

SITE PLAN & ARCHITECTURAL  
COMMISSION  
AGENDA  
NOVEMBER 1, 2019



**MEDFORD**  
OREGON

Commission Members

Jim Quinn, Chair

Bill Chmelir, Vice Chair

Jeff Bender

Jim Catt

David Culbertson

Bob Neatham

Marcy Pierce

Milo Smith

Rick Whitlock

Regular Commission meetings are held on  
the first and third Fridays of every month

Beginning at 12:00 Noon

City of Medford

Council Chambers,

Third Floor, City Hall

411 W. 8th Street

Medford, OR 97501

(541) 774-2380



November 1, 2019

12:00 P.M.

Medford City Hall, Council Chambers

411 West 8<sup>th</sup> Street, Medford, Oregon

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10. Roll Call

20. Consent Calendar / Written Communications

20.1 AC-19-060 Final Order for the development of three contiguous parcels totaling 0.68 acres, consisting of the construction of a 12,750 square foot parochial school building with a 4,713 square foot courtyard on the campus of Sacred Heart of Jesus Christ Catholic Church campus. The property is located at the corner of West 11<sup>th</sup> Street and King Street (616, 620, and 624 11<sup>th</sup> Street) in the C-S/P (Service Commercial & Professional Office) zoning district (372W25DA TL 7200, 7300, and 7400).

30. Approval or Correction of the Minutes.

30.1 Consideration for approval of minutes from the October 18, 2019, meeting.

40. Oral Requests and Communications from the Audience

COMMENTS WILL BE LIMITED TO 3 MINUTES PER INDIVIDUAL OR 5 MINUTES IF REPRESENTING A GROUP OR ORGANIZATION. PLEASE SIGN IN.

50. Public Hearings

COMMENTS ARE LIMITED TO A TOTAL OF 10 MINUTES FOR APPLICANTS AND/OR THEIR REPRESENTATIVES. YOU MAY REQUEST A 5-MINUTE REBUTTAL TIME. ALL OTHERS WILL BE LIMITED TO 3 MINUTES PER INDIVIDUAL OR 5 MINUTES IF REPRESENTING A GROUP OR ORGANIZATION. PLEASE SIGN IN.

New Business.

50.1 AC-19-061 Consideration of a proposal for the development of a single parcel totaling 12.5 acres—currently the Crater Lake Plaza, containing Hobby Lobby and the Ashley Home Store—consisting of the construction of two new buildings: A 7,536 square foot building to house an Advanced Auto Parts retail store, and a second 27,036 square foot building to house a 16,000 square foot Planet Fitness health club and a 11,036 square foot Party City retail store. The property is located at 3643 Crater Lake HWY in the C-R (Regional Commercial) zoning district (371W07A TL 5204). Applicant, Dickerhoof Properties; Planner, Dustin Severs.

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Meeting locations are generally accessible to persons with disabilities. To request interpreters for hearing impaired or other accommodations for persons with disabilities, please contact the ADA Coordinator at (541) 774-2074 or [ada@cityofmedford.org](mailto:ada@cityofmedford.org) at least three business days prior to the meeting to ensure availability. For TTY, dial 711 or (800) 735-1232.

60. Written Communications

60.1 E-17-138 Consideration of request for a one-year time extension of the approval of an Exception to the General Design Requirements for Parking, specifically the requirement that all parking, loading, and vehicle maneuvering areas shall be paved and improved, at a Heavy Equipment Sales Lot located at 4866 Helo Drive in the I-H (Heavy Industrial) zoning district (371W06AB300 & 301).

70. Unfinished Business

80. New Business

90. Report from the Planning Department

100. Messages and Papers from the Chair

110. Propositions and Remarks from the Commission

120. Adjournment





## COMMISSION REPORT

for a Type-III quasi-judicial decision: **Site Plan and Architectural Review**

**Project** Sacred Heart: Faith Formation Center  
Applicant: Sacred Heart of Jesus Christ Catholic Church  
Applicant: Rogue Planning & Development Services

**File no.** AC-19-060

**Date** October 18, 2019

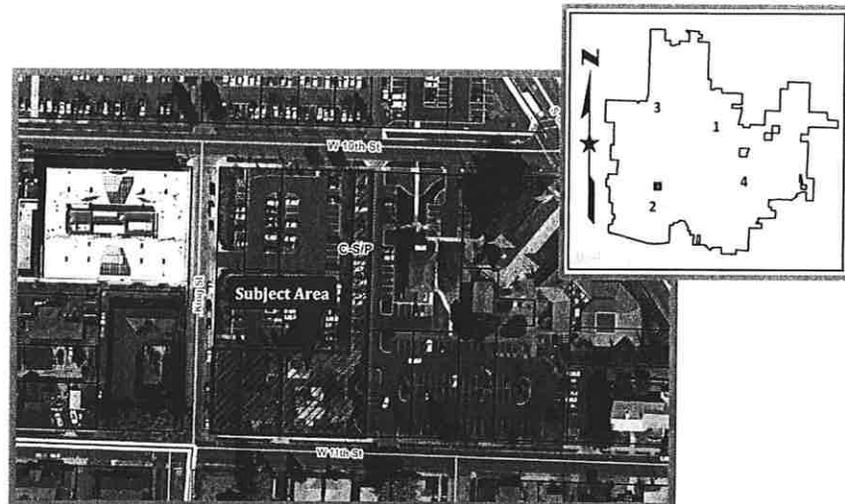
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### BACKGROUND

#### Proposal

Consideration of a proposal for the development of three contiguous parcels totaling 0.68 acres, consisting of the construction of a 12,750 square foot parochial school building with a 4,713 square foot courtyard on the campus of Sacred Heart of Jesus Christ Catholic Church campus. The property is located at the corner of West 11<sup>th</sup> Street and King Street (616, 620, and 624 11<sup>th</sup> Street) in the C-S/P (Service Commercial & Professional Office) zoning district (372W25DA TL 7200, 7300, and 7400).

#### Vicinity Map



### **Subject Site Characteristics**

Zoning: C-S/P (Service Commercial & Professional Office)  
GLUP: SC (Service Commercial)  
Overlay(s): None  
Use: Single-family residences

### **Surrounding Site Characteristics**

*North* Zone: C-S/P  
Use(s): Jackson County parking lot

*South* Zone: C-S/P, SFR-10, MFR-20  
Use(s): Residential

*East* Zone: C-S/P  
Use(s): Sacred Heart Catholic Church

*West* Zone: C-S/P  
Use(s): Jackson County Juvenile Detention, Kings Courtyard Apartments

### **Related Projects**

None

### **Applicable Criteria**

#### **MLDC Section: 10.200(E)(1) – Site Plan & Architectural Review Criteria**

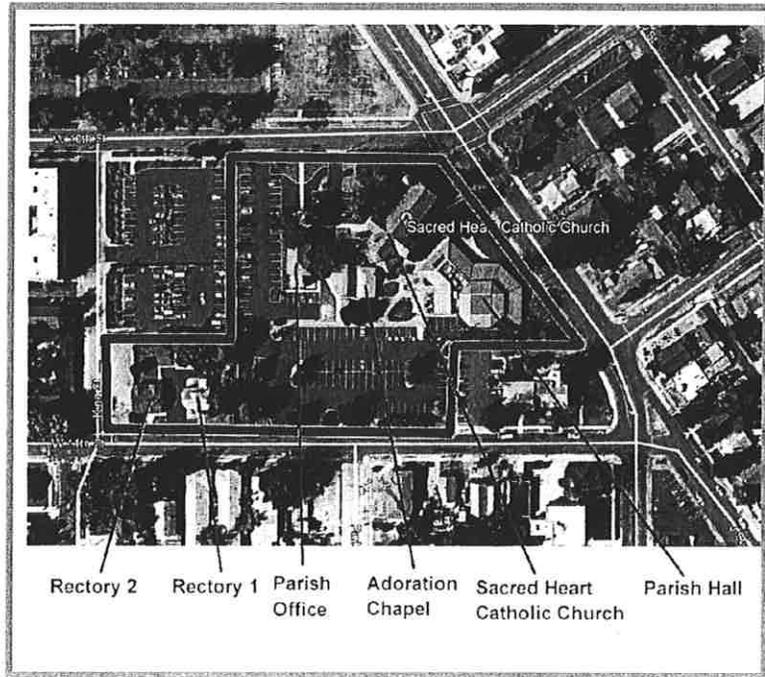
*The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:*

- (a) The proposed development is compatible with uses and developments that exist on adjacent land; and*
- (b) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.186.*

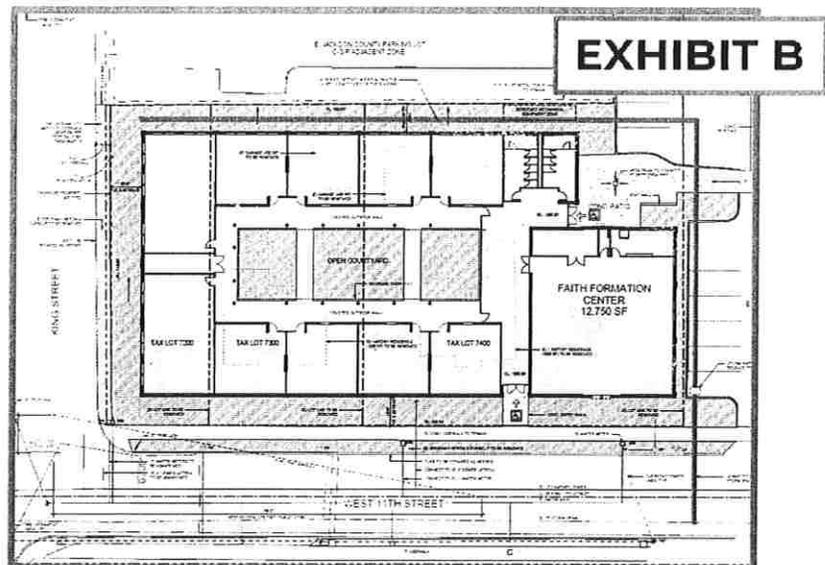
## ISSUES AND ANALYSIS

### Project Summary

The subject site consists of three contiguous parcels totaling 0.68 acres, and is part of the greater Sacred Heart Catholic Church campus (12 parcels totaling 3.4 acres). The campus layout currently consists of the church, parish hall, adoration chapel, parish offices, and two rectory dwellings with detached garages. Two of the three subject parcels—620 and 616 W 11<sup>th</sup> street—contain the single-family homes (rectories) with detached garages. The third parcel—624 West 11<sup>th</sup> Street—located at the corner of King Street and West 11<sup>th</sup> Street, is vacant.

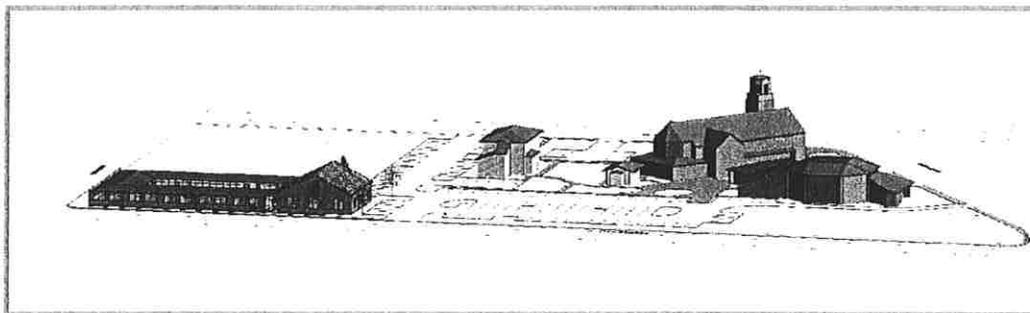
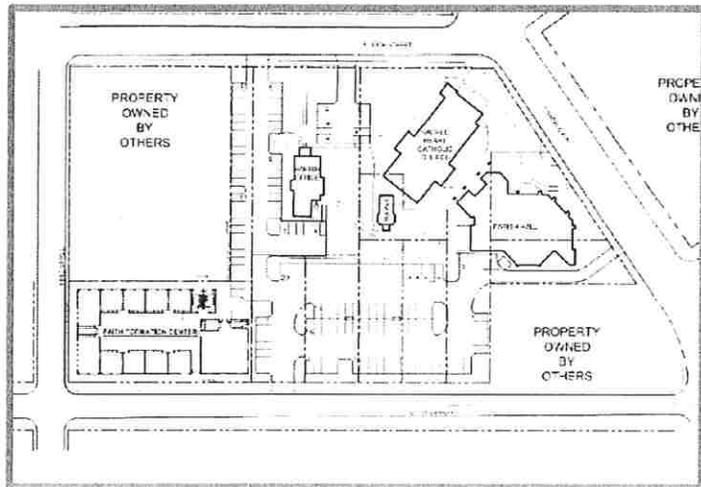


With the subject request, the applicant is proposing to remove the two single-family homes (rectories), along with both existing curb cuts—one off of W 11<sup>th</sup> and one off of King Street—and constructing a 12,750 square foot parochial school building: Faith Formation Center. The proposed center will consist of ten class/meeting rooms and one larger room, and will be built around a 4,713 square foot open courtyard.



The applicant's findings state that the classrooms will provide space for the Sunday children's religious education and meeting places for prayer groups and meetings and

adult education during the week. Sacred Heart Parish (not the Sacred Heart Catholic School) has approximately 300 students involved in religious education programs during the week. Additionally, there are 40 active adult ministries that conduct evening meetings at least once a month, some are weekly. These activities are part of the faith formation programs which the new building is proposed to accommodate.



**Site Development Standards**

**SITE DEVELOPMENT TABLE**

<b>C-S/P</b>	<b>Allowed/Required</b>	<b>Proposed</b>
<b>Height</b>	85 feet / 35 feet if located within 150 ft. of a residential zone	28'-5"
<b>Lot Coverage</b>	40%	42% *
<b>Setback (front)</b>	10 feet	10 feet
<b>Setback (street side yard)</b>	10 feet	10 feet
<b>Setback (rear)</b>	5 feet	10 feet

As shown in the Site Development Table above, it can be found that the proposed structure identified on the submitted site plan meets the bulk standards for the C-S/P zoning district as found in Article V of the Medford Land Development Code. (\* The site's lot coverage will be under the maximum with the consolidation of the subject parcels with the abutting parcel(s) also owned by the applicant, added as condition #4 in Exhibit A.)

### Parking

**PARKING TABLE (10.743-751)**

	<b>Required</b>	<b>Provided</b>
<b>Total Spaces</b>	84 min. / 106 max.	138

Per Building Code requirements, the church's maximum seating capacity is 370. The MLDC requires that parking be based on the number of maximum seats at the church, while the ancillary buildings on the campus—parish hall, parish offices, adoration chapel, and the future information center—are not required to be included in this calculation.

No additional parking is proposed with the subject development. The Sacred Heart Catholic Church campus currently provides 138 parking spaces, and the applicant's findings state the proposed development will not create the need for additional parking.

The Applicant's findings (Exhibit K) state the following:

*The on-site parking is not impacted by the proposal and the required number of parking spaces is based on the occupancy of the church. The users of the proposed Faith formation Center are children of those that are attending church services or adult users of the church and not additional vehicles to the site in addition to the church occupants.*

The Applicant's supplemental findings (Exhibit P) state the following:

*The primary users of the proposed structure are children of parishioners that are attending mass or other services. These children do not drive their own vehicles as they are minors and typically under the age of 15/16. These children are attending Sunday School and other religious education events either overlapping with the services their guardians are in attendance at.*

*The adult religious classes and other parish group events typically occur in the evenings, not during Mass or other services in the main Chapel or Parish Hall.*

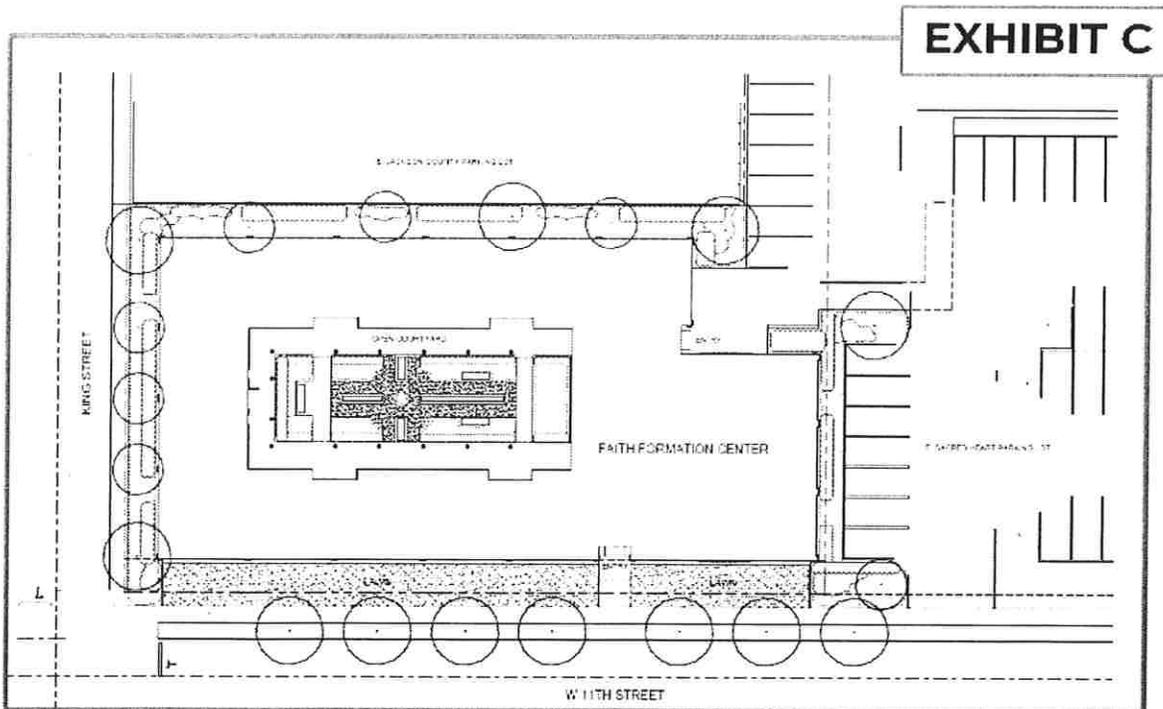
**Landscaping**

LANDSCAPE TABLE – Frontage Landscaping

W 11 <sup>th</sup> Street	Required	Shown
Trees	8	8
Shrubs	50	50+

King Street	Required	Shown
Trees	4	5
Shrubs	25	25+

The submitted landscape plan (Exhibit C), shows landscaping along both street frontages of the site—Kings Street and W. 11<sup>th</sup> Street—meeting the minimum frontage landscaping requirements, as per MLDC 10.797. The landscape plan also shows extensive landscaping along the site’s northerly boundary abutting the Jackson County parking lot.



