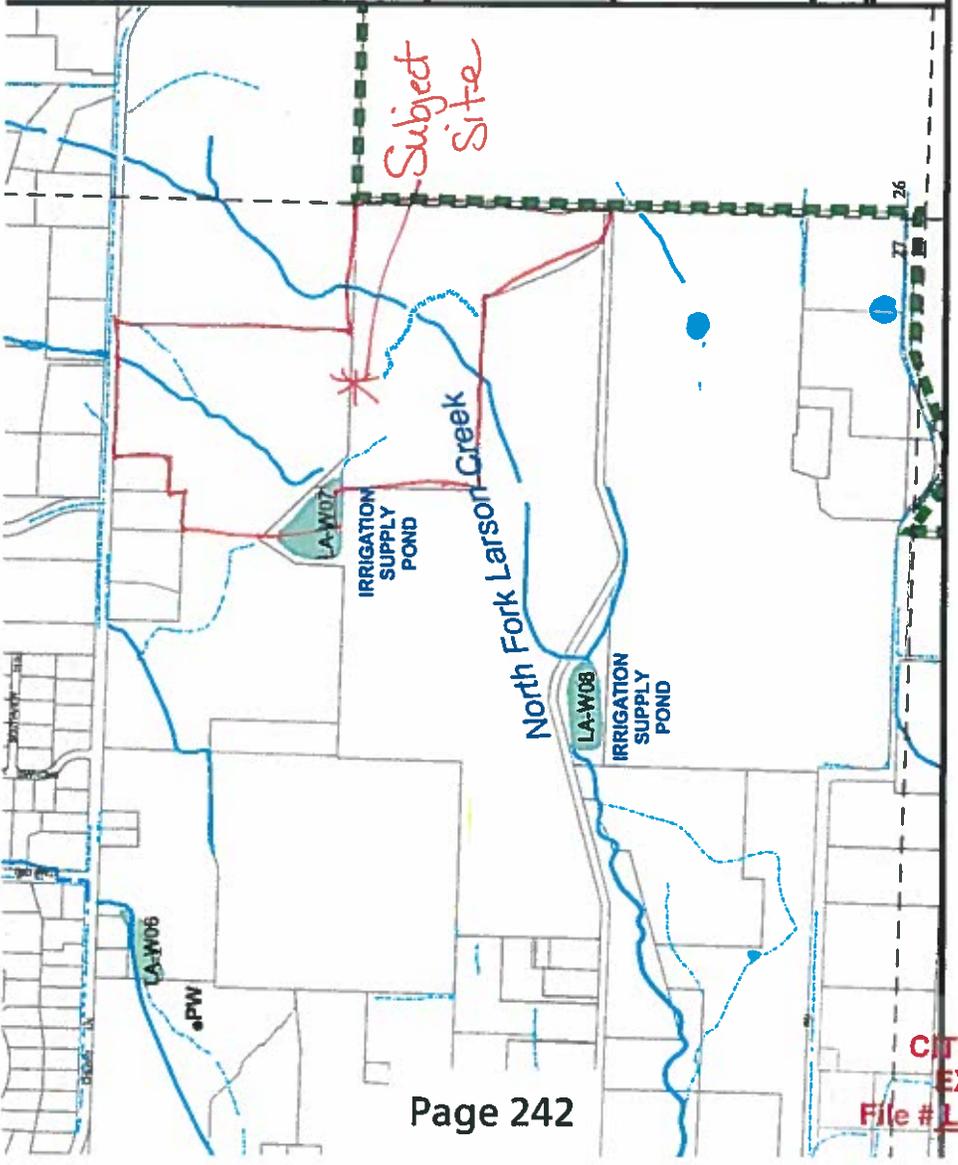
600 0 600 1200 Feet

State Plane Coordinates, Oregon South, North American Datum, 1983

SOURCES:
 City of Medford Planning and Public Works Departments
 Jackson County Geographic Information System Services
 Local Wetlands Inventory (LWI) and Oregon Freshwater Assessment Method (OFWAM) Analysis, City of Medford, October 1995, Brown and Caldwell, Woodward-Clyde Consultants
 Private wetland delineation reports approved by DSL

An Oregon Watershed Enhancement Board grant partially funded this project

This map was produced by:
WETLAND CONSULTING
 3716 SE Taylor Street
 Portland, OR 97214
 (503) 238-9942
 jataich@pacifier.com



