

SITE PLAN & ARCHITECTURAL COMMISSION AGENDA JANUARY 20, 2017



Commission Members

Jeff Bender, Chair

Jim Quinn, Vice Chair

Jim Catt

Bill Chmelir

Tim D'Alessandro

Bob Neathamer

Marcy Pierce

Curtis Turner

Rick Whitlock

City Council Liaison - Dick Gordon

City Council Liaison Alt. - Eli Matthews

Regular Commission meetings are held on
the first and third Fridays of every month

Beginning at 12:00 Noon

City of Medford

Council Chambers,

Third Floor, City Hall

411 W. 8th Street

Medford, OR 97501

(541) 774-2380



Site Plan and Architectural Commission

Agenda

Public Hearing

January 20, 2017

12:00 noon

Council Chambers, City Hall, Room 300
411 West Eighth Street, Medford, Oregon

-
- 10. Roll Call.
 - 20. Consent Calendar
 - 20.1 AC-16-138 Consideration of Southside Center Phase 1, a proposed commercial and retail center consisting of a restaurant and two multi-tenant commercial buildings, located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district. (Galpin Gang, LLC, Applicant; Ron Grimes Architects, Agent).

30. Minutes.

- 30.1 Consideration for approval of minutes from the January 6, 2016, meeting.

40. Oral and Written Requests and Communications.

Comments will be limited to 3 minutes per individual or 5 minutes if representing a group or organization. **PLEASE SIGN IN.**

50. Public Hearings –

Comments are limited to a total of 10 minutes for applicants and/or their representatives. You may request a 5-minute rebuttal time. All others will be limited to 3 minutes per individual or 5 minutes if representing a group or organization. **PLEASE SIGN IN.**

Old Business/Continuance Request.

- 50.1 AC-16-134 Consideration of plans for the construction of a two-story 28,000 square foot building, on a 2.08 acre lot located at the northwest corner of Garfield Street and Center Drive within a Regional Commercial (C-R) zoning district. (Rogue Federal Credit Union, Applicant; Ogden, Roemer, Wilkerson Architects, Agent).

New Business.

- 50.2 AC-16-119 Consideration of plans for the development of a 4,299 square foot one-story commercial building on 0.57 acres located at 3550 National Drive in the Light Industrial (I-L) zoning district. (372W12D TL 11200) (Ralpha Building, LLC, Applicant. HamCon Builders, Agent).
- 50.3 AC-16-150 Consideration of a proposal for the development of a four-story hotel composed of 93 rooms to be located on the vacant lot located at 1375 Center Drive within the Regional Commercial (C-R) zoning district (371W32B4701) (Sycon B Real Estate Development, Applicant/Agent).

60. Written Communications. None

70. Unfinished Business. None

80. New Business.

- 90. Report from the Planning Department.**
- 100. Messages and Papers from the Chair.**
- 110. Propositions and Remarks from the Commission.**
- 120. City Council Comments.**
- 130. Adjournment.**

BEFORE THE MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

STATE OF OREGON, CITY OF MEDFORD

IN THE MATTER OF SITE PLAN AND ARCHITECTURAL COMMISSION)
FILE AC-16-138 APPLICATION FOR PROJECT REVIEW SUBMITTED) **ORDER**
BY GALPIN GANG LLC.)

AN ORDER granting approval of Southside Center Phase 1, a proposed commercial and retail center consisting of a restaurant and two multi-tenant commercial buildings, located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district.

WHEREAS:

1. The Site Plan and Architectural Commission has duly accepted the application filed in accordance with the Land Development Code, Section 10.285.
2. The Site Plan and Architectural Commission has duly held a public hearing on the matter of an application of plans for Southside Center Phase 1, a proposed commercial and retail center consisting of a restaurant and two multi-tenant commercial buildings, located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district, with a public hearing a matter of record of the Site Plan and Architectural Commission on January 6, 2017.
3. At the public hearing on said application, evidence and recommendations were received and presented by the Planning Department staff; and
4. At the conclusion of said public hearing, after consideration and discussion, the Site Plan and Architectural Commission, upon a motion duly seconded, granted approval and directed staff to prepare a final order with all conditions and findings set forth for the granting of approval.

THEREFORE LET IT BE HEREBY ORDERED that the application of Galpin Gang, LLC, stands approved subject to compliance with the conditions stated in the Commission Report dated January 6, 2017.

AND LET IT FURTHER BE OF RECORD that the action of the Site Plan and Architectural Commission approving this application is hereafter supported by the following findings:

- (a) That the proposed development, with the conditions of approval, complies with the applicable provisions of all city ordinances as determined by the staff review.
- (b) That the proposed development is compatible with uses and development that exist on adjacent land, based upon information provided in the Applicant's Questionnaire and presented at the public hearing.

FINAL ORDER AC-16-138

BASED UPON THE ABOVE, it is the finding of the Medford Site Plan and Architectural Commission that the project is in compliance with the criteria of Section 10.290 of the Land Development Code.

Accepted and approved this 20th day of January, 2017.

MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

Site Plan and Architectural Commission Chair

ATTEST:

Secretary



City of Medford

Planning Department

Working with the community to shape a vibrant and exceptional city

COMMISSION REPORT

for a Type-C quasi-judicial decision: **Site Plan and Architectural Review**

PROJECT Southside Center Phase I
Applicant: Galpin Gang LLC; Agent: Ron Grimes Architects

FILE NO. AC-16-138

TO Site Plan and Architectural Review Commission

DATE January 6, 2017

BACKGROUND

Proposal

Consideration of Southside Center Phase 1, a proposed commercial and retail center consisting of a restaurant and one multi-tenant commercial building, located at the southeast corner of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 3604, 4708, 4802).

Subject Site Characteristics

Zoning: Regional Commercial (C-R)
GLUP: Commercial (CM)
Overlay(s): Freeway
Use: Vacant

Surrounding Site Characteristics

North Zone: SFR-4 (Single-Family Residential - four dwelling units per gross acre)
Use(s): I-5 and residential developments

South Zone: SFR-00 (Single-Family Residential – 1 dwelling unit per existing lot)
Use(s): vacant land

East Zone: SFR-00
Use(s): vacant land

West Zone: (C-R)
Use(s): Marriot Hotel, Walmart, Rogue Credit Union, multi-tenant commercial.

Related Projects

- PLA-16-10 Property Line Adjustment
- PA-16-13 Pre-application
- AC-16-77 Zone Change

Applicable Criteria

MLDC Section: 10.290 – Site Plan & Architectural Review Criteria

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) The proposed development is compatible with uses and developments that exist on adjacent land; and*
- (2) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

ISSUES AND ANALYSIS

Background

The subject site consists of three contiguous tax lots totaling 6.6 gross acres, and is currently vacant. A pre-application for the subject request was submitted by the applicant on March 23, 2016, and was reviewed by the pertinent agencies and City departments. Based on Planning’s review of the pre-application, the applicant applied for a rezoning of the property from SFR-00 to its current Regional Commercial (C-R) zoning classification, receiving approval on September 22, 2016. With the property obtaining the necessary zoning for the proposed commercial use, a SPAC application for the subject development was submitted on October 28, 2016.

The subject site is proposed to be the future location of Southside Center Phase I, a commercial and retail center consisting of two buildings to be constructed as part of the first phase of the development: a 9,113 square foot *Cracker Barrel* restaurant, and an 8,880 square foot multi-tenant commercial building (Building A). The submitted floor plan shows Building A consisting of five lease spaces; however, the applicant’s agent has explained to staff that the applicant is uncommitted to a specific floor plan at this juncture, and that the final partitioning of the proposed multi-tenant building will be decided at a later date. At the time of this writing, no prospective tenants have been confirmed by the applicant for any of the future spaces within the multi-tenant building.

The submitted site plan includes the identification of three additional future buildings: a 7,200 square foot building identified as Pad B, a 6,660 square foot building identified as Pad D, and an

area located along the frontage of Center Drive identified as Pad C, proposed as a future fast food restaurant with a drive thru.

While the future buildings were included in the applicant's parking calculations, their review by the Site Plan and Architectural Commission (SPAC) is not a part of this application. The applicant will be required to submit separate applications for the future buildings, including the submittal of full architectural plans, allowing SPAC to review the compatibility criterion for the future buildings.

Lot legality

Per the email received by staff from the City Surveyor (Exhibit Q), it has been determined that tax lots 4802 and 4708 of subject site were not legally created. As explained in the email, both lots are remnant parts that were broken off from larger parcels which were eventually abandoned by the previous owners.

In order to incorporate the two tax lots into the proposed development, the applicant will be required to consolidate the three subject lots, effectively bringing the lots into legal conformity. Consolidating the lots will also be necessary in order to meet building setback requirements. Therefore, as a condition of approval, the applicant will be required to be granted approval for a Property Line Adjustment - consolidating the three subject lots into a single parcel - prior to the issuance of a building permit for vertical construction.

Floodplain

The submitted utility and grading/drainage plans show both the proposed storm drain and sanitary sewer lines crossing the mapped 100-year floodplain and the floodway of Bear Creek. The applicant will be required to submit a floodplain application, which includes a no-rise analysis and certification obtained from a registered professional civil engineer for encroachments in the floodway. The floodplain permit, as well as copies of all necessary permits from other governmental agencies, will be required prior to the issuance of the first building permit for vertical construction (Exhibit P).

Trip cap stipulation accounting

A Traffic Impact Analysis (TIA) was submitted by the applicant as part of the previous zone change approval for the Southside Center location (ZC-16-77), establishing a trip cap stipulation of 367 P.M. peak hour trips. In addition to the trip cap stipulation, the Traffic Engineering Division requested that the applicant be required to provide a trip accounting report to Public Works for each phase of the development to ensure the stipulated cap is not exceeded (Exhibit R).

Since a conclusive trip accounting cannot be prepared until the uses within the multi-tenant building have been determined, Public Works has requested a trip accounting based on the projected uses within the buildings in order to approximate the potential uses' compliance with the stipulated trip cap. The applicant has submitted a trip accounting report prepared by Southern Oregon Transportation Engineering, LLC., with the report stating that the proposed

uses are within the trip cap allocation and can be approved (Exhibit T). The trip accounting report was reviewed and approved by the Transportation Manager of Public Works (Exhibit U).

Circulation plan

Per MLDC 10.426, street circulation design and connectivity standards are established to assure that developments will ultimately result in complete blocks bound by a network of public streets, and/or interior access roads open to public use. These standards include maximum block length and perimeter length.

The Traffic Engineering Division has recommended that the applicant prepare a conceptual Circulation Plan illustrating how the future phases of the development could meet the block length and perimeter length requirements as established in MLDC Table 10.426-1.

After working with Traffic Engineering, the applicant has incorporated a conceptual Circulation Plan into the submitted site plan, showing a future street circulation design extending and connecting Center Drive to adjacent public and private streets, completing a network of roadways open to public use consistent with the Code.

Freeway sign

The submitted site plan identifies a freeway sign to be located at the northwest corner of the subject site. MLDC 10.1710(1)(a-b), outlining regulations of Freeway signs located in the C-R district, reads as follows:

(1) Freeway Signs:

(a) Freeway signs shall be permitted only on parcels or portions thereof that are located within the freeway overlay district per Section 10.365, and as shown on the official zoning map of the city of Medford.

(b) One (1) sign not exceeding 250 square feet in area and 50 feet in height shall be permitted on a parcel located within the freeway overlay district. Each parcel is also permitted one (1) sign not exceeding 150 square feet in area and 20 feet in height. Such signs are permitted in lieu of all ground signs permitted in the underlying zoning district, as listed under the Basic Regulations.

The proposed freeway sign identified on the submitted site plan is located within the freeway zoning overlay, and its size is proposed at the maximum square footage and height permitted per the aforesaid section of the Code.

All signs proposed for the subject development will require the issuance of sign permits by the Building Department and reviewed for Code compliance by the Planning Department staff.

Architecture

In the applicant’s submitted compatibility questionnaire (Exhibit J), it is stated that the multi-tenant building is proposed to be constructed as follows:

Built with a material palette including split faced CMU block, plaster, cultured stone veneer, metal siding and structural steel detailing with a powder coat finish. Aluminum storefront glazing systems will be used throughout. Parapet style low slope roof construction is used to allow concealment of rooftop mounted equipment.

In regards to the proposed architecture for the Cracker Barrel restaurant, the applicant states:

(The) Cracker Barrel restaurant will be built of wood frame construction and finished with fiber cement board and batt siding, a parapet style low slope roof with metal roof and heavy corbelled wood column porch detailing.

Parking

PARKING TABLE

	Required	Shown
Total Spaces	281/339 Min/Max	355
Accessible Spaces	13	14
Bicycle Spaces	36	36

The submitted site plan identifies a total of 355 proposed parking spaces, meeting the minimum required spaces for the subject restaurant and multi-tenant building, as well as the three future proposed buildings, per MLDC 10.741. Additionally, the site plan includes the requisite number, location, and dimensions of accessible parking spaces and bicycle parking spaces as outlined in the Code.

Pursuant to MLDC 10.743(7), the applicant is requesting to exceed the maximum parking spaces allowed by the code. MLDC 10.743(7) reads as follows:

(7) Exceeding Maximum Parking Ratios.

The Approving Authority may approve parking in excess of the maximum allowable set forth in Table 10.743-1 for phased projects or for planned future buildings or building additions. If any parking in excess of the maximum permitted is located in a parking structure, the parking ratios may be exceeded without requiring an approval by the Approving Authority.

The parking calculations for the one subject multi-tenant building, including the three proposed future buildings identified on the submitted site plan, were based on projections made by the applicant for the likely uses and sizes of the buildings and their individual leasing units.

However, the future tenants will be required to obtain business licenses, at which point the Planning Department staff will determine compliance with the parking requirements.

Landscaping

Landscape Table

	Required	Shown
Frontage landscaping: Trees	39	39 +
Frontage landscaping: Shrubs	234	234 +
Parking lot planters: Trees	35	35 +
Parking lot Planters: Shrubs	71	71 +

It can be found that the submitted Landscape Plan (Exhibit D) meets and/or exceeds the frontage landscaping and parking lot planter requirements per MLDC 10.797 and 10.746(3).

Concealments

The submitted site plan and architectural plan show the proposed trash receptacle and Heating, Ventilation, Air Conditioning (HVAC) unit concealed consistent with the requirements of MLDC 10.781.

Public Improvements

Per the agency comments submitted to staff (Exhibits K-M), including the Rogue Valley Sewer Service (RVSS) report (Exhibit N), it can be found that there are adequate facilities to serve the proposed development.

Committee Comments

No comments were received from committees such as BPAC.

Decision

At the hearing held on January 6, 2017, the Commission approved the request unanimously while directing staff to add two additional conditions, and to correct one typo in the Conditions of Approval:

- Add a condition stating that the applicant shall comply with all conditions stipulated by the Oregon Department of Transportation (ODOT) (Exhibit O), as established per the previous zone change approval (ZC-16-77).
- Add a condition stating that the applicant shall submit a revised site plan showing a pedestrian walkway along the southerly side of the access drive.
- Change Condition of Approval #6 to correctly reference Exhibit P and not Exhibit O.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit J) and recommends the Commission adopt the findings as submitted.

ACTION TAKEN

Adopted the findings as recommended by staff and directed staff to prepare the Final Order of AC-16-138 per the commission report dated January 6, 2017, including Exhibits A through U.

EXHIBITS

- A-1** Conditions of Approval drafted January 13, 2016.
- B** Site Plan received December 27, 2016.
- C** Conceptual Water and Sewer Plan received December 27, 2016.
- D** Landscape Plan received December 27, 2016.
- E** Conceptual Grading and Drainage Plan received December 27, 2016.
- F** Floor Plans (1-2) received October 28, 2016.
- G** Elevation Plans (1-4) received October 28, 2016.
- H** Elevation drawings (1-4) received October 28, 2016.
- I** Roof Plan received October 28, 2016.
- J** Applicant's Narrative, Questionnaire, and Findings of Fact received October 28, 2016.
- K** Public Works staff report received December 29, 2016.
- L** Medford Water Commission memorandum received December 6, 2016.
- M** Medford Fire Department report received December 7, 2016.
- N** Rogue Valley Sewer Services (RVSS) report received December 7, 2016.
- O** Oregon Department of Transportation email received December 7, 2016.
- P** Memorandum from Floodplain Coordinator received on December 20, 2016.
- Q** Email from City Surveyor received on December 14, 2016.
- R** Email received from the Oregon Department of Aviation received on December 9, 2016.
- S** Public Works staff report (page 2) for ZC-16-077 dated August 16, 2016.
- T** Trip accounting report received December 29, 2016.
- U** Traffic Engineering Division memo received December 30, 2016.
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION

Jeff Bender, Chair

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:

January 6, 2017
January 20, 2017

EXHIBIT A-1

South Side Center Phase I
AC-16-138
Conditions of Approval
January 6, 2017

CODE REQUIRED CONDITIONS

1. The applicant shall comply with all conditions stipulated by the Oregon Department of Transportation (ODOT) (Exhibit O), as established per the previous zone change approval (ZC-16-77).

Prior to the issuance of the first building permit for vertical construction, the applicant shall:

2. Comply with all conditions stipulated by the Medford Public Works Department (Exhibit K).
3. Comply with all conditions stipulated by the Medford Water Commission (Exhibit L).
4. Comply with all conditions stipulated by the Rogue Valley Sewer Services (Exhibit N).
5. Comply with all requirements of the Medford Fire Department (Exhibit M).
6. Acquire all necessary flood plain permits as identified by the Floodplain Coordinator (Exhibit P).
7. Gain approval for a Property Line Adjustment, consolidating the three subject lots into a single tax lot.
8. Submit a revised site plan showing a pedestrian walkway along the southerly side of the access drive.



Site Plan and Architectural Commission Minutes

From Public Hearing on January 6, 2017

The regular meeting of the Site Plan and Architectural Commission was called to order at noon in the Council Chambers on the above date with the following members and staff in attendance:

Commissioners Present

Jeff Bender, Chair
Jim Quinn, Vice Chair
Jim Catt
Bill Chmelir
Bob Neathamer
Curtis Turner
Rick Whitlock
Dick Gordon, City Council Liaison

Staff Present

Kelly Akin, Principal Planner
Eric Mitton, Senior Assistant City Attorney
Doug Burroughs, Public Works/Eng Development Services Manager
Dustin Severs, Planner II
Laura Stewart, Public Works Department
Debbie Strigle, Recording Secretary

Commissioners Absent

Marcy Pierce, Excused

10. **Roll Call.**

20. **Consent Calendar/Written Communications.** None.

30. **Minutes.**

30.1 The minutes for the December 2, 2016, meeting, were approved as submitted.

40. **Oral and Written Requests and Communications.** None.

50. **Public Hearings.**

Eric Mitton, Senior Assistant City Attorney, read the rules governing the public hearings.

New Business.

50.1 **AC-16-134** Consideration of plans for the construction of a two-story 28,000 square foot building, on a 2.08 acre lot located at the northwest corner of Garfield Street and Center Drive within a Regional Commercial (C-R) zoning district. (Rogue Federal Credit Union, Applicant; Ogden, Roemer, Wilkerson Architects, Agent).

Chair Bender asked for any potential conflicts of interest or ex-parte communications. Chair Bender declared that the agent is his employer, asked Vice Chair Quinn to chair this item, and then recused himself.

Vice Chair Quinn took over the meeting as Acting Chair for this item.

Kelly Akin, Principal Planner, stated the applicant had requested this item be continued to the next regular meeting on January 20, 2017.

Motion: Continue AC-16-134 to the January 20, 2017, meeting.

Moved by: Commissioner Whitlock

Seconded by: Commissioner Neathamer

Roll Call Vote: Motion passed, 6-0.

Chair Bender resumed his position as chair of the meeting.

50.2 AC-16-138 Consideration of Southside Center Phase 1, a proposed commercial and retail center consisting of a restaurant and two multi-tenant commercial buildings, located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district. (Galpin Gang, LLC, Applicant; Ron Grimes Architects, Agent).

Chair Bender asked for any potential conflicts of interest or ex-parte communications. There were none.

Dustin Severs, Planner II, gave a PowerPoint presentation of the December 30, 2016, Staff Report. He added one condition of approval from the Oregon Department of Transportation (ODOT) which will be included in the Commission Report as Exhibit A-1. Staff recommended approval.

The public hearing was opened and the following testimony was given:

- a) Brian Westerhout, agent for the applicant, talked about the pedestrian walkway along the main circulation drive. He said they would like to propose not to build a main pedestrian walkway running across the vehicle drives because they do not feel it is as safe as having one on the south side. He clarified that they only want to build one side of the walkway not two as mentioned in the staff report. He pointed out the locations of the pedestrian walkways they would like to build now and also in future phases.

Mr. Westerhout reserved time for rebuttal.

Ms. Akin briefly addressed the pedestrian access issue. She referenced Block Length Ordinance §10.426 and said the preference of having two pedestrian walkways is in the code not necessarily a preference of the Public Works Department.

Ms. Akin talked about the pedestrian walkway provisions in the code. She said in theory there should be a sidewalk connection every 300 feet along both Garfield Street and Center Drive.

Doug Burroughs, Public Works Department, clarified that their staff report mentioned the preference of having pedestrian walkways along both sides of the private common access roadway because that is what the code language reads in §10.426. He stated it would also be acceptable to have a walkway on just one side. Mr. Burroughs pointed out on the site plan where staff felt a walkway connection needed to be made. He commented that the ultimate build-out would meet the criteria of the code but at this point the applicant is providing an access drive without a pedestrian walkway on one side.

Mr. Westerhout spoke more on the pedestrian connectivity issues. As far as connectivity every 300 feet he stated they had a meeting with Public Works and worked out the pedestrian circulation scheme with the connection between the two buildings.

Commissioner Whitlock asked what the applicant's position is regarding the code preference of having walkways on both sides. Mr. Westerhout responded that it takes up more real estate and also they do not think it would be used much. He added he thought they would get as much function out of having the walkway on one side and possibly even more safety to both pedestrians and vehicles.

Commissioner Whitlock wanted to know what the timing was for pads B, C, and D. Mr. Westerhout answered he could not speak to that as he did not know.

Commissioner Neathamer commented he felt it would be safer to have the walkway on the northerly side rather than the southerly side. Mr. Westerhout gave a brief description of their circulation plan.

Vice Chair Quinn asked if the development would be fenced. Mr. Westerhout answered no.

The public hearing was closed.

Motion: Adopt the Findings as recommended by staff and direct staff to prepare the Final Order of approval for AC-16-138 per the Staff Report dated December 30, 2016, including Exhibits A-U, and including Exhibit A-1 that includes an additional condition related to compliance with ODOT requirements, and a change to Condition of Approval #6 that should reference Exhibit P and not Exhibit O, and that the applicant be required to place a pedestrian walkway on the southerly side of the access drive and that it be built as part of the parking lot for Building A and not deferred until the construction of Pad D.

Moved by: Commissioner Whitlock Seconded by: Commissioner Neathamer

Commissioner Whitlock commented he was comfortable with the concept of building additional walkway connections every 300 feet at a later date.

Chair Bender agreed with Commissioner Neathamer that a pedestrian walkway built on the northerly side seemed like a safer option.

There was more discussion on the pedestrian walkways and if two should be required. The consensus of the Commission was that one was enough.

Roll Call Vote: Motion passed, 7-0

60. Written Communications. None.

70. Unfinished Business. None.

80. New Business. None.

90. Report from the Planning Department.

90.1 Ms. Akin congratulated Commissioners Chmelir, Quinn, and Whitlock on their re-appointments to this Commission. The Planning Commission liaison seat is vacant as Mr. D'Alessandro was elected to City Council. The Planning Commission will be selecting a replacement at an upcoming meeting.

90.2 Ms. Akin stated there is business scheduled for the January 20th, February 3rd, and February 17th, meetings.

90.3 Ms. Akin reminded the Commissioners that at the February 3rd meeting a chair and vice chair will be elected.

90.4 Mr. Akin reported that City Council had approved text amendments to allow A-frame signs and craft alcohol production. On January 19th City Council will hear a street vacation in Cedar Landing.

90.5 Mr. Burroughs introduced new Public Works staff member Laura Stewart. Ms. Stewart is taking over the front counter duties.

100. Messages and Papers from the Chair.

100.1 Chair Bender stated he would like to be removed from consideration of continuing as the chair for this upcoming year.

110. Propositions and Remarks from the Commission.

110.1 Commissioner Whitlock complimented and thanked staff on making a change to the iPads that makes it easier for the Commissioners to get back to the action portion of the agenda packet.

110.2 Vice Chair Quinn stated he would be absent from all the February and March meetings.

110.3 Commissioner Neathamer declared he would not be able to attend the January 20, 2017, meeting.

120. City Council Comments.

120.1 Councilmember Gordon thanked Commissioners Chmelir, Quinn, and Whitlock for volunteering for another four years on this Commission.

130. Adjournment

130.1 The meeting was adjourned at approximately 1:00 p.m. The proceedings of this meeting were digitally recorded and are filed in the City Recorder's office.

Submitted by:

Debbie Strigle
Recording Secretary

Jeff Bender
Site Plan and Architectural Commission Chair

Approved: January 20, 2016



STAFF REPORT – CONTINUANCE REQUEST

for a Type-C quasi-judicial decision: Site Plan Review

Project Rogue Credit Union Headquarters Annex
Applicant: Rogue Credit Union; Agent: ORW Architecture

File no. AC-16-134

To Site Plan and Architectural Commission *for 01/20/2017 hearing*

From Praline McCormack, Planner II

Reviewer Kelly Akin, Principal Planner *ka*

Date January 13, 2017

BACKGROUND

Proposal

Consideration of plans to construct a two-story, 28,000 square foot building for Rogue Credit Union Headquarters on an adjoining 2.08 acre lot located at the northwest corner of Garfield Street and Center Drive within a Regional Commercial (C-R) zoning district (371W32B 4800).

Request

The applicant has requested that the item be continued to February 3, 2017. The owner has decided to modify the scope of the project, requiring revisions to the exterior elevations, parking and area calculations.

EXHIBITS

- A Continuanance request received January 12, 2017
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:

JANUARY 20, 2017

12 January, 2017

City of Medford
Planning Department
200 S. Ivy Street
Medford, OR 97501

RECEIVED
JAN 12 2017
PLANNING DEPT.



Attn: Praline McCormack

Re: AC-16-134: Rogue Credit Union Expansion Building

ORW, as an authorized agent of the Owner, is requesting a continuance of the Rogue Credit Union Expansion Building (AC-16-134) until the February 3rd scheduled SPAC hearing.

The Owner has decided to modifying the scope of the project which requires us to revise the exterior elevations, parking and area calculations.

ORW and the Owner appreciate the work city staff have done to date and look forward to continued collaboration as we complete this process. ORW will submit new drawings and documents well in advance of the January 20th draft staff report deadline.

-Thank you

Andrew Owen, AIA, NCARB
Principal
Architect/Project Manager

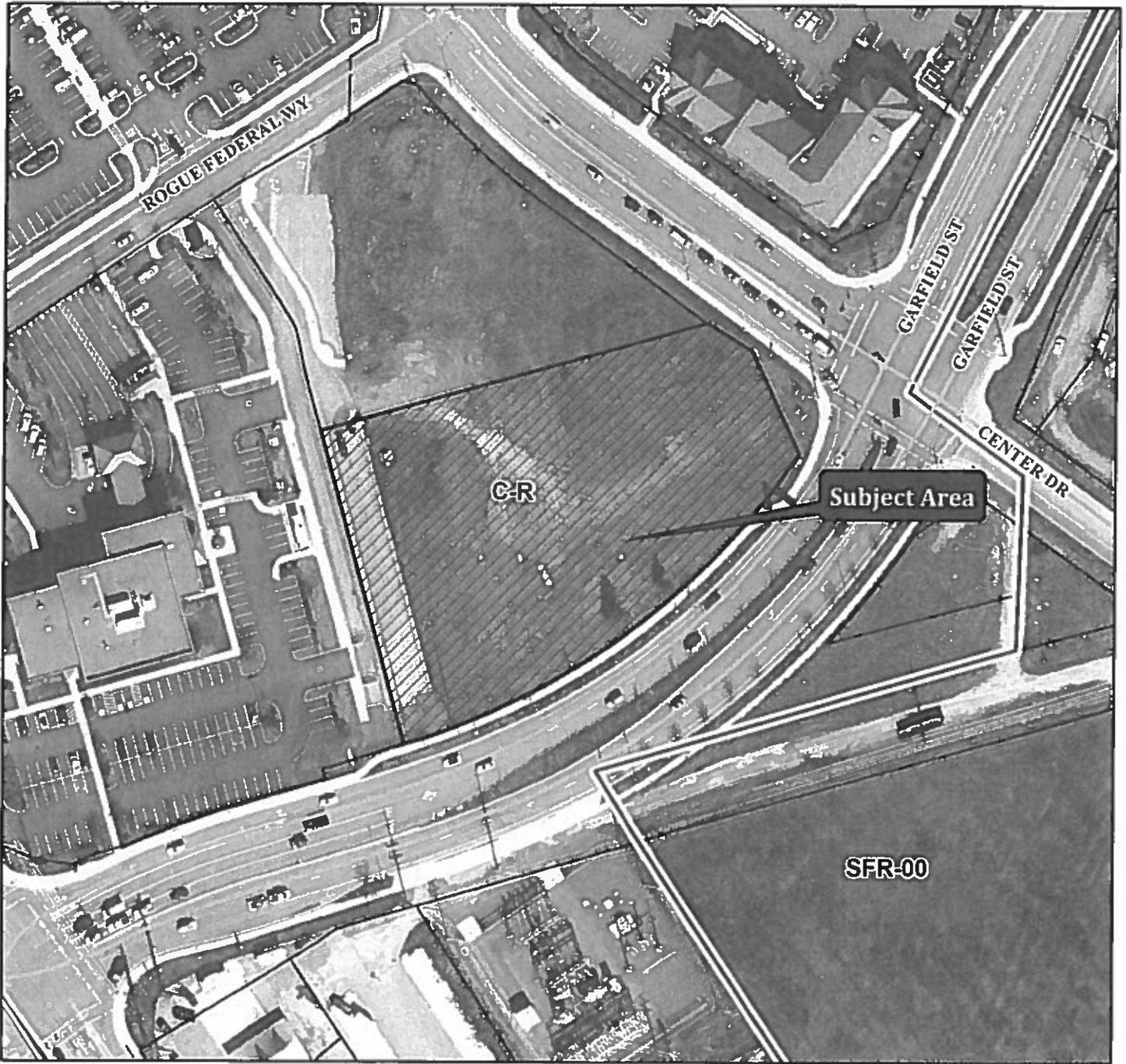
CITY OF MEDFORD
EXHIBIT # A
File # AC-16-134
CONTINUANCE



City of Medford
Planning Department

Vicinity
 Map

File Number:
AC-16-134



Project Name:
**Rogue Credit Union
 Headquarters Admin Annex**

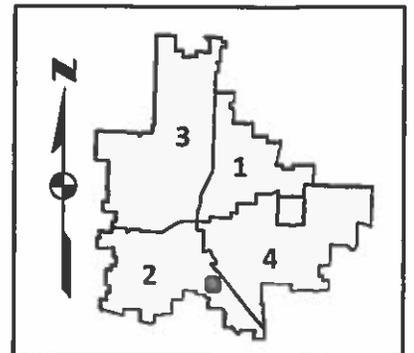
Map/Taxlot:
371W32B TL 4800



10/26/2016

Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots
-  Streets
-  PUD





Planning Department

Working with the community to shape a vibrant and exceptional city

STAFF REPORT

for a Type-C quasi-judicial decision: **Site Plan and Architectural Review**

PROJECT Sorani Office Building
 Applicant: Ralpa Building; Agent: HamCon Builders

FILE NO. AC-16-119

TO Site Plan and Architectural Review Commission *for January 20, 2017 hearing*

FROM Dustin Severs, Planner II

REVIEWER Kelly Akin, Principal Planner

DATE January 13, 2017

BACKGROUND

Proposal

Consideration of plans for the development of a 4,299 square foot one-story commercial building on 0.57 acres located at 3550 National Drive in the Light Industrial (I-L) zoning district.