### **Lot line consolidation**

As a condition of approval, the applicant will be required to consolidate the three subject parcels in order to meet setback requirements, as well as consolidate a sufficient amount of the abutting parcel(s) to comply with lot coverage requirements.

### **Pedestrian Access (MLDC 10.772-776)**

The site plan shows pedestrian walkways connecting the proposed building to the public sidewalk running along both West 11<sup>th</sup> Street and to the abutting church campus, consistent with the pedestrian connectivity standards found in MLDC 10.772-776.

### **Concealments**

#### *Trash Enclosure (MLDC 10.781)*

The proposed center will use the existing trash receptacle located on the Sacred Heart Catholic Church campus.

#### *Roof Equipment (MLDC 10.782)*

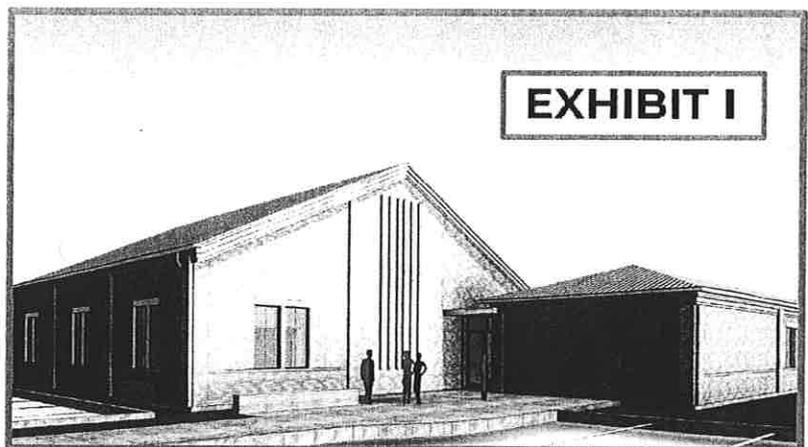
No roof top equipment is proposed with the new Faith Formation Center; however, the site plan does identify a screened mechanical equipment area to the northeast of the proposed center.

### **Architecture**

The applicant's submitted findings (Exhibit K) describes the building's proposed architecture and how it fits with and complements adjacent buildings, as the following:

*The proposed structure is to match the existing historical church structure. By utilizing materials found on the historic structures*

*on the property, the proposed structure has been designed to be consistent in massing, scale, form and design with the historic structures on the property. The exterior is proposed to have a red brick façade, terra cotta tile gable roof, bronze framed, commercial style windows with concrete lintel.*



### **Facility Adequacy**

Per the agency comments submitted to staff (L-N), it can be found that there are adequate facilities to serve the proposed development.

### **Neighbor comments**

Staff received a letter from Mr. Dan Hirsch (Exhibit O), who owns a 13-unit apartment building located directly across the subject property on King Street. Mr. Hirsch's letter expressed concerns with parking, vehicular access to King Street, and lighting.

### **Other Agency Comments**

None

### **Committee Comments**

No comments were received from committees such as BPAC.

## **FINDINGS OF FACT**

### **SPAC**

1. *The proposed development is compatible with uses and development that exist on adjacent land;*

The Commission can find that there is sufficient evidence contained in the Applicant's findings and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

2. *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A. This criterion is satisfied.

## **DECISION**

At the public hearing held on October 18, 2019, the Commission voted unanimously to approve the request, while adding a condition of approval that the applicant provide three bicycle parking spaces with the development. The condition has been added as condition #5 in Exhibit A-1 included with this Commission report.

## **FINDINGS AND CONCLUSIONS**

Staff has reviewed the applicant's findings and conclusions (Exhibits K & P) and recommends the Commission adopt the findings as recommended by staff.

## **ACTION TAKEN**

Adopted the findings as recommended by staff and directed staff to prepare the Final Order for approval of AC-19-060 per the commission report dated October 18, 2019, including Exhibits A-Q.

## **EXHIBITS**

- A-1 Conditions of Approval – Revised, drafted October 18, 2019.
- B Site Plan, received August 12, 2019.
- C Landscape Plan, received August 12, 2019.
- D Floor Plan, received August 12, 2019.
- E Roof Plan, received August 12, 2019.
- F Elevation Plan (south/west), received August 12, 2019.
- G Elevation Plan (north/east), received August 12, 2019.
- H Perspective (NE entrance), received August 12, 2019.
- I Perspective (SW entrance), received August 12, 2019.
- J Materials and colors, received August 12, 2019.
- K Applicant's Findings of Fact and Conclusions of Law, received August 12, 2019.
- L Public Works staff report, received September 25, 2019.
- M Medford Water Commission staff memo, received September 25, 2019.
- N Medford Fire Department report, received September 25, 2019.
- O Neighbor letter (Dan Hirsch) received September 30, 2019.
- P Applicant's supplemental findings, received October 7, 2019.
- Q Sacred Heart Master Plan, drafted July 2, 2019.  
Vicinity map

## **SITE PLAN AND ARCHITECTURAL COMMISSION:**

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**JIM QUINN, CHAIR**

**SITE PLAN & ARCHITECTURAL COMMISSION AGENDA:**

**OCTOBER 18, 2019  
OCTOBER 25, 2019**

## EXHIBIT A-1

Sacred Heart: Faith Formation Center

AC-19-060

Conditions of Approval

October 18, 2019

### CODE REQUIRED CONDITIONS

Prior to the issuance of a building permit for vertical construction, the applicant shall:

1. Comply with all conditions stipulated by the Public Works Department (Exhibit L).
2. Comply with all conditions stipulated by the Medford Water Commission (Exhibit M).
3. Comply with all requirements of the Medford Fire Department (Exhibit N).
4. Obtain approval through the Planning Director for a Type-I Property Line Adjustment, consolidating the three subject parcels, as well as incorporating a sufficient amount of abutting land as part of the Property Line Adjustment to comply with the maximum lot coverage limit for the C-S/P zoning district, as outlined in MLDC 10.721.
5. **Submit a revised site plan showing three bicycle parking spaces.**

# SITE PLAN & ARCHITECTURAL COMMISSION MINUTES



# MEDFORD

PLANNING  
COMMISSION

October 18, 2019

12:00 P.M.

Medford City Hall, Council Chambers

411 West 8<sup>th</sup> Street, Medford, Oregon

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The regular meeting of the Site Plan and Architectural Commission was called to order at noon in the Council Chambers on the above date with the following members and staff in attendance:

**Commissioners Present**

Jim Quinn, Chair  
Bill Chmelir, Vice Chair  
Jim Catt  
David Culbertson  
Bob Neathamer  
Milo Smith  
Rick Whitlock

**Staff Present**

Kelly Evans, Assistant Planning Director  
Madison Simmons, Senior Assistant City Attorney  
Doug Burroughs, Public Works/Eng. Develop Svs. Mgr.  
Dustin Severs, Planner III  
Debbie Strigle, Recording Secretary

**Commissioners Absent**

Jeff Bender, unexcused  
Marcy Pierce, excused

10. **Roll Call**

20. **Consent Calendar / Written Communications (voice vote)** None.

30. **Approval or Correction of the Minutes**

30.1 There being no additions or corrections, the minutes for the October 4, 2019, meeting were approved as submitted.

40. **Oral Requests and Communications from the Audience.** None.

50. **Public Hearings**

Madison Simmons, Senior Assistant City Attorney, read the rules governing the public hearings.

Continuance Request.

50.1 **AC-19-056** Consideration of a proposed multi-phase development for Public Works Service Center on a 6.2 acre leased area located on the east side of Corona Avenue and at the terminus of Hilton Road zoned I-L (Light Industrial) (371W18A4200); Applicant, City of Medford; Agent, CSA Planning Ltd.; Planner, Steffen Roennfeldt.

Motion: Continue this item to the November 15, 2019, meeting.

Moved by: Commissioner Whitlock

Seconded by: Commissioner Culbertson

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Voice Vote: Motion passed, 6-0-1, with Commissioner Neathamer abstaining as he has a conflict with this project.

Old Business.

50.2 AC-19-059/E-19-049 Consideration of a proposal for the development of four contiguous parcels totaling 6.29 acres, consisting of the construction of a 75,000 square foot Regional Cancer Center for Asante, along with an exception to create a secondary vehicular entrance off of Barnett Road. The property is located north of Barnett Road and east of Murphy Road, and is within the C-S/P (Service Commercial & Professional Office) zoning district, (371W28DC TL 400, 500, 600 & 371W28CD TL 1000).

Commissioner Neathamer disclosed that he had an excused absence from the October 4<sup>th</sup> meeting when this project was first heard. Since this hearing was left open from the last meeting Commissioner Neathamer recused himself and sat in the audience.

Dustin Severs, Planner III, gave a PowerPoint presentation of the October 11, 2019, Revised Staff Report. Mr. Severs asked that the Commission adopt the final order today.

a) Steven Schwaeber, Mahlum Architects, applicant representing Asante, introduced the team: Keith Russell, Director of Real Estate at Asante, and Jason Stranberg, Adroit Construction, design contractor for this project.

Mr. Schwaeber acknowledged they had read the revised staff report and updated exhibits and agree with the information provided and also accept all the conditions of approval.

Mr. Schwaeber requested time for rebuttal.

Commissioner Whitlock asked for more information regarding the mature landscaping on the westerly side and what the plans are for it. Mr. Schwaeber answered it was his understanding that the goal is to keep as much mature landscaping in place as possible. The construction team would also provide safety mechanisms to keep that mature planting alive during the construction process. The goal is to provide the proper code required barrier between the two properties. Mr. Stranberg added that most of that landscaping is on the neighboring property. The city's standard detail for these concrete buffer walls is a fairly invasive construction process that would likely kill the existing landscape. This is why they suggested the vinyl fence or an alternative to the buffer wall along the north property line because it can be done with a lot less invasive process to install.

Commissioner Whitlock wanted to know if there would be additional landscaping on the easterly side if that area would not be utilized for parking and what would that look like. Mr. Russell replied that he is extremely confident that they will not be putting parking on that side of the road. They will have sufficient parking without using that area. He added that their curb line is ten feet from the east property line and the neighboring trees are entirely outside of that.

Commissioner Whitlock asked if the large rectangular area along the easterly side would be landscaped or hardscaped. Mr. Russell answered it would be a grassy area with the addition of the tree plantings that are required.

Commissioner Culbertson wanted to know if the property owner of the four foot strip that buffers between Asante and the residential area had been contacted since the October 4<sup>th</sup> meeting. Mr. Russell replied they had not made any effort to contact that property owner.

Commissioner Smith asked if solar panels and car charging stations had been considered. Mr. Schwaeber stated that solar has been discussed in their meetings and they are already showing a few parking stalls that have battery charging stations.

Commissioner Chmelir wanted to know if the existing oncology practices in Medford are being consolidated to this location. Mr. Russell explained that currently Hematology-Oncology Associates is at the southwest corner of East Barnett and Murphy Road, and inside the hospital is radiation oncology and infusion. These will all be consolidated into this proposed building.

b) Scott Sterling, 2974 Siskiyou Blvd., strongly opposes this project repeating his concerns from the October 4<sup>th</sup> meeting in regards to his views being obstructed, having a better designed building, lighting in the parking lot, privacy, and fencing issues. He stated his fence is four feet tall.

c) Jeri Sullivan, Office Manager at Children and Adolescent Clinic, 2940 Doctors Park Drive, repeated her concerns from the October 4<sup>th</sup> meeting in regards to what the Doctors Park Drive access will be used for during and after construction.

d) Linda Mayfield, 2994 Siskiyou Blvd., repeated her concerns from the October 4<sup>th</sup> meeting citing the issue with the four foot strip and how it would be maintained, and the undesirables that might congregate there.

Commissioner Whitlock asked Ms. Mayfield if she wanted a wall or not. Ms. Mayfield answered it was hard to know because she couldn't visualize it. She said it might keep noise down and that would be a good thing. If trees were put in there they might get too tall and she would complain about that. Ms. Mayfield stated the wall might be better than tall trees. She admitted a six foot wall probably wouldn't affect their view because their fence is six feet tall.

Commissioner Whitlock asked Ms. Mayfield if she or any of her neighbors had attempted to contact the owner of that parcel. Ms. Mayfield answered she had not.

Mr. Russell rebutted saying they are fine with staff's recommendation concerning the wall and if there's a different wall design that is desired by this commission they would be happy to do that.

Commissioner Smith wanted to know how long the property had been at its current zoning. Mr. Severs replied that the property had just been re-zoned in September and before that it had been MFR-30.

Mr. Stranberg addressed the use of Doctors Park Drive saying its primary function is for an access that is required by the Medford Fire-Rescue Department. It will also be used by staff members who work at the facility and use the parking lot in that area. During construction there will be phases where one of the Doctors Park Drive accesses will need to be utilized. Mr. Stranberg mentioned again the DEQ 1200C permit application requirement.

Commissioner Catt asked if the Doctors Park Drive access would be used for garbage pickup and supply deliveries. Mr. Stranberg answered yes it would also be used as a service entrance.

Commissioner Whitlock asked if the traffic study made any assumptions about traffic generated utilizing the Doctors Park Drive entrance as opposed to the Barnett Road entrance. Mr. Schwaeber stated that the traffic study did look at that and is part of the reason the evaluation of providing the access on the Barnett side was created. Doctors Park Drive cannot support the volume of traffic expected. The assumption is that two-thirds of the traffic entering the site will be coming off of Barnett Road and only one-third off of Doctors Park Drive. Mr. Stranberg added that the facility will have a Barnett Road

address so anybody searching for the facility through Google Maps should be led through the Barnett Road access.

Commissioner Whitlock asked if this commission could delegate authority to staff to work with the applicant to soften and minimize the adverse impacts on the neighbors to the north and maximize the aesthetic pluses and create a modified wall design.

Commissioner Smith commented he strongly felt the neighbors were going to want to have the wall to minimize noise and also keep the lighting out of their windows. In terms of the maintenance of that area, he felt the neighbors should contact Brookdale Medford. Commissioner Smith thought it would be a good idea for the neighbors to work with Asante to make the area visually pleasing to them.

Mr. Russell explained that what they have planned for the wall is a split face block on either side which is more attractive than a CMU wall.

In regards to the commission delegating authority to staff, Mr. Severs said it was possible as long as staff receives specific guidelines as to what the commission wants.

Ms. Simmons interjected that after looking at the code it does look like there is some wiggle room for the commission to direct staff to work with the applicant to find acceptable wall design modifications.

The public hearing was closed.

Motion: Adopt the findings as recommended by staff and direct staff to prepare the final order for approval of AC-19-059 & E-19-049 per the Revised Staff Report dated October 11, 2019, including:

- Exhibits A-W
- Approval of the applicant's request for an Exception in order to provide vehicular ingress/egress off of Barnett Road.
- Approval of the applicant's request for relief from MLDC 10.790 bufferyard requirements, allowing the installation of the required ten-foot landscape buffer along the easterly and westerly boundaries without a six-foot wall.
- Allow staff the flexibility to work with the developer for buffer wall design modifications that are acceptable to staff and the applicant.
- Approval of the applicant's request for relief from meeting the minimum number of parking spaces, reducing that from 345 to 297, pursuant to MLDC 10.743(3)(a).

Moved by: Commissioner Whitlock      Seconded by: Commissioner Chmelir

Commissioner Whitlock stated he was sympathetic with the neighbors to the north and understood the concern with the gap between the wall and fence but agreed that the neighbors would appreciate having the wall that would create a barrier between their properties and the public. He said this commission has granted staff some flexibility to work with the applicant to help soften the impacts as much as they are comfortable in doing. Commissioner Whitlock added the application does indeed meet the criteria.