City Council Expansion Area Boundary Selection

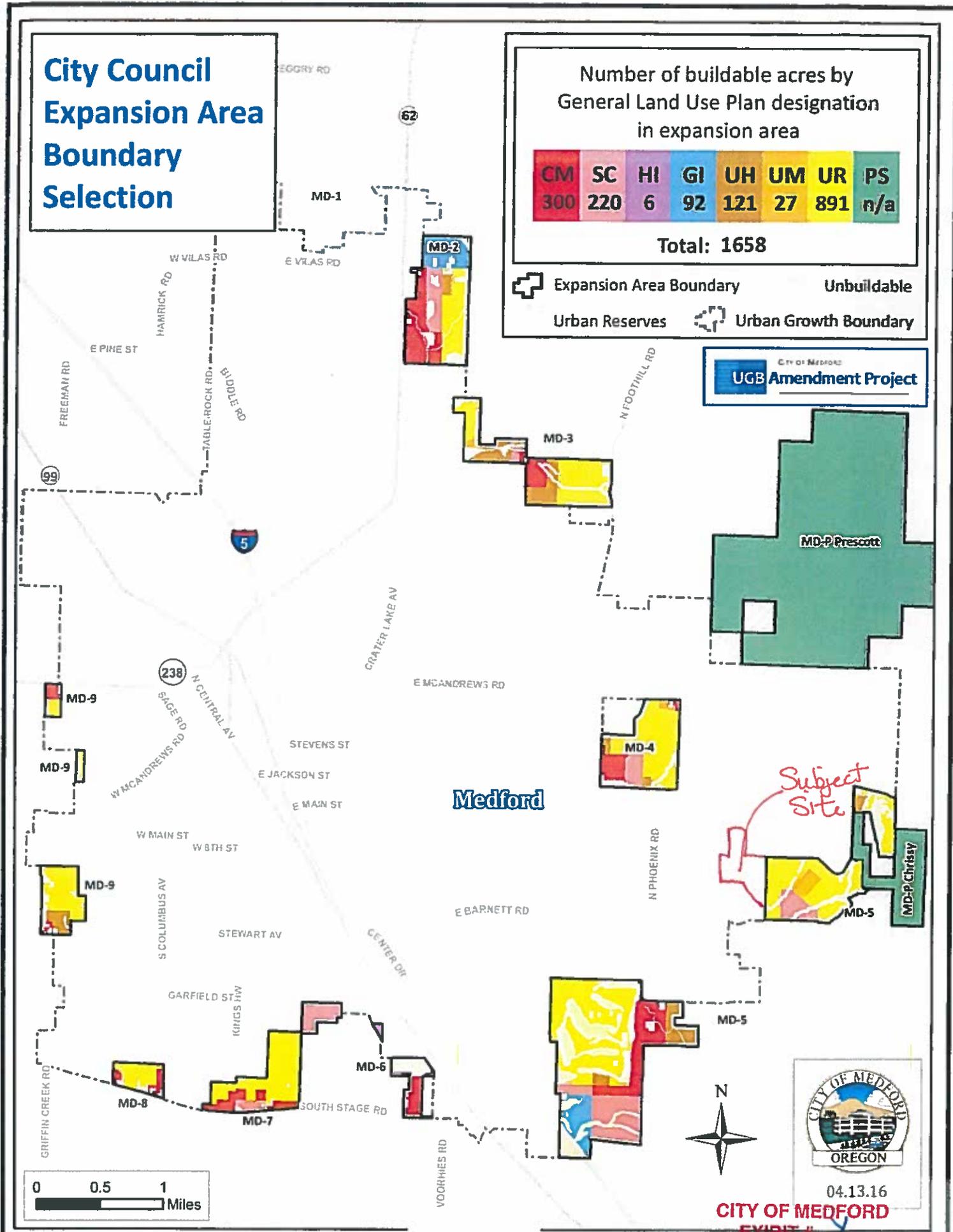
Number of buildable acres by
General Land Use Plan designation
in expansion area

CM	SC	HI	GI	UH	UM	UR	PS
300	220	6	92	121	27	891	n/a

Total: 1658

- Expansion Area Boundary
- Urban Reserves
- Unbuildable
- Urban Growth Boundary

CITY OF MEDFORD
UGB Amendment Project



Medford

Subject Site



04.13.16

CITY OF MEDFORD

EXHIBIT #

File # LDS-17-051/E-17-052

DENSITY CALCULATION FORM

For all residential LDP, LDS, PUD, and AC Application Files

File No.	LDS-17-051/E-17-052
Planner	Liz Conner
Date	June 8, 2017

GROSS ACREAGE	
Tax Lot Numbers	
371w27TL 1000	18.56 AC
371W27 TL 1101	24.48 AC
371W27A TL 2300	20.88 AC
Existing ROW to Centerline	0.50 AC
Gross Acres	64.42 AC
Effective Acres (Gross - Subtracted)	47.11

SUBTRACTED ACREAGE	
Large Lots for Existing Development	- AC
Reserved Acreage	- AC
Other ¹	
Phases 22-A to 22D	17.31 AC
Subtracted Acres	17.31 AC

DENSITY RANGE	
Zoning District	SFR-4
Density Range	
Minimum	2.50
Maximum	6.00
No. DU Proposed	138.00
No. DU Permitted	282.00
Minimum	117.77
Maximum	282.64
Percentage of Maximum	48.83%