Subject Site Characteristics

Zoning: I-L

GLUP: General Industrial (GI)

Overlay(s): A-C (Airport Area of Concern) / P-D Planned Unit Development

Use: Vacant lot

Surrounding Site Characteristics

<i>North</i>	Zone:	I-L
	Use(s):	Re/max Integrity, Canon Solutions
<i>South</i>	Zone:	I-L
	Use(s):	C & K Market, Bankers Life, Ameriprise Financial.
<i>East</i>	Zone:	I-L
	Use(s):	Steelhead Finance, South Valley Bank, Washington Federal
<i>West</i>	Zone:	I-L
	Use(s):	Progressive.

Related Projects

PUD-01-155 Navigator’s Landing PUD

Applicable Criteria

MLDC Section: 10.290 – Site Plan & Architectural Review Criteria

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) *The proposed development is compatible with uses and developments that exist on adjacent land; and*
- (2) *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

ISSUES AND ANALYSIS

Background

The subject development is located on a single vacant 0.57 acre lot located in a mixed industrial/commercial subdivision which was approved as part of the Navigator’s Landing PUD in 2001. The applicant is requesting to construct a 4,299 square foot commercial building which will be used as professional office space for counselors and other therapy professionals. The applicant, a life coach himself, will be leasing separate units within the building to other individual practices.

Though commercial uses involving health services, including therapeutic counseling, are not permitted in the underlying I-L zoning district, the approval of the Navigator’s Landing PUD allowed up to 20 percent of the project to be used for commercial uses otherwise not permitted in the underlying zoning district.

Phase	Lot	Acres of Non-Permitted Use	Use Description	SPAC File#
1	34	0	Bank	AC-02-09
2	26	0	Transportation Brokerage	AC-02-80
3	33	0	Real Estate/ Title Co.	AC-02-74
4	13,14	0	Warehouse, Office	AC-03-65
5	7	0	Corporate Offices	AC-04-09
6	19	0	Insurance Office	AC-04-28
7	10	0	Computer Services	AC-04-11
8	35	0	Medical Laboratory	AC-04-213
9	38,39,40	1.67	Hotel	AC-05-149

Phase	Lot	Acres of Non-Permitted Use	Use Description	SPAC File#
10	11,12,13	0	Stone Products	AC-05-149
11	9	0	Property Mgmt./ Bookkeeping	AC-05-254
12	28	0.57	Dentist/Therapist	AC-05-317
13	5,6	0	Financial Offices	AC-05-262
14	25	0	Marketing/Motion Picture	AC-06-198
15	22	0	Engineering Office	AC-07-287
16	15	0	Administrative Offices	AC-08-075
17	37	0.86	Medical Office	AC-08-122
18	4	0	Financial Offices	AC-08-138
19	21	0	Motion Picture	AC-09-014
20	36, Parcel 1	0	Financial Office	AC-15-070
Acres of Non-Permitted Uses		3.48	Percent of Total	6.99%

Based upon the above table, less than seven percent of the PUD is occupied with commercial uses. With the proposed development included in the commercial uses allowed within the PUD, the percentage is still well under the maximum 20 percent of land that can be occupied by commercial uses. The PUD approval includes a specific list of Standard Industrial Classification (SIC) codes that would be allowed as part of the permitted commercial uses, and includes offices of health care practitioners.

The applicant will now need approval through the Site Plan and Architectural Commission (SPAC) to assure compatibility criteria are met prior to the issuance of a building permit for the proposed development.

Architecture

In the applicant’s submitted compatibility questionnaire (Exhibit J), the applicant describes the exterior architecture of the proposed building as follows:

The exterior façade shall be broken up through the combined use or various colors, finishes, and architectural elements. Siding shall incorporate a mixture of Hardie lap, shingles, and masonry; incorporating various sized vinyl windows. Dormers will be used on the north and south sides, and there will be gables with columns incorporated on all four sides of the building.

Parking

PARKING TABLE

	Required	Shown
Total Spaces	13	23
Accessible Spaces	1	2

Bicycle Spaces	3	5
-----------------------	----------	----------

The submitted site plan identifies a total of 23 proposed parking spaces, meeting the minimum required spaces per MLDC 10.741. Additionally, the site plan includes the requisite number, location, and dimensions of accessible parking spaces and bicycle parking spaces as outlined in the Code.

Landscaping

Landscape Table

	Required	Shown
Frontage landscaping: Trees	3	5
Frontage landscaping: Shrubs	15	15+

It can be found that the submitted Landscape Plan (Exhibit C) meets and/or exceeds the frontage landscaping and parking lot planter requirements per MLDC 10.797 and 10746(3).

Concealments

The submitted site plan shows the proposed trash receptacle concealed consistent with the requirements of MLDC 10.781. The Heating, Ventilation, Air Conditioning (HVAC) unit are proposed to be located on the back side of the building (not visible from the street), and the applicant proposes to use shrubs to conceal the unit.

Public Improvements

Per the agency comments submitted to staff (Exhibits K-M), including the Rogue Valley Sewer Service (RVSS) report (Exhibit N), it can be found that there are adequate facilities to serve the proposed development.

Committee Comments

No comments were received from committees such as BPAC.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit J) and recommends the Commission adopt the findings as submitted.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare the Final Order of AC-16-119 per the staff report dated January 13, 2017, including Exhibits A through O.

EXHIBITS

- A Conditions of Approval drafted January 13, 2017.
- B Site Plan received November 18, 2016.
- C Landscape Plan received September 27, 2016.
- D Conceptual Grading, Drainage, and Utility Plan received September 27, 2016.
- E Floor Plan received September 27, 2016.
- F Building Section Plan received September 27, 2016.
- G Elevation Plans (1-2) received September 27, 2016.
- H Foundation Plan received September 27, 2016.
- I Roof Plan received September 27, 2016.
- J Applicant's Narrative, Questionnaire, and Findings of Fact received November 18, 2016.
- K Public Works staff report received December 21, 2016.
- L Medford Water Commission memorandum received December 21, 2016.
- M Medford Fire Department report received December 21, 2016.
- N Rogue Valley Sewer Services (RVSS) report received December 15, 2016.
- O Oregon Department of Aviation (ODA) email received December 16, 2016.
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:

January 20, 2017

EXHIBIT A

Sorani Office Building
AC-16-119
Conditions of Approval
January 13, 2017

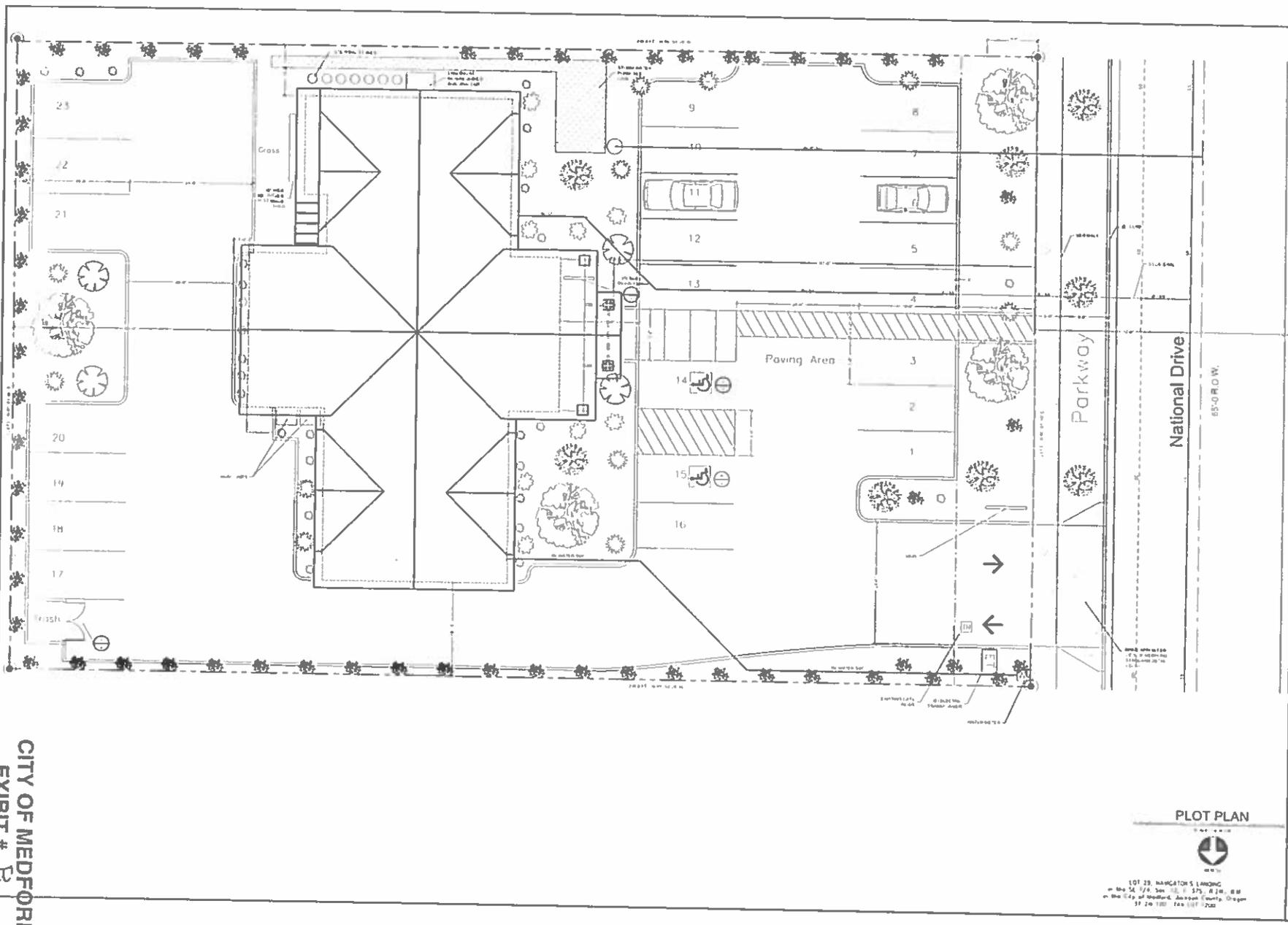
CODE REQUIRED CONDITIONS

Prior to issuance of the first building permit for vertical construction, the applicant shall:

1. Comply with all conditions stipulated by the Medford Water Commission (Exhibit L).
2. Comply with all conditions stipulated by the Rogue Valley Sewer Services (Exhibit N).
3. Comply with all requirements of the Medford Fire Department (Exhibit M).
4. Comply with all conditions of the Public Works Department (Exhibit K)

See drawing for notes, but refer to File # AC-16-119

CITY OF MEDFORD
EXHIBIT # B
FILE # AC-16-119



PLOT PLAN



LOT 29, NAVIGATOR'S LANDING
- 34 1/4' 30' 15' 17' 18' 19' 20' 21' 22'
in the City of Medford, Jackson County, Oregon
37 20 100 Fax 541 754 2200



New Building For
Mr. Nick Sarani

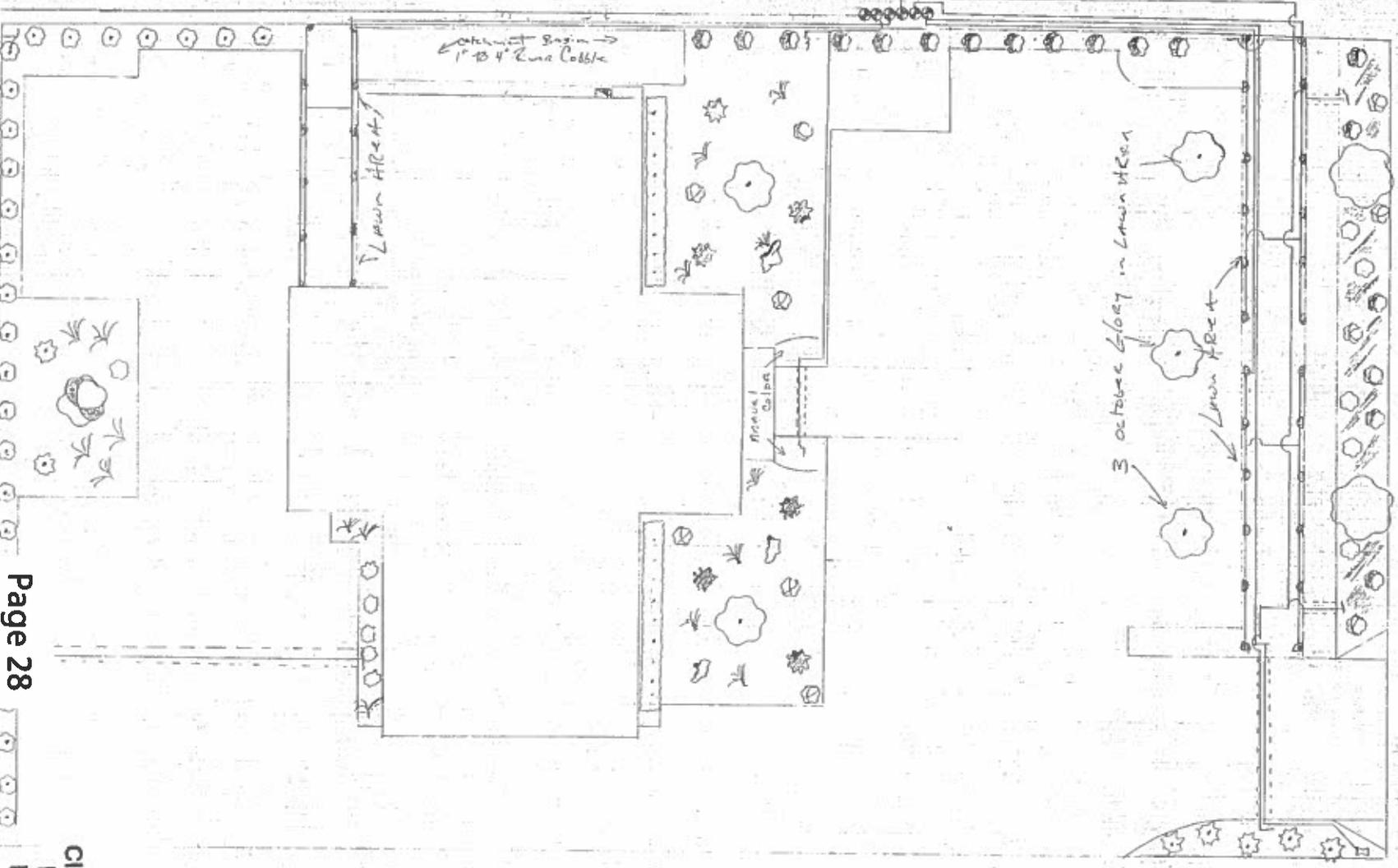
SNYDER ENGINEERING
Integrated Design Services
Spring Design & Collaborative
127 2nd Street
Medford, Oregon 97504
541.754.2200

DATE	REVISIONS	BY

Plot Plan

3

3 of 10



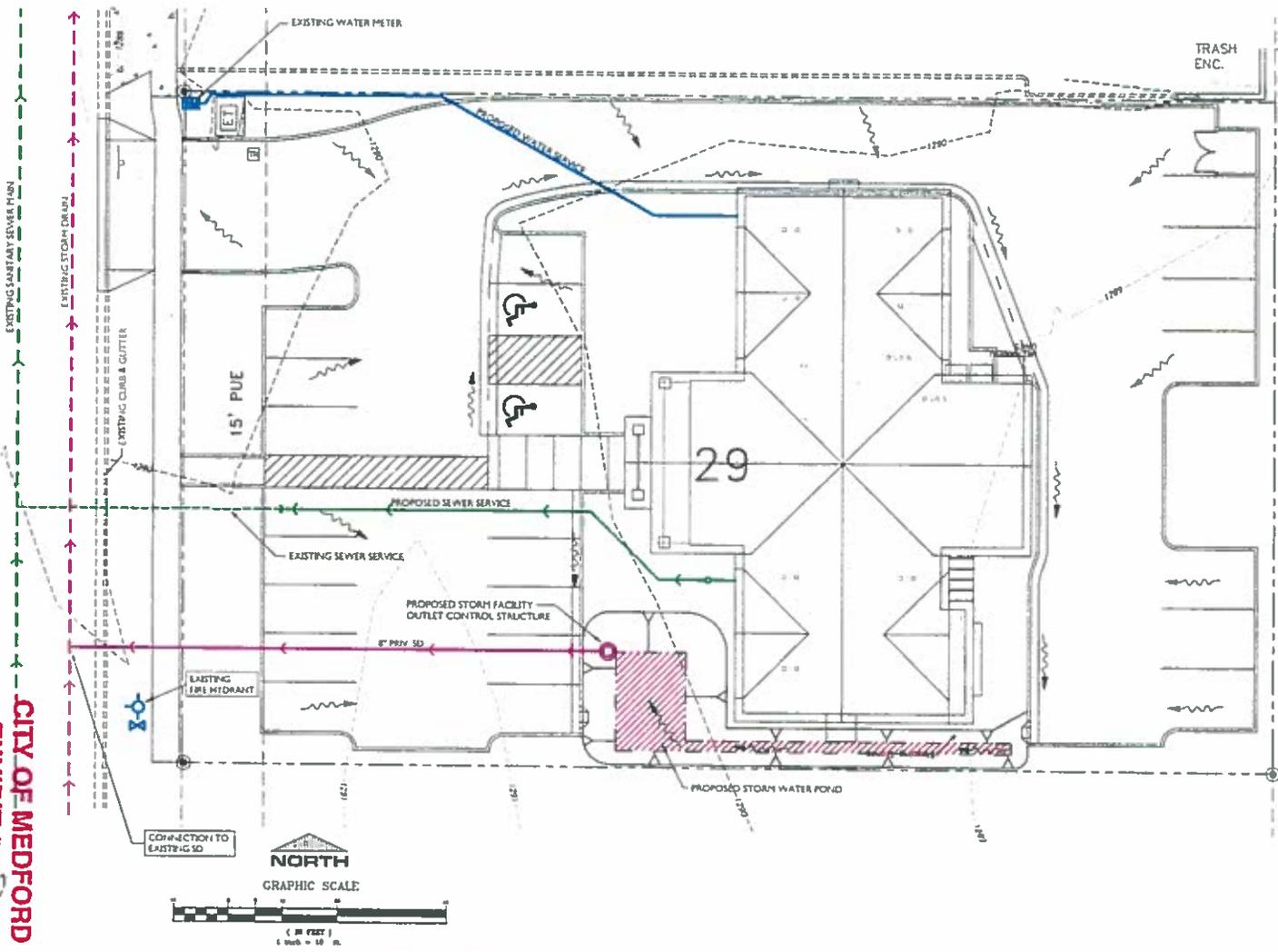
D X 1" dia 1/2" deep
 D D 2" dia 1/2" deep
 D D 3" dia 1/2" deep
 D D 4" dia 1/2" deep
 D D 5" dia 1/2" deep
 D D 6" dia 1/2" deep
 D D 7" dia 1/2" deep
 D D 8" dia 1/2" deep
 D D 9" dia 1/2" deep
 D D 10" dia 1/2" deep
 D D 11" dia 1/2" deep
 D D 12" dia 1/2" deep
 D D 13" dia 1/2" deep
 D D 14" dia 1/2" deep
 D D 15" dia 1/2" deep
 D D 16" dia 1/2" deep
 D D 17" dia 1/2" deep
 D D 18" dia 1/2" deep
 D D 19" dia 1/2" deep
 D D 20" dia 1/2" deep
 D D 21" dia 1/2" deep
 D D 22" dia 1/2" deep
 D D 23" dia 1/2" deep
 D D 24" dia 1/2" deep
 D D 25" dia 1/2" deep
 D D 26" dia 1/2" deep
 D D 27" dia 1/2" deep
 D D 28" dia 1/2" deep
 D D 29" dia 1/2" deep
 D D 30" dia 1/2" deep
 D D 31" dia 1/2" deep
 D D 32" dia 1/2" deep
 D D 33" dia 1/2" deep
 D D 34" dia 1/2" deep
 D D 35" dia 1/2" deep
 D D 36" dia 1/2" deep
 D D 37" dia 1/2" deep
 D D 38" dia 1/2" deep
 D D 39" dia 1/2" deep
 D D 40" dia 1/2" deep
 D D 41" dia 1/2" deep
 D D 42" dia 1/2" deep
 D D 43" dia 1/2" deep
 D D 44" dia 1/2" deep
 D D 45" dia 1/2" deep
 D D 46" dia 1/2" deep
 D D 47" dia 1/2" deep
 D D 48" dia 1/2" deep
 D D 49" dia 1/2" deep
 D D 50" dia 1/2" deep
 D D 51" dia 1/2" deep
 D D 52" dia 1/2" deep
 D D 53" dia 1/2" deep
 D D 54" dia 1/2" deep
 D D 55" dia 1/2" deep
 D D 56" dia 1/2" deep
 D D 57" dia 1/2" deep
 D D 58" dia 1/2" deep
 D D 59" dia 1/2" deep
 D D 60" dia 1/2" deep
 D D 61" dia 1/2" deep
 D D 62" dia 1/2" deep
 D D 63" dia 1/2" deep
 D D 64" dia 1/2" deep
 D D 65" dia 1/2" deep
 D D 66" dia 1/2" deep
 D D 67" dia 1/2" deep
 D D 68" dia 1/2" deep
 D D 69" dia 1/2" deep
 D D 70" dia 1/2" deep
 D D 71" dia 1/2" deep
 D D 72" dia 1/2" deep
 D D 73" dia 1/2" deep
 D D 74" dia 1/2" deep
 D D 75" dia 1/2" deep
 D D 76" dia 1/2" deep
 D D 77" dia 1/2" deep
 D D 78" dia 1/2" deep
 D D 79" dia 1/2" deep
 D D 80" dia 1/2" deep
 D D 81" dia 1/2" deep
 D D 82" dia 1/2" deep
 D D 83" dia 1/2" deep
 D D 84" dia 1/2" deep
 D D 85" dia 1/2" deep
 D D 86" dia 1/2" deep
 D D 87" dia 1/2" deep
 D D 88" dia 1/2" deep
 D D 89" dia 1/2" deep
 D D 90" dia 1/2" deep
 D D 91" dia 1/2" deep
 D D 92" dia 1/2" deep
 D D 93" dia 1/2" deep
 D D 94" dia 1/2" deep
 D D 95" dia 1/2" deep
 D D 96" dia 1/2" deep
 D D 97" dia 1/2" deep
 D D 98" dia 1/2" deep
 D D 99" dia 1/2" deep
 D D 100" dia 1/2" deep

- Autumn Blaze Maple
- October Glory
- Ginkgo Biloba
- Kanukia (Oak)
- Otto Lofran
- Photinia
- Rhaphia
- Dwarf Escallonia
- Rosy Glow Barberry
- Dwarf Mugo Pine
- Dwarf Boxwood
- Associated Grasses
- Escallonia Pink
- Sm Rock

RECEIVED
 SEP 27 2016
 PLANNING DEPT.

Total Irrigation, L.L.C.
 541.773.1968
 1. Nick Sorani
 For Hamcon Builders LLC

CITY OF MEDFORD
EXHIBIT # D



- LEGEND**
- PROPOSED STORM FACILITY OUTLET CONTROL STRUCTURE
 - PROPOSED STORM MAIN
 - EXISTING STORM MAIN
 - DRAINAGE DIRECTION
 - EXISTING WATER MAIN
 - EXISTING FIRE HYDRANT
 - PROPOSED WATER SERVICE
 - PROPOSED SANITARY SEWER SERVICE
 - EXISTING SANITARY SEWER MAIN
 - EXISTING 5' CONTOUR
 - EXISTING 1' CONTOUR



RECEIVED
SEP 27 2016
PLANNING DEPT.

EXHIBIT C.1



P.O. Box 1734 - Medford, Oregon 97501
PH: (541) 779-5888

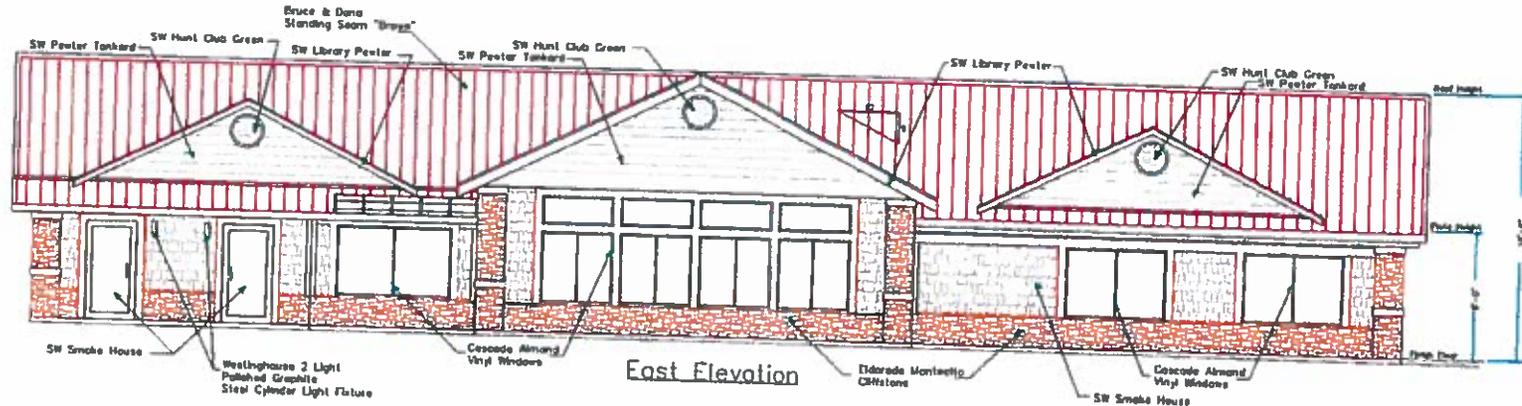
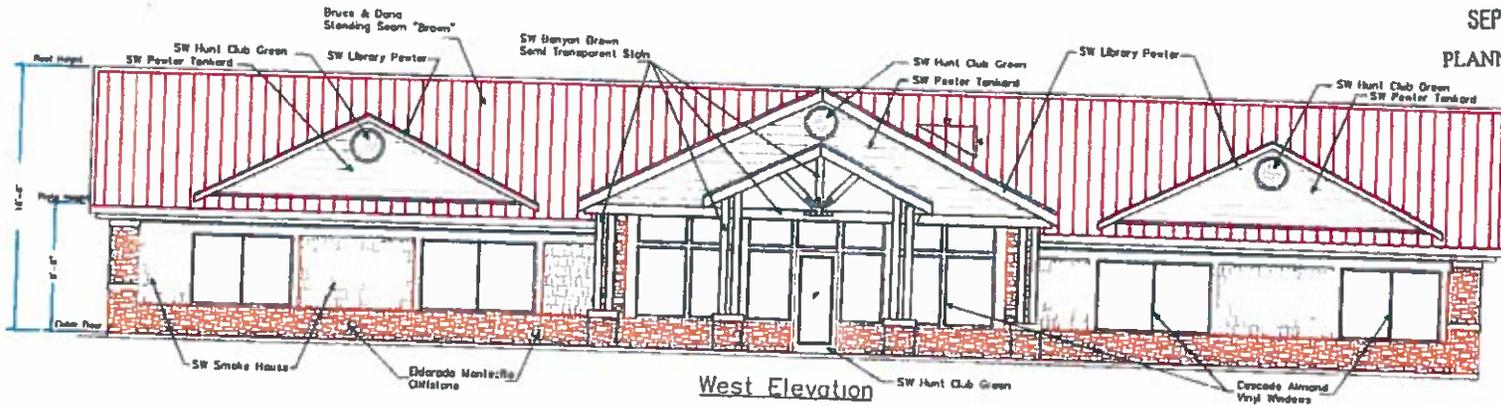
DRAWN BY: xxy	DATE: 02/11
CHECKED BY: xxx	DATE: 02/11
	DATE:
	DATE:
	DATE:

NO.	REVISION	DATE	BY

NOT FOR CONSTRUCTION

CONSTRUCTION ENGINEERING CONSULTANTS, INC.
3550 NATIONAL DRIVE
PROPOSED OFFICE BUILDING
CONCEPTUAL
GRADING, DRAINAGE, AND UTILITY PLAN

RECEIVED
 SEP 27 2016
 PLANNING DEPT.