Commissioner Whitlock informed the neighbors that this commission does not have the ability to redesign projects but they do recognize and sympathize with the concerns that were raised. He supports his motion and will vote in favor of it.

Chair Quinn asked Commissioner Whitlock if his motion included the adoption of the final order today. Commissioner Whitlock said it did not.

Amended Motion: Adopt the final order      Accepted by: Commissioner Chmelir

Voice Vote: Motion passed, 6-0

Commissioner Neathamer resumed his seat on the commission.

New Business.

50.1 AC-19-060 Consideration of a proposal for the development of three contiguous parcels totaling 0.68 acres, consisting of the construction of a 12,750 square foot parochial school building with a 4,713 square foot courtyard on the campus of Sacred Heart of Jesus Christ Catholic Church campus. The property is located at the corner of West 11<sup>th</sup> Street and King Street (616, 620, and 624 11<sup>th</sup> Street) in the C-S/P (Commercial, Service/Professional) zoning district (372W25DA TL 7200, 7300, and 7400). Applicant, Sacred Heart of Jesus Christ Catholic Church; Agent, Rogue Planning & Development Services; Planner, Dustin Severs.

Chair Quinn asked for any potential conflicts of interest, ex-parte communications, or site visits. Commissioner Chmelir disclosed he sometimes attends mass at Sacred Heart but it would not affect his decision-making. Commissioner Whitlock stated he had conducted a site visit. Chair Quinn disclosed that he also attends church at Sacred Heart but it would not affect his decision-making on this project.

Dustin Severs, Planner III, gave a PowerPoint presentation of the October 11, 2019, Staff Report. Staff recommended approval.

Commissioner Catt asked if any bicycle parking was required for this project. Mr. Severs answered they looked at the project as a whole and since this is an existing development there were no further requirements for bicycle parking.

Commissioner Whitlock wanted to know if this commission could require more bicycle parking on another parcel if they felt it was appropriate to do so.

Commissioner Whitlock also asked if there were any concerns about there being too many vehicular parking spaces since the count was above the maximum number. He said it seemed reasonable that staff wouldn't want to take any parking away. Mr. Severs agreed.

The public hearing was opened and the following testimony was given:

a) Amy Gunter, Rogue Planning and Development Services, agent for the applicant, stated that the Public Works Department had asked for a two foot right-of-way dedication along King Street. In regards to bicycle parking she said that Sacred Heart had recently installed approximately 20 bicycle racks on the campus and are not opposed to adding more spaces if required. Ms. Gunter spoke to the facility and its function. The goal is to consolidate all the parcels under one ownership.

Commissioner Smith asked that solar panels and electric car charging stations be considered.

Commissioner Whitlock asked if there were any new bicycle racks proposed with this project. Ms. Gunter answered no but pointed out an area where additional racks could be installed if required.

Commissioner Whitlock asked staff if there was a calculation for square footage on this particular development. Mr. Severs responded the calculation is based on 10 percent of the number of parking spaces.

Commissioner Whitlock asked Ms. Gunter if she knew how many parking spaces there were in the panhandle. She replied that the entire strip was all parking. Mr. Severs added he counted 27 parking spaces on the aerial photo. The calculation would be three additional bicycle parking spaces.

The public hearing was closed.

Motion: Adopt the findings as recommended by staff and direct staff to prepare a final order for approval of AC-19-060 per the staff report dated October 11, 2019, including Exhibits A-Q and adding the following:

➤ A revised site plan is to be provided to install the minimum required number of bicycle racks based upon the parking that was identified onsite.

Moved by: Commissioner Whitlock      Seconded by: Commissioner Neathamer

Commissioner Whitlock asked that the applicant consider adding more bicycle parking spaces than what is required.

Voice Vote: Motion passed, 7-0

60. Written Communications None.

70. Unfinished Business None.

80. New Business None.

90. Report from the Planning Department

90.1 Ms. Evans announced that the October 22, 2019, joint study session had been canceled.

90.2. Ms. Evans stated there is business scheduled for both the November 1<sup>st</sup> and November 15<sup>th</sup> meetings.

90.3 Ms. Evans reported that two GLUP map amendments had been heard at City Council. One was on Barnett at Crestbrook and the other on Owen at Arrowhead. At the next council meeting they will hear a street vacation on Normil Terrace and staffs first housing opportunity funding recommendation.

Commissioner Catt wanted to know how many rental properties had been approved and built in the last year. Ms. Evans said she didn't know the answer to that question but she did know that this commission approved two different projects on the south side of Stewart Avenue, one at Beekman and one at Peach. Those have been completed.

There was some more discussion on some other projects that this commission had heard over the year.

100. Messages and Papers from the Chair None.

110. Propositions and Remarks from the Commission

110.0 Commissioner Whitlock gave kudos to staff for the October 4, 2019, minutes.

120. Adjournment

120.1 The meeting was adjourned at approximately 1:20 p.m. The proceedings of this meeting were digitally recorded and are filed in the City Recorder's office.

Submitted by:

  
Debbie Strigle  
Recording Secretary

\_\_\_\_\_  
Jim Quinn  
Site Plan and Architectural Commission Chair

Approved: November 1, 2019



## STAFF REPORT

for a Type-III quasi-judicial decision: **Site Plan & Architectural Review**

**Project** Dickerhoof Properties  
Applicant: Dickerhoof Properties

**File no.** AC-19-061

**To** Site Plan and Architectural Commission *for 11/01/2019 hearing*

**From** Dustin Severs, Planner III

**Reviewer** Kelly Evans, Assistant Planning Director

**Date** October 25, 2019

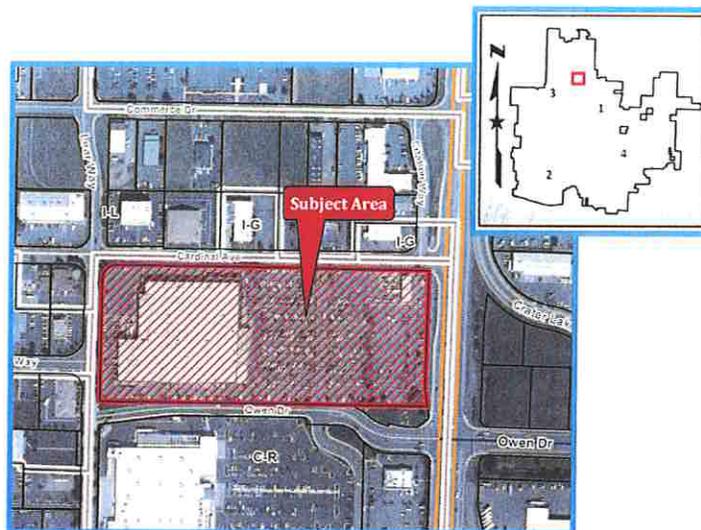
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### BACKGROUND

#### Proposal

Consideration of a proposal for the development of a single parcel totaling 12.5 acres—located within the Crater Lake Plaza, and containing Hobby Lobby and the Ashley Home Store—consisting of the construction of two new buildings: A 7,536 square foot building to house an Advanced Auto Parts retail store, and a second 27,036 square foot building to house a 16,000 square foot Planet Fitness health club and a 11,036 square foot Party City retail store. The property is located at 3643 Crater Lake HWY in the C-R (Regional Commercial) zoning district (371W07A TL 5204).

#### Vicinity Map



### Subject Site Characteristics

GLUP        CM (Commercial)  
Zoning      C-R  
Overlay     AC (Airport Area of Concern)  
Use         Ashley Home Store, Hobby Lobby

### Surrounding Site Characteristics

*North*      Zone:        I-G (General Industrial) & I-L (Light Industrial)  
                  Use:        Northwest Community Credit Union

*South*      Zone:        C-R  
                  Use:        Wal-Mart

*East*        Zone:        I-L  
                  Use:        Vacant land, Allied Building Products

*West*        Zone:        I-G & I-L  
                  Use:        Mellelo Coffee Roasters

### Related Projects

PA-19-057

### Applicable Criteria

Medford Municipal Code §10. 200(E)(1) – Site Plan & Architectural Review Criteria

*The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:*

- (a) The proposed development is compatible with uses and developments that exist on adjacent land; and*
- (b) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.186.*

### Approval Authority

This is a Type III land use decision. The Site Plan & Architectural Commission is the approving authority under MLDC 10.108(1).

## ISSUES AND ANALYSIS

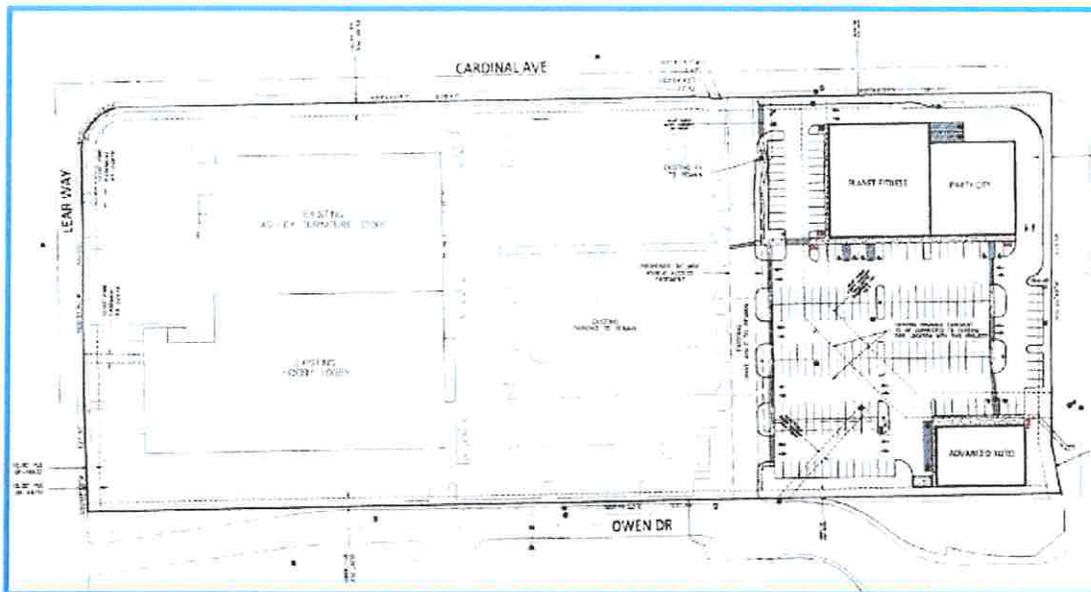
### Background

The subject site consists of a single 12.5-acre parcel—located within Crater Lake Plaza, a commercial retail development—and currently contains a single 109,552 square foot building located on the westerly portion of the site occupied by Hobby Lobby and Ashley Home Store.



The site was formerly the location of Costco, which was relocated to Central Point in 2017, and subsequently reformatted for its current uses.

The applicant is now proposing to develop the easterly portion of the site (formerly used as Costco's overflow parking), consisting of the construction of two new buildings: A 7,536 square foot building, identified as Building A on the site plan, to house an Advanced Auto Parts retail store; and a second 27,036 square foot building, identified as Building B on the site plan, to house a 16,000 square foot Planet Fitness health club and a 11,036 square foot Party City retail store.



The subject area has three street frontages: Crater Lake Highway (62), a Major Arterial street under the jurisdiction of the Oregon Department of Transportation (ODOT), located along the site’s easterly boundary; Cardinal Avenue, a Minor Collector street, located along the site’s northerly boundary; and Owen drive, a commercial street, located along the site’s southerly boundary. No new accesses are proposed for the subject development. The development will use the existing accesses off of Cardinal Avenue and Owen Drive, creating an interior access road between the two existing access points. The applicant will be required to provide a public access road easement over the interior access road, including both the roadway and the proposed sidewalk on the east side of the road.

**Development Standards**

**Commercial – Industrial Site Development Table (MLDC 10.721)**

C-R Zone	Allowed/Required	Proposed
Height	85 feet (35 feet if located within 150 feet of a residential zone)	28'-8"
Lot Coverage	40%	26.4
Setback (front)	10 feet	33.4
Setback (street side yard)	10 feet	18 ft.
Setback (rear and side yards)	none	10 ft.

As shown in the Site Development Table above, it can be found that the two proposed structures identified on the submitted site plan meet the bulk standards for the C-R zoning district as found in Article V of the Medford Land Development Code.

**Parking**

**Parking Table (MLDC 10.743-751)**

	Required	Shown
Vehicle Spaces	533-720	684
Handicap Spaces	14	18
Bicycle Spaces	21	21

The submitted site plan shows a total of 684 parking stalls for the total site (209 parking spaces for the subject area), including 18 handicap spaces, meeting the minimum/maximum range as per MLDC 743-751. The site plan also identifies the required number of bicycle spaces for the two proposed buildings.

**Landscaping**

**Frontage Landscaping (MLDC 10.797)**

Crater Lake Hwy	Required	Shown
Trees	19	23
Shrubs	119	119+

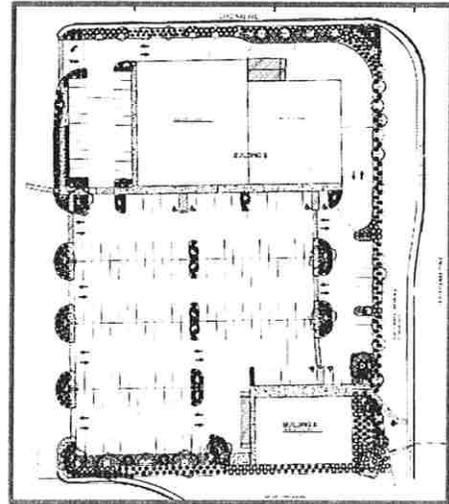
Cardinal Ave.	Required	Shown
Trees	14	14
Shrubs	88	88+

Owen Drive	Required	Shown
Trees	3	3
Shrubs	19	19+

**Parking Lot Landscaping (MLDC 10.746[3])**

	Required	Shown
Area (square feet)	4,350 sq. ft.	4,455 Sq. ft.
Trees	26	26
Shrubs	52	52+

The applicant's submitted landscape plan (Exhibit H) shows landscaping along all three street frontages, meeting the minimum required number of trees and shrubs as per MLDC 10.797. The landscape plan also shows interior landscaping, meeting the required number of trees, shrubs, and total landscaping within the site's parking lot as per MLDC 10.746(3).



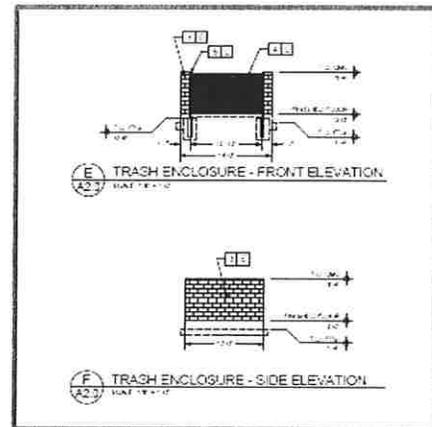
#### **Pedestrian Access (MLDC 10.772-776)**

The site plan shows pedestrian walkways connecting the proposed buildings to each other, to the public sidewalks running along all three street frontages, and to the sidewalk running along the interior access road, consistent with the Pedestrian connectivity standards found in MLDC 10.772-776.

#### **Concealments**

##### *Trash Enclosure (MLDC 10.781)*

The applicant's site plan identifies a "proposed CMU trash enclosure with gates," and the submitted elevation plan (Exhibit G) shows elevations of the proposed trash enclosure, meeting the requirements outlined in MLDC 10.781.



##### *Roof Equipment (MLDC 10.782)*

The applicant's roof plan (Exhibit F) shows the Heating, Ventilation, air conditioning (HVAC) units located on the rooftop of the building. All mechanical roof-mounted equipment is required to be concealed using the architectural elements of the building (i.e., roof forms, parapets, wing walls, alcoves, etc.). It is not clear from the applicant's elevation and roof plans if the roof mounted equipment will be adequately concealed.

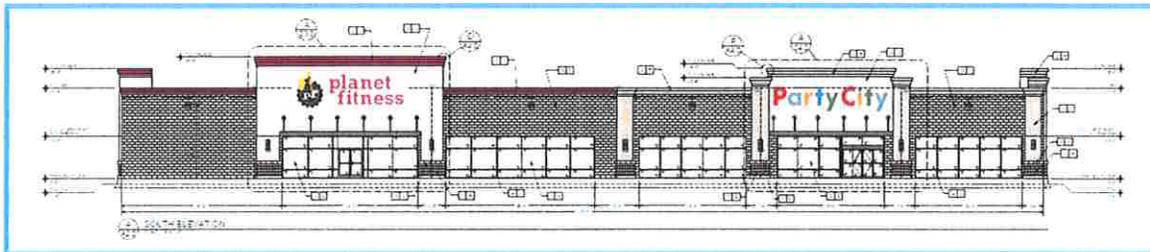
As a condition of approval, the applicant will be required to submit additional elevation plans, demonstrating compliance with MLDC 10.782 prior to the issuance of building permits for vertical construction.

## Floodplain

A portion of the site is located within a mapped A zone (1% floodplain). The applicant will be required to comply with all requirements identified in the memo submitted by the floodplain manager (Exhibit O), including obtaining a floodplain permit prior to vertical construction.



## Architecture



The applicant's submitted narrative (Exhibit K) describes the building's proposed architecture and how it fits with and complements adjacent buildings, as the following:

*The buildings are similar in size and shape to many of the existing buildings in Crater Lake Plaza. The two buildings included in this application have similar, but not identical fenestration. Materials include split-faced block, smooth block with stucco finish and accent bands and stucco panels and pilasters. Similar materials are used throughout the center, including the Hobby Lobby / Ashley Home Store building on the same parcel.*

### **Other agency comments**

#### *Oregon Department of Transportation (ODOT) (Exhibit P)*

Crater Lake Highway 62 is under the jurisdiction of ODOT. As a condition of approval, the applicant will be required to comply with all requirements of ODOT prior to the issuance of building permits for vertical construction.

### **Committee Comments**

No comments were received from committees such as BPAC.

No other issues were identified by staff.

### **FINDINGS OF FACT**

1. *The proposed development is compatible with uses and development that exist on adjacent land;*

The Commission can find that there is sufficient evidence contained in the applicant's findings and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

2. *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A. This criterion is satisfied.

### **FINDINGS AND CONCLUSIONS**

Staff has reviewed the applicant's findings and conclusions (Exhibit K) and recommends the Commission adopt the findings as recommended by staff.

### **RECOMMENDED ACTION**

Adopt the findings as recommended by staff and direct staff to prepare the final order for approval of AC-19-061 per the staff report dated October 25, 2019, including Exhibits A through P.

**EXHIBITS**

- A Conditions of Approval, drafted October 25, 2019.
- B Site Plan (overall), received August 15, 2019.
- C Site Plan (detail), received August 15, 2019.
- D Grading & Utility Plan, received August 15, 2019.
- E Floor Plans (2 of 2), August 15, 2019.
- F Roof Plan, received August 15, 2019.
- G Elevation Plans (2 of 2), August 15, 2019.
- H Landscape Plan, received August 15, 2019.
- I Applicant's zoning/aerial map, received August 15, 2019.
- J Applicant's GLUP map, received August 15, 2019.
- K Applicant's Narrative, Questionnaire, and Findings of Fact, received August 15, 2019.
- L Public Works staff report, received October 21, 2019.
- M Medford Water Commission report & map, received October 9, 2019.
- N Medford Fire Department report, received October 9, 2019.
- O Floodplain Coordinator memo, received October 9, 2019.
- P ODOT comments, received by email on October 15, 2019.  
Vicinity map

**SPAC AGENDA**

**NOVEMBER 1, 2019**

## EXHIBIT A

Dickerhoof Properties  
AC-19-061  
Conditions of Approval  
October 25, 2019

### CODE REQUIRED CONDITIONS

Prior to the issuance of a building permit for vertical construction, the applicant shall:

1. Comply with all conditions stipulated by the Public Works Department (Exhibit L).
2. Comply with all conditions stipulated by the Medford Water Commission (Exhibit M).
3. Comply with all requirements of the Medford Fire Department (Exhibit N).
4. Comply with all requirements per the Floodplain memo (Exhibit O).
5. Comply with all requirements of the Oregon Department of Transportation (ODOT) (Exhibit P).
6. Submit an elevation plan showing all proposed roof-mounted equipment concealed consistent with the requirements outlined in MLDC10.782.

CITY OF MEDFORD  
EXHIBIT # A  
FILE # AC-19-061

JURISDICTION: CITY OF MEDFORD  
250 S. HWY 241 - SITE 240  
MEDFORD, OR 97501  
(541) 774-2300

WATER: MEDFORD WATER COMMISSION  
250 S. HWY 241 - BOX 127  
MEDFORD, OR 97501  
(541) 774-2452

SEWER & STORM SEWER: CITY OF MEDFORD  
2000 S. HWY 241  
MEDFORD, OR 97501  
(541) 774-2140

APPLICANT: DICKERHOOF PROPERTIES  
ATTN: BRADLEY DICKERHOOF  
P.O. BOX 1503  
CORVALLIS, OR 97339  
(541) 754-0630

PLANNER: CMA PLANNING, LTD.  
ATTN: DEBBY THORNTON, AIA  
4007 BROWNIDGE TERRACE #10  
MEDFORD, OR 97504  
(541) 779-0268

ENGINEER: PRIME CROSS GROUP, LLC  
ATTN: MAMIE CROSS, PE, PLS  
1120 S.W. 21<sup>ST</sup> - SUITE 200  
JANAMATHY FIELDS, OR 97601  
(541) 851-3400

LANDSCAPE: MANARA DESIGN, INC.  
ATTN: TOM MANARA  
2294 MEDFORD RD  
CENTRAL POINT, OR 97502  
(541) 664-7050

MAP # TAX LOT NUMBER: 375-18-027A 11, 3204

WATER: SEE CONVEYANCE #2144

**SITE DATA & CALCULATIONS**

TOTAL SITE AREA	794,014.43 SQ. FT.
EXISTING BUILDING FOOTPRINT	102,552.84 SQ. FT.
PROPOSED BUILDING FOOTPRINT	148,500.34 SQ. FT.
% BUILDING COVERAGE	24.4%
EXISTING ASPHALT AREA	224,271.14 SQ. FT.
% DEVELOPED ASPHALT AREA	28.74% + 4.8%
ASPHALT COVERAGE	30.0%
EXISTING CONCRETE SIDEWALK AREA	14,267.14 SQ. FT.
CONCRETE SIDEWALK AREA	4,627.14 SQ. FT.
% COMPLETE SIDEWALK COVERAGE	32.4%
LANDSCAPE OPEN AREA	55,507.48 SQ. FT.
LANDSCAPE OPEN COVERAGE	10.0%

**SITE REQUIREMENTS (Commercial)**

STREET TRACKS	
FRONT & STREET SIDE	10.0'
SIDE & REAR	5.0'
CONCRETE CURB FOR EACH FOOT OF BUILDING FRONT COVER 20 FEET	
MAXIMUM ALLOWABLE BUILDING HEIGHT	35'

**OFF-STREET PARKING DATA (City of Medford Municipal Code - 10.743)**

BUILDING	# SPACES
148,500.34 SQ. FT. LARGE COMMERCIAL 3.1	1,000.000
TOTAL REQUIRED	1,000.000
TOTAL PROVIDED	1,084

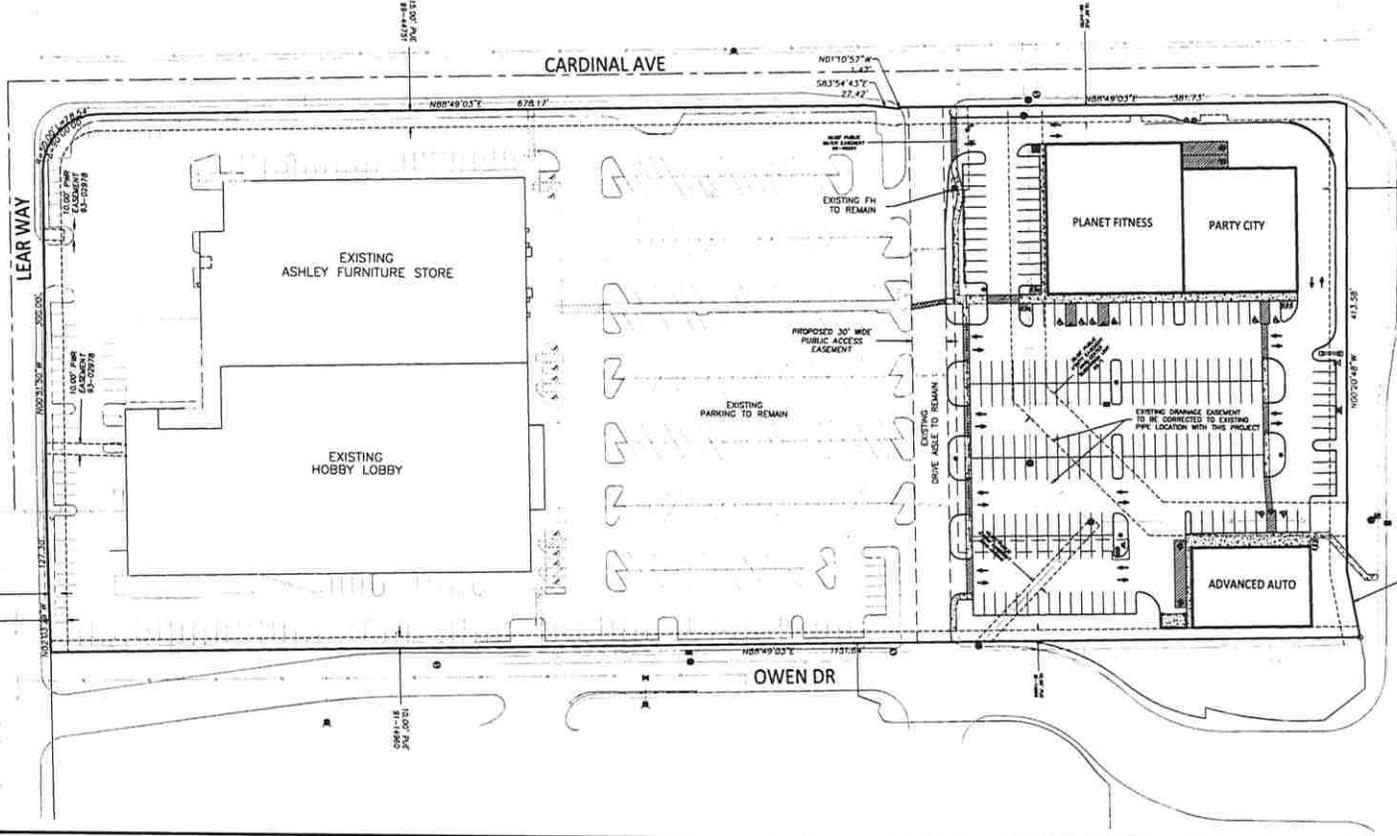
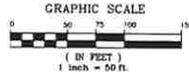
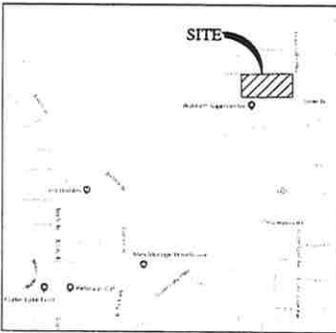
ADA REQUIREMENTS: 40% 500+ SQ. FT. PARKING SPACES, 2% OF TOTAL = 14.8% ADA SPACES REQUIRED = 148.8 ADA STALLS PROVIDED

# DICKERHOOF MEDFORD COMMERCIAL

## EXISTING HOBBY LOBBY & ASHLEY FURNITURE

### PROPOSED PLANET FITNESS, PARTY CITY, ADVANCED AUTO

CITY OF MEDFORD, OREGON  
AUGUST 2019



RECEIVED  
AUG 15 2019  
PLANNING DEPT.  
CRATER LAKE HWY (62)

CITY OF MEDFORD  
EXHIBIT # **B**  
FILE # AC-19-061

DICKERHOOF PROPERTIES  
P.O. BOX 1483  
CORVALLIS, OR 97339  
(541) 754-3850

RHINE-CROSS GROUP, INC.  
ENGINEERING - SURVEYING - PLANNING  
112 N 50<sup>TH</sup> ST - SUITE 200 - P.O. BOX 909  
ALBANY FALLS, OREGON 97601  
Phone: (541) 851-0405 rhinecross@rcg.com



DICKERHOOF MEDFORD  
COMMERCIAL CENTER  
MEDFORD OREGON

SHEET FRAME  
PRELIMINARY  
SITEPLAN  
OVERALL

DRAWN BY: TDC  
CHECK BY: MDD  
DATE: 2/16/2019

REVISIONS:

JOB NO. 1812  
SHEET NO. T1

DICKERHOOF PROPERTIES  
P.O. BOX 1583  
CORVALLIS, OR 97339  
(541) 754-3680

**R-C**  
**RHINE-CROSS GROUP**  
ENGINEERING - SURVEYING - PLANNING  
111 N 301 ST - Suite 200 - P.O. BOX 909  
LEWISTOWN FALLS, OREGON 97161  
Phone: (541) 851-9200 Fax: (541) 373-9200  
admin@rc-gp.com



**DICKERHOOF MEDFORD  
COMMERCIAL CENTER**  
MEDFORD OREGON

SHEET NAME:  
**PRELIMINARY  
SITEPLAN  
DETAIL**

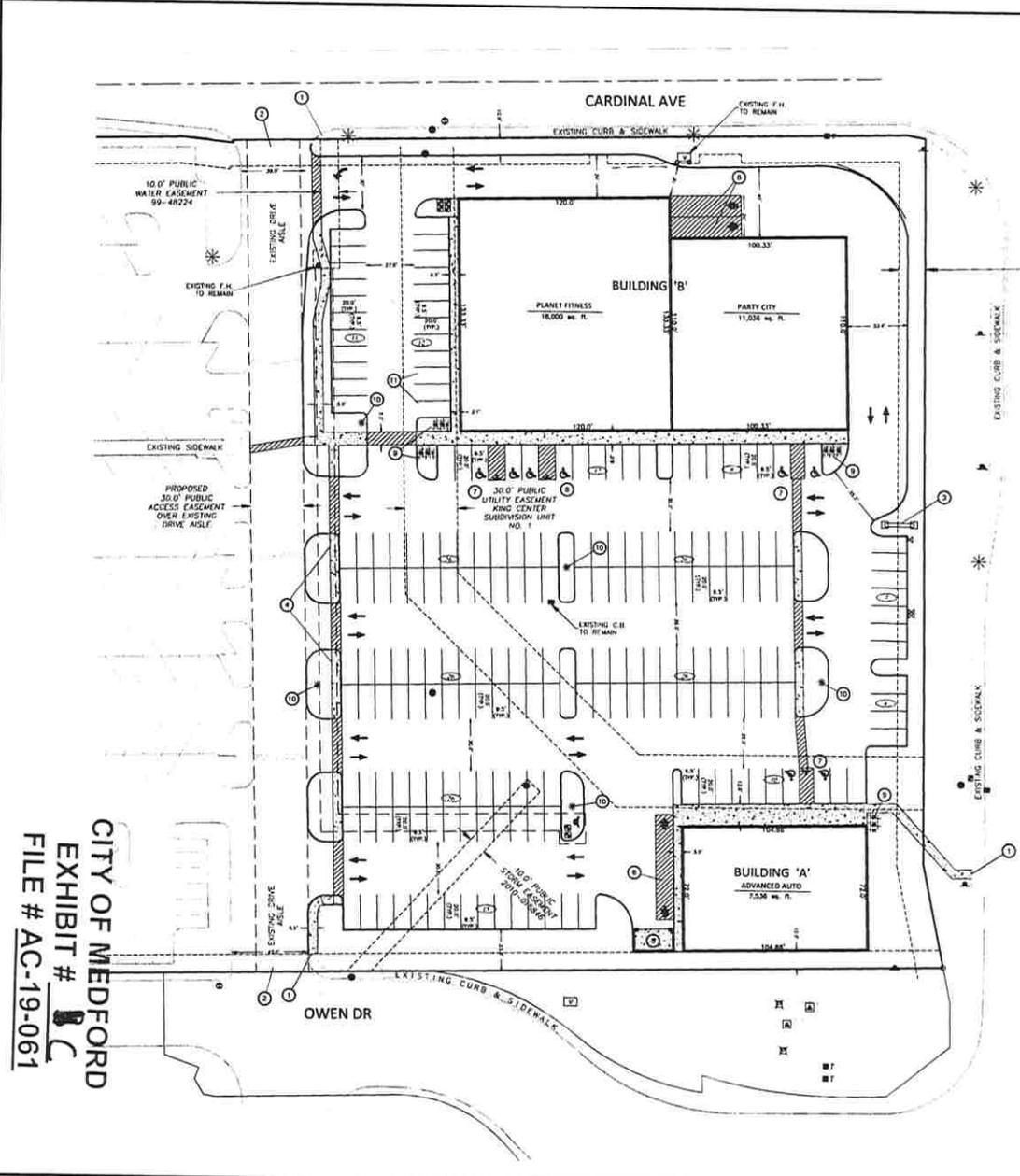
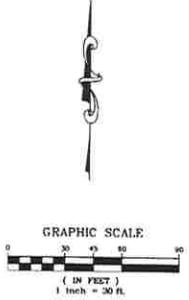
DRAWN BY: JDC  
CHECKED BY: MDC  
DATE: AUGUST 2019

REVISIONS:

JOB NO.: 1812  
SHEET NO.: T2

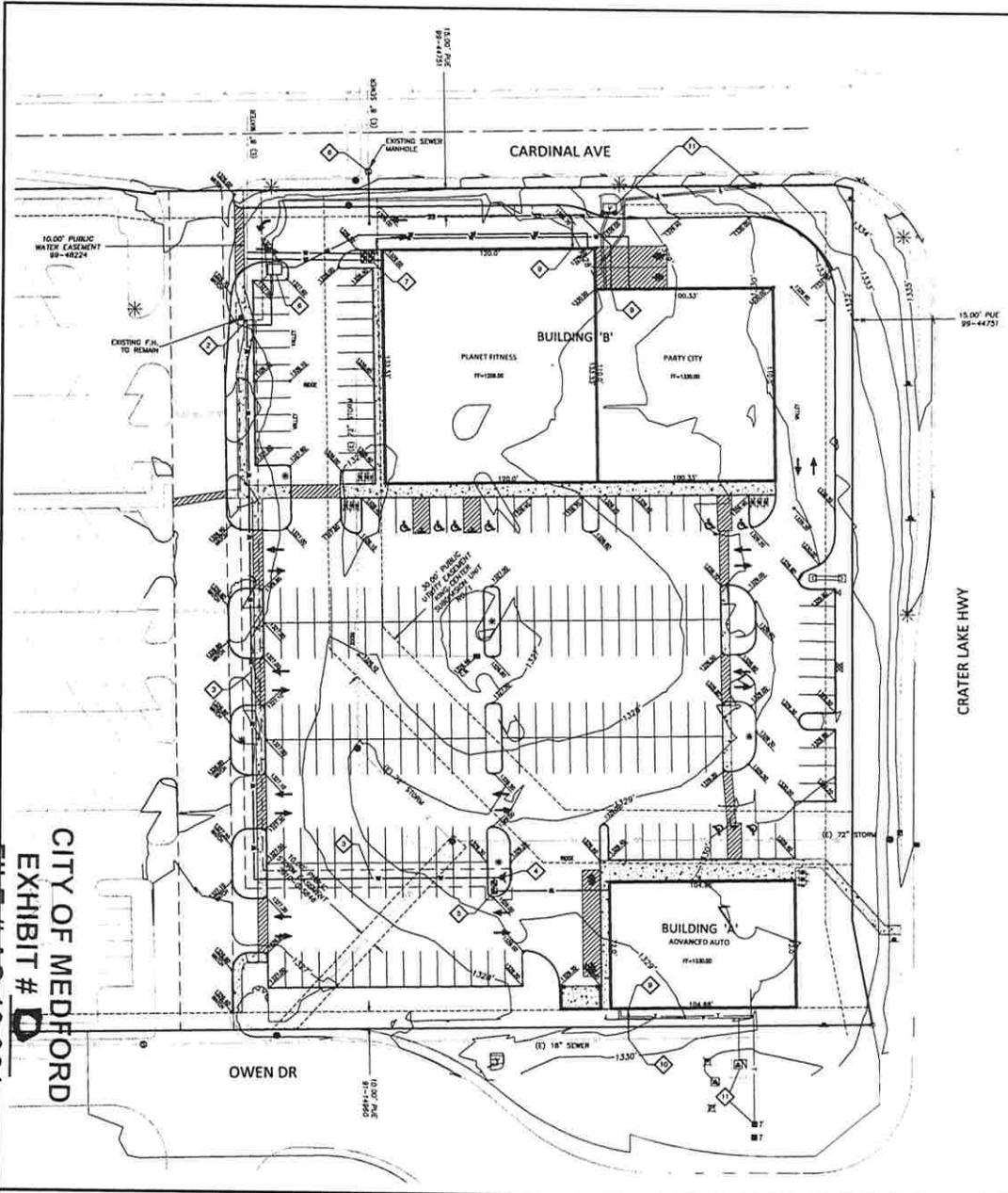
**RECEIVED**  
**AUG 15 2019**  
**PLANNING DEPT.**

- SITEPLAN NOTES:**
- 1 PROPOSED PEDESTRIAN SIDEWALK TIE-IN POINT TO EXISTING SIDEWALKS.
  - 2 EXISTING DRIVE ASBLE TO PUBLIC WAY TO REMAIN. WIDTH AS SHOWN ON PLAN.
  - 3 EXISTING TENANT SIGN TO REMAIN. SPACE IS AVAILABLE ON EXISTING SIGN FOR NEW TENANT SPACES. ALL SIGN PERMITS TO BE APPLIED FOR SEPARATELY FROM THE SITEPLAN APPLICATION.
  - 4 PROPOSED SIDEWALK ALONG EXISTING DRIVE ASBLE TO CONNECT CARDINAL AVE & OWEN DRIVE EXISTING SIDEWALKS. A 30' PUBLIC ACCESS EASEMENT WILL BE DEDICATED OVER THE EXISTING DRIVE ASBLE WITH THIS PROJECT.
  - 5 PROPOSED CMU TRASH ENCLOSURE WITH GATES
  - 6 PROPOSED HATCHED LOADING AND UNLOADING AREAS FOR EACH BUILDING TENANT.
  - 7 PROPOSED VAN ACCESSIBLE ADA STALLS WITH RAMPS AND SIGNAGE.
  - 8 PROPOSED ADA SPACE TO BE "WHEEL CHAIR ONLY"
  - 9 PROPOSED BICYCLE PARKING AREAS TO INCLUDE 4 SPACES AT ADVANCED AUTO, 4 SPACES AT PARTY CITY, AND 10 SPACES AT PLANET FITNESS FOR A TOTAL OF 21 BICYCLE PARKING SPACES.
  - 10 PROPOSED SITE LIGHTING.
  - 11 PROPOSED CARPOOL EMPLOYEE PARKING. (B) STALLS TO BE SIGNED FOR CARPOOL PARKING ONLY FOR ONSITE EMPLOYEES.



CITY OF MEDFORD  
EXHIBIT # **1812**  
FILE # AC-19-061

CITY OF MEDFORD  
EXHIBIT # 17  
FILE # AC-19-061



**LEGEND**

SECTION LINE	EXISTING	PROPOSED	STORM SEWER CLEANOUT	EXISTING	PROPOSED
COURTYARD FENCE			STORM SEWER CATCH BASIN		
FIRE HYDRANT			8" GAS VALVE		
WATER BLOW-OFF			8" GAS VALVE		
WATER METER			6" GAS VALVE		
WATER VALVE			POWER POLE		
STURDIE CHECK VALVE			POWER POLE		
AIR RELEASE VALVE			TELEPHONE/TELEVISION POLE		
SANITARY SEWER CLEANOUT			TELEPHONE/TELEVISION POLE		
SANITARY SEWER MANHOLE			TELEPHONE/TELEVISION JUNCTION BOX		
SEWER			TELEPHONE/TELEVISION JUNCTION BOX		
STREET LIGHT			TELEPHONE/TELEVISION RIBBON		
MANHOLE			CONTINUOUS SURVEY MONUMENT		
PUBLIC ACCESS CURB RAMP					

RIGHT-OF-WAY	EXISTING	PROPOSED
BOUNDARY LINE		
PROPERTY LINE		
CONTOUR LINE		
STORM		
SEWER		
EDGE OF PAVEMENT (E.O.P.)		
EXISTING		
FENCE LINE		
BRIDGE EDGE		
POWER LINE		
POWERHEAD WIRE		
TELEPHONE LINE		
TELEPHONE LINE		
GAS LINE		
GAS LINE		
STORM SEWER LINE		
SANITARY SEWER LINE		
WATER LINE		
IRRIGATION LINE		

- SITEPLAN NOTES:**
- 1. EXISTING CATCH BASIN WITH FLOW RESTRICTION DEVICE TO REMAIN. INSTALL WATER QUALITY CATCH BASIN INSERT.
  - 2. WATER MAIN POINT OF CONNECTION AT EXISTING 8" STUBS. EXISTING FIRE HYDRANT TO REMAIN.
  - 3. NEW 8" PUBLIC WATER MAIN IN PUBLIC EASEMENT.
  - 4. END 8" PUBLIC WATER MAIN AT NEW FIRE HYDRANT.
  - 5. PROPOSED DOMESTIC WATER METER FOR SERVICE TO ADVANCED AUTO.
  - 6. NEW 8" FIRE VAULT WITH FDC FOR FIRE SERVICE TO BUILDING 'B'.
  - 7. PROPOSED (2) DOMESTIC WATER METERS FOR SERVICE TO PLANET FITNESS AND PARTY CITY.
  - 8. PROPOSED SEWER LINE POINT OF CONNECTION AT EXISTING MANHOLE FOR SERVICE TO BUILDING 'A' AS SHOWN.
  - 9. PROPOSED 4" SEWER LAT CONNECTION TO EACH BUILDING TENANT.
  - 10. PROPOSED SEWER LATERAL CONNECTION TO EXISTING MAIN FOR SERVICE TO BUILDING 'A' AS SHOWN.
  - 11. POWER AND COMMUNICATIONS CONNECTIONS TO EXISTING SERVICE FEEDS. FINAL DESIGN TO BE DETERMINED BY UTILITY PROVIDERS.

PLANNING DEPT.  
AUG 15 2019

RECEIVED

DICKERHOOF PROPERTIES  
P.O. BOX 145  
CORVALLIS, OR 97339  
(541) 754-3600

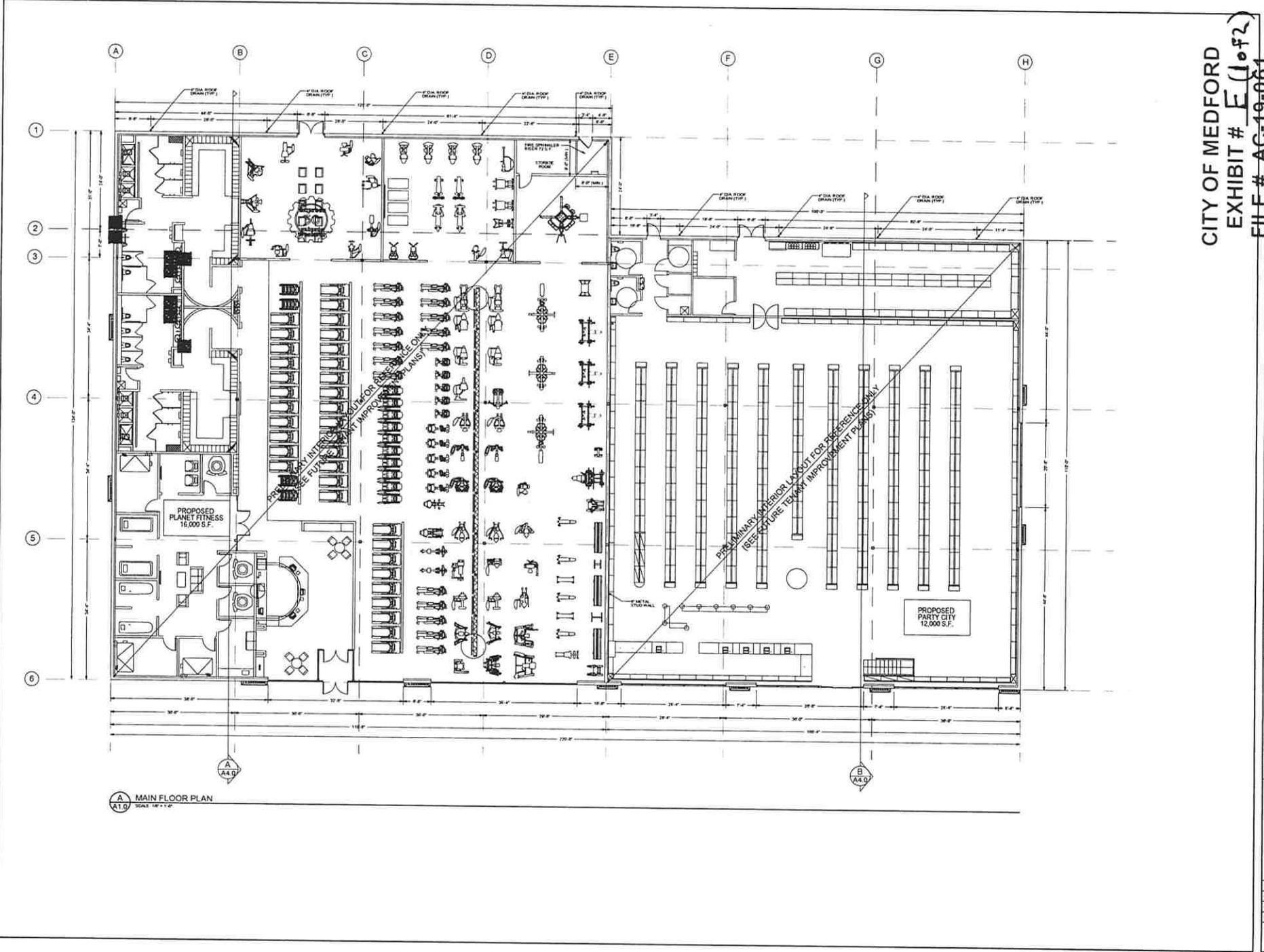
RHINE-CROSS GROUP LLC  
ENGINEERING - SURVEYING - PLANNING  
112 N 5th ST - Suite 200 - P.O. BOX 909  
KLAMATH FALLS, OREGON 97601  
Phone: (541) 851-9495 Fax: (541) 373-9200 rhine@rc-grp.com

**R-C GROUP**  
REGISTERED PROFESSIONAL ENGINEERS  
REGISTERED PROFESSIONAL SURVEYORS  
REGISTERED PROFESSIONAL PLANNERS  
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECTS  
REGISTERED PROFESSIONAL CIVIL ENGINEERS  
REGISTERED PROFESSIONAL ELECTRICAL ENGINEERS  
REGISTERED PROFESSIONAL MECHANICAL ENGINEERS  
REGISTERED PROFESSIONAL CHEMICAL ENGINEERS  
REGISTERED PROFESSIONAL INDUSTRIAL ENGINEERS  
REGISTERED PROFESSIONAL AERONAUTICAL ENGINEERS  
REGISTERED PROFESSIONAL METALLURGICAL ENGINEERS  
REGISTERED PROFESSIONAL NUCLEAR ENGINEERS  
REGISTERED PROFESSIONAL AGRICULTURAL ENGINEERS  
REGISTERED PROFESSIONAL FORESTRY ENGINEERS  
REGISTERED PROFESSIONAL MINING ENGINEERS  
REGISTERED PROFESSIONAL PETROLEUM ENGINEERS  
REGISTERED PROFESSIONAL TRANSPORTATION ENGINEERS  
REGISTERED PROFESSIONAL MARINE ENGINEERS  
REGISTERED PROFESSIONAL AERONAUTICAL ENGINEERS  
REGISTERED PROFESSIONAL METALLURGICAL ENGINEERS  
REGISTERED PROFESSIONAL NUCLEAR ENGINEERS  
REGISTERED PROFESSIONAL AGRICULTURAL ENGINEERS  
REGISTERED PROFESSIONAL FORESTRY ENGINEERS  
REGISTERED PROFESSIONAL MINING ENGINEERS  
REGISTERED PROFESSIONAL PETROLEUM ENGINEERS  
REGISTERED PROFESSIONAL TRANSPORTATION ENGINEERS  
REGISTERED PROFESSIONAL MARINE ENGINEERS

DICKERHOOF MEDFORD COMMERCIAL CENTER  
MEDFORD OREGON

SHEET 7 FROM PRELIMINARY GRADING & UTILITY PLAN  
PREPARED BY: JDC  
CHECKED BY: MDC  
DATE: AUGUST 2019

REVISIONS:  
JOB NO. 1812  
SHEET NO. T3



**A1.0** MAIN FLOOR PLAN  
SCALE 1/8" = 1'-0"

CITY OF MEDFORD  
 EXHIBIT # **E (1 of 2)**  
 FILE # **AG-19-061**



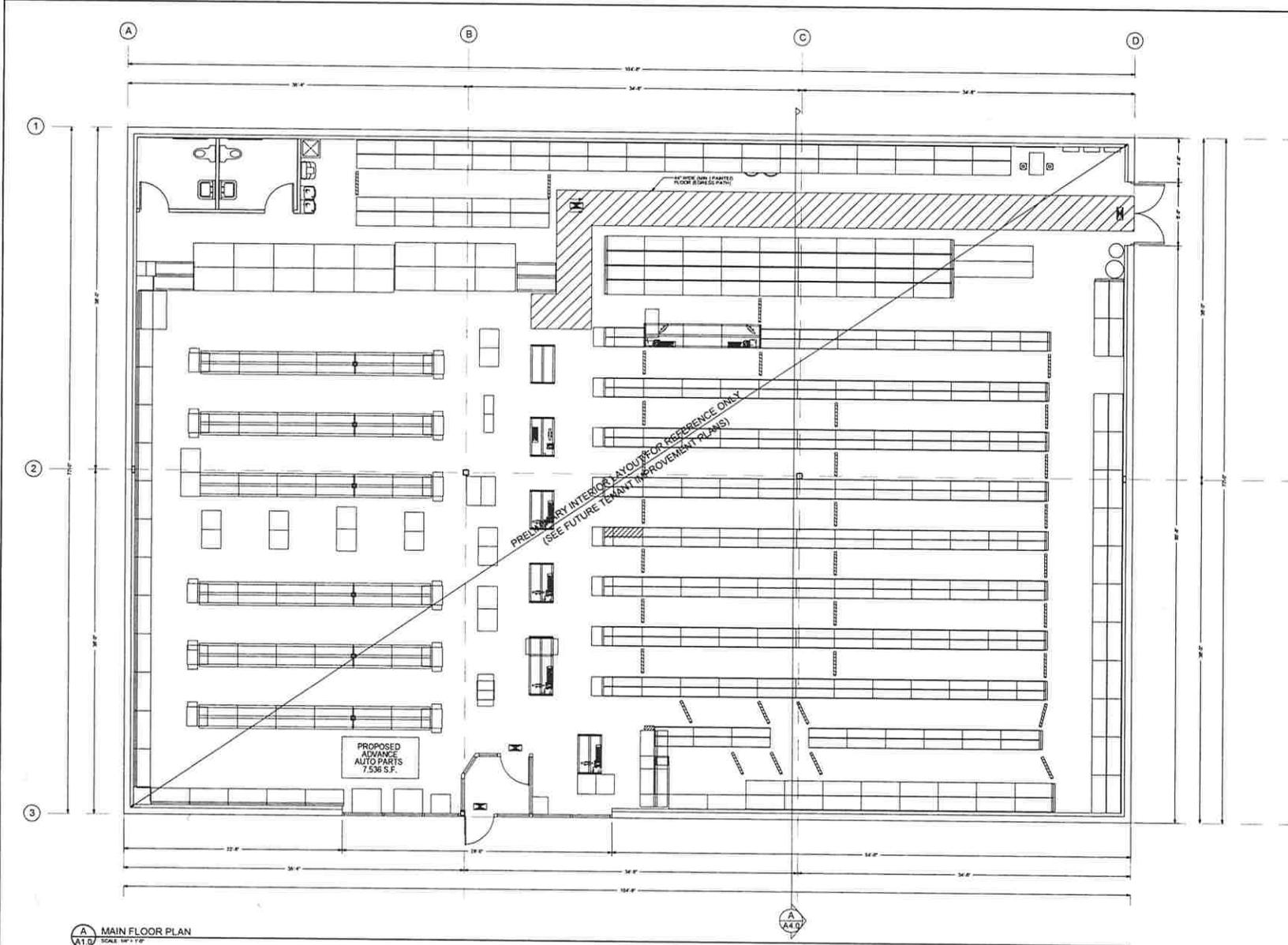
PROJECT: **MEDFORD PLANET FITNESS/PARTY CITY (SHELL PACKAGE)**  
 LOCALITY: **CARDINAL AVE MEDFORD, OR**

SHEET TITLE: **MAIN FLOOR PLAN**  
 CLIENT: **DICKERHOOF PROPERTIES**

STABILITY ENGINEERING  
 P.O. BOX 244 CORVALLIS, OR 97339  
 TEL: (503) 225-5555 FAX: (503) 225-5274

DATE: **08/12/2024**  
 DRAWN BY: **PA**  
 CHECKED BY: **PA**

**A1.0**



**A** MAIN FLOOR PLAN  
SCALE: 1/8" = 1'-0"

CITY OF MEDFORD  
 EXHIBIT # **F-2072**  
 FILE # **AC-19-061**



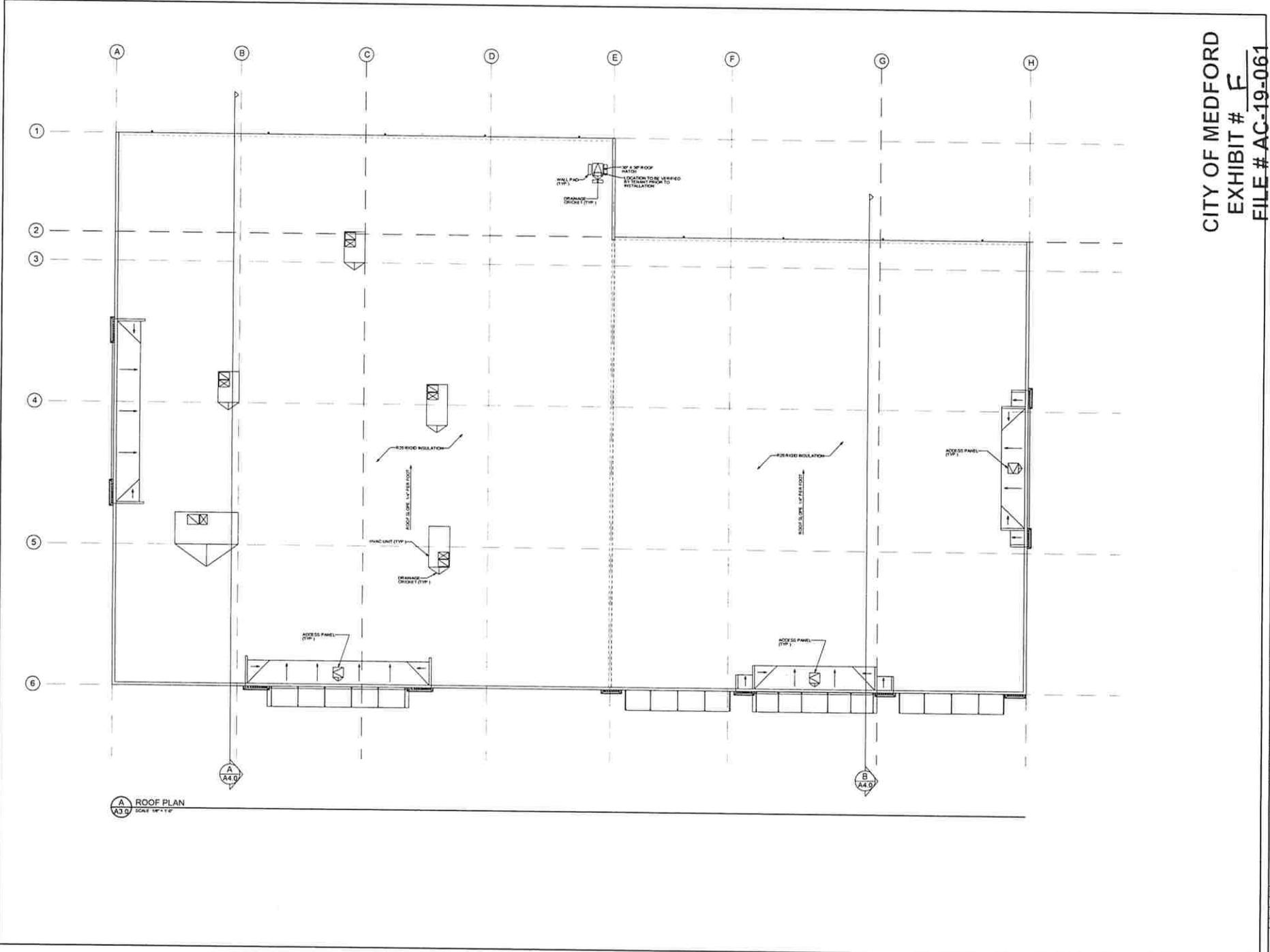
SUBJECT: **MEDFORD ADVANCE AUTO PARTS (SHELL PACKAGE)**  
 LOCATION: **CARDINAL AVE  
 MEDFORD, OR**

SHEET TITLE: **MAIN FLOOR PLAN**  
 CLIENT: **DICKERHOOF PROPERTIES**

STABILITY ENGINEERING  
 1100 24th Street, NE  
 Corvallis, OR 97331  
 TEL: (541) 225-5365 FAX: (541) 225-5274

DATE: **10/20/21**  
 DATE: **10/12/2021**  
 DRAWN: **ES**  
 CHECKED: **AS**  
 SHEET:

**A1.0**



**A**  
A3.0  
ROOF PLAN  
SCALE 1/4" = 1'-0"

CITY OF MEDFORD  
EXHIBIT # **F**  
FILE # AC-19-061



NO.	DATE	DESCRIPTION

PROJECT: MEDFORD PLANET FITNESS/CITY CITY (SHELL PACKAGE)  
LOCATION: CARDINAL AVE  
MEDFORD, OR

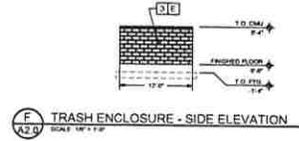
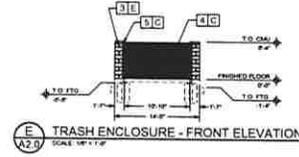
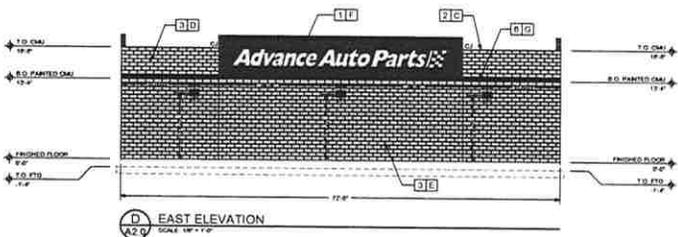
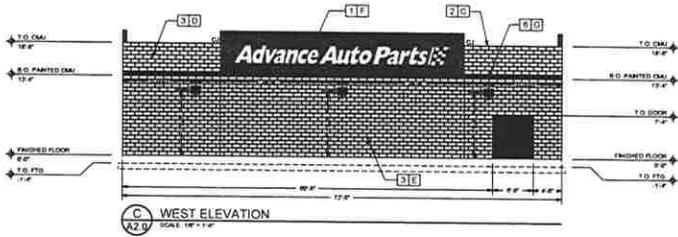
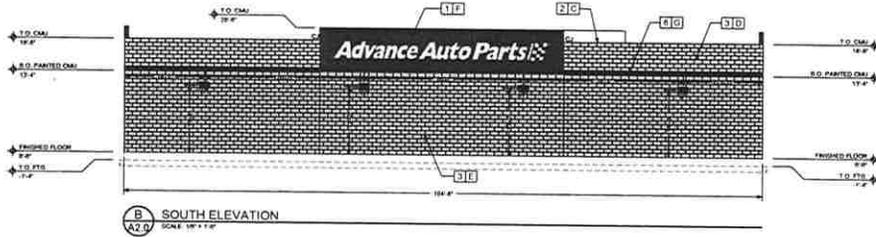
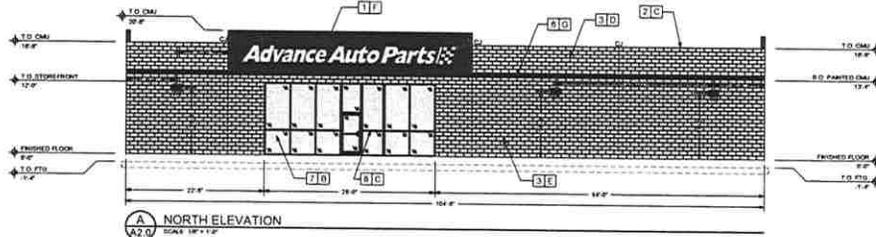
SHEET TITLE: ROOF PLAN  
CLIENT: DICKERHOOF PROPERTIES

STABILITY ENGINEERING  
1100 NE 2ND AVE SUITE 200  
MEDFORD, OR 97504  
TEL: (541) 223-5278 FAX: (541) 223-5279

DATE: APR 12 2014  
DRAWN: PS  
CHECKED: PS  
DATE:  

**A3.0**





LEGEND	
WT	WIN WALL PACK

**KEY NOTES:**

- 1 STUCCO SYSTEM
- 2 PRE-FINISHED METAL WALL CAP
- 3 SPILT FACE CMU
- 4 METAL DECKING
- 5 STEEL TUBE
- 6 SMOOTH FACE CMU
- 7 STOREFRONT WINDOW
- 8 STOREFRONT

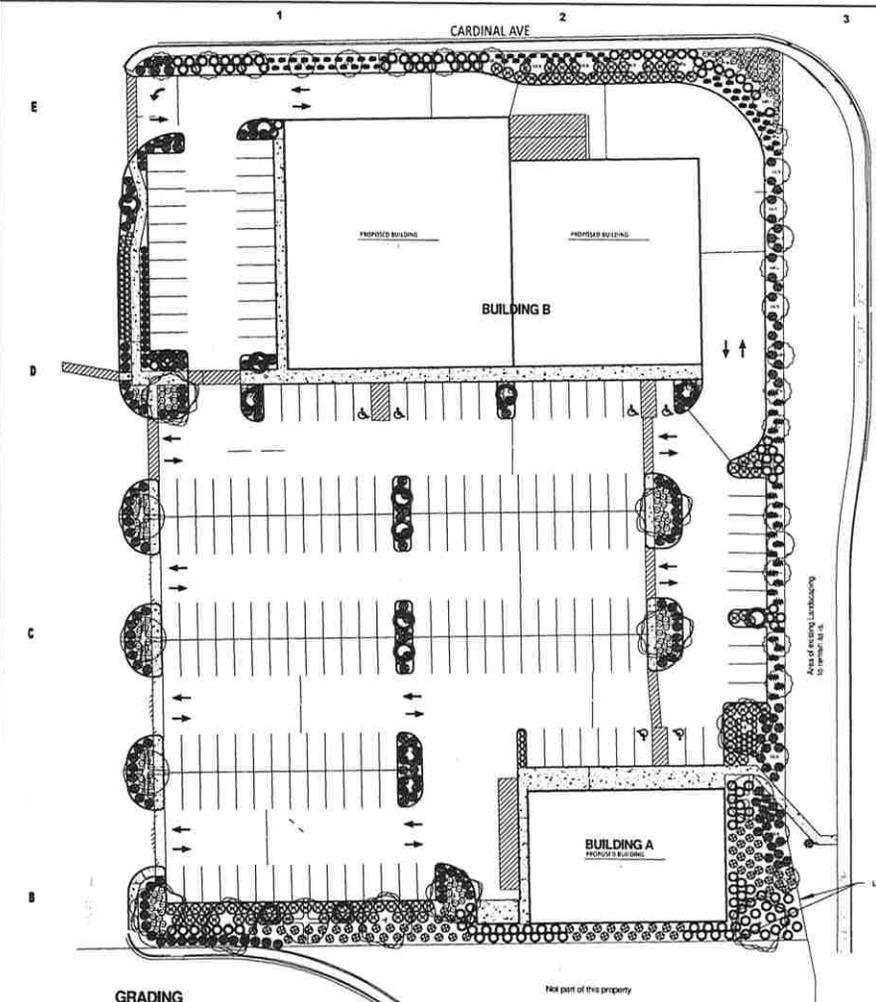
**FINISH NOTES:**

- A TO BE DETERMINED
- B CLEAR GLASS
- C DARK BRONZE
- D BEACHCOMBER
- E CASTLE ROCK
- F PAINT - ADVANCE AUTO PARTS RED
- G ADVANCE AUTO PARTS RED

CITY OF MEDFORD  
 EXHIBIT # 6 (2 of 2)  
 FILE # AG-19-061

PROJECT: <b>MEDFORD ADVANCE AUTO PARTS (SHELL PACKAGE)</b>	LOCAL: MEDFORD, OR	SHEET TITLE: <b>EXTERIOR ELEVATIONS</b>	CLIENT: DICKERHOOF PROPERTIES
STABILITY ENGINEERING 777 N.E. 3RD ST. SUITE 200 MEDFORD, OR 97504 TEL: (503) 253-0000 FAX: (503) 253-0073		SCALE: AS SHOWN	
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FILE # AC-19-061  
EXHIBIT # 11  
MADRID



### GENERAL CONSTRUCTION NOTES

- COORDINATION WITH THE EXCAVATING CONTRACTOR, GENERAL CONTRACTOR AND CIVIL PLANS IS IMPERATIVE.
- SITE OBSERVATION VISITS**
    - The Landscape Architect shall be notified by the Landscape Contractor 48 hours in advance of all site observation visits required by this document or requested by the Landscape Contractor.
    - The Landscape Contractor shall be present at each site observation visit.
    - All work that is to be viewed by the Landscape Architect shall be ready and in place. The Landscape Architect has the right to have changes made to any or all of the work.
    - Site observation visits by the Landscape Architect are required for:
      - Pre-construction site meeting
      - General Site preparation
      - Sub grading
      - Preliminary irrigation layout, trench locations, P.O.C and vault sizes
      - Final grading and soil preparation
      - Placement of plant materials prior to planting
      - Final installation checks
      - Periodic review of completed job during maintenance period.
      - Final check-out
    - Landscape Architect may comment and report on any other work being performed as part of any visit.
    - Additional site observation visits may be required by the Landscape Architect at any time. If more than one site observation visit is required for a particular portion of work because of excessive deficiencies (as determined by Landscape Architect), the Landscape Contractor shall be charged for additional observations including during the maintenance period.
  - General preparation of site to include:**
    - Eradication of weeds through the certified application of herbicides, allowing adequate time for kill.
    - Removal, from site, of all existing surface rock in planting beds.
    - All shrub beds to be finish raked to a smooth condition prior to mulching.
    - Place medium dark mulch in all shrub beds to a depth of 3"
    - Plan is diagrammatic and measurements should be confirmed on-site. Any changes are the responsibility of the contractor to coordinate with the owners representative.
  - INCLUDE 305 DAYS OF MAINTENANCE** from the day of acceptance, including but not limited to:
    - Maintain planting area in a healthy, weed free condition through a minimum of weekly visits.
    - Replace any material showing signs of stress.
    - Monitor irrigation for correct lining.
    - Provide owner with complete list of instructions for continued care at the end of the maintenance period.

### PLANT LIST

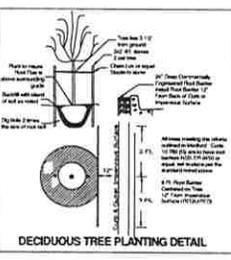
Quantity	Common Name	Botanical Name	Size
<b>Trees</b>			
16	Gum, Sour	<i>Myrica tybalica</i>	1.5"4"
16	Hornbeam, Frane Fontaine	<i>Carpinus betulus</i> Frane Fontaine	1.5"4"
16	Maple, Boxleaf	<i>Acer rubrum</i> 'Boxleaf'	1.5"4"
14	Maple, October Glory	<i>Acer rubrum</i> 'October Glory'	1.5"4"
	Oak, Crimson Spire	<i>Quercus</i> 'Crimson Spire'	1.5"4"
<b>Shrubs</b>			
74	Berberis, Roly Glow	<i>Berberis thunbergii</i> 'Roly Glow'	3g
81	Eunymia, Emerald Caigy	<i>Eunymia laetum</i> 'Emerald Caigy'	2g
132	Laurus, Ohio Luyken	<i>Purhus laurocassus</i> 'Ohio Luyken'	3g
<b>Ground Cover / Grasses</b>			
86	Grass, 'Karl Foerster'	<i>Calamagrostis</i> 'Karl Foerster'	1g
63	Grass, Little Kitten	<i>Mazanthus sinensis</i> 'Little Kitten'	1g
146	Juncus, Shine	<i>Juncus confertus</i>	1g
83	Korshakovsk, Emerald Carpet	<i>Actinophyes ovatus</i> 'Emerald Carpet'	1g
165	Rose, Red Drift	<i>Rosa 'Mingapoo'</i>	2g

### PLANTING

- Plant material to be provided in accordance with species, sizes and quantities indicated below. Substitutions to be made with the approval of landscape architect.
- No planting to proceed until irrigation system is fully functioning in the area to be planted.
- All plant holes to be dug 2" times the volume of their root ball size. Backfill shall consist of 1/3 organic mulch, 2/3 top soil, incorporate supplement and 16-16-16 fertilizer as follows:
  - 1g = 1oz
  - 2g = 2oz
  - 3g = 3oz
  - larger = 4oz
- Plant upright and face to give best appearance or relationship to plants, structures and predominant viewing angle. Trees are to be planted so as to be straight up and down without the assistance of staking. Staking is solely for support against outside forces. Loosen and remove heavy binding and burp from around top of each root ball. Scatter root balls of plants exhibiting a root bound condition, being careful not to damage the root balls integrity. Stake and guy trees immediately after this work.
- Place and compact backfill soil mixture carefully to avoid injury to roots, and fill all voids.
- When hole is 2/3 filled with soil, compact soil, and allow water to soak away at least two times or more, as necessary to completely water individual plants.
- Guarantee plant materials and related workmanship of installation, beginning after written acceptance of work, for one year:
  - Replace plant material not surviving or in poor condition during guarantee period.
  - Perform all replacement work in accordance with original specifications at no additional cost to Owner.
  - Damage or loss of plant materials due to vandalism, freezing or acts of neglect by others, is exempt from Contractor's replacement responsibility.

### IRRIGATION DETAILS

- An automatic irrigation system to be provided for all plant materials areas following the specifications outlined on these plans and in accordance with industry standards. System is intended to perform at 10 gpm and 50 psi. Confirm on site before proceeding.
- All materials are to be new and in original condition.
- Install an approved double check valve per local and state requirements.
- Place manual drain valves as needed at low points in mainline to insure complete drainage during winter shut down.
- Mainline should be located in areas with least conflict with surrounding utilities. Mainline location on plan for ease of interpretation.
- Control wires, 14ga minimum, to be located below all piping in any dirt:
  - Any wire splices are to be located in a minimum of a 1"1" round valve box.
  - Power control wires to be red, common to be white.
  - Tapel banded wire together every 5' before placing in duct.
- All drip zones to use PVC laterals to locate a point of emersion in each individual planting bed.
  - Shrub areas to be irrigated by drip irrigation.
  - All surface drip tubing to be Landscape Product Inline Drip Tubing, 6GPH on 1"1" Spacing to be turned a range of 2-5" in soil and head down every 5' with 2' spacers. Use the pattern described in the Typical Drip Tubing Layout. Layout to comprise drip tubing laid beginning 12" in from any perimeter landscape and in equal parallel lines 1"1" O.C. thereafter.
  - All Drip zones to include a 150 mesh filter and 30psi pressure regulator.
  - Spacing of pipe for lateral lines to be based on GPM used by each and any individual line. For purposes of counting cumulative GPM use the appropriate manufacturer's specification charts based on 50 PSI. Sure pipe as noted with standard PVC micron loss charts with no more than 5.0 lpm per second velocity. No PVC pipe to be smaller than 1" nominal size.
  - Layout of pipe on plan in diagrammatic and for purposes of clarity. Actual layout determined on site and will often include multiple pipes in one trench. Wires are to be lowest in trenches followed by mainline piping and finally lateral piping.
  - All lateral pipe shall be SD 40 and 1" minimum.
  - Handler control cock to be mounted on exterior surface of building. Power wiring to be installed by a Certified Electrician.
  - Seewering to be provided under all hardscapes by general contractor for irrigation purposes.
- Contractor responsible for any and all safety, security of materials and damage caused by the contractor to existing facilities during the course of installation.
- Irrigation system to be guaranteed against defective material or workmanship for one year from the date of final acceptance. Damage or loss due to vandalism, freezing or acts of neglect by others, is exempt from Contractor's replacement responsibility after completion and acceptance of installation.
- Provide owner with an accurate as-built listing all valves, wire splices, main line and any seewering.



### LANDSCAPE PLAN

Scale 1" = 30'



**Madara Design Inc**  
Landscape Architecture, Design & Consultation  
2904 Wells Fargo Rd  
Central Point, OR 97502  
541-664-7055  
madrardesign@yahoo.com

**DICKERHOOF COMMERCIAL CENTER**  
CRATER LAKE HIGHWAY  
MEDFORD, OREGON

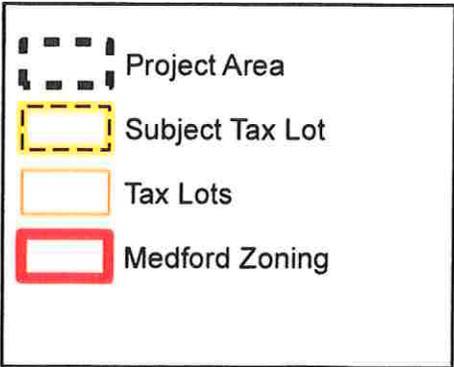
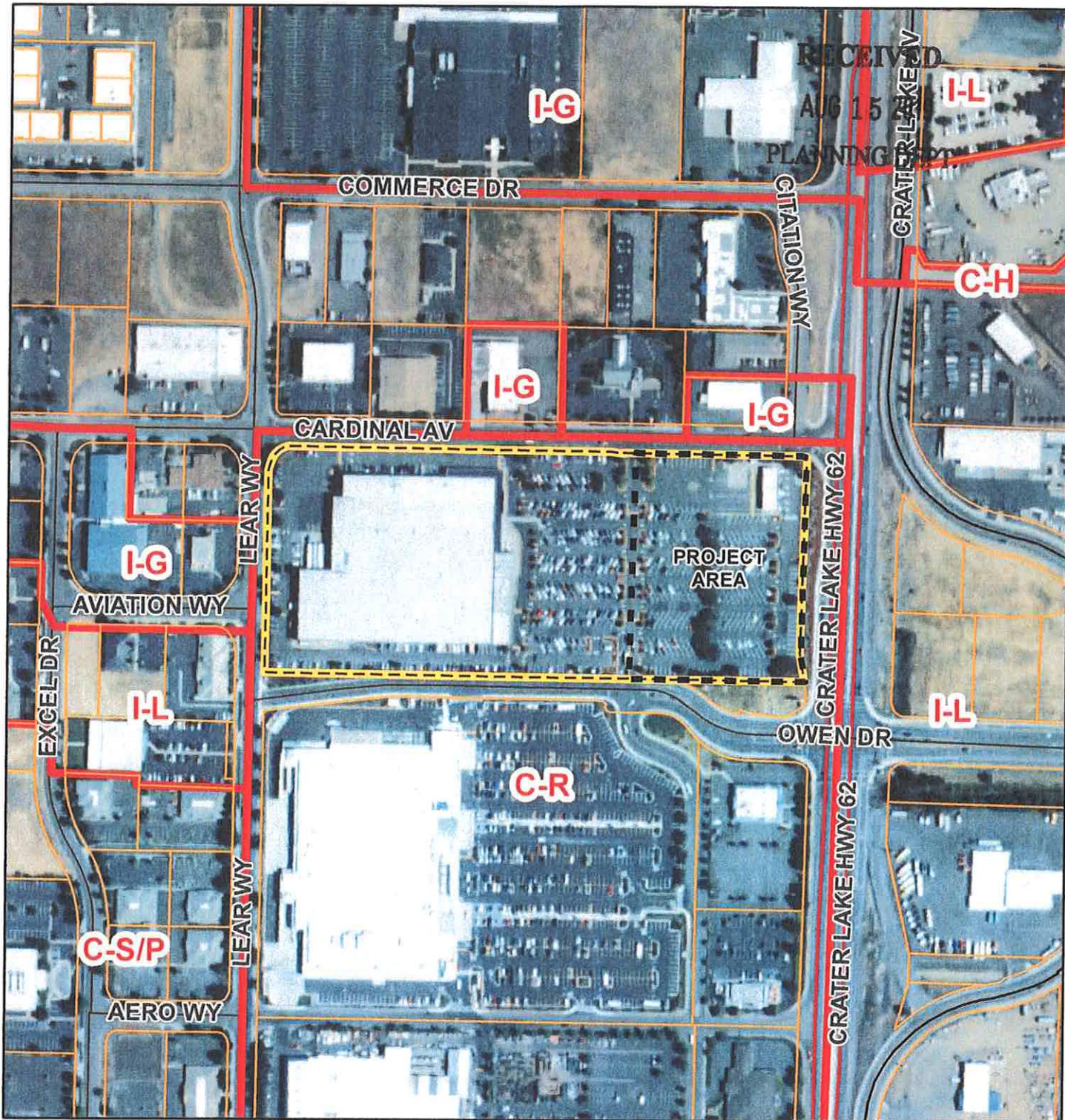
NO.	DATE	DESCRIPTION

DESIGNER: [Signature]  
DATE: [Date]  
PROJECT NO.: [Number]  
PROJECT SHEET: [Number]

SPAC LANDSCAPE PLAN

L-1

NOTE: IF THIS SHEET IS LESS THAN 24" x 36" IT HAS BEEN REDUCED AND IS NOT TO SCALE.



### Zoning on Aerial

**Dickerhoof Properties  
Site Plan Review  
37-1W-07A tax lot 5204**

2016 Aerial



300 150 0 300 Feet

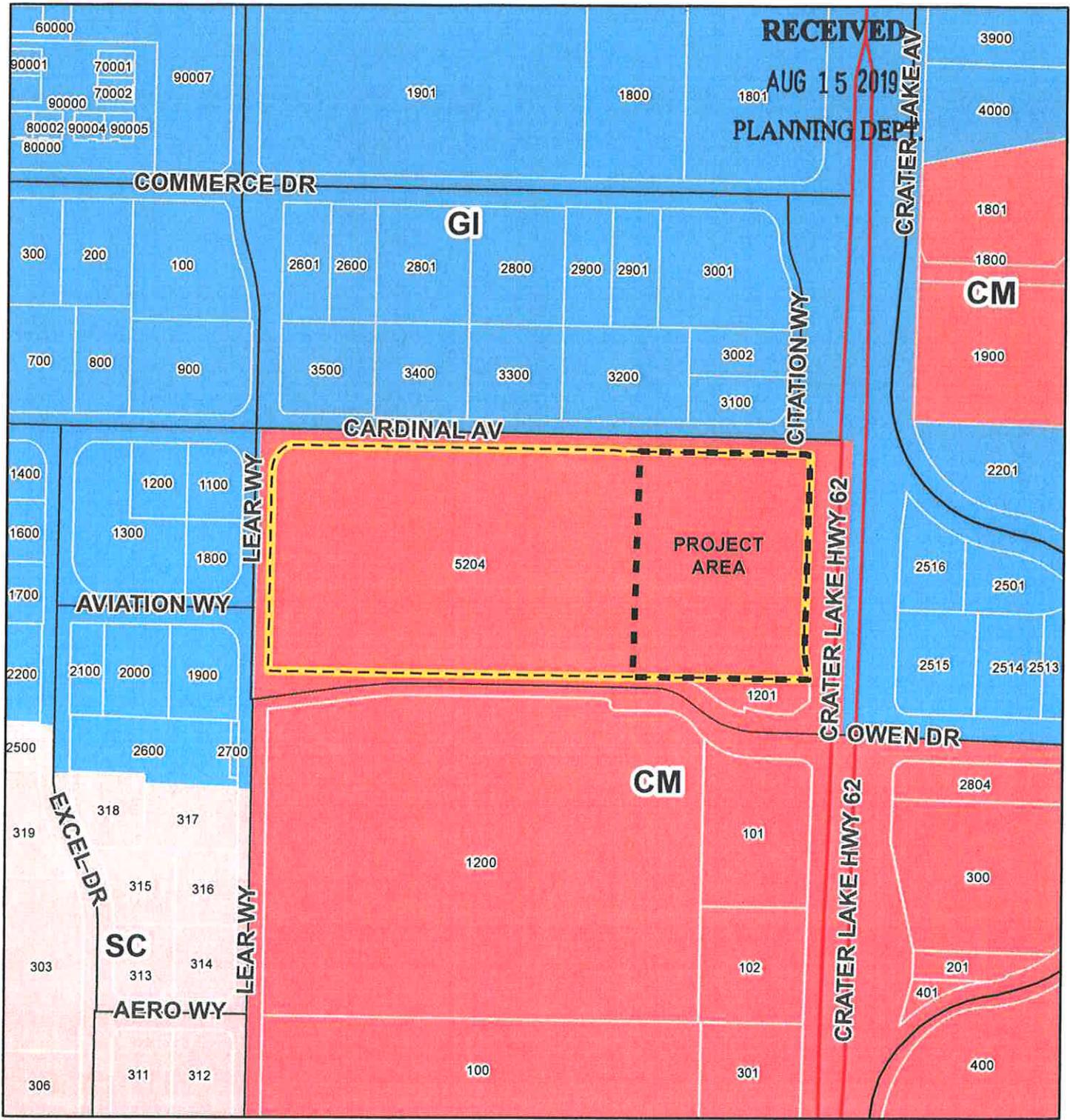
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**EXHIBIT # 1**

FILE # AC 15 001



**RECEIVED**  
**AUG 15 2019**  
**PLANNING DEPT**



**Legend**

- Project Area
- Subject Tax Lot
- Tax Lots

**GLUP**

- CM
- GI
- SC

**General Land Use Plan (GLUP) Map**  
**Dickerhoof Properties**  
**Site Plan Review**  
**37-1W-07A tax lot 5204**

**CITY OF MEDFORD**  
**EXHIBIT # J**  
**FILE # AC-19-061**

**CSA Planning, Ltd.**

300 150 0 300 Feet

August 2019 Source: City of Medford GIS; Jackson County GIS; CSA Planning, Ltd.



RECEIVED

AUG 15 2019

PLANNING DEPT.

Technical Memorandum

To: Darren Dickerhoof
Date: July 12, 2019
Subject: SPAC Applicant's Questionnaire

CSA Planning, Ltd
4497 Brownridge, Suite 101
Medford, OR 97504
Telephone 541.779.0569
Fax 541.779.0114
Jay@CSAplanning.net

CSA Planning Ltd. was engaged to provide responses to the City of Medford's SPAC Application: Applicant's Questionnaire. This technical memorandum is provided consistent with this engagement.

Section I - Narrative Write a brief narrative that describes your proposed development.

The Applicant proposes to develop two new buildings, located in the northeast and southeast corners of what formerly was the overflow parking area for Costco on Hwy. 62. A 7,536 square foot building, Building A, is proposed at the southeast corner of the site to house a new Advanced Auto Parts retail store. A second 27,036 square foot, two-tenant building, Building B, is proposed for the northeast corner of the property that will house a 16,000 square foot Planet Fitness health club and a 11,036 square foot Party City retail store. Each portion of the building will have a distinct facade and signage. The existing parking lot is to be reconfigured to accommodate the new plan.

Section II - Compatibility: Criterion No. 1

The following questions are designed to demonstrate how your proposal is compatible with uses and development that exist on adjacent land. Using factual information, respond to the following questions on a separate sheet of paper: use supplemental information such as site photographs, aerial maps, etc. to augment your case.

- A List existing uses and development adjacent to your project site. Along with this list, describe the architecture (materials, colors, etc.), age, and condition of the adjacent buildings (you may use photographs to supplement this information).

The site is part of a large retail development called Crater Lake Plaza which covers a half mile long stretch between Crater Lake Highway and Lear Way, from Delta Waters Road to Cardinal Drive. The proposed buildings are located at the northeast corner of the center.

The overall Plaza development is laid out with the larger stores along the western edge of the development and smaller stores along the eastern Crater Lake Highway frontage. The large stores on this parcel include Ashley Home Store and Hobby Lobby which occupy the reconfigured former Costco store. Large stores adjacent to the south within the center include Walmart, Lowes, Office Depot, Petsmart and Safeway. Smaller retail stores are located along Crater Lake Highway such as Pier One and Auto Zone. Service businesses and restaurants such as Chase Bank and Loan Depot, Outback and McDonalds are also located along the highway frontage.