EXISTING R-O-W CALCULATION				
	LF	Width	SF	Acreage
Cherry Lane	644.00	31.50	20,286.00	0.47
E Barnett Road	45.00	30.00	1,350.00	0.03
(Street Name)	-	-	-	-
(Street Name)	-	-	-	-
			21,636.00	0.50

Page 244

File # LDS-17-051/E-17-052

CITY OF MEDFORD
EXHIBIT # 2

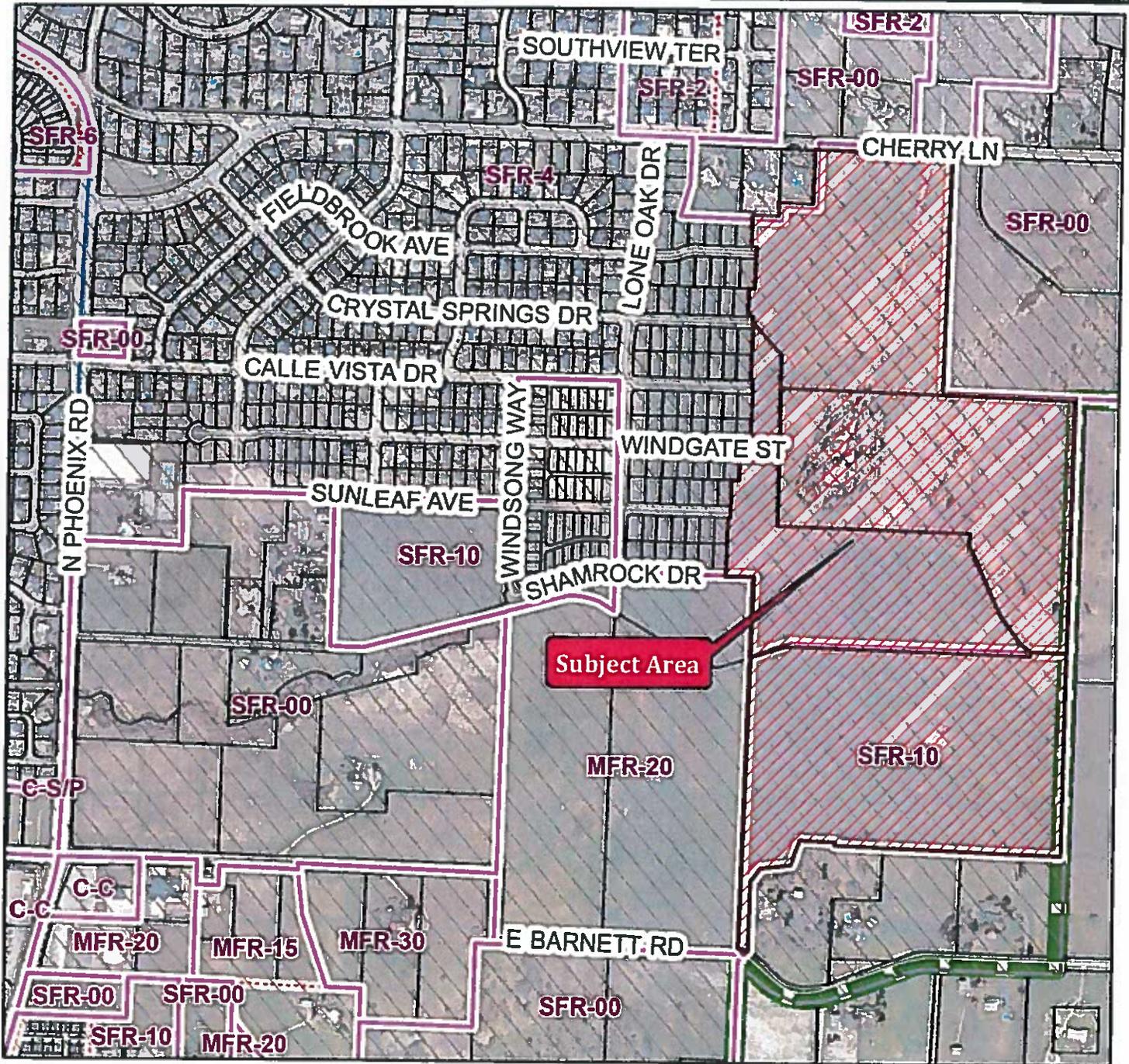
¹ Such as future ROW dedication, resource protection areas, common open space, other dedication areas, etc.



City of Medford
Planning Department

Vicinity
 Map

File Number:
LDS-17-051
E-17-052



Project Name:
**Summerfield at South East Park
 Phases 16-21**

Map/Taxlot:
371W27 TL 1000, 1101, 1202
371W27A TL 2300



04/27/2017

Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots