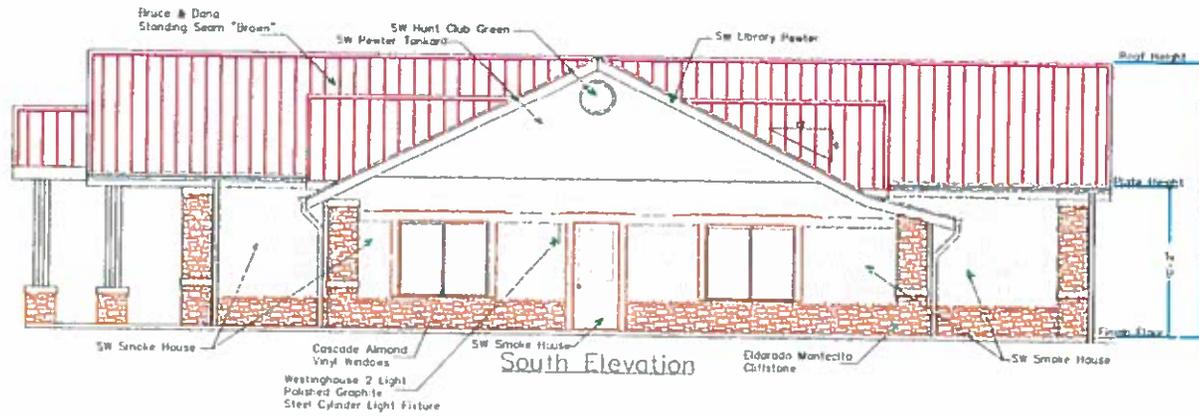
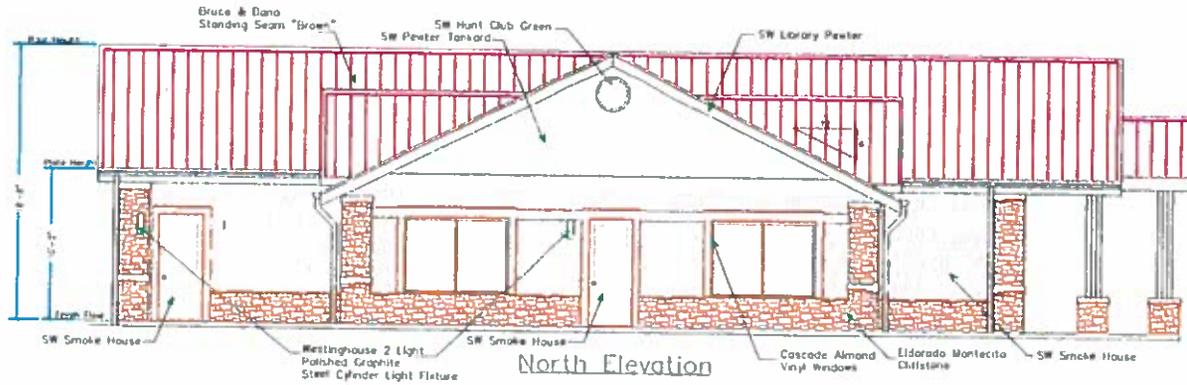


CONTRACTOR: HamCon Builders LLC. 2054 Antelope Rd., White City OR 97503 (541) 826-2777 Fax (541) 826-2775		LICENSE # <u> </u> EXPIRE DATE <u> </u>
OWNER: Nick Sorazi 3550 National Drive Medford, Oregon 97501		CustomCADGraphics 949 East Viles Road Central Point, Oregon 97502 Cell: 541-621-5217
PROJECT: New Office Building 3550 National Drive Medford, Oregon		
DESIGN CUSTOM SHEET NAME: ELEVATIONS		Date: 5-24-2016 Scale: 1/8" = 1'-0" 4 OF 7

CITY OF MEDFORD
 EXHIBIT #
 File # AC-16-119

Exhibit A'

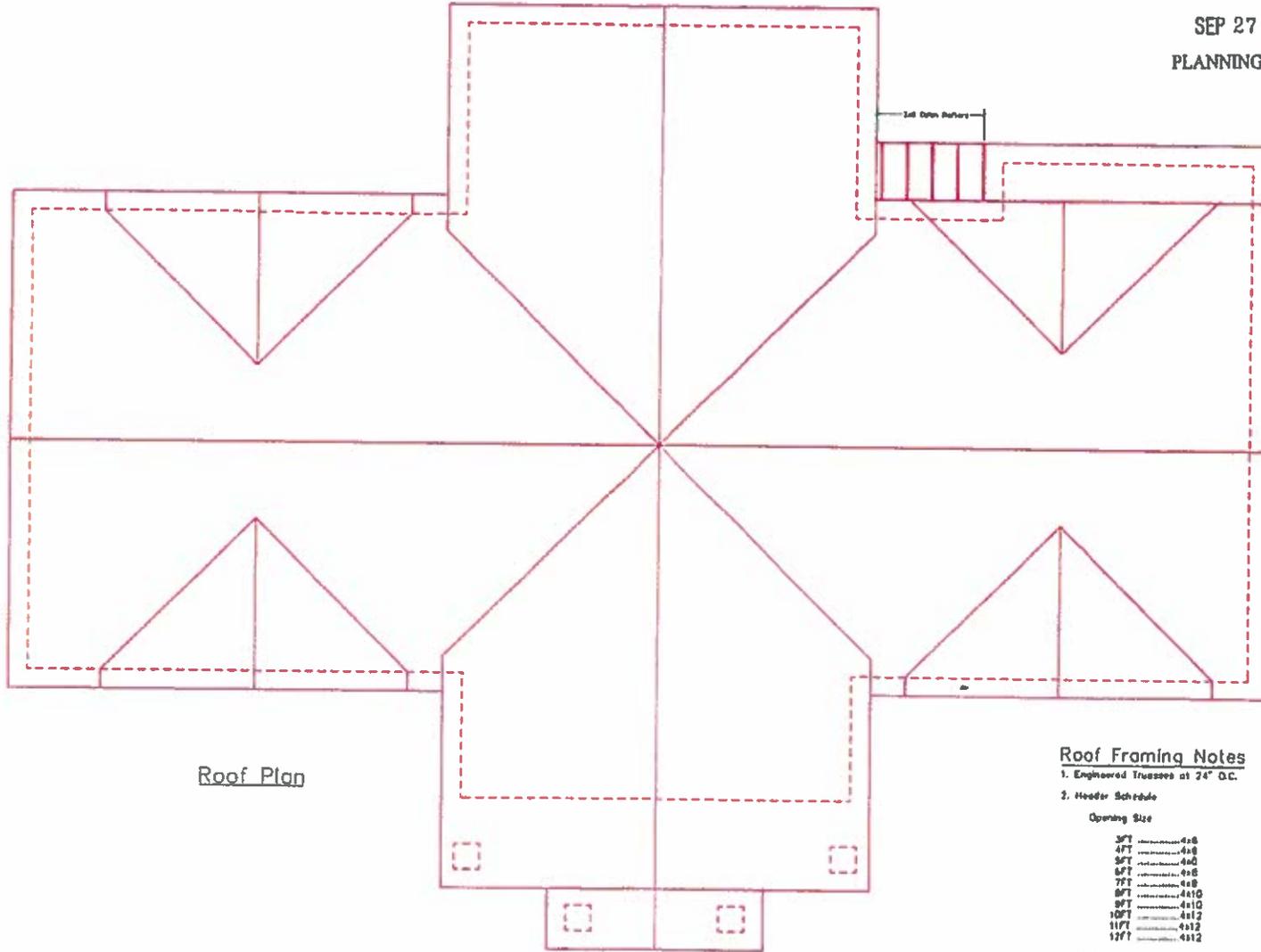
RECEIVED
 SEP 27 2016
 PLANNING DEPT.



LICENSE # 204397 DATE REVISED	
CONTRACTOR: HamCon Builders LLC. 2054 Antelope Rd., White City OR, 97503 (541) 826-2777 Fax (541) 826-2775	
OWNER: Nick Sorani 3550 National Drive Medford, Oregon 97501	
CustomCADGraphics 949 East Vilas Road Central Point, Oregon 97502 Cell: 541-621-5217	
PROJECT: New Office Building 3550 National Drive Medford, Oregon	DESIGN, CUSTOM SHEET NAME: ELEVATIONS
Date: 5-24-2016 Scale: 1/8" = 1'-0" 5 OF 7	

CITY OF MEDFORD
 EXHIBIT #
 File # AC-16-119

CITY OF MEDFORD
 EXHIBIT # _____
 File # AC-16-119



Roof Plan

Roof Framing Notes

1. Engineered Trusses at 24" O.C.
2. Header Schedule
 Opening Size

3FT	.....	4x8
4FT	.....	4x8
5FT	.....	4x8
6FT	.....	4x8
7FT	.....	4x8
8FT	.....	4x10
9FT	.....	4x10
10FT	.....	4x12
11FT	.....	4x12
12FT	.....	4x12
3. All Structural Lumber To Be No. 1 Douglas Fir or Better

CITY OF MEDFORD
 EXHIBIT # _____
 File # AC-16-119

RECEIVED
 SEP 27 2016
 PLANNING DEPT.

PROJECT: New Office Building 3550 National Drive Medford, Oregon	CONSTRUCTOR: HamCon Builders LLC. 2054 Antelope Rd., White City OR, 97503 (541) 826-2777 Fax (541) 826-2775	OWNER: Nick Sorani 3550 National Drive Medford, Oregon 97501										
	CUSTOMER: CustomCADGraphics 849 East Villas Road Central Point, Oregon 97502 Call: 541-621-5217	ORDER # / REVISIONS RECEIVED <table border="1"> <tr><td> </td><td> </td></tr> </table>										
DATE: 4-28-2016		SHEET NO.: 7 OF 7										

RECEIVED

NOV 18 2016

PLANNING DEPT.

Amended

The amended narrative is in response to the letter received regarding our pending SPAC application for Sorani Office Building (AC-16-119).

- The minimum drive aisle requirement is 20'. Our proposed drive aisle, between the southerly lot line and the building, is 18'6". The engineer contacted the Medford Fire Commissioner who advised this was not an issue as they would not need to drive to the rear of the building, and that their hoses would be able to reach the entire building when parked in the front parking lot.
- The drive aisle adjacent to parking spaces 21-23 has been adjusted to the minimum requirement of 24'.
- We acknowledge the current PUE requirement is only 10'. However, when the subdivision was initially developed the requirement was 15' and we want to keep the look in-line with the existing properties. There is no vehicle parking located within the PUE.
- We have included the five (5) minimum required bicycle parking on the site plan.
- We have identified the walkway and sidewalk on the site plan (which eliminates parking space #4).
- The revised site plan includes the right-of-way dimensions of National Drive, along with all existing and proposed utilities.
- The revised site plan includes the proposed method of concealment for the HVAC. The two (2) HVAC units are located on the back side of the build, and are not visible from the street. We are also using shrubs to conceal the HVAC units further from any parking traffic.

Section I - Narrative

The proposed development consists of a 4,299 square foot, single story commercial building, sitting on a 0.57 acre I-L zoned lot. The building will consist of one business, contain a lobby, seven offices, a break room, and a conference room. Additionally, there will be four restrooms, two of which will be ADA compliant.

Section II – Compatibility: Criterion No. 1

A. Adjacent Developments:

1. Crater Chiropractic Clinic P.C.
3560 National Drive, Ste. 100
Medford, OR 97504
2. Re/Max Ideal Brokers, Inc.
3539 Heathrox Way, Ste. 200
Medford, OR 97504
3. Lanphier Associates Inc.
3559 National Drive, Ste. 102
Medford, OR 97504
4. Cooper Studios
3559 National Drive, Ste. 105
Medford, OR 97504
5. Bruce Mitchell Family Dentistry

CITY OF MEDFORD
EXHIBIT # 3
File # AC-16-119

3560 National Drive, Ste. 102
Medford, OR 97504

6. Action Transportation
3569 National Drive, Ste. 100
Medford, OR 97504

B. Exterior Treatments:

1. Roofing: Shall be a concealed fastener standing seam prefinished roofing, using the manufactured trim pieces as supplied by the manufacturer. The color is to be Bruce and Dana "Brown" as shown on Exhibit 'B'.
2. Siding: Shall be "Hardie" lap on the gable ends and shingle siding on the walls, as shown on exhibit 'A', and painted Sherwin Williams SW0023, "Pewter Tankard", and SW7040, "Smokehouse", respectively and as described on Exhibit 'B'. The location of these siding types as shown on Exhibit 'A'.
3. Masonry: Shall be manufactured by "Eldorado Stone", and the product is "Montecito Cliffstone", with the grout color natural concrete, as described in Exhibit 'B'. The location of this masonry is shown on Exhibit 'A'.
4. Exterior Doors and Trim: The front entry door is to be a full-light fiberglass door painted Sherwin Williams SW6468, "Hunt Club". The two exterior doors, located on the North and South sides of the building, will be half-light solid core fiberglass doors, painted Sherwin Williams SW7040, "Smokehouse", as described in Exhibit 'B', and shown on Exhibit 'A'. The two remaining exterior doors, located on the East elevation, are solid core, no-light, fiberglass, painted Sherwin Williams SW7040 "Smokehouse". The trim color for all doors and windows is Sherwin Williams SW7040 "Smokehouse". The accent color is Sherwin Williams SW6468 "Hunt Club", and is on the gable vents. The varge rafters will be painted Sherwin Williams SW0023 "Library Pewter". The gable ends will be painted Sherwin Williams SW0023 "Pewter Tankard". The gutters and downspouts will be the same color as the roofing. All colors are described in Exhibit 'B', and the locations are shown on Exhibit 'A'.

C. Exterior Architecture:

The exterior façade shall be broken up through the combined use of various colors, finishes, and architectural elements. Siding shall incorporate a mixture of Hardie lap, shingles, and masonry; incorporating various sized vinyl windows. Dormers will be used on the North and South sides, and there will be gables with columns incorporated on all four sides of the building. All colors are described in Exhibit 'B', and the locations are shown on Exhibit 'A'.

D. Building Placement:

The building setbacks are West or front 82', East or rear 46', North 4', and South 24'; shown on Exhibit 'A'. The main entrance is visible from the street and sidewalk, and client parking is located in front of the building.

E. Exterior Pedestrian Facilities:

There will be lawn with shade trees along the sidewalk, along with a walkway that connects the sidewalk to the business entrance. There will also be ample landscaping located near the entrance, as well as a picnic area on the backside of the building.

F. Site Access:

There will be one vehicle entrance located on the West (front) side of the property; which can accommodate two directionally traffic as well as bicycle access. Additionally, there will be a walkway connecting the sidewalk to the main building entrance which can be utilized by pedestrians. The business signage shall be located on the West side of the property next to the parking lot entrance and will be visible to both vehicles and pedestrians.

G. Existing Vegetation:

There are no existing trees on the property, nor is there any other existing vegetation. All new trees will be compliant to the subdivisions CC&R's, as well as the City of Medford's ordinances.

H. Storm Water Drainage:

There will be a water detention area along the south side of the building. The main area will be south of the main entrance, and measures 13'x 18'(234 square feet). This area will be landscaped to match/compliment the area to the north of the main entrance. Landscaping will include a variety of plantings. There will be one October Glory tree centered in this area, with assorted shrubs and ornamental grasses surrounding the tree. The ground cover will be a fine bark mulch.

There will also be a catch basin running along the south side of the building which will contain 4" of river cobble and no vegetation. The drain basin ties into the main water detention area, and is 2' x 60' (120 square feet); which provides a combined total of 468 square feet of storm drainage.

I. Landscaping:

All landscaping will comply with City of Medford ordinances as well as the subdivision's CC&Rs. The intent is to soften the exterior look of the building by incorporating a variety of textures through the landscaping. There will be landscaping in a variety of areas on the property in order to break up the hardscaping. The various trees will provide shading, while the additional plantings will add depth and variety. Both the trees and shrubs are a mix of evergreen and deciduous, which will allow for foliage all year.

J. Exterior Lighting:

There will be four (4) HALO 4" recessed can lights (1 CFL Luminaire, 111 watts, dusk to dawn) installed by the front entrance. Additionally, there will be one wall mounted fixture by all other exterior doors (Westinghouse 2-Lt w/PAR 30 LED, 22 watts, dusk to dawn); five wall mounted fixtures total.

K. Signage:

There will be a sign located along National Drive, between the sidewalk and the parking lot. The sign will be in a lawn area with a few perennials bordering the sign itself. The landscaping is intended to soften the look of the sign, which will coordinate with the siding on the main building. There will not be any lighting for the sign as the business will only operate during daylight hours.

L. Fencing:

The only fencing on the property will be the enclosure for the trash receptacle. This area will be 8'8" x 10'0", with block walls and a sheet metal gate. The height will be 5'4" and meets all City of Medford ordinances.

M. Noise:

The owner/occupant will maintain a life coaching and counseling business at this property, and will not engage in any activities that conflict with City of Medford ordinance 10.752.

N. Miscellaneous:

None

O. Exceptions:

None

P. Landscape Petition:

None



Continuous Improvement Customer Service

CITY OF MEDFORD

LD Date: 12/21/2016
File Number: AC-16-119
Reference: PUD-01-155

PUBLIC WORKS DEPARTMENT STAFF REPORT **3550 National Drive** **Sorani Office Building**

Project: Consideration of plans for the development of a 4,299 square foot one-story commercial building on 0.57 acres.

Location: Located at 3550 National Drive in the Light Industrial (I-L) zoning district (372W12D TL 11200).

Applicant: HamCon Builders, Applicant. Dustin Severs, Planner.

Applicability: The Medford Public Works Department's conditions of Preliminary Plan Approval for Navigator's Landing PUD were adopted by Order of the Medford Planning Commission on March 14th, 2002 (PUD-01-155). The adopted condition of this action shall remain in full force as originally adopted except as amended or added to below.

NOTE:

The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention.
- Completion of all public improvements, if required. The applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements will need to be approved by the Public Works Engineering Division prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas.
- Certification by the design engineer that the stormwater quality and detention system was constructed per the approved plan.
- Completion of all public improvements, if applicable.

A. STREETS

1. Dedications

National Drive is classified as a Commercial Street, and in accordance with Medford Land Development Code (MLDC) Section 10.429, requires a total right-of-way width of 63-feet. **No additional right-of-way is required.**

There is currently a 15-foot PUE along the frontage of National Drive that was originally dedicated with the final plat for Navigator's Landing (Survey #17310).

2. Public Improvements

a. Public Streets

Standard street section improvements have been completed on **National Drive**, including pavement, curb and gutter, street lights and partial sidewalk as part of The Landing Subdivision (P1295D) improvements. **However, a 5-foot wide sidewalk with a 9-foot planter strip will be required along this developments frontage.**

b. Street Lights and Signing

No additional street lights are required.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer's contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided the Developer.

c. Pavement Moratoriums

There is no pavement cutting moratorium currently in effect along this frontage to National Drive.

d. Access to Public Street System

Driveway access to the proposed development site shall comply with MLDC 10.550.

3. Section 10.668 Analysis

To support a condition of development that an applicant dedicate land for public use or provide a

public improvement, the Medford Code requires a nexus and rough proportionality analysis which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

10.668 Limitation of Exactions

Notwithstanding any other provisions of this Chapter 10, an applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless:

(1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose and that there is a rough proportionality between the burden of the exaction on the developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or

(2) a mechanism exists and funds are available to fairly compensate the applicant for the excess burden of the exaction to the extent that it would be a taking.

1. Nexus to a legitimate government purpose

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, emergency services and pedestrians. Further, these rights-of-way are used to provide essential services such as sanitary sewer, domestic water and storm drains to serve the developed parcels. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

2. Rough proportionality between the dedications and improvements, and the impacts of development.

No mathematical formula is required to support the rough proportionality analysis. Furthermore, benefits to the development resulting from the dedication and improvements when determining “rough proportionality” have been considered, including but not limited to: increased property values, intensification of use, as well as connections to municipal services and the transportation network.

As set forth below, the dedications and improvements recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development.

National Drive:

The additional improvements will provide a planter strip and sidewalk on National Drive. The planter strip moves pedestrians a safe distance from the edge of the roadway. National Drive will be the primary route for pedestrians traveling to and from this development. The development shall construct approximately 120 linear feet of sidewalk along the frontage of the property. All developments in Medford are required to construct their frontage sidewalk and therefore this is roughly proportional.

B. SANITARY SEWERS

This site lies within the Rogue Valley Sewer Service (RVSS) area. The Developer shall contact RVSS for conditions of connection to the sanitary sewer collection system.

C. STORM DRAINAGE

1. Drainage Plan

A comprehensive drainage plan showing the project's impacted site with sufficient information to determine the direction of runoff to the existing or proposed drainage system, and also showing elevations of the proposed drainage system (if applicable), shall be submitted with the first building permit application for approval.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

A Site/Utility Plan shall be submitted with the building permit application to show the location of existing or proposed stormdrain lateral/s for the site.

All private storm drain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729.

It appears that a portion of this development is on soils classified as belonging to the Type B hydrologic soil group as mapped by the Soil Survey of Jackson County, and on a slope of 5% or less. As such, the project will need to implement Low Impact Development techniques (on that portion of the property within the Type B classification) as listed in the Rogue Valley Stormwater Quality Design Manual. The Applicant may elect to test the soil to determine classification, and if so, testing must be conducted by a licensed Geotechnical Engineer in the state of Oregon.

4. Certification

Upon completion of the project, and prior to certificate of occupancy of the building, the Developer's design engineer shall certify that the construction of the stormwater quality and

detention system was constructed per plan. Certification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

5. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

D. GENERAL CONDITIONS

1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the Public Works Engineering office.

2. Construction Plans

If required, construction drawings for any public improvements for this project shall be prepared by a professional engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Construction drawings for public improvements shall be submitted only for the improvements to be constructed with each phase. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets, minimum access drives, sanitary sewers, storm drains, and street lights as required by the governing commission's Final Order, together with all pertinent details and calculations. A checklist for public improvement plan submittal can be found on the City of Medford, Public Works web site (<http://www.ci.medford.or.us/Page.asp?NavID=3103>). The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

In order to properly maintain an updated infrastructure data base, the Surveyor of Record shall submit an as-built survey prior to the Final Inspection and, the Engineer of Record shall submit mylar "as-constructed" drawings to the Engineering Division within sixty (60) calendar days of the Final Inspection (walk through). Also, the engineer shall coordinate with the utility companies, and show all final utility locations on the "as built" drawings.

3. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans. Pre-qualification is required of all contractors prior to application for any permit to work in the public right-of-way.

Contractors proposing to do work on public streets, sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit from the County.

For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and storm drain mains be inspected by video camera prior to acceptance of these systems by the City.

Where applicable, the developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

4. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

5. System Development Charges (SDC)

Buildings in this development are subject to street, sanitary sewer treatment and storm drain SDCs. All SDC fees shall be paid at the time individual building permits are issued.

Prepared by: Doug Burroughs

SUMMARY CONDITIONS OF APPROVAL

3550 National Drive
Sorani Office Building
AC-16-119

A. Streets

1. Street Dedications to the Public:

- National Drive – No additional right-of-way required.
- 15-foot Public Utility Easement has been dedicated.

2. Improvements:

Public Streets

- National Drive – No improvements are required aside from 5-foot wide sidewalk and 9-foot planter strip.

Lighting and Signing

- No additional street lights are required

Access to Public Street System

- Driveway access shall comply with MLDC 10.550.

Other

- There is no pavement moratorium currently in effect on National Drive.

B. Sanitary Sewer:

- The site is situated within the RVSS area.

C. Storm Drainage:

- Provide a comprehensive grading and drainage plan.
- Provide water quality and detention facilities, calculations and O&M Manual.
- Implement Low Impact Development techniques or conduct testing.
- Provide engineers certification of stormwater facility construction.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.



BOARD OF WATER COMMISSIONERS

Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: AC-16-119

PARCEL ID: 372W12D TL 11200

PROJECT: Consideration of plans for the development of a 4,299 square foot one-story commercial building on 0.57 acres located at 3550 National Drive in the Light Industrial (I-L) zoning district. (372W12D TL 11200); HamCon Builders, Applicant. Dustin Severs, Planner.

DATE: December 21, 2016

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35>.

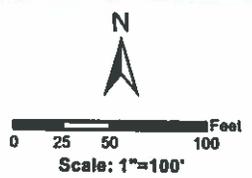
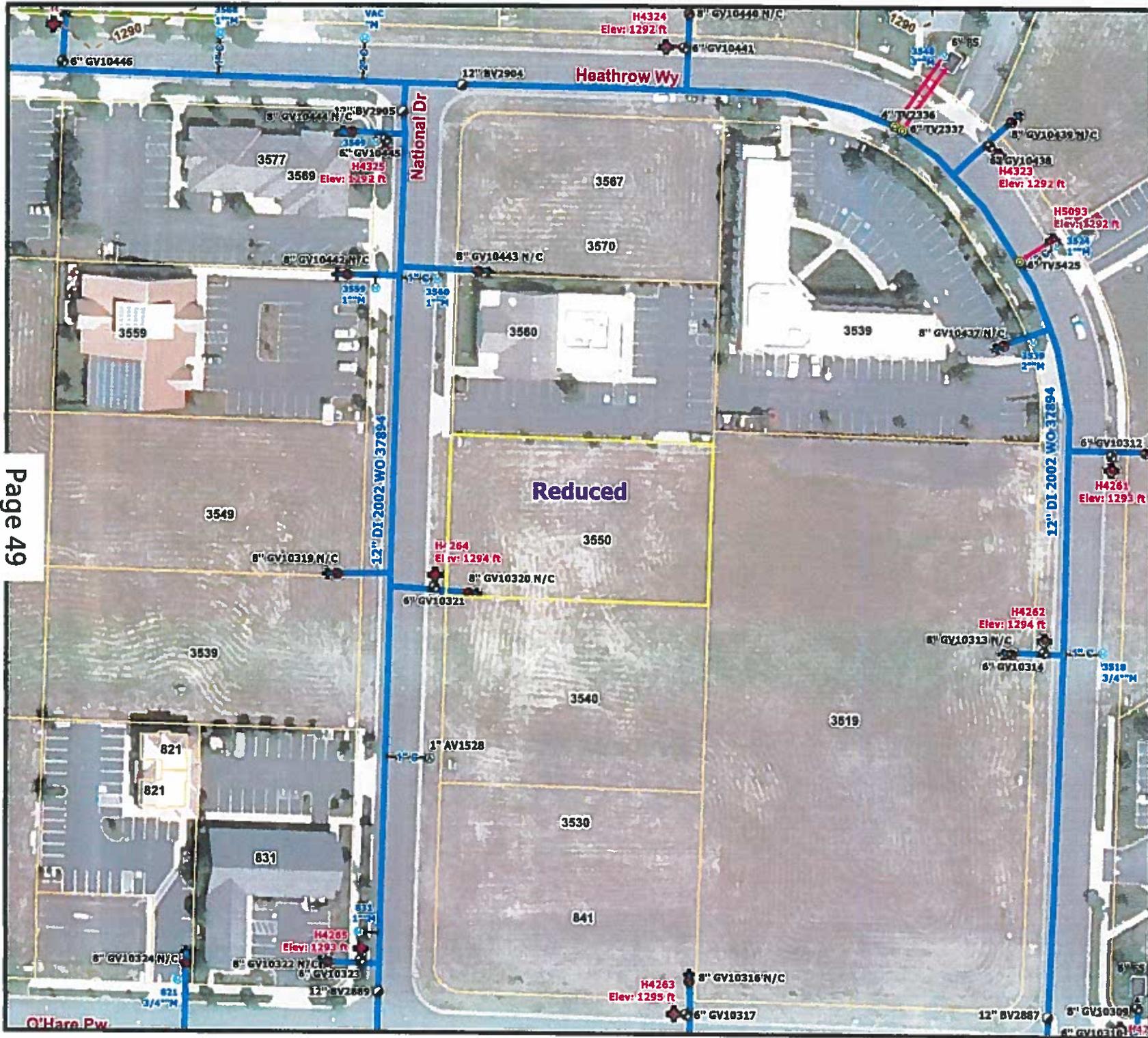
COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is not required.
3. Static water pressure is expected to be 90 psi at the water meter. Installation of Pressure Reducing Valve (PRV) is required per Uniform Plumbing Code. Pressure Reducing Valves shall be installed on the "private" side of the water meter. PRV's shall be located as close as possible to the water meter serving the parcel.
4. MWC-metered water service does not exist to this property. Although, there is an 8-inch water line stubbed to the back of the PUE for on-site water service installation and possible fire sprinkler system connection to public water system.
5. Nearest Fire Hydrant is located at south property line of this parcel, along National Drive.



Staff Memo

6. Access to MWC water lines is available. There is an existing 12-inch water line in National Drive and throughout the Navigators Landing development.



**Water Facility Map
for
AC-16-119**

Legend

- Air Valve
- Sample Station
- Fire Service
- Hydrant
- Reducer
- Blow Off
- Plugs-Caps
- Water Meters:**
 - Active Meter
 - On Well
 - Unknown
 - Vacant
- Water Valves:**
 - Butterfly Valve
 - Gate Valve
 - Tapping Valve
- Water Mains:**
 - Active Main
 - Abandoned Main
 - Reservoir Drain Pipe
 - Pressure Zone Line
- Boundaries:**
 - Urban Growth Boundary
 - City Limits
 - Tax Lots
- MWC Facilities:**
 - Control Station
 - Pump Station
 - Reservoir



This map is based on a 2010 aerial photograph by Medford Water Commission from a contract with a third-party provider. The map is not intended to be used for any purpose other than that for which it was prepared. The map is not a warranty, representation, or agreement in writing.

Page 49



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Dustin Severs

LD Meeting Date: 12/21/2016

From: Greg Kleinberg

Report Prepared: 12/12/2016

Applicant: HamCon Builders, Applicant. Dustin Severs, Planner.

File #: AC - 16 - 119

Site Name/Description:

Consideration of plans for the development of a 4,299 square foot one-story commercial building on 0.57 acres located at 3550 National Drive in the Light Industrial (I-L) zoning district. (372W12D TL 11200); HamCon Builders, Applicant. Dustin Severs, Planner.

DESCRIPTION OF CORRECTIONS	REFERENCE
----------------------------	-----------

Requirement ADDRESS IDENTIFICATION	OFC	505.1
---	------------	--------------

Building numbers shall be placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background.

Temporary signs shall be installed at each street intersection when construction of new roadways allows passage of vehicles.

Requirement FD APPARATUS ACCESS ROAD DESIGN	OFC	503.2.1
--	------------	----------------

Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches. The required width of a fire apparatus access road shall not be obstructed in any manner, including parking of vehicles. Minimum required widths and clearances established under section 503.2.1, shall be maintained at all times. The fire apparatus access road shall be constructed as asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 60,000 pounds.

(See also OFC 503.4; D102.1)

The turning radius on fire department access roads shall meet Medford Fire Department requirements (OFC 503.2.4).

Requirement PRIVATE FIRE DEPARTMENT ACCESS PARKING RESTRICTION	OFC	503.4
---	------------	--------------

Parking shall be posted as prohibited along fire lanes.

Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).

Where parking is prohibited for fire department vehicle access purposes, NO PARKING-FIRE LANE signs shall be spaced at minimum 50' intervals along the fire lane (minimum 75' intervals in 1 & 2 family residential areas) and at fire department designated turn-around's. The signs shall have red letters on a white background.

CITY OF MEDFORD
EXHIBIT # M
File # AC-16-119



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Dustin Severs

LD Meeting Date: 12/21/2016

From: Greg Kleinberg

Report Prepared: 12/12/2016

Applicant: HamCon Builders, Applicant. Dustin Severs, Planner.

File #: AC - 16 - 119

Site Name/Description:

PARKING-FIRE LANE" (See handout).

For privately owned properties, posting/marketing of fire lanes may be accomplished by any of the following alternatives to the above requirement (consult with the Fire Department for the best option):

Alternative #1:

Curbs shall be painted red along the entire distance of the fire department access. Minimum 4" white letters stating "NO PARKING-FIRE LANE" shall be stenciled on the curb at 25-foot intervals.

Alternative #2:

Asphalt shall be striped yellow or red along the entire distance of the fire department access. The stripes shall be at least 6" wide, be a minimum 24" apart, be placed at a minimum 30-60 degree angle to the perimeter stripes, and run parallel to each other. Letters stating "NO PARKING-FIRE LANE" shall be stenciled on the asphalt at 25-foot intervals.

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths (20' wide) and clearances (13' 6" vertical) shall be maintained at all times (OFC 503.4; ORS 98.810-12).

This restriction shall be recorded on the property deed as a requirement for future construction.

A brochure is available on our website or you can pick up one at our headquarters.

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.



ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 7502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

December 15, 2016

City of Medford Planning Department
200 S. Ivy Street
Medford, Oregon 97501

Re: AC-16-119, Hamcon Builders (Map 372W12D, Tax Lot 11200)

ATTN: Dustin,

The subject property is within the Rogue Valley Sewer Services service area. There is an 8 inch sewer main along National Drive with and a 4 inch lateral extended to the property. The permit to connect to this service will be issued by the City of Medford. However, there will be system development charges owed to Rogue Valley Sewer Services.

Rogue Valley Sewer Services requests that approval of this application be subject to the following condition:

1. The applicant must determine and submit the condition of the existing lateral through video inspection prior to connection.
2. The applicant must provide RVSS with a plumbing fixture plan for the determination of system development charges.
3. The applicant must pay sewer system development charges to Rogue Valley Sewer Service prior to issuance of a building permit.

Sincerely,

Nicholas R. Bakke

Nicholas R. Bakke, P.E.
District Engineer

K:\DATA\AGENCIES\MEDFORD\PLANNING\ARCH COMM\2016\AC-16-119_HAMCON BUILDERS.DOC

CITY OF MEDFORD
EXHIBIT # N
File # AC-16-119

Dustin J. Severs

From: CAINES Jeff <Jeff.CAINES@aviation.state.or.us>
Sent: Friday, December 16, 2016 12:39 PM
To: Dustin J. Severs
Subject: AC-16-119 - ODA Comments

Dustin:

Thank you for allowing ODA to comment on the proposed commercial building located at 3550 National Drive (37-2W-12D TL 11200). ODA has reviewed the proposed building and have the following comments:

The site is approximately 2800 feet WSW of the runway at the Rouge Valley Int'l airport. The site elevation is approximately 1300 feet AMSL and the airport is listed at 1335 feet AMSL. Due to the elevation difference, distance from the runway and existing structures between the site and the airport; ODA finds that the proposed development will not pose a hazard to air navigation.

Therefore, no FAA 7460-1 will be required to be submitted to ODA.

Please feel free to contact me if you or the applicant have any questions.

Jeff

Jeff Caines, AICP

Oregon Department of Aviation
Aviation Planner / SCIP Coordinator
3040 25th St. SE | Salem, OR 97302
Office: 503.378.2529

Cell / Text: 503.507.6965
Email: Jeff.Caines@aviation.state.or.us

*****CONFIDENTIALITY NOTICE*****

This e-mail may contain information that is privileged, confidential, or otherwise exempt from disclosure under applicable law. If you are not the addressee or it appears from the context or otherwise that you have received this e-mail in error, please advise me immediately by reply e-mail, keep the contents confidential, and immediately delete the message and any attachments from your system.

CITY OF MEDFORD
EXHIBIT # 0
File AC-16-119

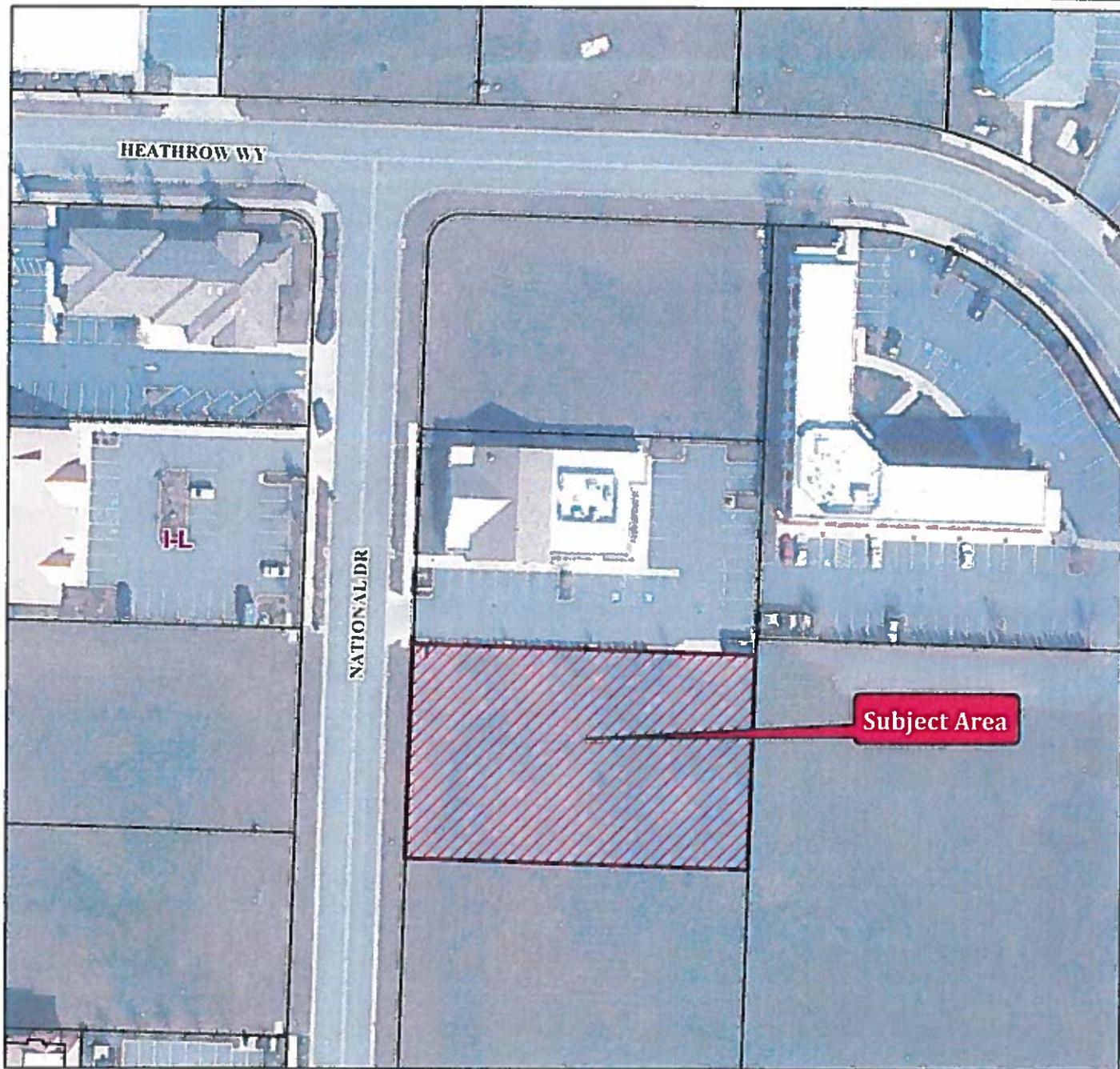


City of Medford
Planning Department

Vicinity
Map

File Number:

AC-16-119



Project Name:

Sorani Office Building

Map/Taxlot:

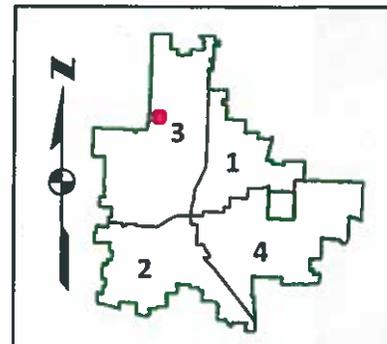
372W12D TL 11200

0 62.5 125
Feet

12/05/2016

Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots
-  Streets





City of Medford

Planning Department

Working with the community to shape a vibrant and exceptional city

STAFF REPORT

for a Type-C quasi-judicial decision: **Site Plan and Architectural Review**

PROJECT Center Drive Hotel
Applicant: Sycan B Development; Agent: Jim Sharp, Sycan B Corp.

FILE NO. AC-16-150

TO Site Plan and Architectural Review Commission *for January 20, 2017 hearing*

FROM Dustin Severs, Planner II

REVIEWER Kelly Akin, Principal Planner *ka.*

DATE January 13, 2017

BACKGROUND

Proposal

Consideration of a proposal for the development of a four-story hotel composed of 93 rooms to be located on the vacant lot located at 1375 Center Drive within the Regional Commercial (C-R) zoning district (371W32B4701).

Subject Site Characteristics

Zoning: Regional Commercial (C-R)
GLUP: Commercial (CM)
Overlay(s): None
Use: Vacant

Surrounding Site Characteristics

North Zone: C-R
Use(s): Southern Oregon Ice Rink

South Zone: C-R
Use(s): Marriot Hotel

East Zone: SFR-00
Use(s): future South Side Center development

West Zone: (C-R)
Use(s): Vacant lot, Walmart.

Related Projects

- AC-03-244 Kaczor commercial/office building
LDP-04-147 Kaczor partition
PA-16-144 Center Drive Hotel pre-application

Applicable Criteria

MLDC Section: 10.290 – Site Plan & Architectural Review Criteria

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) The proposed development is compatible with uses and developments that exist on adjacent land; and*
- (2) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

ISSUES AND ANALYSIS

Background

The subject property consists of a single tax lot totaling 2.4 acres, and is currently vacant. The applicant, Sycan B Development, has a purchase agreement for the property, which is currently owned by Wal-Mart Stores, Inc. The applicant is proposing the development of a 13,850 square foot, four story Holiday Inn Express Hotel and Suites consisting of 93 guest rooms, a guest breakfast room, a meeting room with a 16 person capacity, and an indoor pool.

The applicant applied for a pre-application on September 14, 2016, in order for the proposed development to be preliminarily reviewed prior to Site Plan & Architectural Commission (SPAC) submittal. After receiving preliminary comments from the Planning staff and other pertinent departments and agencies, the applicant submitted an application for SPAC review on November 23, 2016.

Access/Road Reservation

The property is configured as a flag lot with the “flag pole” section providing access from Center Drive - classified as a Major Arterial street. The creation of the subject flag lot in 2004 (LDP-04-147) included a road reservation consisting of a 50 foot strip of land dedicated to the City for future right-of-way along the northerly property boundary. However, the future public street reservation was subsequently removed by the City as requested by the applicant.

Dan Nash, owner of the adjoining property (371W32B3600) to the east which shares access off of Center Drive with the subject property, has expressed concerns with the applicant’s

submitted site plan in regards to the width of the private road and its capacity to handle the increased traffic that will be generated by the proposed development and the future development of the adjoining properties (Exhibit T). Mr. Nash also submitted a site plan (Exhibit S) prepared by Ron Grimes Architects in which proposes the extension of the third lane; thereby, preventing the potential stacking of vehicles attempting to make a left out from the subject property from inhibiting vehicles seeking to make a right out. Currently, the left turn lane measures 40 feet: a space sufficient to accommodate only two cars. The widening of the road to the proposed length of 225 feet would allow the left turn lane to be extended to 140 feet: roughly the length of 7 cars. Additionally, Mr. Nash's plan proposes an access be constructed for tax lot 4703 in order to accommodate its future development.

The Code does grant the Commission the discretionary authority to require street improvements be made - both public and private - in order to assure land is developed in accordance with the public safety and general welfare of the community. MLDC 10.285(A), states the following:

A. Purpose. The Site Plan and Architectural Review process is established in order to provide for review of the functional and aesthetic adequacy of development and to assure compliance with the standards and criteria set forth in this chapter for the development of property as applied to the improvement of individual lots or parcels of land as required by this code. Site Plan and Architectural Review considers consistency in the aesthetic design, site planning and general placement of related facilities such as street improvements, off-street parking, loading and unloading areas, points of ingress and egress as related to bordering traffic flow patterns, the design, placement and arrangement of buildings as well as any other subjects included in the code which are essential to the best utilization of land in order to preserve the public safety and general welfare, and which will encourage development and use of lands in harmony with the character of the neighborhood within which the development is proposed.

Staff concurs with Mr. Nash's assessment that the width of the existing private roadway is inadequate to accommodate the level of traffic in which the proposed development will generate (though there has been no traffic study performed to confirm this assessment). Of particular concern to staff is the left turn lane which currently provides space for the stacking of only two cars - a potential chokepoint leading to traffic congestion. It is further staff's view that the extension of the left turn lane to 140 feet, as suggested by Mr. Nash, would constitute a necessary and appropriate condition of approval for the proposed development.

Wetland

There is a designated wetland identified on the Local Wetland Inventory map which shows the "flag pole" section of the subject lot partially impacted by the presence of a wetland (Exhibit P). As required by ORS 227.350, staff forwarded the application to the Oregon Department of State lands (DSL) as a reviewing agency. In DSL's responding report (Exhibit Q), they have recommended that an onsite inspection by a qualified wetland consultant be performed prior to site development to determine if a wetland is present onsite, and if the presence of a

wetland is confirmed, that a wetland delineation report be prepared to determine the wetlands precise boundaries.

As a condition of approval, the applicant will be required to comply with the recommendations of DSL prior to the issuance of a building permit for vertical construction.

Transit stop

Per MLDC 10.808, all new commercial, office and institutional buildings on parcels within 600 feet of an existing or planned major transit stop, as designated by the City of Medford Transportation System Plan (TSP), require specific standards that new developments must comply with. The applicant has requested an exception from strict compliance with these standards; however, staff has concluded that the proposed development is not located within 600 of an existing or planned major transit stop based the review of the *Medford Designated Major RVTD Transit Routes and Stops* map (Exhibit R). There are several bus stops located within 600 feet of the development, but they are not identified as major transit stops in the City of Medford’s TSP. Therefore, the special standards outlined in MLDC 10.808 are inapplicable to the proposed development.

Bufferyard

Per MLDC 10.790, a bufferyard is required in order to minimize potential conflicts by providing screening between adjoining properties that have incompatible land uses (e.g., industrial abutting residential). Factors to be mitigated include nuisances, such as visual impacts of buildings or parking areas, glare, views from upper story windows, dirt, litter, noise and signs. Bufferyards require a concrete or masonry wall, along with a planting scheme of trees and shrubs of the appropriate size, shape and spacing to provide effective screening between the adjacent properties having dissimilar land uses.

MLDC 10.790-3 provides the following table identifying the two required bufferyard types:

Type	Width	Wall
A	10 feet	Six (6) foot concrete or masonry wall.
B	20 feet	Eight (8) foot concrete or masonry wall

The subject property is zoned C-R and abuts an SFR-00 property along its easterly property line; requiring the installation of a Type A bufferyard consisting of six foot concrete or masonry wall, along with a 10 foot wide planting scheme of trees and shrubs, running the length of the easterly lot line minus the roadway.

Included in the applicant’s narrative under Question O of the Compatibility Questionnaire is a request for an exception from the aforecited bufferyard requirement to construct a six foot wall along its easterly lot line, with the applicant stating the following:

We request an exception to bufferyard requirements for a concrete or cmu block, six-foot tall wall along the property line between our parcel and SFR zoned parcel to the

east. There will be a bufferyard provided with the minimum dimension of ten-feet wide and it will be landscaped per the bufferyard requirements; however, the exception to the wall is requested because: there is no similar wall along the property line separating the other parcels that share a boundary with the SFR zoned parcel; while the neighboring parcel is zoned SFR, the General Land Use Map Designation is Commercial; and its current use appears to be more of a mixed use and not a traditional single family residential use.

MLDC 10.790(E)(6) allows the Commission the discretion to approve adjustments to bufferyard requirements, stating the following:

(6) Adjustments to bufferyards: The approving authority shall have the discretion to make adjustments to the bufferyard requirements if an unusual circumstance exists and a finding is made that adequate buffering will be provided to avoid significant adverse impacts to the livability or value of the adjoining properties. Adjustments shall not be made simply for the convenience of site design. Adjustments to the bufferyard requirements may include, but are not limited to, the following:

(a) Where a building wall with no openings below eight (8) feet abuts the bufferyard, the building wall may be counted in place of a required wall or fence.

(b) Where there is existing development on the site, such as paving or a building, which affects or precludes implementation of the bufferyard standard.

(c) Where a proposed project abuts existing development, and the adjacent uses are the same (i.e., apartment parking lot adjacent to commercial parking lot) or are sufficiently compatible that the full buffering, otherwise required, is not necessary and the uses are not expected to change significantly over time.

(d) Where a project abuts an irrigation canal, natural waterway, railroad right-of-way, or other such element.

Staff is supportive of the applicant's request for an exception from the bufferyard requirement of constructing a six foot fence between their lot and the adjoining SFR zoned lot to the east, for the following reasons:

- The primary purpose of the SFR-00 zoning district is to provide a holding zone for properties that are changing from County to City zoning and have not yet been tested for facility adequacy to allow development to urban level densities and intensities.
- The area surrounding the subject SFR-00 lot is commercial, with its GLUP designation as (CM) commercial.

It is the view of staff that the development of the two adjoining lots meet criterion (c), and will not result in incompatible land uses, which effectively negates the necessity of a

bufferyard screening between the two properties. Therefore, it is staff's view that the exception can be granted in keeping with the intent and purpose of MLDC 10.790

Parking

PARKING TABLE

	Required	Shown
Total Spaces	102	103
Accessible Spaces	4	5
Bicycle Spaces	10	12

The submitted site plan identifies a total of 103 proposed parking spaces, meeting the minimum required spaces for a hotel per MLDC 10.741. Additionally, the site plan includes the requisite number, location, and dimensions of accessible parking spaces and bicycle parking spaces as outlined in the Code.

Landscaping

Landscape Table

	Required	Shown
Parking lot planters: Trees	13	13+
Parking lot Planters: Shrubs	26	26+
Parking Lot Planters: Area	2,150 SQ FT	3,926 SQ FT

It can be found that the submitted Landscape Plan (Exhibit D) meets and/or exceeds the frontage landscaping and parking lot planter requirements per MLDC 10.797 and 10.746(3).

Concealments

The submitted site plan and architectural plan show both the proposed trash receptacle and Heating, Ventilation, Air Conditioning (HVAC) unit concealed consistent with the requirements of MLDC 10.781.

Public Improvements

Per the agency comments submitted to staff (Exhibits K-M), including the Rogue Valley Sewer Service (RVSS) report (Exhibit N), it can be found that there are adequate facilities to serve the proposed development.

Committee Comments

No comments were received from committees such as BPAC.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit J) and recommends the Commission adopt the findings as submitted.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare the Final Order of AC-16-150 per the staff report dated January 13, 2017, including Exhibits A through V.

EXHIBITS

- A Conditions of Approval drafted January 13, 2017.
- B Site Plan received January 6, 2017.
- C Conceptual Grading & Drainage Plan received November 23, 2016.
- D Landscape Plan received January 6, 2017.
- E Planting Plan received January 6, 2017.
- F Floor Plans (1-4) received November 23, 2016.
- G Elevation Plans (1-2) received November 23, 2016.
- H Lighting Plan received December 9, 2016.
- I Roof Plan received November 23, 2016.
- J Applicant's Narrative, Questionnaire, and Findings of Fact received November 23, 2016.
- K Public Works staff report received December 28, 2016.
- L Medford Water Commission memorandum received December 28, 2016.
- M Medford Fire Department report received January 11, 2016.
- N Rogue Valley Sewer Services (RVSS) report received December 21, 2016.
- O Oregon Department of Aviation (ODA) email received December 22, 2016.
- P Medford Wetlands Inventory map created January 10, 2017.
- Q DSL Wetland Land Use Notification Response received January 11, 2017.
- R RVTD Transit Routes and Stops map adopted November 20, 2003.
- S Proposed road alteration plan provided by Dan Nash received on January 11, 2017.
- T Letter from Dan Nash received January 11, 2017.
- U Application received November 23, 2016.
- V Light design received December 9, 2016
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:

January 20, 2017

EXHIBIT A

Center Drive Hotel
AC-16-150
Conditions of Approval
January 13, 2017

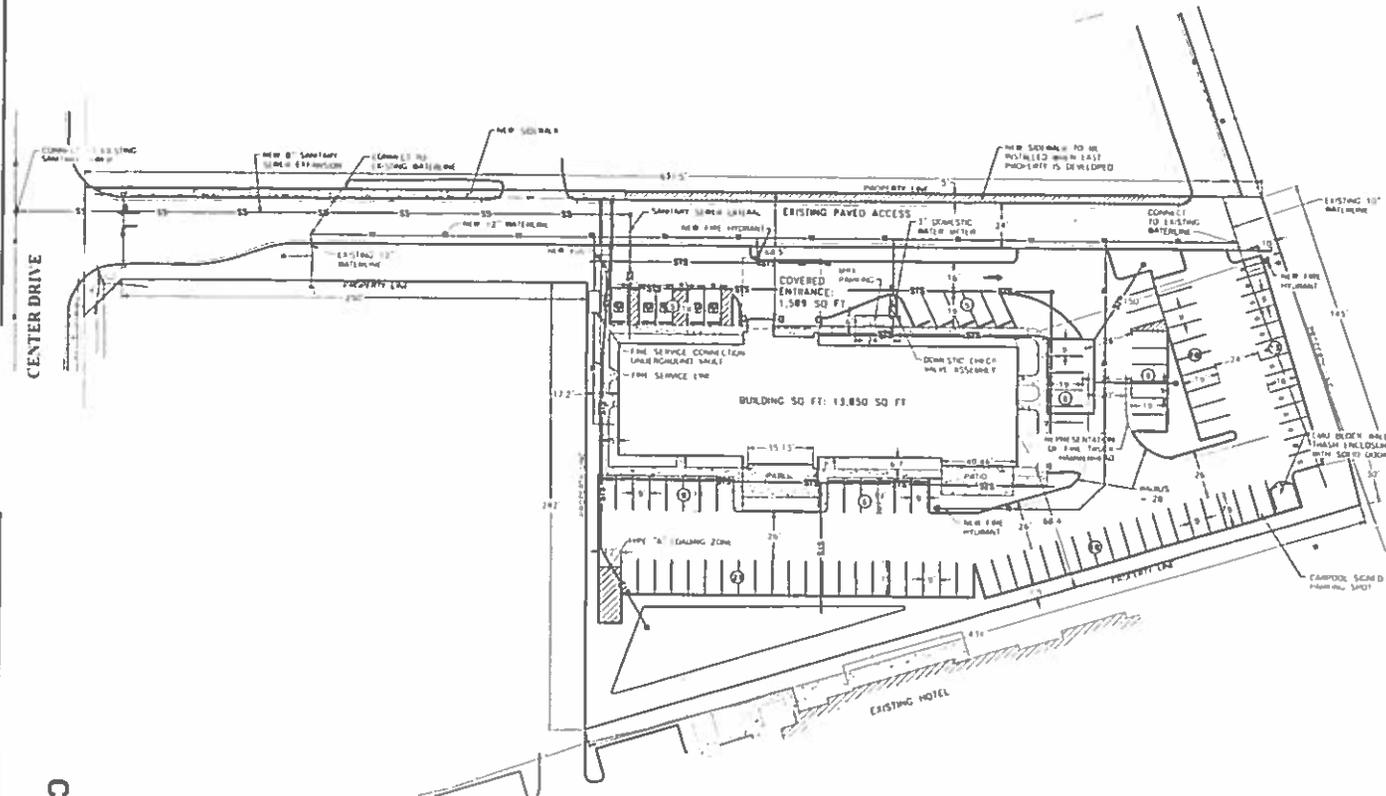
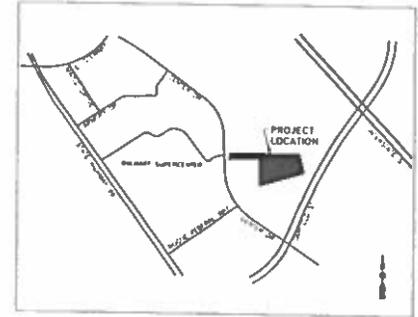
CODE REQUIRED CONDITIONS

Prior to the issuance of a building permit for vertical construction, the applicant shall:

1. Comply with all conditions stipulated by the Medford Water Commission (Exhibit L).
2. Comply with all conditions stipulated by the Public Works Department (Exhibit K).
3. Comply with all requirements of the Medford Fire Department (Exhibit M).
4. Comply with all conditions stipulated by the Rogue Valley Sewer Services (Exhibit N).
5. Comply with requirements of the Oregon Department of State Lands (Exhibit Q)

CITY OF MEDFORD
EXHIBIT - A
Page # AC-16-150

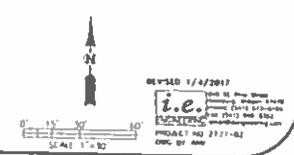
MEDFORD HOTEL



LEGEND

---	EXISTING CONTOUR ELEV	○	MANHOLE (MH)
---	NEW CONTOUR ELEV	□	CLUMB WREST (CW)
---	EXISTING EDGE IN MC OR CANALS	□	CATCH BASIN (CB)
---	NEW CUT	+	CLEANOUT
---	EXISTING RIGHT-OF-WAY	+	FIRE APPOINTMENT
---	NEW RIGHT-OF-WAY	+	VALVE
---	EXISTING SANITARY SEWER (SS)	+	WATER METER
---	NEW SANITARY SEWER (SS)	+	WELCHP
---	EXISTING POTABLE SEWER (PS)	+	POWER POLE
---	NEW POTABLE SEWER (PS)	+	LIGHT POLE
---	EXISTING STORM SEWER (STS)	+	LEFT HOSE
---	NEW STORM SEWER (STS)	+	RIGHT HOSE
---	EXISTING WATER	+	POWER PEDESTAL
---	NEW WATER	+	TELEPHONE PEDESTAL
---	EXISTING POWER (UNDERGROUND)	+	CAS METER
---	EXISTING POWER (OVERHEAD)	+	CABLE TV PEDESTAL
---	NEW UNDERGROUND (TV, POWER, PHONE)	+	MAIL BOX
---	NEW ELECTRICAL CONDUIT	+	FIELD DIRECTION ARROW
---	EXISTING GAS	+	PARKING STALL COUNTER
---	EXISTING CABLE TV	+	EXISTING PAVEMENT
---	NEW FENCE	+	CONTRACT PAVEMENT
---	NEW FENCE (5'-7")		
TIC	TOP FACE OF CURB		
BC	BOTTOM FACE OF CURB		
EC	EDGE OF CURB		
FC	FURSH FLOOR		
FG	FURSH GRADE		
CG	ORIGINAL CHANGING		

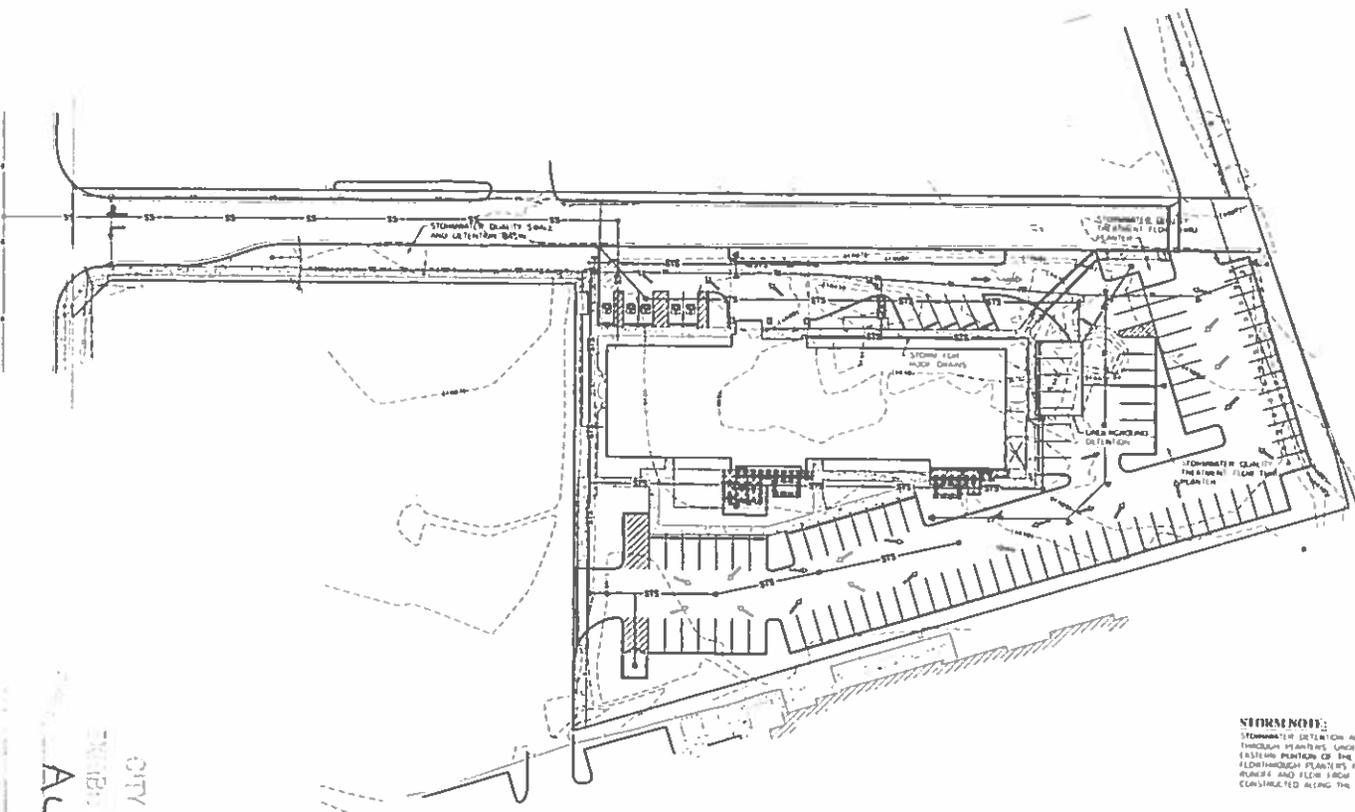
ADDRESS: 1275 CENTER DRIVE
 TRACT: 104.558 SQ FT
 TAX LOT INFO: 137 41 56232, 14 4731
 ZONE: C-8 (COMMERCIAL RES DEVELOP)
 TYPE OF DEVELOPMENT: HOTEL LODGING
 TOTAL # PARKING SPACES: 103
 TOTAL # BIKE SPACES: 12
 TOTAL # LOADING SPACES: 1



REVISED 1/4/2017
 PREPARED BY: [Logo]
 PROJECT NO: 2017-02
 DATE: 01/04/17

MEDFORD HOTEL CONCEPTUAL GRADING & DRAINAGE PLAN

Page 64



- LEGEND**
- | | | | |
|-----|----------------------------------|---|----------------------|
| --- | EXISTING CONTOUR (ELEV) | ○ | MANHOLE (MH) |
| --- | NEW CONTOUR (ELEV) | □ | CATCH BASIN (CB) |
| --- | EXISTING EDGE OF AC OR CURB | ■ | CLEANOUT |
| --- | NEW CURB | + | FIRE HYDRANT |
| --- | EXISTING RIGHT-OF-WAY | ⊖ | VALVE |
| --- | NEW RIGHT-OF-WAY | ⊕ | WATER METER |
| --- | EXISTING SANITARY SEWER (SS) | + | BLINDOCK |
| --- | NEW SANITARY SEWER (SS) | ○ | POWER POLE |
| --- | EXISTING PRESSURE SEWER (PS) | ○ | LIGHT POLE |
| --- | NEW PRESSURE SEWER (PS) | ○ | TELEPHONE POLE |
| --- | EXISTING STORM SEWER (STS) | ○ | POWER METER |
| --- | NEW STORM SEWER (STS) | ○ | CABLE TV METER |
| --- | EXISTING WATER | ○ | WIRE DIAL |
| --- | NEW WATER | ○ | TELEPHONE METER |
| --- | EXISTING POWER (UNDERGROUND) | ○ | GAS METER |
| --- | NEW UNDERGROUND (BY POWER PHONE) | ○ | CABLE TV METER |
| --- | NEW ELECTRICAL CONDUIT | ○ | WIRE DIAL |
| --- | EXISTING GAS | ○ | FLOW DIRECTION ARROW |
| --- | EXISTING CABLE TV | ○ | PARKING STALL SYMBOL |
| --- | EXISTING FENCE | ○ | EXISTING PAVEMENT |
| --- | NEW FENCE | ○ | CONTRACT HATCHING |
| --- | NEW FENCE (3'-6") | ○ | |
| --- | TOP FACE OF CURB | ○ | |
| --- | BOTTOM FACE OF CURB | ○ | |
| --- | ASPHALT | ○ | |
| --- | CONCRETE | ○ | |
| --- | PAVEMENT | ○ | |
| --- | GRAVEL | ○ | |
| --- | DIRT | ○ | |
| --- | UNGRAVELLED | ○ | |

STORMWATER:
STORMWATER DETENTION AND TREATMENT FACILITIES WILL INCLUDE A BASIN OF ABOVE-GROUND FLOW THROUGH PLANTERS, UNDERGROUND STORAGE, AND ABOVE-GROUND SCREENS / DETENTION THE EXISTING PORTION OF THE PARKING LOT WILL DRAIN INTO TWO PLANTER BAYS THAT WILL ACT AS FLOW THROUGH PLANTERS FOR TREATMENT. UNDERGROUND DETENTION WILL BE PROVIDED FOR REAR DRIVE AND FLOW FROM THE PLANTERS & SCREENS USED FOR TREATMENT AND DETENTION WILL BE CONSTRUCTED ALONG THE FLAG POLE PORTION OF THE LOT.

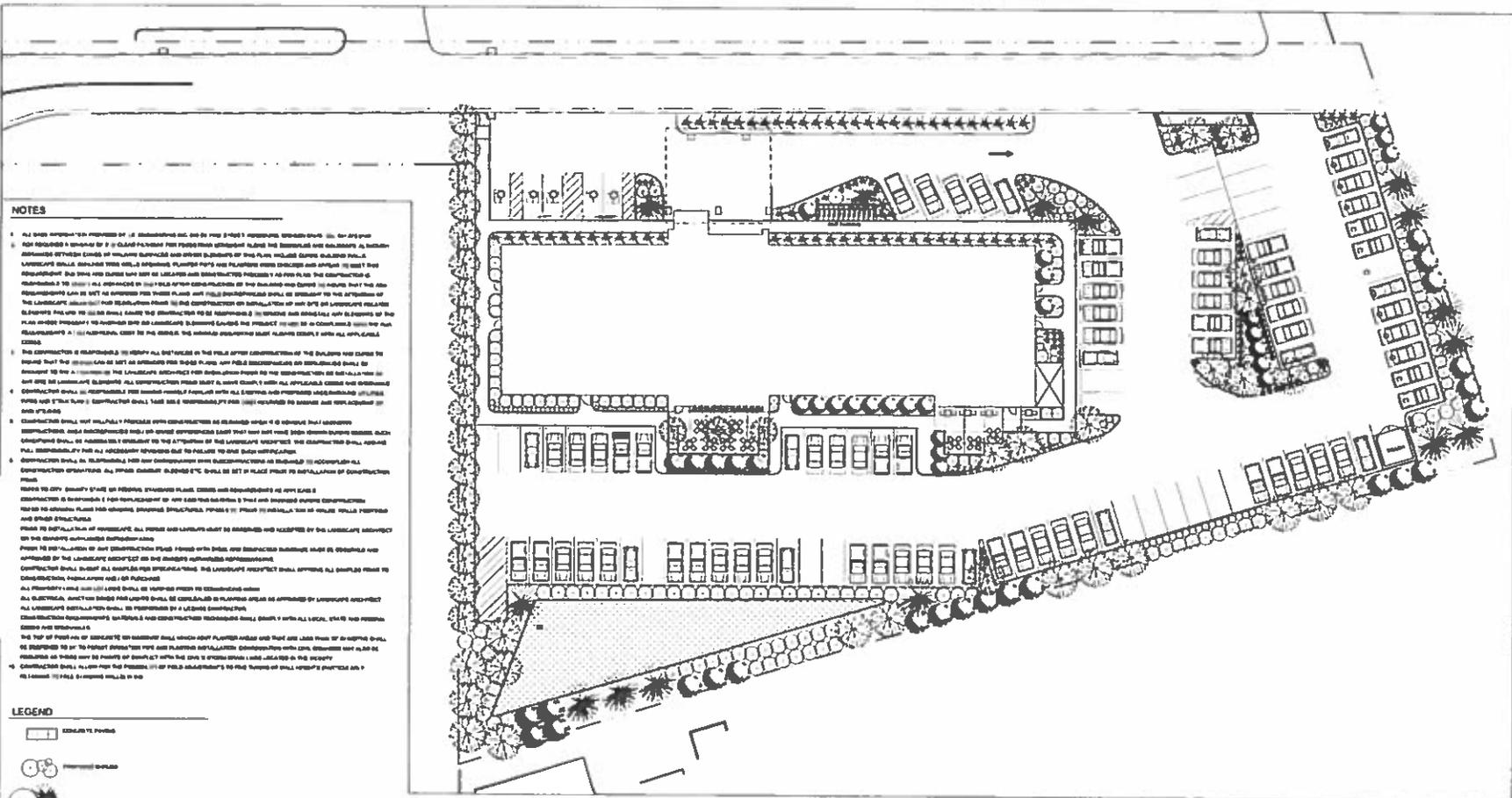
CITY OF MEDFORD
ENGINEER
AC-16-150

1000 St. John Street
Medford, Oregon 97504
Phone: (503) 875-0700
FAX: (503) 875-0701
www.l.e.c.com

l.e.c.
LANDSCAPE ENGINEERING CORPORATION

PROJECT NO. 1721-02
DATE: 07/2004

SCALE: 1" = 30'



NOTES

- ALL SHOWN IMPROVEMENTS PROVIDED BY THE SUBCONTRACTOR SHALL BE IN ACCORDANCE WITH THE CITY OF MEDFORD SPECIFICATIONS AND THE MEDFORD SPECIFICATIONS TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.

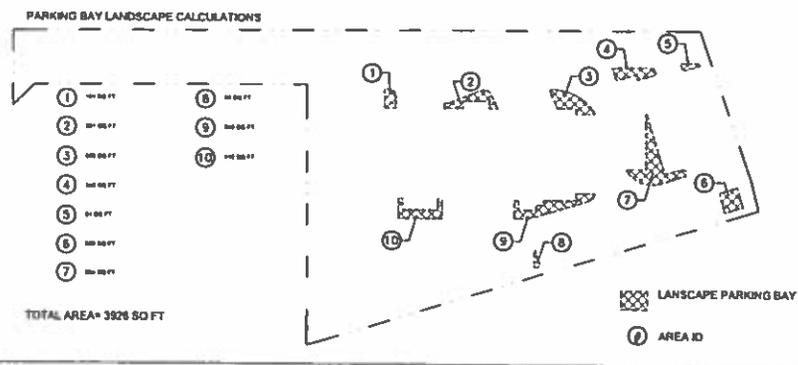


GENERAL NOTES

- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MEDFORD AND THE MEDFORD PLANNING DEPARTMENT.

SLEEVES (SEE IRRIGATION PLAN)

- ALL SLEEVES SHALL BE 2" POLYETHYLENE TEREPHTHALATE (PET) SLEEVES.
- ALL SLEEVES SHALL BE 2" POLYETHYLENE TEREPHTHALATE (PET) SLEEVES.
- ALL SLEEVES SHALL BE 2" POLYETHYLENE TEREPHTHALATE (PET) SLEEVES.
- ALL SLEEVES SHALL BE 2" POLYETHYLENE TEREPHTHALATE (PET) SLEEVES.
- ALL SLEEVES SHALL BE 2" POLYETHYLENE TEREPHTHALATE (PET) SLEEVES.
- ALL SLEEVES SHALL BE 2" POLYETHYLENE TEREPHTHALATE (PET) SLEEVES.
- ALL SLEEVES SHALL BE 2" POLYETHYLENE TEREPHTHALATE (PET) SLEEVES.
- ALL SLEEVES SHALL BE 2" POLYETHYLENE TEREPHTHALATE (PET) SLEEVES.
- ALL SLEEVES SHALL BE 2" POLYETHYLENE TEREPHTHALATE (PET) SLEEVES.
- ALL SLEEVES SHALL BE 2" POLYETHYLENE TEREPHTHALATE (PET) SLEEVES.



LSI Manager + Associates
 1000 Williams St., Suite 200 Medford, Oregon 97504
 Phone: 541-754-1100
 Fax: 541-754-1101
 www.lsi-managers.com

Prepared by:
Medford Hotel

Scale: 1" = 20' - 0"

North Arrow

Project No: _____

Sheet No: _____

Date: _____

Author: _____

Checker: _____

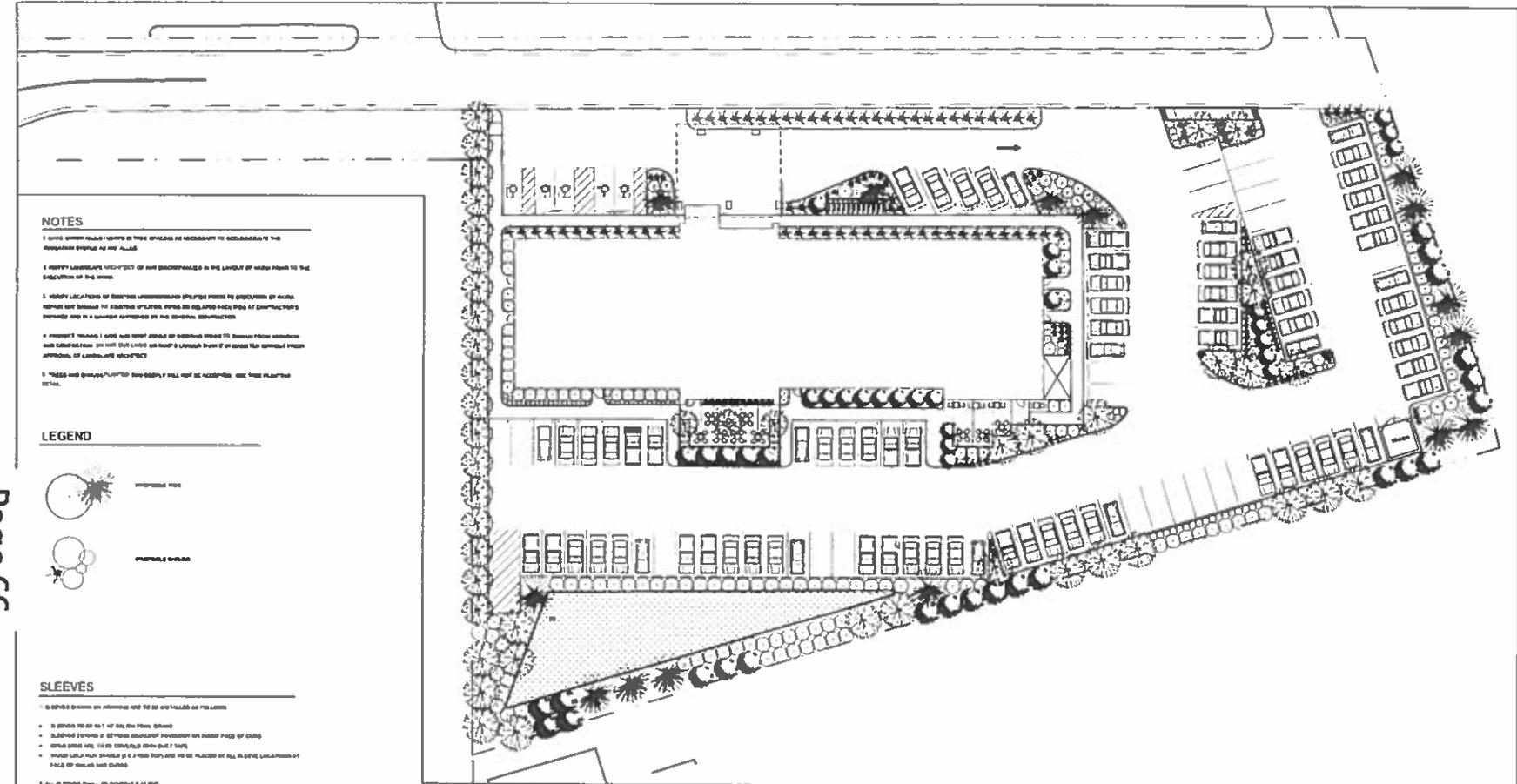
Scale: _____

Project No: Medford Hotel
 1275 CENTER DRIVE
 Medford, Oregon

Schematic
 Date: January 6, 2017
 Scale: 1/4" = 10' - 0"
 Author: _____
 Checker: _____

Sheet No: L-1





NOTES

1. SHOW EXISTING PLANTING IN THIS AREAS AS NECESSARY TO ACCOMMODATE THE PROPOSED PLANTING AS SHOWN.
2. VERIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN THE LAYOUT OF PLANTING FROM THE SCHEDULES OF THIS PLAN.
3. VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES FROM THE DISCUSSION OF THIS REPORT AND THROUGH THE EXISTING UTILITIES RECORD AS RELATED PAGE 66 AT CONSTRUCTION PERMITS AND IN A LANDSCAPE SURVEY BY THE GENERAL CONTRACTOR.
4. PROJECT TRACKING AND REPORT SCHEDULE OF EXISTING TREES TO BE REMOVED AND REPLACED WITH CONSTRUCTION PERMITS AND TRACKING AND REPORT SCHEDULE FROM THE GENERAL CONTRACTOR'S PERMITS AND TRACKING AND REPORT SCHEDULE.
5. TREES AND SHRUBS PLANTED AND REPLANTING SHALL BE ACCORDING TO THE PLANTING SCHEDULE.

LEGEND



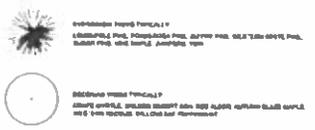
SLEEVES

1. ALL SLEEVES SHALL BE SCHEDULED AS PVC.
2. SLEEVES SHALL BE 4" DIA.
3. SLEEVES SHALL BE 10' LONG AND 1" DIA. WITH 1/2" DIA. HOLES FOR SLEEVES.
4. SLEEVES SHALL BE 10' LONG AND 1" DIA. WITH 1/2" DIA. HOLES FOR SLEEVES.
5. SLEEVES SHALL BE 10' LONG AND 1" DIA. WITH 1/2" DIA. HOLES FOR SLEEVES.

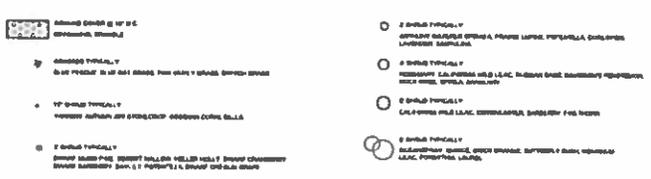
IRRIGATION SYSTEM

DESIGNER TO BE CONSULTED IN ALL LAND AND PLANT AREAS TO VERIFY EXISTING AND PROPOSED IRRIGATION SYSTEMS AND TO VERIFY THE LOCATION OF ALL EXISTING AND PROPOSED IRRIGATION SYSTEMS. DESIGNER TO BE CONSULTED IN ALL LAND AND PLANT AREAS TO VERIFY EXISTING AND PROPOSED IRRIGATION SYSTEMS AND TO VERIFY THE LOCATION OF ALL EXISTING AND PROPOSED IRRIGATION SYSTEMS.

PLANTING LEGEND - TREES



PLANTING LEGEND - SHRUBS AND GROUND COVERS



Schlaepfer + Associates Inc.
 1000 NE Oregon St. Suite 100
 Medford, Oregon 97504
 Phone: 541-754-1111
 Fax: 541-754-1112
 www.schlaepfer.com

Medford Hotel

Scale: 1" = 20' - 0"

Project No.	Medford Hotel
Client	SPS CENTER INC.
Location	Medford, Oregon
Scale	1" = 20' - 0"
Date	July 8, 2017
Drawn By	AS
Checked By	AS
Approved By	AS

Schematic Planting Plan

L-2

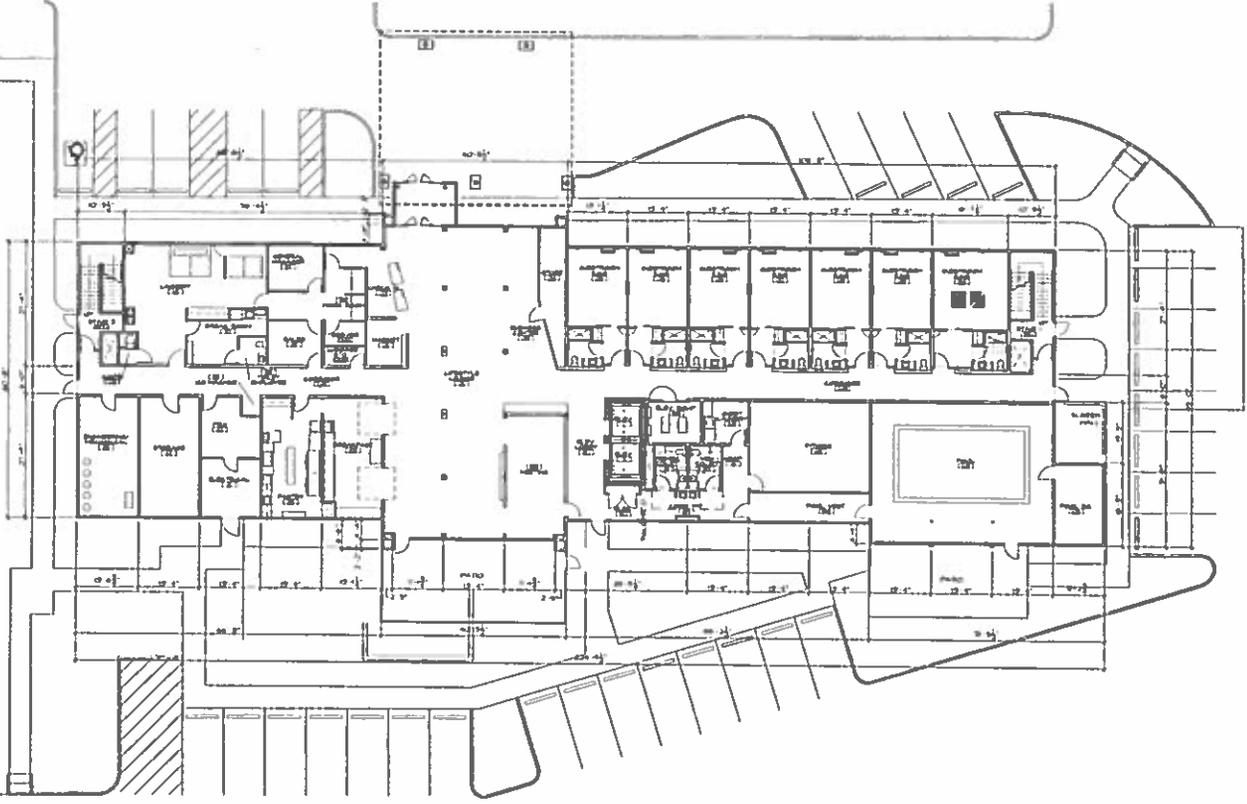


AS 16150

E

GENERAL NOTES:

1. SEE STRUCTURAL FOR LOCATION AND ELEVATION OF BEAM WALLS
2. SEE ELECTRICAL FOR VERTICAL CONDUIT RUN AND RELOCATION OF HEADING DOWNWARD
3. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
4. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
5. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
6. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
7. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
8. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
9. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
10. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
11. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
12. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
13. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
14. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
15. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
16. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
17. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
18. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
19. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
20. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
21. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
22. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
23. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
24. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
25. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
26. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
27. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
28. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
29. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
30. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
31. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
32. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
33. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
34. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
35. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
36. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
37. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
38. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
39. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
40. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
41. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
42. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
43. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
44. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
45. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
46. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
47. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
48. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
49. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION
50. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION



FIRST FLOOR PLAN
 DATE 11-1-14
 1/4" = 1'-0"
 PLAN SCALE

CITY OF MEDFORD
 EXHIBIT # F (1054)
 File # AG-16-150

HOTEL

MEDFORD, OREGON

PLANNING DEPARTMENT

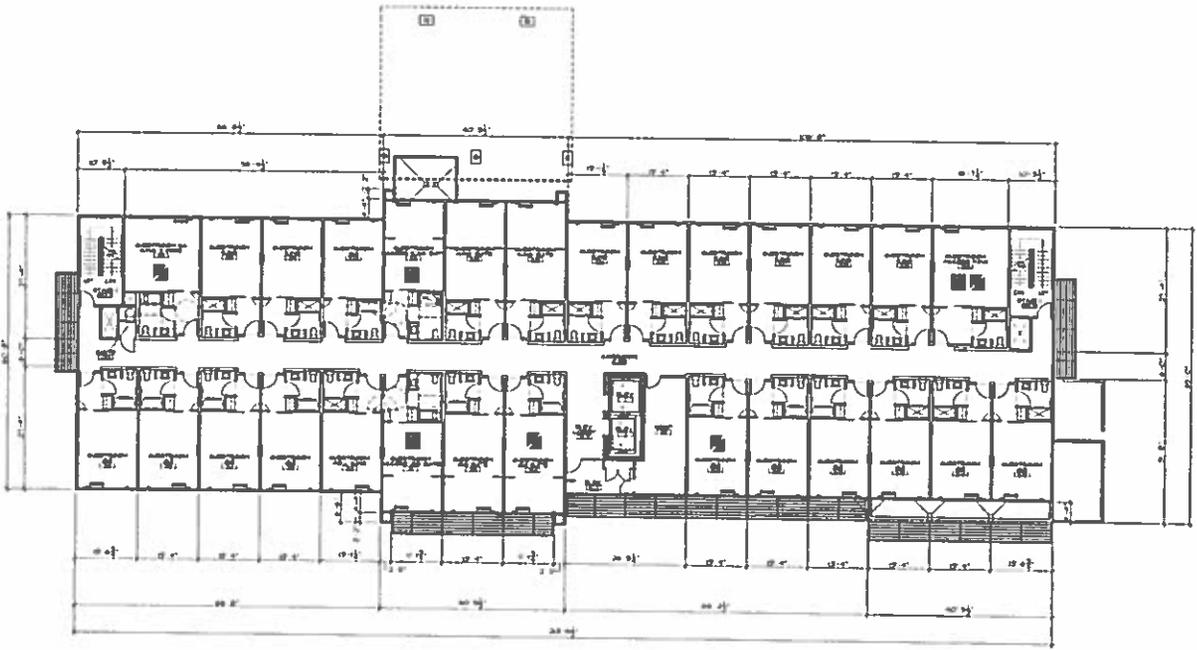
NOV 13 2014
 RECEIVED
 PLANNING DEPARTMENT
 MEDFORD, OREGON

RECEIVED

NOV 13 2014
 RECEIVED
 PLANNING DEPARTMENT
 MEDFORD, OREGON

GENERAL NOTES.

1. SEE SPECIFICATIONS FOR LOCATION AND CONSTRUCTION OF SMOKE WALLS.
2. SEE ELECTRICAL PLANS FOR WIREMAN CONNECTIONS AND REQUIREMENTS OF RELATED FINISHED ROOMS.
3. MAINTAIN FIRE RATED CONSTRUCTION BENEATH AND AROUND ALL NON-RATED DOORS, CABINETS, AND FIRE SEPARATORS IN RATED WALLS AND CEILING.
4. ALL DIMENSIONS FROM GRID FACE TO GRID FACE UNLESS OTHERWISE NOTED.
5. IF TO THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE THE LOCATION OF ALL MECHANICAL, MECHANICAL, AND ELECTRICAL EQUIPMENT ROOMS, HANGERS AND OPENINGS PRIOR TO INSTALLATION.
6. PLUMBING AND ELECTRICAL LOCATIONS SHOWN SCHEMATICALLY ONLY. CONTRACTOR TO CORROBORATE EXACT LOCATION WITH FIELD SURVEILLANCE NOTES AND ALL TO VERIFY ALL APPLICABLE CODES.
7. RESPONSIBILITY TO VERIFY ALL ROOMS AND FINISH REQUIREMENTS.
8. CONTRACTOR TO VERIFY THE ACCURACY OF ANY DIMENSIONS OR LOCATIONS PRIOR TO PROCEEDING WITH ANY WORK.
9. VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION.
10. CONTRACTOR TO COORDINATE LOCATION OF SLAB CONNECTIONS WITH MECHANICAL, STRUCTURAL AND OTHER RELATED TRADES.
11. CONTRACTOR TO PROVIDE PROPER VENTILATION THROUGH INSTALLATION OF CONCRETE & GYP LISTS.
12. PROVIDE TO PROVIDE OPENINGS FOR RELIEVED ELECTRICAL PANELS IN WALLS. OPENINGS TO BE FIRE RATED, SEE DETAIL D. 3.1. & 20-10-103.
13. ELEVATE LIFTWAY AND STAIRWAY DEBARMENT PROVIDED BY STRUCTURE SUPER. CONTRACTOR TO COORDINATE WITH ARCHITECT SUPPLY ON 2 CENTER.
14. SEE FLOOR CONSTRUCTION DRAWINGS FOR POOL LAYOUT AND DETAILS.



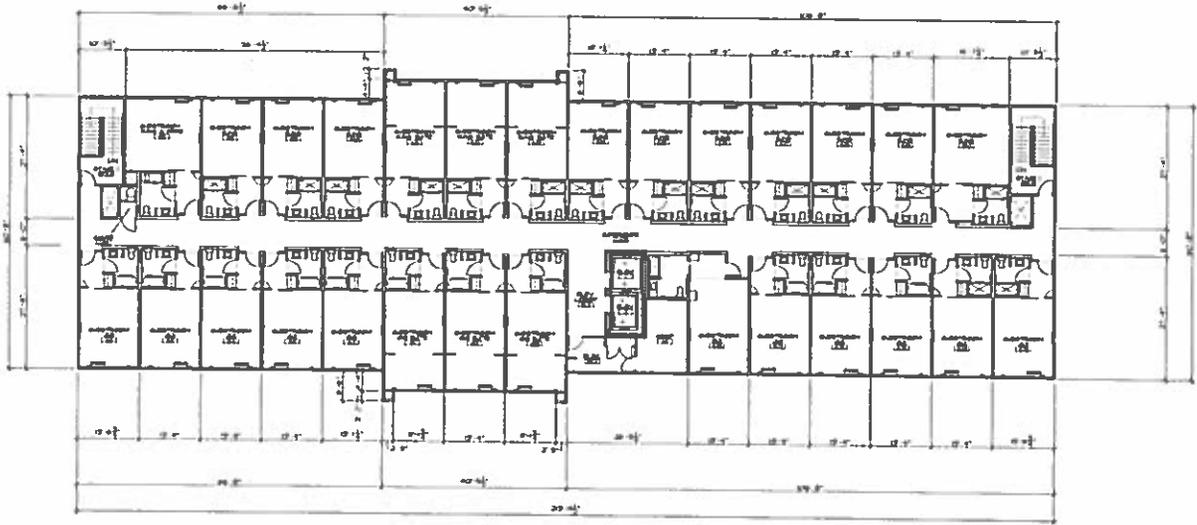
SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

CITY OF MEDFORD
 EXHIBIT # F (2054)
 File # AC-16-150

HOTEL
 MEDFORD, OREGON

NOVEMBER 2014
 PLANNING DEPARTMENT
 RECEIVED
 2014
 A1.9

- NOTES:**
- SEE STRUCTURAL FOR LOCATION AND CONSTRUCTION OF BEAM WALLS.
 - SEE ELECTRICAL PLANS FOR SPECIAL CONDUIT RUNS AND REQUIREMENTS OF WEATHER FINISHED ROOMS.
 - HANGERS FOR BATH LIGHTING FIXES SHOWN AND PROVIDE ALL NEAR-BATH BOWLS, CABINETS, AND PARTITIONS IN BATH WALLS AND CEILING.
 - ALL BRICKWORK FROM BATH WALL TO BATH WALL SHALL BE BRICKWORK NOTED.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CORROBORATE THE LOCATION OF ALL MECHANICAL, ELECTRICAL, AND PLUMBING SUPPORT FROM VARIOUS AND EXISTING PLANS TO DETAILING.
 - PLUMBING AND ELECTRICAL LOCATIONS SHOWN SCHEMATICALLY ONLY. CONTRACTOR TO CORROBORATE THESE LOCATIONS FROM ALL SUBSEQUENT NOTES AND HAS TO VERIFY ALL APPLICABLE CODES.
 - RESPONSIBILITY TO VERIFY ALL ROOMING AND BATH OFFICES.
 - CONTRACTOR TO VERIFY THE ACCURACY OF ANY DIMENSIONS OR CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK.
 - VERIFY ALL CONDITIONS BEFORE CONSTRUCTION.
 - CONTRACTOR TO CORROBORATE LOCATION OF BATH BRICKWORK WITH MECHANICAL, ELECTRICAL, AND OTHER SUPPORTS FROM VARIOUS.
 - CONTRACTOR TO PROVIDE PROPER VENTILATION DURING INSTALLATION OF CONCRETE & GYP LAYER.
 - PLANS TO PROVIDE EVIDENCE FOR EXISTING BATH BRICKWORK IS TO BE OPENED TO BE PROVE RATED. SEE DETAIL D-33 & D-34.
 - EXPLODE LAYOUT AND SEATING DRAWINGS PROVIDED BY ARCHITECT SHALL BE CORROBORATED TO CORROBORATE WITH PLANS FROM 1-20-20.
 - SEE FROM EXISTING DRAWINGS FOR FLOOR LAYOUT AND DETAILS.



FOURTH FLOOR PLAN
 DATE: 12-11-11
 DRAWN BY: JF
 CHECKED BY: JF



HOTEL
 MEDFORD, OREGON

NOV 20 11
 11:00 AM
 RECEIVED

PLANNING DEPARTMENT
 MEDFORD, OREGON

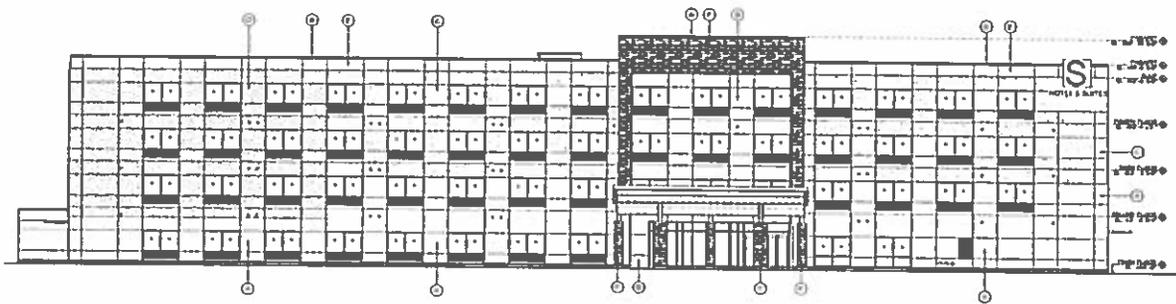
RECEIVED

NOV 20 11
 11:00 AM
 RECEIVED

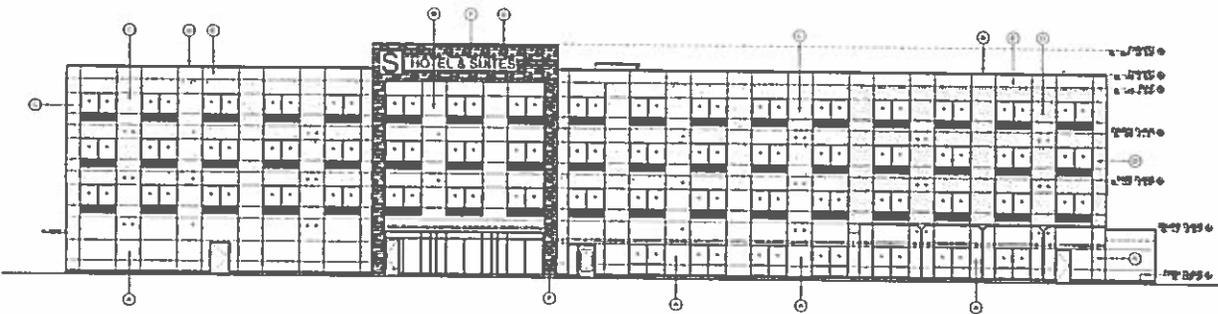
A1.4

CITY OF MEDFORD
 EXHIBIT # F (4 of 4)
 File # AC-16-150

52



NORTH ELEVATION



SOUTH ELEVATION

- GRID MARKS:
- ① EPS - 15
POLYURETHANE FOAM INSULATION WALLS PAINT SYSTEM
PAGE # 143-144, 146-148, 150-151
 - ② EPS - 150
ALUMINUM & POLYURETHANE INSULATION WALLS PAINT SYSTEM
PAGE # 143-144, 146-148, 150-151
 - ③ EPS - 150
VINYL, 1/4" THICK INSULATION WALLS PAINT SYSTEM
PAGE # 143-144, 146-148, 150-151
 - ④ EPS - 80
ALUMINUM & POLYURETHANE INSULATION WALLS PAINT SYSTEM
PAGE # 143-144, 146-148, 150-151
 - ⑤ EPS - 150
ALUMINUM & POLYURETHANE INSULATION WALLS PAINT SYSTEM
PAGE # 143-144, 146-148, 150-151
 - ⑥ BRICK
BRICK, 8" THICK WITH 1/2" EXTERIOR FINISH OF BRICK
PAGE # 143-144, 146-148, 150-151

HOTEL
MEDFORD, OREGON

PLANNING DEBARA

NOV 14 2011 10:58 AM
 RECEIVED
 CITY OF MEDFORD
 PLANNING DEPARTMENT

RECEIVED

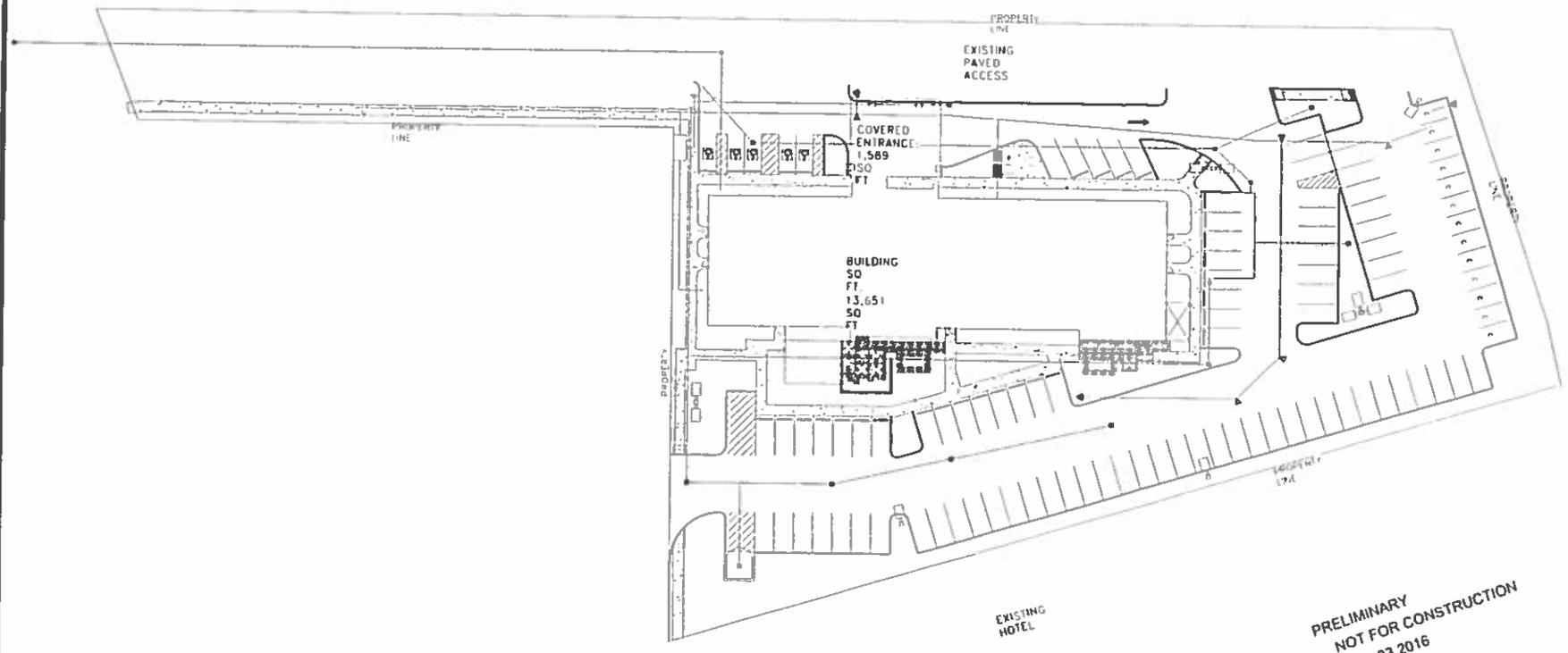
2011
 11
 A4. P

PARKING LOT LUMINAIRES:
 LUMINAIRE MOUNTING HEIGHT BETWEEN 22.5' AND 32.5'
 LUMINAIRE TYPE - DARK SKIES RATED, LED
 POWER LIMITATION FOR LIGHTING PER OREGON CODE FOR EXTERIOR LIGHTING

WALKWAY LUMINAIRES SIMILAR TO PARKING LOT EXCEPT LIMITED TO 10' TO 15'
 WALKWAY LUMINAIRE LOCATIONS DEPEND ON EXISTING LIGHTING AT PAVED
 ACCESS AND FINAL LOCATIONS OF PARKING LOT LIGHTING.

MINIMUM BUILDING MOUNTED LIGHTING.

UNDER CANOPY LIGHTING: LED DOWN LIGHTING.



EXISTING HOTEL

PRELIMINARY
 NOT FOR CONSTRUCTION
 11.23.2016



809 SE PINE STREET
POST OFFICE BOX 1271
ROSEBURG, OR 97470

(541) 673-0166
FAX: (541) 440-9392

RECEIVED
NOVEMBER 23, 2016
PLANNING DEPARTMENT

November 23, 2015

RE: Center Drive Medford Hotel
Site Plan and Architectural Review

Project Address: 1375 Center Drive
Medford, OR 97501

Section I - Narrative:

The Developer is proposing to construct a four story hotel, with a 13,850 square foot footprint. The hotel will have 93 guest rooms, a guest breakfast room, a meeting room with 16 person capacity, and an indoor pool. The site is a 2.4 acre flag lot with signalized access off of Center Drive. The existing parcel is undeveloped with the exception of the paved flag and access road, providing shared access to the parcel to the north.

For this submittal, two site plans are provided. Fire access requirements need access from the south of the lot also. The preferred alternative places a driveway cut along the west property, with access over the westerly parcel and then to the existing paved lot on the southerly parcel. However, the developer does not own the westerly parcel and is in negotiations with the westerly property owner to obtain an easement across their property. The developer does have ownership interest in the southerly parcel. The alternative entrance site plan has the rear driveway along the southerly property line directly onto the southerly parcel.

Section II – Compatibility: Criterion No. 1

A List existing uses and development adjacent to your project site. Along with this list, describe the architecture (materials, colors, etc.), age, and condition of the adjacent).

The neighboring parcel to the west is a 1.6 acre undeveloped, C-R zoned property that sits between our parcel to be developed and Center Drive. The parcel to the north is zoned C-R, with a 38,320 concrete building used as an ice skating facility. The parcel to the south is zoned C-R and contains two, multi-story hotels including Springhill Suites and a Medford Springs Suites. To the east is a 3.3 acre parcel zoned single family residential that currently has one building on it. The building on the east parcel is a wood framed, 1950's, multi-story building. This existing buildings exterior is in poor visual condition. The east parcel has mixed use of residential and light industrial per assessor records.

B Describe the building architecture and exterior treatments in your proposal, and how they fit with and complement adjacent buildings and development.

The architecture of this hotel follows the prototype standards established by the parent organization that this hotel will be a part of. The primary exterior finish materials are Exterior Insulation Finish System and stone. We have several color options for these two materials which will help the building to

blend with its neighbors. The two hotels to the south also use a combination of EIFS and stone for their primary finish materials as well, so the three buildings will have a common finish materials theme. The skating building to the north is a concrete building and concrete and EIFS have a similar textural look.

C Describe the proposed architecture and exterior treatments that break up large facades and give relief to the building mass. The Site Plan and Architectural Commission Design Guidelines are a helpful reference, and can be found on the City's website, and at the Planning Department.

Through the use of different materials and different colors of those materials, the building façade will be broken up visually, so that your eye will focus on smaller areas of the building, rather than the entire building. The central core which the entry to the building is stepped out from the guest room wings further breaking up the mass of the building.

D Describe how the placement and orientation of the proposed building(s) relate(s) to the street facilities, and how this orientation promotes a more pedestrian-friendly site design.

The lot is a flag lot. The proposed structure is placed nearer to the "flag pole" portion of the lot fronts the existing paved access on the site. The main entrance faces towards the existing paved access, and new sidewalk will be constructed from Center Drive to the building.

D. a. If the site lies within 600-feet of an existing or planned transit stop, as designated by the Transportation System Plan (TSP), describe compliance with the standards of Section 10.808, New Commercial and Institutional Development.

The site does lie within 600-feet of an existing transit stop. An exception to compliance with the design requirements of Section 10.808 is requested. The exception is requested because strict compliance with the standard is not possible because of terrain or other physical conditions beyond the control of the applicant. The lot is a flag lot and cannot meet the design requirements based on the layout of the lot. In addition, direct, convenient and safe access to transit is otherwise adequately provided for by other measures. A new pedestrian sidewalk will be constructed from the new building, directly to Center Drive.

E Describe the pedestrian facilities and amenities on your site (useable outdoor space, benches, etc.), and how they will function for pedestrians.

The pedestrian facilities and amenities will include pedestrian concrete paths with outdoor patios and benches.

F Describe vehicle and pedestrian access to the site, and how it relates internally on the site, and to adjacent sites.

Pedestrian access to the site will include a new sidewalk from Center Drive. The sidewalk will connect directly to the front access and will surround the building, with pedestrian access to the adjacent properties to the north and south. Vehicle access is primarily off of Center Drive, at an existing signaled intersection with an existing paved access. This existing paved access includes cross-access easements for neighboring properties. A vehicle access will also be provided at the south of the building that will connect into the existing hotel parking lot to the south.

G Describe if and how the proposed plan is sensitive to retaining any existing trees or significant native vegetation on the site. Should existing trees be preserved, a Tree Protection Plan shall also be included in this application.

There are no existing trees on the site or significant vegetation, so no tree protection plan is included.

H Describe stormwater detention facilities on the site (underground storage, surface pond, etc.). If these facilities will be landscaped areas, describe how the proposed landscaping will be integrated with other landscaping on the site.

Stormwater detention and treatment facilities will include a mix of aboveground flow through planters, underground storage, and aboveground swales / detention. The eastern portion of the parking lot will drain into two planter bays that will act as flowthrough planters for treatment. Underground detention will be provided for roof runoff and flow from the planters. A swale used for treatment and detention will be constructed along the flag pole portion of the lot.

Bioretention plantings will be appropriately grouped by water requirements and will be densely planted in order to match the aesthetic of the parking lot buffer plantings and the landscaped areas surrounding the patios. Perennial tall grasses, shrubs and trees in the stormwater facilities will also match the colors and textures of the surrounding landscaped areas in order to tie together the entire site.

I Describe how your proposed landscaping design will enhance the building and other functions on the site.

The landscaped and hardscaped areas carefully consider pedestrian circulation and how the site is experienced by both guests and hotel employees. Patios on the south side of the building connect to the inside common areas, providing guests with indoor and outdoor seating options. Dense vegetation and a seat wall create a sense of privacy between the common outdoor areas and the parking lot. Dense, water-wise plants buffer the parking areas from the surrounding properties and provide shade to cars and the hotel patios. Parking lot islands are planted to allow for high visibility while also providing enough density in plantings for shade and effective sustainable stormwater management.

J Describe how your exterior lighting illuminates the site, and explain how the design of fixtures does not diminish a view of the night sky, or produce glare on adjacent properties, consistent with the standards of Section 10.764.

The site lighting will be placed to provide pleasing illumination of the building and site and comply with all city standards and regulations. The individual lights will be shielded to direct the light down, so as to not diminish the night sky views.

K Describe any proposed signage, and how it will identify the location of the occupant and serve as an attractive complement to the site.

There will be signage on the east and west sides and the northwest corner of the building. An appropriate sized monument sign will be placed at the intersection of the access road to the property and Center Drive. Because this property is surrounded on all sides by other properties with buildings on them, and the access road to the hotel is a private drive, 60 foot tall freeway signs will be placed in the northeast and southwest corners of the property, identifying the hotel for people driving both directions

on Garfield Street, Center Drive and Interstate 5. Additional signage will be placed at the entrance to the property, where the private drive intersects with Center Drive.

L Explain any proposed fencing, including its purpose, and how you have incorporated it as a functional, attractive component of your development. (See Sections 10.731-10.733).

There are no proposed fences for this development. There is an existing chain link fence along the perimeter of the SFR zoned parcel to the east. This fence appears to be for the benefit of the easterly parcel and is to remain in place.

M Explain how any potential noise generated by future occupants will be mitigated on the proposed site, consistent with the standards of Sections 10.752-10.761.

Any potential noise is anticipated to be less than allowed by code. Primary gathering spaces such as the pool and meeting room will be inside, limiting noise generated by public gathering and mechanical equipment will be either placed inside the building, or on the roof, below the parapet elevation, helping to mask the minimal amount of noise from that equipment.

N Explain anything else about your project that adds to the compatibility of the project with adjacent development and uses.

The project is in an area of other hotels. This location is compatible with hotel use due to its proximity to the I-5 interchange and amenities such as athletic fields and the Travel Medford Visitor Information Center.

O List and explain any exceptions or modifications requested and provide reasons for such.

We request an exception to bufferyard requirements for a concrete or cmu block, six-foot tall wall along property line between our parcel and SFR zoned parcel to the east. There will be a bufferyard provided with the minimum dimension of ten-feet wide and it will be landscaped per the bufferyard requirements; however, the exception to the wall is requested because: there is no similar wall along the property line separating the other parcels that share a boundary with the SFR zoned parcel; while the neighboring parcel is zoned SFR, the General Land Use Plan Map Designation is Commercial; and its current use appears to be more of a mixed use and not a traditional single family residential use.

P Section 10.780(C)(2) - List any petition for relief of landscaping standards (i.e., request an increase in turf area at a facility for active recreation; eliminate requirement for root barriers when trees are planted in structural soils). Provide rationale for requested deviation from standard.

The only relief to landscaping standards is the request for the exception to the bufferyard wall as discussed above.

Signed,



Erik D. Ranger, PE



Continuous Improvement Customer Service

CITY OF MEDFORD

LD Date: 12/28/2016
File Number: AC-16-150
Reference: PA-16-114

PUBLIC WORKS DEPARTMENT STAFF REPORT **1375 Center Drive** **Four-Story Hotel**

Project: Consideration of a proposal for the development of a four-story hotel composed of 93 rooms to be located on the vacant lot.

Location: Located at 1375 Center Drive within the Regional Commercial (C-R) zoning district (371W32B4701).

Applicant: Sycan B Development, Applicant. Dustin Severs, Planner.

NOTE: The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention.
- Completion of all public improvements, if required. The applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements will need to be approved by the Public Works Engineering Division prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas.
- Certification by the design engineer that the stormwater quality and detention system was constructed per the approved plan.
- Completion of all public improvements, if applicable.

A. STREETS

1. Dedications

Center Drive is classified as a Major Arterial street, and in accordance with Medford Land Development Code (MLDC) Section 10.428, requires a total right-of-way width of 100-feet. Additional right-of-way was dedicated with recorded document #2011-022767. **No additional right-of-way is required.**

There is currently a 10-foot public utility easement (PUE) along the frontage of Center Drive that was dedicated by recorded document #2011-022767.

The City of Medford has administratively removed an existing 50-foot wide future public street reservation (document number 03-35871) as requested with PA-16-114.

2. Public Improvements

a. Public Streets

Center Drive – All standard street section improvements have been completed, including pavement, curb and gutter, street lights, and sidewalk. **No additional public improvements are required.**

b. Street Lights and Signing

No additional street lights or signs are required.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer's contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided by Medford Public Works Department and paid for by Developer.

c. Pavement Moratoriums

There are no pavement cutting moratoriums currently in effect along this frontage.

3. Access and Circulation

Driveway access and circulation to and through the proposed development shall comply with MLDC 10.550 and 10.426.

The Developer shall submit evidence of or provide cross-access easements for all adjacent properties in accordance with MLDC 10.550.

4. Transportation System

The existing paved access shown on the site plan does not appear to meet the requirements for an Interior Access Road per Medford Municipal Code (MMC) 10.426. Changes needed include

extending the parallel 5-foot sidewalk shown on the south side of the access, from its current stopping point at the west driveway, all the way to the eastern property line and extending the paving material across all three driveways to demarcate the pedestrian crossing.

Medford Municipal Code 10.426 states that pedestrian access paths are preferred on both sides of Interior Access Roads. An additional path on the north side of the existing paved access is recommended since the applicant's property appears to extend 5' north of the existing curb line.

The City of Medford does not support the "Alternate" site plan as it limits future cross-access site circulation from the hotel to the south to the Interior Access Road.

B. SANITARY SEWERS

This site lies within the Rogue Valley Sewer Service (RVSS) area. The Developer shall contact RVSS for conditions of connection to the sanitary sewer collection system.

C. STORM DRAINAGE

1. Drainage Plan

A comprehensive drainage plan showing the entire project site with sufficient spot elevations to determine direction of runoff to the proposed drainage system, and also showing elevations on the proposed drainage system, shall be submitted with the first building permit application for approval.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

All private storm drain lines shall be located outside of the public right-of-way and/or any PUE.

2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729.

4. Certification

Upon completion of the project, and prior to certificate of occupancy of the building, the Developer's design engineer shall certify that the construction of the stormwater quality and detention system was constructed per plan. Certification shall be in writing and submitted to the

Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

5. Wetlands

The Developer shall contact the Division of State Lands for the approval or clearance of the subject property with regards to wetlands and/or waterways, if they are present on site.

6. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

D. GENERAL CONDITIONS

1. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans. Pre-qualification is required of all contractors prior to application for any permit to work in the public right-of-way.

Contractors proposing to do work on public streets, sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit from the County.

2. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

3. System Development Charges (SDC)

Buildings in this development are subject to street, sanitary sewer treatment and stormdrain SDCs. All SDC fees shall be paid at the time individual building permits are issued.

Prepared by: Doug Burroughs

SUMMARY CONDITIONS OF APPROVAL

1375 Center Drive

Four-Story Hotel

A. Streets

1. Street Dedications to the Public:

- Center Drive – No street dedications are required for this development.
- 10-foot Public Utility Easement (PUE) has been dedicated.

2. Improvements:

Public Streets

- Center Drive improvements have been completed.

Lighting and Signing

- No additional street lights are required.

Access and Circulation

- Driveway access to the proposed development site shall comply with MLDC 10.550 & 10.426.
- Provide cross-access easements.

B. Sanitary Sewer:

- The site is situated within the RVSS area.

C. Storm Drainage:

- Provide a comprehensive grading and drainage plan.
- Provide water quality and detention facilities, calculations and O&M Manual.
- Provide engineers certification of stormwater facility construction.
- Provide DSL signoff if wetlands are present.
- Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.



BOARD OF WATER COMMISSIONERS
Staff Memo

TO: Planning Department, City of Medford
FROM: Rodney Grehn P.E., Water Commission Staff Engineer
SUBJECT: AC-16-150
PARCEL ID: 371W32B4701
PROJECT: Consideration of a proposal for the development of a four-story hotel composed of 93 rooms to be located on the vacant lot located at 1375 Center Drive within the Regional Commercial (C-R) zoning district (371W32B4701); Sycan B Development, Applicant. Dustin Severs, Planner.
DATE: December 28, 2016

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. The installation of a 12-inch water line is required in the existing paved access drive east of Center Drive, with connection to an existing 12-inch water line. The new water line shall extend easterly on-site through the paved travel lane and shall connect to the existing 10-inch water line along the easterly property line.
4. The installation of an 8-inch water line is required in the paved travel lane adjacent to the west and south side of the proposed hotel. This water line shall terminate with the proposed 3-inch domestic water meter and backflow device, along with a fire hydrant.
5. Dedication of a 10 foot wide (minimum) access and maintenance easement to MWC over all water facilities located outside of public right-of-way is required. Easement shall be submitted to MWC for review and recordation prior to construction.
6. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35>.
7. A pre-design meeting between the applicants Civil Engineer and MWC Engineering staff is required prior to plan submittal to MWC.

Continued to next page



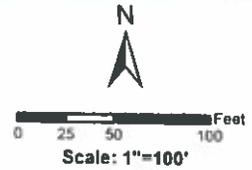
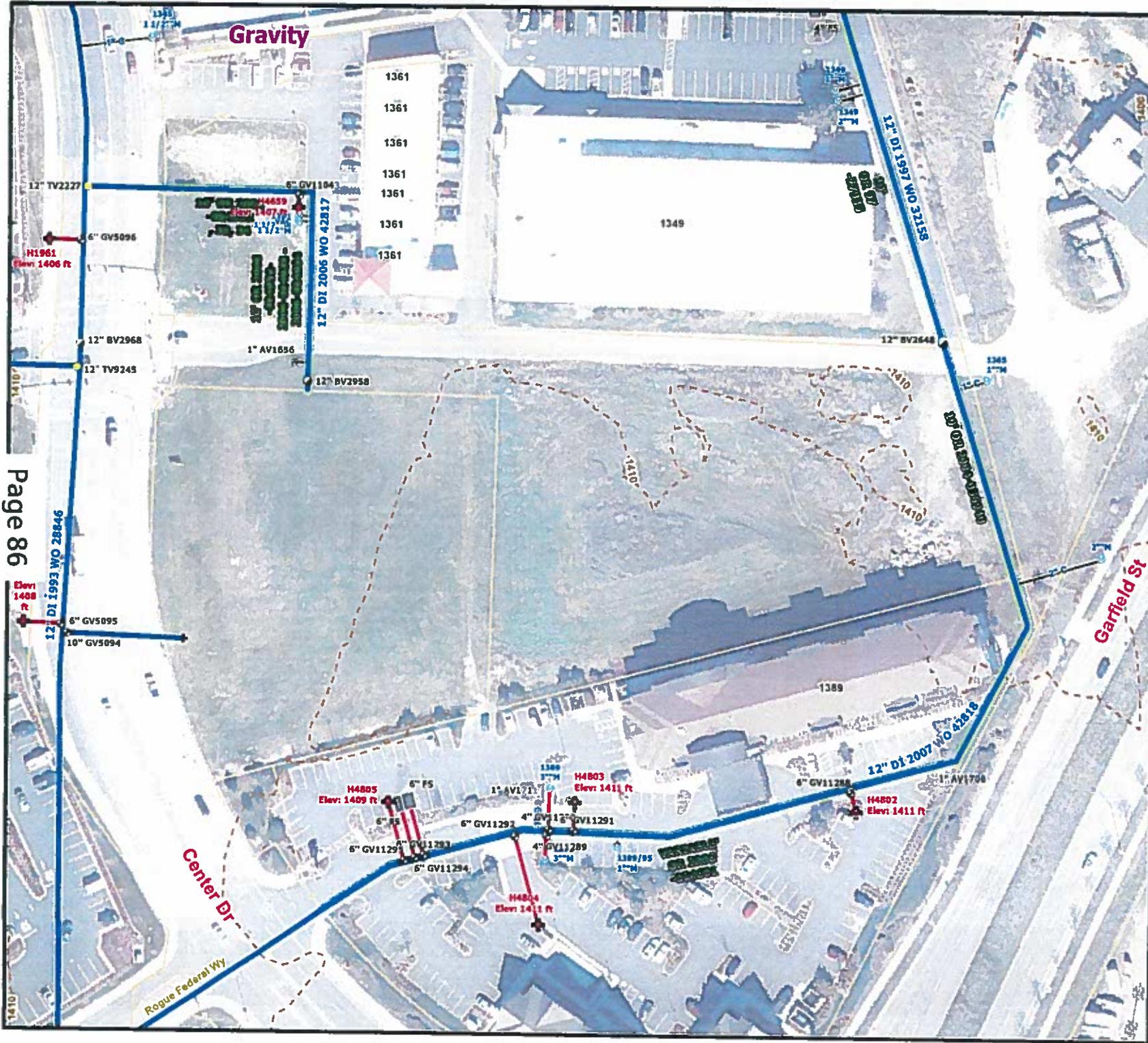
BOARD OF WATER COMMISSIONERS
Staff Memo

Continued from previous page

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is required. (See Condition 3 above)
3. Static water pressure is approximately 76 psi.
4. MWC-metered water service does not exist to serve this property. There is however two (2) water meters along the easterly property line. There is an existing 1-inch meter which serves the neighboring parcel held by Nash Holdings LLC. There is also a 2-inch water meter which serves the ODOT RW landscape irrigation system for the S Medford I-5 interchange.
5. Access to MWC water lines is available. There is an existing 12-inch water line that crosses the existing access drive off Center Drive located approximately 150-feet west of the proposed hotel in a 10-foot water line easement per OR 2006-024932. There is also a 10-inch water line located along the east property line in a 10-foot water line easement per OR-2004-056940.

Gravity



Water Facility Map for AC-16-150

Legend

- Air Valve
- Sample Station
- Fire Service
- Hydrant
- Reducer
- Blow Off
- Plugs-Caps
- Water Meters:**
 - Active Meter
 - On Well
 - Unknown
 - Vacant
- Water Valves:**
 - Butterfly Valve
 - Gate Valve
 - Tapping Valve
- Water Mains:**
 - Active Main
 - Abandoned Main
 - Reservoir Drain Pipe
 - Pressure Zone Line
- Boundaries:**
 - Urban Growth Boundary
 - City Limits
 - Tax Lots
- MWC Facilities:**
 - Control Station
 - Pump Station
 - Reservoir



This map is based on a digital orthorectified satellite imagery. Medford Water Commission is not responsible for any errors or omissions. Medford Water Commission is not responsible for any errors or omissions. Medford Water Commission is not responsible for any errors or omissions.



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
E-mail www.fire@ci.medford.or.us

LAND DEVELOPMENT REPORT - REVISED

To: Dustin Severs

LD Meeting Date: 12/28/2016

From: Greg Kleinberg

Report Prepared: 01/11/2017

Applicant:

File #: AC - 16 - 150

Site Name/Description: Hotel

Consideration of a proposal for the development of a four-story hotel composed of 93 rooms to be located on the vacant lot located at 1375 Center Drive within the Regional Commercial (C-R) zoning district (371W32B4701); Sycan B Development, Applicant. Dustin Severs, Planner. Note: Revised comments based on 1/4/17 site plan revision.

DESCRIPTION OF CORRECTIONS	REFERENCE
----------------------------	-----------

Requirement FIRE HYDRANTS

OFC

508.5

Fire hydrants with reflectors will be required for this project.

Fire hydrant locations shall be as follows: Locations approved as submitted.

Additional hydrants may be required to comply with the requirement of proximity to fire department connections (for fire sprinkler and standpipe systems, the fire department connection shall be located at an approved location away from the building and within 75' of a fire hydrant. The fire department connection shall be located on the same side as the fire department access route.).

The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Plans and specifications for fire hydrant system shall be submitted to Medford Fire Department for review and approval prior to construction. Submittal shall include a copy of this review (OFC 501.3).

Requirement FD APPARATUS ACCESS ROAD DESIGN

OFC

503.2.1

The covered entrance must be raised so that there is a minimum 13' 6" clearance to accommodate emergency vehicles.

Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches. The required width of a fire apparatus access road shall not be obstructed in any manner, including parking of vehicles. Minimum required widths and clearances established under section 503.2.1, shall be maintained at all times. The fire apparatus access road shall be constructed as asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 60,000 pounds.

(See also OFC 503.4; D102.1)

The turning radius on fire department access roads shall meet Medford Fire Department requirements (OFC



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
E-mail www.fire@ci.medford.or.us

LAND DEVELOPMENT REPORT - REVISED

To: Dustin Severs

LD Meeting Date: 12/28/2016

From: Greg Kleinberg

Report Prepared: 01/11/2017

Applicant:

File #: AC - 16 - 150

Site Name/Description: Hotel

503.2.4).

Requirement AERIAL APPARATUS ACCESS

OFC

D105

The aerial apparatus access road along the South side of the building is approved, with the exception that a fire department turn around is required in accordance with OFC 503.2.5 and Appendix D (This could be accomplished by utilizing a 120' hammerhead or "acceptable alternate to 120-foot hammerhead in Figure D103.1).

SECTION D105-AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 Where required. Buildings or portions of buildings or facilities exceeding 30 feet (9144 mm) in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway.

D105.2 Width. Fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm) in the immediate vicinity of any building or portion of building more than 30 feet (9144 mm) in height.

D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building.

Requirement SECONDARY FIRE APPARATUS ACCESS - COMMERCIAL

OFC

D104

Either a secondary connection/fire department access road is required, or, the second fire department access road required by OFC Section D104.1 can be eliminated if the building is equipped throughout by a NFPA 13 fire sprinkler system (not a NFPA 13R system).

SECTION D104-COMMERCIAL AND INDUSTRIAL DEVELOPMENTS

D104.1 Buildings exceeding three stories or 30 feet in height. Buildings or facilities exceeding 30 feet (9144 mm) or three stories in height shall have at least two means of fire apparatus access for each structure.

D104.2 Buildings exceeding 62,000 square feet in area. Buildings or facilities having a gross building area of more than 62,000 square feet (5760 m2) shall be provided with two separate and approved fire apparatus access roads.

Exception: Projects having a gross building area of up to 124,000 square feet (11 520 m2) that have a single approved fire apparatus access road when all buildings are equipped throughout with approved automatic sprinkler



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
E-mail www.fire@ci.medford.or.us

LAND DEVELOPMENT REPORT - REVISED

To: Dustin Severs

LD Meeting Date: 12/28/2016

From: Greg Kleinberg

Report Prepared: 01/11/2017

Applicant:

File #: AC - 16 - 150

Site Name/Description: Hotel

systems.

D104.3 Remoteness. Where two access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses.

Requirement PRIVATE FIRE DEPARTMENT ACCESS PARKING RESTRICTION OFC 503.4

Parking along the existing paved access road shall be posted as prohibited on both sides and parking along the fire lanes shall be marked as prohibited.

Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).

Where parking is prohibited for fire department vehicle access purposes, NO PARKING-FIRE LANE signs shall be spaced at minimum 50' intervals along the fire lane (minimum 75' intervals in 1 & 2 family residential areas) and at fire department designated turn-around's. The signs shall have red letters on a white background stating "NO PARKING-FIRE LANE" (See handout).

For privately owned properties, posting/marketing of fire lanes may be accomplished by any of the following alternatives to the above requirement (consult with the Fire Department for the best option):

Alternative #1:

Curbs shall be painted red along the entire distance of the fire department access. Minimum 4" white letters stating "NO PARKING-FIRE LANE" shall be stenciled on the curb at 25-foot intervals.

Alternative #2:

Asphalt shall be striped yellow or red along the entire distance of the fire department access. The stripes shall be at least 6" wide, be a minimum 24" apart, be placed at a minimum 30-60 degree angle to the perimeter stripes, and run parallel to each other. Letters stating "NO PARKING-FIRE LANE" shall be stenciled on the asphalt at 25-foot intervals.

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths (20' wide) and clearances (13' 6" vertical) shall be maintained at all times (OFC 503.4; ORS 98.810-12).

This restriction shall be recorded on the property deed as a requirement for future construction.



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
E-mail www.fire@ci.medford.or.us

LAND DEVELOPMENT REPORT - REVISED

To: Dustin Severs

LD Meeting Date: 12/28/2016

From: Greg Kleinberg

Report Prepared: 01/11/2017

Applicant:

File #: AC - 16 - 150

Site Name/Description: Hotel

A brochure is available on our website or you can pick up one at our headquarters.

Requirement EMERGENCY RESPONDER RADIO COVERAGE **OFC** **510.1.1**

Emergency responder radio coverage must be provided in the following buildings and locations:

1. Any building with one or more basement or below-grade building levels.
2. Any underground building.
3. Any building more than five stories in height.
4. Any building 50,000 sq. ft. in size or larger.
5. Any building that, through performance testing, does not meet the requirement of Section 510.

Requirement FIRE DEPARTMENT TURN-AROUND **OFC** **503.2.5**

Without a secondary access, a fire department turn around is required in the South parking lot in accordance with OFC 503.2.5 and Appendix D (This could be accomplished by utilizing a 120' hammerhead or "acceptable alternate to 120-foot hammerhead in Figure D103.1).

Dead-end Fire Apparatus access roads in excess of 150 feet in length shall be provided with approved provisions for the turning around of fire apparatus.

The Fire department turn-around area must be posted with "NO PARKING-FIRE LANE" signs. These signs shall be spaced at 50' intervals along the fire lane and at fire department designated turn-around's.

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.



ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 7502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

December 21, 2016

City of Medford Planning Department
200 S. Ivy Street
Medford, Oregon 97501

Re: AC-16-150, Sycan Development (Map 371W32B, Tax Lot 4701)
Ref: (PA-16-114)

ATTN: Dustin,

The subject property is within Rogue Valley Sewer Services (RVSS) service area. Sewer for the development will require a mainline extension into the property from the existing 8 inch sewer main along Center Drive and must be accepted by RVSS. The sewer connect permit for the building will be issued by the City of Medford. However, there will be system development charges owed to RVSS.

Rogue Valley Sewer Services requests that approval of this application be subject to the following condition:

1. Sewer improvements shall be designed in accordance with RVSS standards and submitted for approval.
2. Easements must be provided per RVSS standards for public sewer facilities located on private property.
3. The applicant must provide RVSS with a plumbing fixture plan for the determination of system development charges.
4. The applicant must pay sewer system development charges to Rogue Valley Sewer Service prior to issuance of a building permit.

Sincerely,

Nicholas R. Bakke

Nicholas R. Bakke, P.E.
District Engineer

K:\DATA\AGENCIES\MEDFORD\PLANNING\ARCH COMM\2016\AC-16-150_SYCAN DEVELOPEMENT.DOC

CITY OF MEDFORD
EXHIBIT # N
File # AC-16-150

Dustin J. Severs

From: CAINES Jeff <Jeff.CAINES@aviation.state.or.us>
Sent: Thursday, December 22, 2016 11:41 AM
To: Dustin J. Severs
Subject: File: AC-16-150 - ODA Comments

Dustin:

Thank you for allowing ODA to comment on the four-story hotel proposed at 1375 Center Drive. ODA has reviewed the proposed development and have the following comments:
The site is approximately 3.75 miles south of the Rough Valley Int'l airport. There are existing developments between the site and the airport as well as topography that is at a higher elevation than both the proposed site and the airport.

Therefore, ODA finds that the proposed development will not pose a hazard to air navigation and that no FAA form 7460-1 will be required.

Please feel free to contact me if you or the applicant have any questions.

Jeff

Jeff Caines, AICP
Oregon Department of Aviation
Aviation Planner / SCIP Coordinator
3040 25th St. SE | Salem, OR 97302
Office: 503.378.2529

Cell / Text: 503.507.6965
Email: Jeff.Caines@aviation.state.or.us

*****CONFIDENTIALITY NOTICE*****

This e-mail may contain information that is privileged, confidential, or otherwise exempt from disclosure under applicable law. If you are not the addressee or it appears from the context or otherwise that you have received this e-mail in error, please advise me immediately by reply e-mail, keep the contents confidential, and immediately delete the message and any attachments from your system.

CITY OF MEDFORD
EXHIBIT # 0
File # AC-16-150



MLI

Jackson County Prop...

Legend

TAXLOTS AND SITE ADDRESSES GROUP

Taxlots



TRANSPORTATION GROUP

Streets by Type with Names

- Freeway
- On \ Off Ramps
- State Highway
- Major Arterial
- Minor Arterial
- Major / Urban Collector
- Minor Collector
- Other Public Road
- Unimproved County Road
- Local Access Road
- Major USFS / BLM Road
- Other USFS / BLM Road
- Private Road

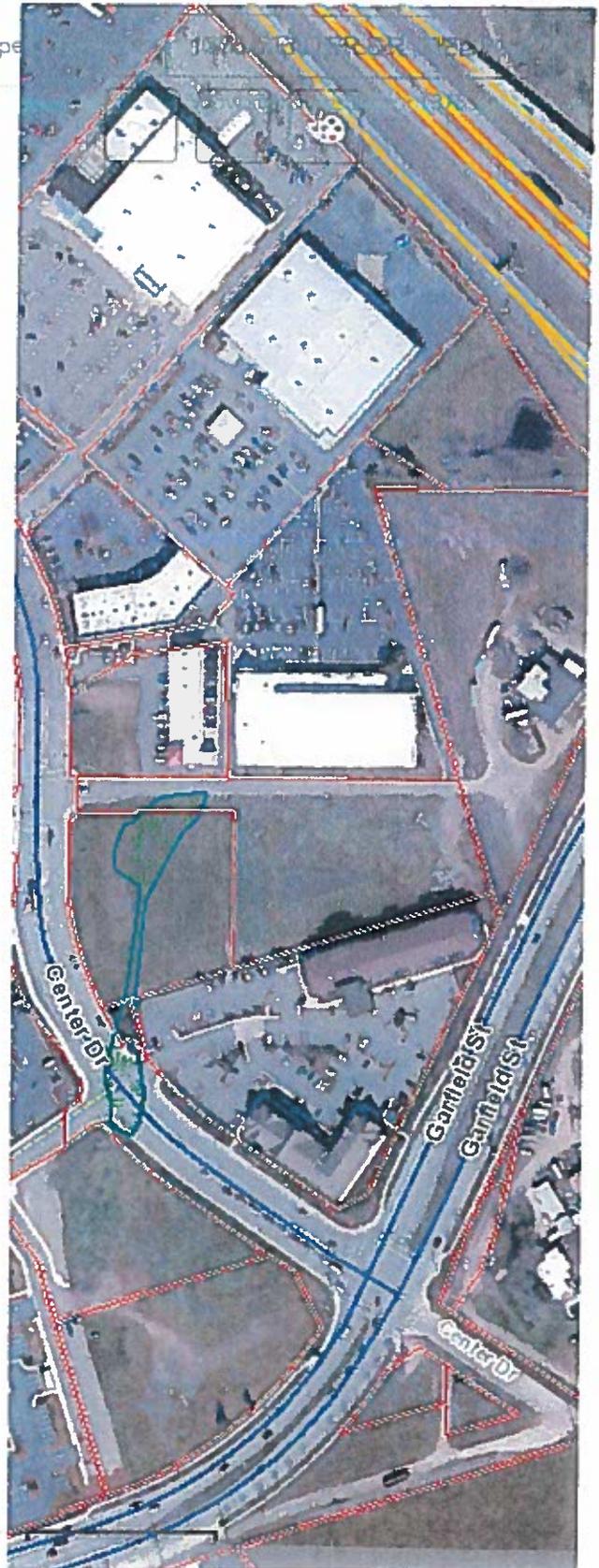
ENVIRONMENT GROUP

Medford Wetlands Inventory

- Locally Significant
- Other Wetlands

2013 Aerials

- Red: Band_1
- Green: Band_2
- Blue: Band_3



All Rights Reserved

CITY OF MEDFORD
EXHIBIT # P
File # AC-16-150



WETLAND LAND USE NOTIFICATION RESPONSE
OREGON DEPARTMENT OF STATE LANDS
775 Summer Street NE, Suite 100, Salem, OR 97301-1279
Phone (503) 986-5200
www.oregonstatelands.us

DSL File Number: WN2016-0554

Cities and counties have a responsibility to notify the Department of State Lands (DSL) of certain activities proposed within wetlands mapped on the Statewide Wetlands Inventory. Dustin Severs from city of Medford submitted a WLUN pertaining to local case file #: AC-16-150.

Activity location:

township: 37S range: 01W section: 32 quarter-quarter section: B

tax lot(s): 4701

street address: 1375 Center Dr Medford

city: Medford

county: Jackson

latitude: 42.310522

longitude: -122.852809

Mapped wetland/waterway features:

- The local wetlands inventory shows a wetland on the property.
- The county soil survey shows hydric (wet) soils on the property. Hydric soils indicate that there may be wetlands.

Oregon Removal-Fill requirement (s):

- A state permit is required for 50 cubic yards or more of removal and/or fill in wetlands, below ordinary high water of streams, within other waters of the state, or below highest measured tide where applicable.

Your activity:

- An onsite inspection by a qualified wetland consultant is recommended prior to site development to determine if the proposed project may impact wetlands or waters. If wetlands are present, a wetland delineation is needed to determine precise wetland boundaries. The wetland delineation report should be submitted to DSL for review and approval.

Contacts:

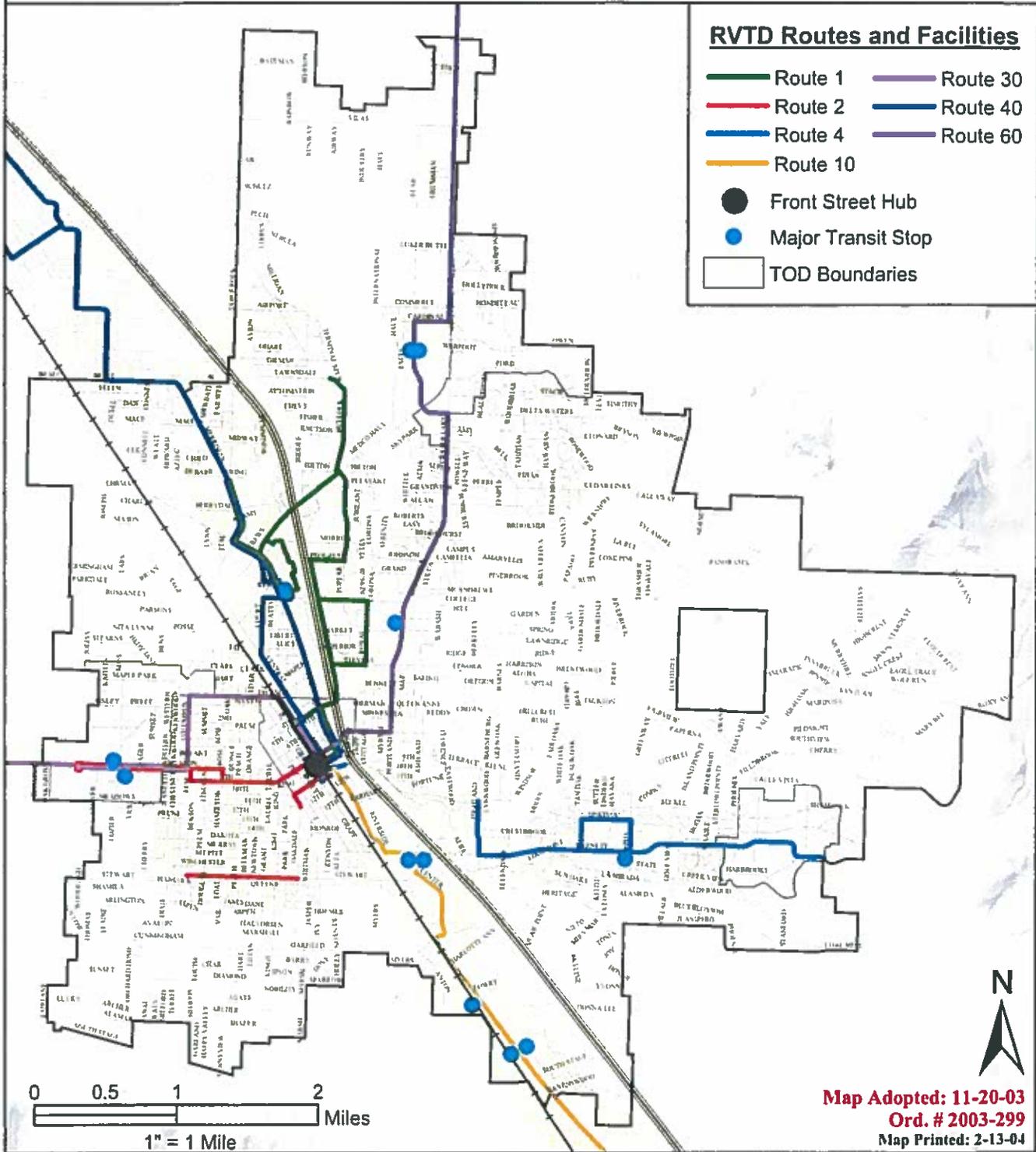
- This is a preliminary jurisdictional determination and is advisory only.

Comments: The site has been highly impacted, but it is not possible to determine with in-house tools whether remnant wetlands still exist. The soil type and some of the existing aerial photographs suggest that the site should be checked on the ground, so a site inspection is recommended. If wetlands are

identified, a wetland delineation is needed. The soil series on site typically supports vernal pools. Although there is no evidence of intact vernal pools, the soil may still perch water in some places and thus support wetlands.

Response by: *Lynne McAllister* date: 01/10/2017

Figure 7-1: Medford Designated Major RVTD Transit Routes and Stops



1/4 Mile Distance from Transit Routes

- Other Streets (Thin grey line)
- Highway (Thick grey line)
- Railroad (Line with cross-ticks)
- UGB (Cross symbol)



The Geographic Information Systems (GIS) data made available on this map are developed and maintained by the City of Medford and Jackson County. GIS data is not the official representation of any of the information included. The maps and data are made available to the public solely for informational purposes.

THESE MAPS OR DATA MAY BE OUTDATED, INACCURATE, AND MAY OMIT IMPORTANT INFORMATION. THE MAPS OR DATA MAY NOT BE SUITABLE FOR YOUR PARTICULAR USE. THIS INFORMATION IS BEING PROVIDED "AS IS" OR "WITH ALL FAULTS." THE ENTIRE RISK AS TO THE QUALITY OR PERFORMANCE OF ANY INFORMATION BUYER AND IF INFORMATION IS DEFECTIVE, THE BUYER ASSUMES THE ENTIRE COST OF ANY NECESSARY CORRECTIONS OR REPLACING.

file # AC-16-150

Members of the Site Plan Architectural Review Committee

My Name is Dan Nash and I am the Managing Member for Nash Holdings LLC. Our Family owns Tax Lot 3600, the 3.5 acres directly East of the subject site. We have owned the property since 1965.

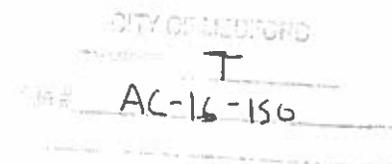
First, I would like to state for the record, that we support the applicants planned use for this site. However after careful review of the application we are concerned that the transportation elements of access, circulation, and connectivity have not been properly addressed or provided for by the applicant. Medford's land use code requires that, in order to insure an efficient movement of cars, all property owners in a given area work to create a transportation plan that facilitates and maximizes the movement of cars. Especially in this area, which is in close proximity to the Freeway and Hwy 99. This plan does none of that. In fact, if this plan were approved as presented, it would create both immediate and down the road traffic problems.

The applicant, despite having adequate property to do so, does not provide for additional left turn stacking. Currently there is minimal storage for left turn movement at the intersection (about 2 cars). The applicant provides for a connection to the existing Hotels, and we support that since the traffic from the existing Hotels cannot make a left turn from their sites. Add to that the future traffic from the vacant parcel to the West, which will be land locked if this application is approved as submitted, and you have a very dysfunctional traffic situation. The vacant parcel to the West of the applicants (tax lot 4703) will not be allowed access on Center Drive, and their access to the Interior Access Road needs to be as far east as possible to minimize conflicts with vehicles entering the Interior Access Road from Center Drive. This needs to be addressed now. We have taken the liberty of showing a possible solution that benefits all properties and provides for the orderly movement of cars.

We have not communicated with the property holder of tax lot 4703, but we believe that our proposed solution provides for the best and safest vehicular and pedestrian circulation for all parties and best meets the standards of MLDC 10.426 regarding Street Circulation Design and Connectivity, and Interior Access Roads.

Respectfully Submitted,

Dan Nash
Nash Holdings LLC



SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION

PLANNING DEPARTMENT

Section II – Code Compliance: Criterion No. 2

PROJECT SITE		
	PROPOSED	REQUIRED
• Zoning District	CR	
• Overlay District(s)	N/A	
• Proposed Use	Hotel	
• Project Site Acreage	2.4	
• Site Acreage (+ right-of-way)	2.5	
• Proposed Density (10.708)	N/A	
• # Dwelling Units	N/A	
• # Employees	15 TOTAL / MAX. 10 ON SHIFT	

STRUCTURES		
	EXISTING	PROPOSED
• # Structures	0	1
• Structure Square Footage (10.710-10.721)	0	54,800

SITE DESIGN STANDARDS		
	PROPOSED	REQUIRED
• Front Yard Setback (10.710-721)	17'	10'
• Side Yard Setback (10.710-721)	68'	11.5'
• Side Yard Setback (10.710-721)	68'	11.5'
• Rear Yard Setback (10.710-721)	150'	150'
• Lot Coverage (10.710-721)	13,850 sq.ft.	41,821 sq. ft. maximum

PARKING		
	PROPOSED	REQUIRED
• Regular Vehicular Spaces (10.743)	98 (97 on alternate)	97
• Disable Person Vehicular Spaces (10.746[8])	5	5
• Carpool/Vanpool Spaces (10.809)	1	1
• Total Spaces (10.743)	103 (102 on alternate)	102
• Bicycle Spaces (10.748)	12	11
• Loading Berths (10.742)	1	1

SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION

LANDSCAPING	PROPOSED	REQUIRED
• Total Landscape Area (square feet)	18,950 sq.ft.	
• Total Landscape Area in High Water Use Landscaping (square feet)	0	
• Total Landscape Area in High Water Use Landscaping (percentage)	0	
• Total % Landscape Coverage	18%	
• Required Organic Content (cu.yd.)	57 cu.yd.	
• Frontage Landscaping (10.797)		
• Street:		
• Feet:		
• # Trees:		
• # Shrubs:		
• Street:		
• Feet:	10' min. by 145'	
• # Trees:		
• # Shrubs:		
• Bufferyard Landscaping (10.790)		
• Type:	A	A
• Distance (ft):	10' min. by 145'	
• # Canopy Trees:	4	
• # Shrubs:	31	
• Fence/Wall:	None	6-foot tall
• Parking Area Planter Bays (10.746)		
• Type:		
• # Bays:	13	
• Area:	4,610 sq ft. (4,105 sq ft. on alternate)	2,125 sq. ft.
• # Trees:	25	13
• # Shrubs:	103	26

STRUCTURE	PROPOSED
• Materials	Exterior Insulation Finish System and stone
• Colors	Beige, Taupe, Terra Cotta, Alabaster

Please remember that the information you provide in response to the questionnaire must be included with your SPAR application submittal. Remember to sign and date your written response.

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

Mounting

STANDARD ARM MOUNT: Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the

arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option. **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

Warranty

Five-year warranty.

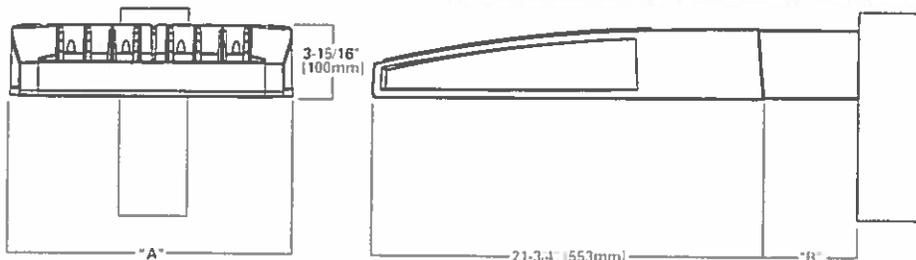


GLEON GALLEON LED

1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE

DIMENSIONS

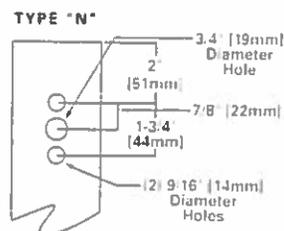


DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1.2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5.8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5.8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3.4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

DRILLING PATTERN



CERTIFICATION DATA

UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium™ Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50-60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)



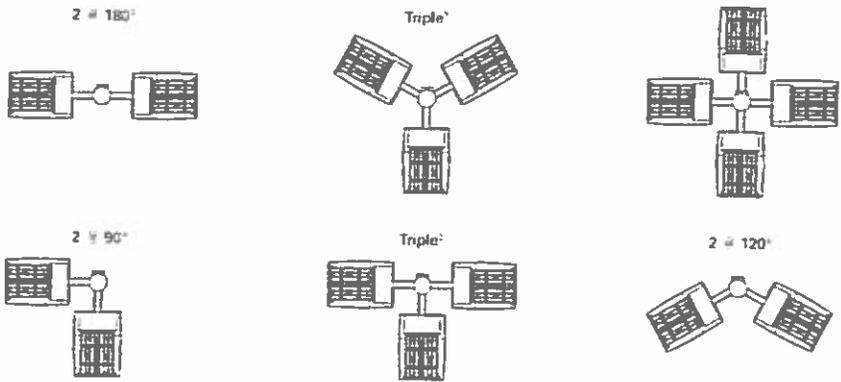
CITY OF MEDFORD
EXHIBIT # V
A 6-150 www.designlights.org



TD500020EN
2016-09-28 15:31:55

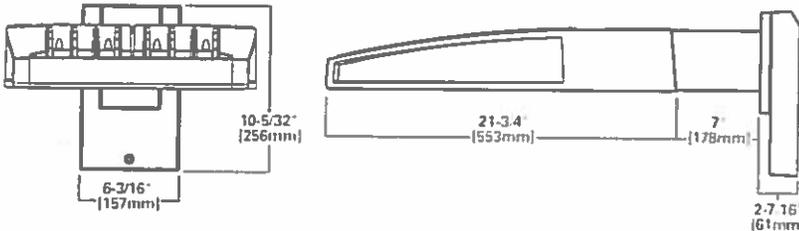
ARM MOUNTING REQUIREMENTS

Configuration	90° Apart	120° Apart
GLEON-AF-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AF-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AF-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AF-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AF-10	16" Extended Arm (Required)	16" Extended Arm (Required)

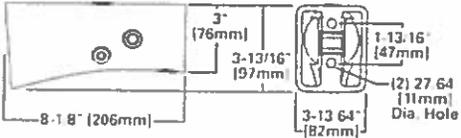


NOTES 1 Numbered 1 & 2 12" Square Pole and 2 or 2 Round Poles see 1 & 2

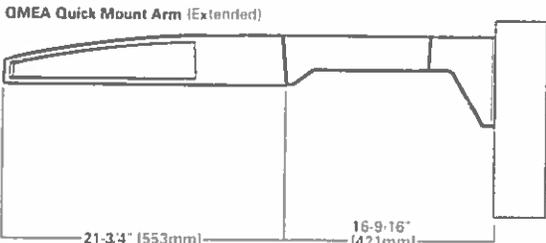
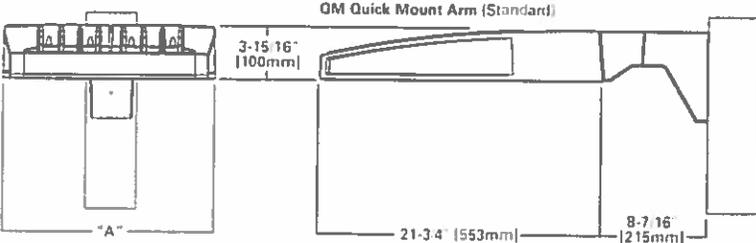
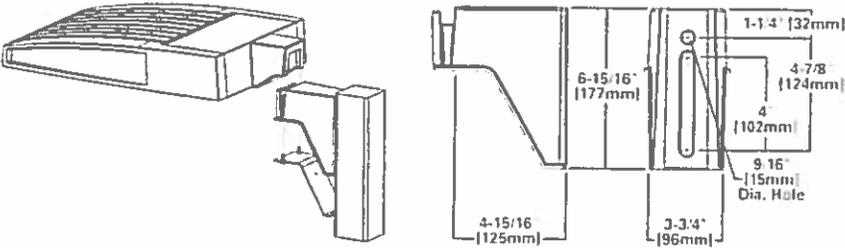
STANDARD WALL MOUNT



MAST ARM MOUNT



QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)



QUICK MOUNT ARM DATA

Number of Light Squares 1, 2	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-4	15-1/2" (394mm)	35 (15.91 kgs.)	38 (17.27 kgs.)	1.11
5-6	21-5/8" (549mm)	46 (20.91 kgs.)	49 (22.27 kgs.)	
7-8	27-5/8" (702mm)	56 (25.45 kgs.)	59 (26.82 kgs.)	

NOTES 1 QM option available with 1-8 light square configurations. 2 QMEA option available with 1-6 light square configurations. 3 QMEA arm to be used when mounting two fixtures at 90° on a single pole

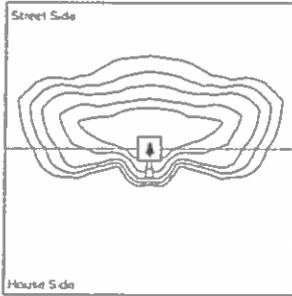


Eaton
1121 High Way 74 South
Peachtree City, GA 30069
P. 770-436-1800
www.eaton.com/lighting

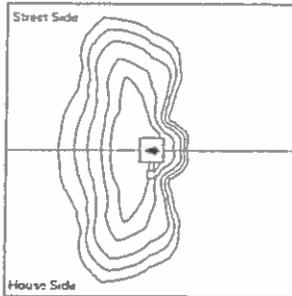
Specifications and dimensions subject to change without notice

TD500020EN
2016-09-28 15:31:55

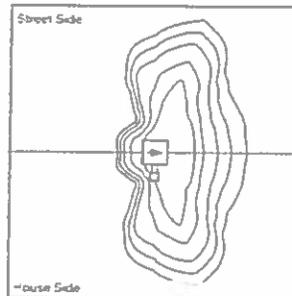
OPTIC ORIENTATION



Standard



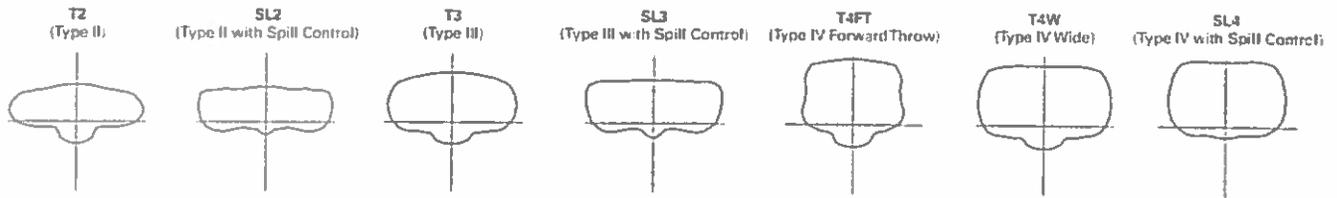
Optics Rotated Left $\approx 90^\circ$ (L90)



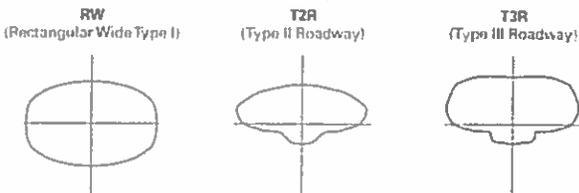
Optics Rotated Right $\approx 90^\circ$ (R90)

OPTICAL DISTRIBUTIONS

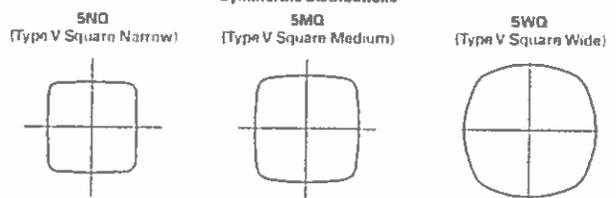
Asymmetric Area Distributions



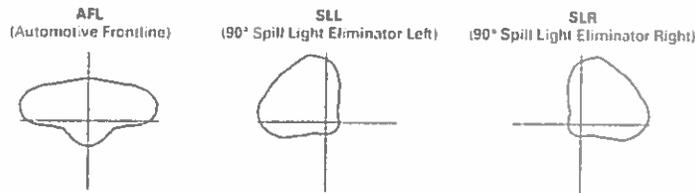
Asymmetric Roadway Distributions



Symmetric Distributions



Specialized Distributions

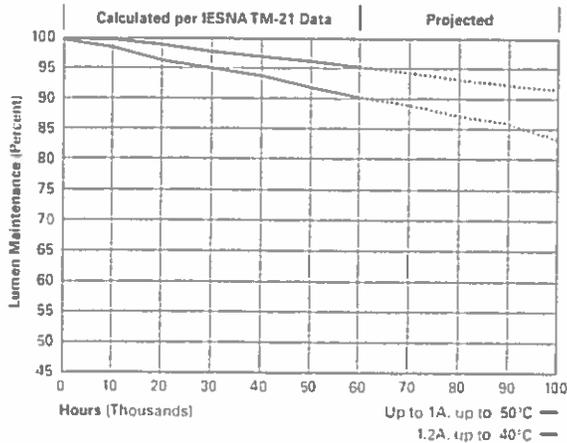


LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	416,000
1.2A	Up to 40°C	> 90%	205,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97



NOMINAL POWER LUMENS (1.2A)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Nominal Power (Watts)	67	129	191	258	320	382	448	511	575	640	
Input Current @ 120V (A)	0.58	1.16	1.78	2.31	2.94	3.56	4.09	4.71	5.34	5.87	
Input Current @ 208V (A)	0.33	0.63	0.93	1.27	1.57	1.87	2.22	2.52	2.8	3.14	
Input Current @ 240V (A)	0.29	0.55	0.80	1.10	1.35	1.61	1.93	2.18	2.41	2.71	
Input Current @ 277V (A)	0.25	0.48	0.70	0.96	1.18	1.39	1.69	1.90	2.09	2.36	
Input Current @ 347V (A)	0.20	0.39	0.57	0.78	0.96	1.15	1.36	1.54	1.72	1.92	
Input Current @ 480V (A)	0.15	0.30	0.43	0.60	0.73	0.85	1.03	1.16	1.28	1.45	
Optics											
T2	4000K/5000K Lumens	6,709	13,111	19,562	25,848	32,026	38,325	45,324	51,355	57,286	63,424
	3000K Lumens	5,939	11,606	17,316	22,881	28,349	33,925	40,121	45,459	50,710	56,143
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T2R	4000K/5000K Lumens	7,122	13,919	20,769	27,442	34,000	40,687	48,117	54,519	60,816	67,333
	3000K Lumens	5,939	11,606	17,316	22,881	28,349	33,925	40,121	45,459	50,710	56,143
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
T3	4000K/5000K Lumens	6,838	13,363	19,939	26,346	32,647	39,062	46,196	52,343	58,388	64,646
	3000K Lumens	6,053	11,829	17,650	23,321	28,895	34,578	40,893	46,334	51,685	57,225
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T3R	4000K/5000K Lumens	6,990	13,660	20,382	26,931	33,368	39,930	47,223	53,506	59,686	66,081
	3000K Lumens	6,188	12,092	18,042	23,839	29,537	35,346	41,802	47,364	52,834	58,495
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
T4FT	4000K/5000K Lumens	6,878	13,440	20,055	26,499	32,832	39,289	46,464	52,646	58,726	65,020
	3000K Lumens	6,088	11,897	17,753	23,457	29,063	34,779	41,130	46,602	51,984	57,556
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T4W	4000K/5000K Lumens	6,789	13,267	19,795	26,156	32,408	38,781	45,864	51,967	57,968	64,180
	3000K Lumens	6,010	11,744	17,523	23,153	28,688	34,329	40,599	46,001	51,313	56,812
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL2	4000K/5000K Lumens	6,697	13,088	19,529	25,804	31,970	38,259	45,245	51,267	57,186	63,315
	3000K Lumens	5,928	11,585	17,287	22,842	28,300	33,867	40,051	45,382	50,621	56,046
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL3	4000K/5000K Lumens	6,837	13,361	19,936	26,342	32,639	39,057	46,189	52,336	58,380	64,636
	3000K Lumens	6,052	11,827	17,647	23,318	28,892	34,573	40,887	46,328	51,678	57,216
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL4	4000K/5000K Lumens	6,496	12,695	18,943	25,029	31,011	37,110	43,886	49,727	55,470	61,414
	3000K Lumens	5,750	11,238	16,768	22,156	27,451	32,850	38,848	44,018	49,102	54,364
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
5N0	4000K/5000K Lumens	7,052	13,781	20,564	27,171	33,664	40,285	47,641	53,981	60,215	66,669
	3000K Lumens	6,242	12,199	18,203	24,052	29,799	35,660	42,172	47,784	53,302	59,015
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
5M0	4000K/5000K Lumens	7,182	14,034	20,942	27,671	34,284	41,027	48,518	54,975	61,323	67,896
	3000K Lumens	6,358	12,423	18,538	24,494	30,348	36,317	42,948	48,664	54,283	60,102
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
5W0	4000K/5000K Lumens	7,201	14,073	20,998	27,744	34,375	41,136	48,648	55,121	61,487	68,077
	3000K Lumens	6,374	12,457	18,587	24,559	30,429	36,414	43,063	48,793	54,428	60,262
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
SLL/SLR	4000K/5000K Lumens	6,009	11,741	17,519	23,148	28,681	34,321	40,589	45,990	51,301	56,798
	3000K Lumens	5,319	10,393	15,508	20,491	25,388	30,381	35,929	40,710	45,412	50,278
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
RW	4000K/5000K Lumens	6,989	13,657	20,378	26,925	33,360	39,921	47,211	53,494	59,672	66,066
	3000K Lumens	6,187	12,089	18,039	23,834	29,530	35,338	41,791	47,353	52,822	58,482
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
AFL	4000K/5000K Lumens	7,014	13,706	20,452	27,023	33,481	40,066	47,383	53,688	59,888	66,306
	3000K Lumens	6,209	12,133	18,104	23,921	29,637	35,466	41,943	47,525	53,013	58,694
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4

* Nominal data for 70 CRI.

NOMINAL POWER LUMENS (1A)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Nominal Power (Watts)	59	113	166	225	279	333	391	445	501	558	
Input Current @ 120V (A)	0.51	1.02	1.53	2.03	2.55	3.06	3.56	4.08	4.6	5.07	
Input Current @ 208V (A)	0.29	0.56	0.82	1.11	1.37	1.64	1.93	2.19	2.46	2.75	
Input Current @ 240V (A)	0.26	0.48	0.71	0.96	1.19	1.41	1.67	1.89	2.12	2.39	
Input Current @ 277V (A)	0.23	0.42	0.61	0.83	1.03	1.23	1.45	1.65	1.84	2.09	
Input Current @ 347V (A)	0.17	0.32	0.50	0.64	0.82	1.00	1.14	1.32	1.50	1.68	
Input Current @ 480V (A)	0.14	0.24	0.37	0.48	0.61	0.75	0.91	0.99	1.12	1.28	
Optics											
T2	4000K/5000K Lumens	6,116	11,951	17,833	23,563	29,195	34,937	41,317	46,814	52,221	57,817
	3000K Lumens	5,414	10,579	15,786	20,858	25,843	30,926	36,574	41,440	46,226	51,180
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T2R	4000K/5000K Lumens	6,493	12,688	18,932	25,015	30,994	37,090	43,863	49,699	55,439	61,380
	3000K Lumens	5,748	11,231	16,759	22,143	27,436	32,832	38,828	43,994	49,075	54,334
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
T3	4000K/5000K Lumens	6,234	12,181	18,176	24,017	29,756	35,609	42,111	47,715	53,225	58,930
	3000K Lumens	5,518	10,783	16,089	21,260	26,340	31,521	37,277	42,237	47,115	52,165
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
T3R	4000K/5000K Lumens	6,372	12,453	18,580	24,550	30,418	36,400	43,048	48,776	54,409	60,239
	3000K Lumens	5,640	11,023	16,447	21,732	26,926	32,221	38,106	43,177	48,163	53,324
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
T4FT	4000K/5000K Lumens	6,270	12,252	18,282	24,156	29,929	35,815	42,356	47,992	53,534	59,271
	3000K Lumens	5,550	10,845	16,183	21,383	26,493	31,703	37,494	42,483	47,388	52,467
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
T4W	4000K/5000K Lumens	6,189	12,094	18,045	23,844	29,543	35,352	41,809	47,372	52,843	58,506
	3000K Lumens	5,479	10,706	15,973	21,107	26,151	31,294	37,009	41,934	46,777	51,790
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL2	4000K/5000K Lumens	6,105	11,931	17,803	23,522	29,144	34,877	41,245	46,734	52,130	57,717
	3000K Lumens	5,404	10,561	15,759	20,822	25,798	30,873	36,510	41,369	46,145	51,091
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL3	4000K/5000K Lumens	6,233	12,180	18,174	24,013	29,753	35,604	42,106	47,708	53,218	58,921
	3000K Lumens	5,517	10,782	16,088	21,256	26,337	31,517	37,272	42,231	47,109	52,157
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
SL4	4000K/5000K Lumens	5,927	11,572	17,268	22,816	28,269	33,829	40,006	45,330	50,566	55,984
	3000K Lumens	5,242	10,244	15,286	20,197	25,024	29,945	35,413	40,126	44,761	49,557
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
5ND	4000K/5000K Lumens	6,429	12,563	18,746	24,768	30,688	36,723	43,429	49,208	54,891	60,775
	3000K Lumens	5,691	11,121	16,594	21,925	27,165	32,507	38,443	43,559	48,590	53,798
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
5MQ	4000K/5000K Lumens	6,547	12,794	19,090	25,224	31,253	37,400	44,228	50,114	55,902	61,893
	3000K Lumens	5,795	11,325	16,898	22,328	27,665	33,106	39,151	44,361	49,484	54,798
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
5WO	4000K/5000K Lumens	6,564	12,828	19,141	25,291	31,336	37,499	44,347	50,248	56,051	62,058
	3000K Lumens	5,810	11,355	16,944	22,388	27,739	33,194	39,256	44,488	49,616	54,934
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
5LL/5LR	4000K/5000K Lumens	5,478	10,703	15,970	21,102	26,145	31,286	37,001	41,924	46,765	51,777
	3000K Lumens	4,849	9,474	14,137	18,679	23,144	27,694	32,753	37,111	41,396	45,833
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
RW	4000K/5000K Lumens	6,371	12,449	18,576	24,544	30,411	36,392	43,037	48,764	54,396	60,225
	3000K Lumens	5,640	11,020	16,443	21,726	26,920	32,214	38,096	43,166	48,151	53,311
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
AFL	4000K/5000K Lumens	6,394	12,494	18,644	24,634	30,521	36,524	43,194	48,942	54,593	60,444
	3000K Lumens	5,660	11,060	16,504	21,806	27,017	32,331	38,235	43,323	48,326	53,505
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4

* Nominal data for 70 CRI.



Eaton
121 Highway 21 South
Peachtree City, GA 30091
P: 770-486-1800
www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

TD500920EN
2016-09-28 15:31:55

NOMINAL POWER LUMENS (800MA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Nominal Power (Watts)	44	85	124	171	210	249	295	334	374	419	
Input Current @ 120V (A)	0.39	0.77	1.13	1.54	1.90	2.26	2.67	3.03	3.39	3.80	
Input Current @ 208V (A)	0.22	0.44	0.62	0.88	1.06	1.24	1.50	1.68	1.87	2.12	
Input Current @ 240V (A)	0.19	0.38	0.54	0.76	0.92	1.08	1.30	1.46	1.62	1.84	
Input Current @ 277V (A)	0.17	0.36	0.47	0.72	0.83	0.95	1.19	1.31	1.42	1.67	
Input Current @ 347V (A)	0.15	0.24	0.38	0.49	0.63	0.77	0.87	1.01	1.15	1.52	
Input Current @ 480V (A)	0.11	0.18	0.29	0.37	0.48	0.59	0.66	0.77	0.88	0.96	
Optics											
T2	4000K/5000K Lumens	4,941	9,656	14,408	19,038	23,588	28,227	33,382	37,823	42,191	46,713
	3000K Lumens	4,374	8,547	12,754	16,852	20,880	24,987	29,550	33,431	37,347	41,350
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5
T2R	4000K/5000K Lumens	5,246	10,251	15,296	20,211	25,041	29,966	35,429	40,154	44,791	49,592
	3000K Lumens	4,644	9,074	13,540	17,891	22,166	26,526	31,371	35,544	39,649	43,899
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
T3	4000K/5000K Lumens	5,037	9,842	14,685	19,404	24,041	28,770	34,024	38,551	43,003	47,612
	3000K Lumens	4,459	8,712	12,999	17,176	21,281	25,467	30,118	34,125	38,066	42,146
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
T3R	4000K/5000K Lumens	5,148	10,061	15,011	19,835	24,576	29,409	34,780	39,408	43,959	48,669
	3000K Lumens	4,557	8,906	13,288	17,558	21,755	26,033	30,787	34,894	38,913	43,082
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4FT	4000K/5000K Lumens	5,066	9,899	14,770	19,516	24,181	28,936	34,221	38,774	43,252	47,888
	3000K Lumens	4,484	8,763	13,074	17,276	21,405	25,614	30,292	34,323	38,287	42,390
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	4000K/5000K Lumens	5,000	9,771	14,579	19,264	23,869	28,562	33,779	38,274	42,694	47,269
	3000K Lumens	4,426	8,649	12,905	17,052	21,129	25,283	29,901	33,880	37,793	41,843
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
SL2	4000K/5000K Lumens	4,933	9,639	14,383	19,005	23,547	28,178	33,324	37,758	42,118	46,632
	3000K Lumens	4,367	8,532	12,732	16,823	20,844	24,943	29,498	33,423	37,283	41,279
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
SL3	4000K/5000K Lumens	5,036	9,841	14,683	19,401	24,039	28,766	34,019	38,546	42,997	47,605
	3000K Lumens	4,458	8,711	12,997	17,174	21,279	25,464	30,114	34,121	38,061	42,140
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL4	4000K/5000K Lumens	4,784	9,350	13,951	18,434	22,840	27,332	32,323	36,624	40,854	45,232
	3000K Lumens	4,235	8,277	12,349	16,318	20,218	24,194	28,612	32,420	36,164	40,039
	BUG Rating	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	4000K/5000K Lumens	5,194	10,150	15,145	20,011	24,794	29,670	35,088	39,757	44,349	49,102
	3000K Lumens	4,598	8,985	13,406	17,714	21,948	26,264	31,060	35,193	39,258	43,465
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G3
5MQ	4000K/5000K Lumens	5,290	10,337	15,424	20,380	25,250	30,217	35,734	40,489	45,165	50,006
	3000K Lumens	4,683	9,150	13,653	18,040	22,351	26,748	31,632	35,841	39,980	44,265
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
5WQ	4000K/5000K Lumens	5,304	10,365	15,465	20,434	25,318	30,297	35,830	40,597	45,286	50,139
	3000K Lumens	4,695	9,175	13,690	18,088	22,411	26,819	31,717	35,936	40,087	44,383
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5
SLL/SLR	4000K/5000K Lumens	4,426	8,648	12,903	17,049	21,124	25,278	29,894	33,872	37,784	41,832
	3000K Lumens	3,918	7,655	11,422	15,092	18,699	22,376	26,462	29,983	33,446	37,030
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
RW	4000K/5000K Lumens	5,147	10,058	15,009	19,830	24,570	29,402	34,771	39,399	43,949	48,658
	3000K Lumens	4,556	8,903	13,286	17,554	21,749	26,027	30,779	34,876	38,904	43,072
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4
AFL	4000K/5000K Lumens	5,166	10,095	15,063	19,903	24,659	29,509	34,898	39,542	44,108	48,835
	3000K Lumens	4,573	8,936	13,334	17,618	21,828	26,121	30,892	35,003	39,044	43,229
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

* Nominal data for 70 CRI.

NOMINAL POWER LUMENS (600MA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Nominal Power (Watts)	34	66	96	129	162	193	226	257	290	323	
Input Current @ 120V (A)	0.30	0.58	0.86	1.16	1.44	1.73	2.03	2.33	2.59	2.89	
Input Current @ 208V (A)	0.17	0.34	0.49	0.65	0.81	0.99	1.14	1.30	1.48	1.63	
Input Current @ 240V (A)	0.15	0.30	0.43	0.56	0.74	0.87	1.00	1.13	1.30	1.43	
Input Current @ 277V (A)	0.14	0.28	0.41	0.52	0.69	0.81	0.93	1.04	1.22	1.33	
Input Current @ 347V (A)	0.11	0.19	0.30	0.39	0.49	0.60	0.69	0.77	0.90	0.99	
Input Current @ 480V (A)	0.08	0.15	0.24	0.30	0.38	0.48	0.53	0.59	0.71	0.77	
Optics											
T2	4000K/5000K Lumens	4,029	7,874	11,749	15,525	19,235	23,019	27,222	30,844	34,406	38,093
	3000K Lumens	3,566	6,970	10,400	13,743	17,027	20,376	24,097	27,303	30,456	33,720
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T2R	4000K/5000K Lumens	4,278	8,360	12,474	16,482	20,421	24,437	28,960	32,745	36,527	40,441
	3000K Lumens	3,787	7,430	11,042	14,590	18,077	21,632	25,582	28,986	32,334	35,798
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3	4000K/5000K Lumens	4,107	8,026	11,976	15,824	19,605	23,461	27,746	31,438	35,068	38,827
	3000K Lumens	3,636	7,105	10,601	14,007	17,354	20,768	24,561	27,829	31,042	34,370
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T3R	4000K/5000K Lumens	4,198	8,205	12,242	16,175	20,041	23,982	28,363	32,137	35,848	39,689
	3000K Lumens	3,716	7,263	10,837	14,318	17,740	21,229	25,107	28,448	31,733	35,133
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T4FT	4000K/5000K Lumens	4,131	8,072	12,045	15,915	19,719	23,597	27,907	31,620	35,272	39,052
	3000K Lumens	3,657	7,145	10,662	14,088	17,455	20,888	24,703	27,990	31,223	34,569
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	4000K/5000K Lumens	4,077	7,968	11,889	15,710	19,465	23,292	27,546	31,212	34,816	38,547
	3000K Lumens	3,609	7,053	10,524	13,906	17,230	20,618	24,384	27,629	30,819	34,122
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL2	4000K/5000K Lumens	4,022	7,861	11,729	15,498	19,202	22,979	27,175	30,791	34,347	38,028
	3000K Lumens	3,560	6,959	10,383	13,719	16,998	20,341	24,055	27,256	30,404	33,662
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL3	4000K/5000K Lumens	4,106	8,025	11,974	15,821	19,603	23,458	27,742	31,433	35,064	38,821
	3000K Lumens	3,635	7,104	10,599	14,005	17,353	20,765	24,557	27,824	31,039	34,364
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL4	4000K/5000K Lumens	3,902	7,624	11,377	15,033	18,626	22,289	26,359	29,867	33,316	36,886
	3000K Lumens	3,454	6,749	10,071	13,307	16,488	19,730	23,333	26,438	29,491	32,651
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5
SNQ	4000K/5000K Lumens	4,236	8,277	12,351	16,319	20,219	24,196	28,614	32,422	36,166	40,042
	3000K Lumens	3,750	7,327	10,933	14,446	17,898	21,418	25,329	28,700	32,014	35,445
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
5MQ	4000K/5000K Lumens	4,314	8,429	12,578	16,619	20,591	24,641	29,141	33,019	36,832	40,779
	3000K Lumens	3,819	7,461	11,134	14,711	18,227	21,812	25,796	29,228	32,604	36,098
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4
5WQ	4000K/5000K Lumens	4,325	8,452	12,611	16,664	20,646	24,707	29,219	33,106	36,930	40,889
	3000K Lumens	3,828	7,482	11,163	14,751	18,276	21,871	25,865	29,305	32,690	36,194
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
SLL/SLR	4000K/5000K Lumens	3,609	7,052	10,522	13,903	17,226	20,613	24,378	27,622	30,812	34,114
	3000K Lumens	3,195	6,242	9,314	12,307	15,248	18,247	21,579	24,451	27,275	30,198
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
RW	4000K/5000K Lumens	4,197	8,202	12,239	16,171	20,036	23,977	28,356	32,129	35,839	39,680
	3000K Lumens	3,715	7,260	10,834	14,315	17,736	21,224	25,101	28,441	31,725	35,125
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
AFL	4000K/5000K Lumens	4,213	8,232	12,284	16,230	20,109	24,064	28,459	32,246	35,969	39,824
	3000K Lumens	3,729	7,287	10,874	14,367	17,800	21,301	25,192	28,544	31,840	35,252
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

* Nominal data for 70 CRI.



Eaton
121 Highway 73 South
Peachtree City, GA 30659
P: 770-436-1800
www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

TD500020EN
2016-09-28 15:31:55

CONTROL OPTIONS

0-10V (DIM)

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (P, R and PER7)

Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

After Hours Dim (AHD)

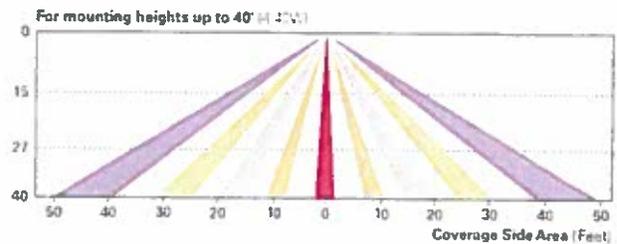
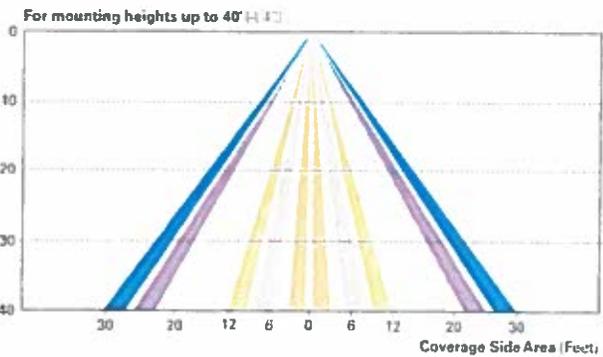
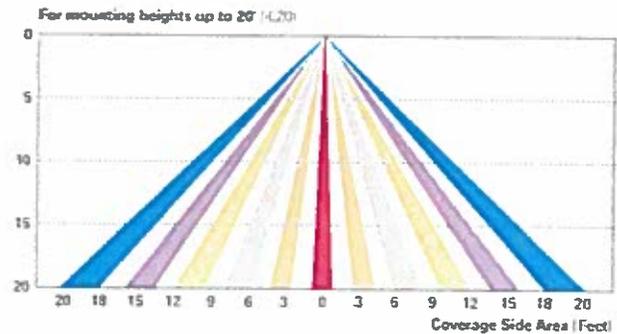
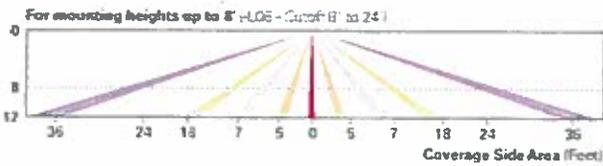
This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

Dimming Occupancy Sensor (MS/DIM-LXX, MS/X-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

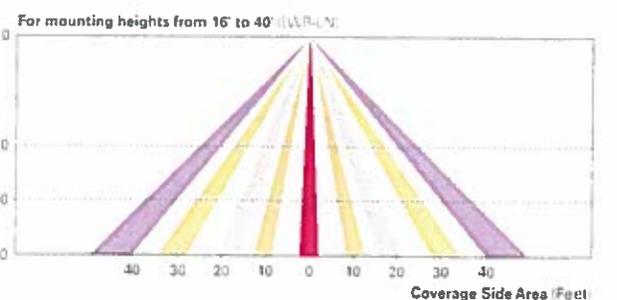
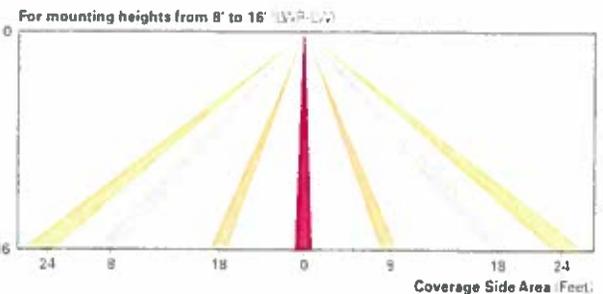
A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The LumaWatt system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt product guides.



ORDERING INFORMATION

Sample Number: GLEON-AF-04-LED-E1-T3-GM-QM

Product Family ^{1,2}	Light Engine	Number of Light Squares ³	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON=Galleon	AF=1A Drive Current	01=1 02=2 03=3 04=4 05=5 06=6 07=7 ⁴ 08=8 ⁴ 09=9 ⁴ 10=10 ⁴	LED=Solid State Light Emitting Diodes	E1=120-277V 347=347V ⁵ 480=480V ^{5,6}	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide SNO=Type V Narrow SNO=Type V Square Medium SWO=Type V Square Wide SL2=Type II w Spill Control SL3=Type III w Spill Control SL4=Type IV w Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White	[Blank]=Arm for Round or Square Pole EA=Extended Arm ⁷ MA=Mast Arm Adapter ⁸ WM=Wall Mount QM=Quick Mount Arm [Standard Length] ⁹ QMEA=Quick Mount Arm [Extended Length] ⁹
Options (Add as Suffix)					Accessories (Order Separately)		
7030=70 CRI 3000K ¹⁰ 8030=80 CRI 3000K ¹⁰ 7050=70 CRI 5000K ¹⁰ 7060=70 CRI 6000K ¹⁰ 600=Drive Current Factory Set to Nominal 600mA ¹¹ 800=Drive Current Factory Set to Nominal 800mA ¹¹ 1200=Drive Current Factory Set to Nominal 1200mA ¹¹ F=Single Fuse (120, 277 or 347V. Must Specify Voltage) FF=Double Fuses (208, 240 or 480V. Must Specify Voltage) 2L=Two Circuits ¹² DIM=External 0-10V Dimming Leads P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle R=NEMA Twistlock Photocontrol Receptacle AHD145=After Hours Dim, 5 Hours ¹³ AHD245=After Hours Dim, 6 Hours ¹³ AHD255=After Hours Dim, 7 Hours ¹³ AHD355=After Hours Dim, 8 Hours ¹³ HA=50°C High Ambient ¹⁴ MS/DIM-L08=Motion Sensor for Dimming Operation, Maximum 8' Mounting Height ^{15,16} MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{15,16} MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height ^{15,16} MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range) ^{15,16} MS/X-L08=Bi-Level Motion Sensor, Maximum 8' Mounting Height ^{15,16,17} MS/X-L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height ^{15,16,17} MS/X-L40=Bi-Level Motion Sensor, 21' - 40' Mounting Height ^{15,16,17} MS/X-L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range) ^{15,16,17} MS-L08=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height ^{15,16} MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height ^{15,16} MS-L40=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height ^{15,16} MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height (Wide Range) ^{15,16} LWR-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ¹⁸ LWR-LN=LumaWatt Wireless Sensor, Narrow Lens for 8' - 16' Mounting Height ¹⁸ L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MT=Factory Installed Mesh Top TH=Tool-less Door Hardware LCF=Light Square Trim Plate Painted to Match Housing ¹⁹ HSS=Factory Installed House Side Shield ²⁰ CE=CE Marking ²¹					OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2 1/8" Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3 1/2" Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=3 1/2" Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2 1/2" Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3 1/2" Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2 1/2" Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2 1/8" Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3 1/2" Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4 1/2" Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2 1/2" Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3 1/2" Tenon Adapter for 3-1/2" O.D. Tenon FSIR-100=Wireless Configuration Tool for Occupancy Sensor ²² GLEON-MT1=Field Installed Mesh Top for 1-4 Light Squares GLEON-MT2=Field Installed Mesh Top for 5-6 Light Squares GLEON-MT3=Field Installed Mesh Top for 7-8 Light Squares GLEON-MT4=Field Installed Mesh Top for 9-10 Light Squares GLEON-QM=Quick Mount Arm Kit GLEON-QMEA=Quick Mount Extended Arm Kit LS/HSS=Field Installed House Side Shield ²⁰		

NOTES

- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP013001EN for additional support information.
- DesignLights Consortium[®] Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
- Standard 4000K CCT and minimum 70 CRI.
- Not compatible with extended quick mount arm (QMFA).
- Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA).
- Requires the use of an internal step down transformer when combined with sensor options. Not available with sensor at 1200mA. Not available in combination with the HA high ambient and sensor options at 1A.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
- Factory installed.
- Maximum 8 light squares.
- Maximum 6 light squares.
- Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
- Extended lead times apply. Use dedicated IES files for 3000K, 5000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
- 1 Amp standard. Use dedicated IES files for 600mA, 800mA and 1200mA when performing layouts. These files are published on the Galleon luminaire product page on the website.
- Not available with HA option.
- 2L is not available with MS, MS X or MS DIM at 347V or 480V. 2L=AF-02 through AF-04 requires a larger housing, normally used for AF-05 or AF-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.
- Not available with LumaWatt wireless sensors.
- Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
- 50°C lumen maintenance data applies to 600mA, 800mA and 1A drive currents.
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- Approximately 22' detection diameter at 8' mounting height.
- Approximately 40' detection diameter at 20' mounting height.
- Approximately 60' detection diameter at 40' mounting height.
- Approximately 100' detection diameter at 40' mounting height.
- Replace X with number of Light Squares operating in low output mode.
- LumaWatt wireless sensors are factory installed only requiring network components RF-EM-1, RF-GW-1 and RF-ROUT-1 in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
- Not available with house side shield (HSS).
- Only for use with SL2, SL3, SL4 and AFL distributions. The Light Square trim plate is painted black when the HSS option is selected.
- CE is not available with the LWR, MS, MS-X, MS-DIM, P, R or PER7 options. Available in 120-277V only.
- One required for each Light Square.



Eaton
121 High Street, Lowell
Massachusetts, MA 01850
P: 770-486-1800
www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

TD500020EN
2016-09-28 15:31:55



Project Name:

Center Drive Medford Hotel

Map/Taxlot:

371W32B TL 4701



1/4/2017

Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots
-  Streets