The Building A fits this pattern of somewhat smaller buildings being located along the highway frontage. The two-tenant Building B, will be located on the corner of Cardinal and Crater Lake Highway. It is a mid-sized building that will serve as a visual anchor for the north end of Crater Lake Plaza. The building is oriented perpendicular to the highway, with the shorter facade facing the road. The grade at that corner is lower than the road elevation, which will have the effect of screening the lower part of the building from the road. The materials and design of the proposed buildings are visually compatible with the existing buildings at the rear of the site and the other retail stores along the highway.

CITY OF MEDFORD
EXHIBIT # k
FILE # AC-19-061



- B Describe the building architecture and exterior treatments in your proposal, and how they fit with and complement adjacent buildings and development.

The buildings are similar in size and shape to many of the existing buildings in Crater Lake Plaza. The two buildings included in this application have similar, but not identical fenestration. Materials include split-faced block, smooth block with stucco finish accent bands and stucco panels and pilasters. Similar materials are used throughout the center, including the Hobby Lobby/ Ashley Home Store building on the same parcel.

- C Describe the proposed architecture and exterior treatments that break up large facades and give relief to the building mass. The Site Plan and Architectural Commission Design Guidelines are a helpful reference, and can be found on the City's website, and at the Planning Department.

Neither of the two buildings exceed 50,000 square feet, therefore Section 10.724 does not apply.

Building A has simple façade design with the primary material being split-faced block. A stucco band runs around the building a few feet below the cornice which ties together the stucco sign panels that are located near the top center of each façade. The entry façade on the north façade also has a clear storefront below the sign panel.

The larger Building B design includes several exterior treatments to break up the larger facades both horizontally and vertically. This two-tenant Party City/Planet Fitness building has the two major entrances on the south façade, facing the parking. Each entrance has a large stucco panel that projects out from the face of the building and terminates in a cornice that rises approximately 5 to 7 feet taller than the cornice wrapping the rest of the building. Store signage will be located on the upper portion of the panel. The center bays on the south façade, between the entry panels, have stucco pilasters spaced 25 to 35 feet on center with windows between. These pilasters also rise above the building cornice by 2 to 3 feet.

The south façade facing Crater Lake Highway has a Party City sign panel with pilasters, similar to the others, centered on the façade. Below the sign is a bank of windows. The remainder of the east façade will be concrete block with a cornice along the full length.

The north façade, which is separated from Cardinal Drive by a service drive contains the loading areas for the building. This façade has one major 14-foot offset near the center of the building. The facade is composed of concrete block with a stucco cornice band.

The west façade faces the newly remodeled Ashley Home Store. It has one projecting stucco sign panel for Planet Fitness near the center. The remainder is concrete block.

- D Describe how the placement and orientation of the proposed building(s) relate(s) to the street facilities, and how this orientation promotes a more pedestrian-friendly site design.

- a. If the site lies within 600-feet of an existing or planned transit stop, as designated by the Transportation System Plan (TSP), describe compliance with the standards of Section 10.808, New Commercial and Institutional Development.

As a regional center along a major arterial serving regional traffic, the proposed development will primarily be accessed via automobiles. The nearest transit stop is on Lear Way, which is over 1,000 to 1,250 feet from these buildings. There is residential development to the east approximately ½ to ¾ mile away. Access to the buildings from there relies on a series of sidewalks and walkways.

Building entries are oriented toward their related parking lots with linear pedestrian walkways linking the entries along their front facades. Parking lot walkways are also proposed to connect the two new buildings to each other and to the existing Hobby



Lobby/Ashley Home Store building. The site design separates proposed walkways from the drive aisles with planters wherever possible to make movement through the parking lots safer.

- E Describe the pedestrian facilities and amenities on your site (useable outdoor space, benches, etc.), and how they will function for pedestrians.

Each entry will have a bench and a trash receptacle.

- F Describe vehicle and pedestrian access to the site, and how it relates internally on the site, and to adjacent sites.

Vehicle access to the site is from a central shopping center drive aisle that runs between Owen Drive and Cardinal Drive. In general, pedestrian access to this center is limited as it the main frontage is on a state highway. One walkway will connect the sidewalk along the highway to Building A. Pedestrian access from Lear Way which runs on the west side of the center behind the major buildings by way of sidewalks that run along Owen Drive and Cardinal Drive, terminating at the sidewalk that runs south along the main shopping center drive aisle. The proposed site design extends the main drive aisle sidewalk north through the parking lot from Owen Drive to Cardinal Drive. Walkways to each building connect to this central walkway.

- G Describe if and how the proposed plan is sensitive to retaining any existing trees or significant native vegetation on the site. Should existing trees be preserved, a Tree Protection Plan shall also be included in this application.

Vegetation on the site is limited to a few parking lot trees. There is no significant or native vegetation. These trees will be removed to allow for the reconfiguration of the parking lot. New trees will be installed in the new islands per Medford requirements.

- H Describe stormwater detention facilities on the site (underground storage, surface pond, etc.). If these facilities will be landscaped areas, describe how the proposed landscaping will be integrated with other landscaping on the site.

The existing site is paved and fully developed; the proposed project will redevelop the parking lot and former fueling station area. The existing Costco Development includes underground stormwater detention pipes with flow restrictors that detain developed runoff. These existing systems will remain with the proposed development and continue to be used for detention. The applicant is proposing to install catch basin filters on the existing catch basins to provide water quality treatment.

- I Describe how your proposed landscaping design will enhance the building and other functions on the site.

Existing landscaping is limited to some poorly maintained trees & shrubs and bark. Proposed landscaping provides shrubs, trees and ground cover needed to meet the City of Medford's requirements. The design substantially enhances the areas around the buildings, and provides needed greenery within the parking lot.

- J Describe how your exterior lighting illuminates the site, and explain how the design of fixtures does not diminish a view of the night sky, or produce glare on adjacent properties, consistent with the standards of Section 10.764.

Site light fixtures are to match the fixtures recently approved for the adjacent lot for Hobby Lobby and Ashley Home Store. Fixtures will cut-off spill at the property line. All fixtures will be focused down and hooded as required to meet Medford standards.

- K Describe any proposed signage, and how it will identify the location of the occupant and serve as an attractive complement to the site.

Building signage is proposed as shown on the elevations. Building A has signs on all four facades, two of which face streets, Crater Lake Hwy and Owen Drive, and two signs that face the parking lot. Building B also has four signs with one facing Crater Lake Hwy and three additional signs facing the parking lot. Proposed signs are typical



in size and materials to the signage on other buildings throughout the center. No additional locational signage will be needed as the existing pylon sign has room for the new tenant names to be added.

- L Explain any proposed fencing, including its purpose, and how you have incorporated it as a functional, attractive component of your development. (See Sections 10.731-10.733).

No fencing is proposed.

- M Explain how any potential noise generated by future occupants will be mitigated on the proposed site, consistent with the standards of Sections 10.752-10.761.

Buildings and proposed tenants do not create noise above or beyond the levels typical for the planned shopping center use. No mitigation will be necessary.

- N Explain anything else about your project that adds to the compatibility of the project with adjacent development and uses.

The proposed building designs and uses are typical for centers of this type and as such are compatible with the adjacent development.

- O List and explain any exceptions or modifications requested and provide reasons for such.

None proposed.

- P Section 10.780(C)(2) - List any petition for relief of landscaping standards (i.e., request an increase in turf area at a facility for active recreation; eliminate requirement for root barriers when trees are planted in structural soils). Provide rationale for requested deviation from standard.

None proposed.

CSA Planning, Ltd.

Jay Harland  
President



## **PUBLIC WORKS DEPARTMENT STAFF REPORT**

### **Two New Commercial Buildings (old Costco location) Crater Lake Highway at Cardinal Avenue (TL 5204)**

**Project:** Consideration of a proposal for the development of a single parcel totaling 12.5 acres—currently the Crater Lake Plaza, containing Hobby Lobby and the Ashley Home Store—consisting of the construction of two new buildings: A 7,536 square foot building to house an Advanced Auto Parts retail store, and a second 27,036 square foot building to house a 16,000 square foot Planet Fitness health club and a 11,036 square foot Party City retail store.

**Location:** The property is located at 3643 Crater Lake HWY in the C-R (Regional Commercial) zoning district (371W07A TL 5204).

**Applicant:** Applicant, Dickerhoof Properties; Planner, Dustin Severs.

**NOTE:** The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention, if applicable.
- Completion of all public improvements, if required. The Applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements shall be approved by the Public Works Engineering Division prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas
- Verification by the design Engineer that the stormwater quality and detention system was constructed per the approved plan, if applicable.
- Completion of all public improvements, if applicable.

## A. STREETS

### 1. Dedications

Crater Lake Highway (Highway 62) is under the jurisdiction of the Oregon Department of Transportation (ODOT). The Developer shall contact ODOT to see if additional right-of-way is required.

Cardinal Avenue is classified as a Minor Collector street in accordance with Medford Land Development Code (MLDC) Section 10.428. A legacy street definition is supported for this section of roadway per MLDC 10.427(D). In order to meet the context sensitive design for this neighborhood the developer shall provide at least a 1-foot wide pedestrian easement along the frontage of the proposed development area. No additional right-of-way is required to meet the section requirements.

Owen Drive is classified as a Commercial street within the MLDC, Section 10.429. No additional right-of-way will be required with this application.

There is currently a Public Utility Easement (PUE) along all respective frontages that was previously dedicated with document # 99-44751.

The pedestrian easement dedication shall be submitted directly to the Engineering Division of the Public Works Department. The submittal shall include: the easement dedication, including an exhibit map; a copy of a current Lot Book Report, Preliminary Title Report, or Title Policy; a mathematical closure report (if applicable), and the Planning Department File Number; for review and City Engineer acceptance signature prior to recordation by the applicant. Releases of interest shall be obtained by holders of trust deeds or mortgages on the pedestrian easement area.

### 2. Public Improvements

#### a. Public Streets

Highway 62 is under the jurisdiction of the ODOT. The Developer shall contact ODOT to see if any additional improvements are required by them. The Developer shall obtain all necessary permits from ODOT for work within the Highway 62 right-of-way.

Cardinal Avenue – All street section improvements have been completed to current standards including pavement, curb and gutter, street lights, and sidewalks. No additional public improvements are required.

Owen Drive is classified as a Commercial street, in accordance with MLDC Section 10.429. No public improvements are required.

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NOTE: All projects subject to Site Plan and Architectural Review shall be required per MLDC 10.501 (6), as a condition of approval, to repair all frontage sidewalks as determined by the Engineering Division. When attached as a condition of approval of a Site Plan and Architectural Review application the sidewalk maintenance procedures set forth in Chapter 3, Section 3.025, Notice on Hearing of City Repair of Sidewalks, through 3.035, Notice of Sidewalk Repair, are hereby superseded.

#### b. Street Lights and Signing

No additional street lights or signs are required.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer's contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided by Medford Public Works Department and paid for by Developer.

#### c. Pavement Moratoriums

The Applicant shall consult with ODOT regarding any moratorium(s) currently in effect along this frontage to Crater Lake Highway. There is no moratorium currently in effect along Cardinal Avenue or Owen Drive.

#### d. Access and Circulation

In accordance with MLDC 10.426, the applicant shall provide a public access road easement, or provide evidence of such an easement, over the interior access road between Cardinal Avenue and Owen Drive. The public access easement shall include the proposed sidewalk on the east side of the interior access road.

In accordance with MLDC 10.426, the pedestrian pathway paving material shall extend across the drive aisles along the interior access road.

The applicant shall construct a curb ramps at the northeast corner of the intersection of the interior access road and Owen Drive.

The applicant shall coordinate with the Public Works Traffic Section to modify the site plan to provide adequate throat distance on the interior access road from the right-of-way of Cardinal Avenue and Owen Drive.

### B. SANITARY SEWERS

The proposed development is situated within the Medford sewer service area. The

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Developer shall provide one separate individual service lateral to the site or ensure that the site is served by an individual service lateral. All unused laterals adjacent and stubbed to the development shall be capped at the main.

## C. STORM DRAINAGE

### 1. Drainage Plan

A comprehensive drainage plan showing the entire project site with sufficient spot elevations to determine direction of runoff to the proposed drainage system, and also showing elevations on the proposed drainage system, shall be submitted with the first building permit application for approval.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

A Site/Utility Plan shall be submitted with the building permit application to show the location of existing or proposed stormdrain lateral/s for the site.

All private storm drain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

Developer needs to verify that location of new buildings are outside of the existing public storm drain easement and include this information on the Site Plan submitted with the building permit.

### 2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

### 3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729.

### 4. Verification

Upon completion of the project, and prior to certificate of occupancy of the building, the Developer's design Engineer shall verify that the construction of the stormwater quality and

detention system was constructed per plan. Verification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

## 5. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

## 6. Easement

The developer will provide a 30-foot easement for the storm drain pipe that is not within the existing easement.

## D. GENERAL CONDITIONS

### 1. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans.

Contractors proposing to do work on public streets (including street lights), sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and storm drain mains be inspected by video camera prior to acceptance of these systems by the City.

### 2. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

### 3. System Development Charges (SDC)

Buildings in this development are subject to system development charges (SDCs). All SDC

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fees shall be paid at the time individual building permits are issued

Prepared by: Jodi K Cope

Reviewed by: Doug Burroughs

Revised by: Jodi K Cope

**SUMMARY CONDITIONS OF APPROVAL**  
**Two New Commercial Buildings (old Costco location)**  
**Crater Lake Highway at Cardinal Avenue (TL 5204)**

AC-19-061

**A. Streets**

**1. Street Dedications to the Public:**

- o Crater Lake Highway – Consult with ODOT.
- Cardinal Avenue – No additional right-of-way required, however the developer shall provide at least a 1-foot wide pedestrian easement along the frontage of the proposed development area.
- Owen Drive – No additional right-of-way required.
- Public Utility Easements have already been dedicated along all frontages.

**2. Improvements:**

**Public Streets**

- o Crater Lake Highway – Consult with ODOT.
- Cardinal Avenue – No improvements are required.
- Owen Drive – No improvements are required.

**Lighting and Signing**

- No additional street lights are required.

**Access and Circulation**

- The applicant shall provide a public access road easement.
- The pedestrian pathway paving material shall extend across the drive aisles along the interior access road.
- Construct a curb ramps at the northeast corner of the intersection of the interior access road and Owen Drive.
- Coordinate with the Public Works Traffic Section to modify the site plan to provide adequate throat distance on the interior access road.

**Other**

- o Consult with ODOT regarding any moratorium(s) currently in effect.
- No moratoriums currently in effect along frontage to Cardinal Avenue or Owen Drive.

**B. Sanitary Sewer:**

- Ensure or construct separate individual sanitary sewer connection.
- o Cap remaining unused laterals at the main.

**C. Storm Drainage:**

- Provide a comprehensive grading and drainage plan.
  - Verify the location of new buildings are outside of the public storm drain easement.
  - Provide water quality and detention facilities, calculations and O&M Manual.
  - Provide engineers verification of stormwater facility construction.
  - Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.
  - Provide a 30-foot easement for the storm drain pipe that is not within the existing easement
- 
- = City Code Requirement
  - o = Discretionary recommendations/comments

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.

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BOARD OF WATER COMMISSIONERS

**Staff Memo**

**TO:** Planning Department, City of Medford

**FROM:** Rodney Grehn P.E., Water Commission Staff Engineer

**SUBJECT:** AC-19-061

**PARCEL ID:** 371W07A TL 5204

**PROJECT:** Consideration of a proposal for the development of a single parcel totaling 12.5 acres—currently the Crater Lake Plaza, containing Hobby Lobby and the Ashley Home Store—consisting of the construction of two new buildings: A 7,536 square foot building to house an Advanced Auto Parts retail store, and a second 27,036 square foot building to house a 16,000 square foot Planet Fitness health club and a 11,036 square foot Party City retail store. The property is located at 3643 Crater Lake HWY in the C-R (Regional Commercial) zoning district (371W07A TL 5204). Applicant, Dickerhoof Properties; Planner, Dustin Severs.

**DATE:** October 9, 2019

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

**CONDITIONS:**

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. Installation of a "on-site" 8-inch looped water line is required to meet Fire Department Flow requirements for the two (2) proposed "on-site" fire hydrants. This 8-inch water line shall extend from the northerly 8-inch water line stub at the existing fire hydrant and shall extend south and connect to the existing 8-inch water line in Owen Drive, approximately 620-feet to the west. (See attached Water Facility Map for "preliminary" layout.
4. Dedication of a 10-foot wide (minimum) access and maintenance easement to MWC over all water facilities located outside of public right-of-way is required. Easement shall be submitted to MWC for review and recordation prior to construction.
5. Proposed Planet Fitness and Party City shall take both domestic and fire protection water from the existing 8-inch water line west of the proposed buildings. (See Condition 3)
6. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35>.



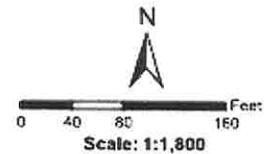
BOARD OF WATER COMMISSIONERS

**Staff Memo**

7. A "Summer" Fire Hydrant Flow Test is required for design of the proposed Fire Sprinkler system to the Planet Fitness and Party City buildings. Applicant shall request the "summer" flow test which is required to be performed during the months July-September.

**COMMENTS:**

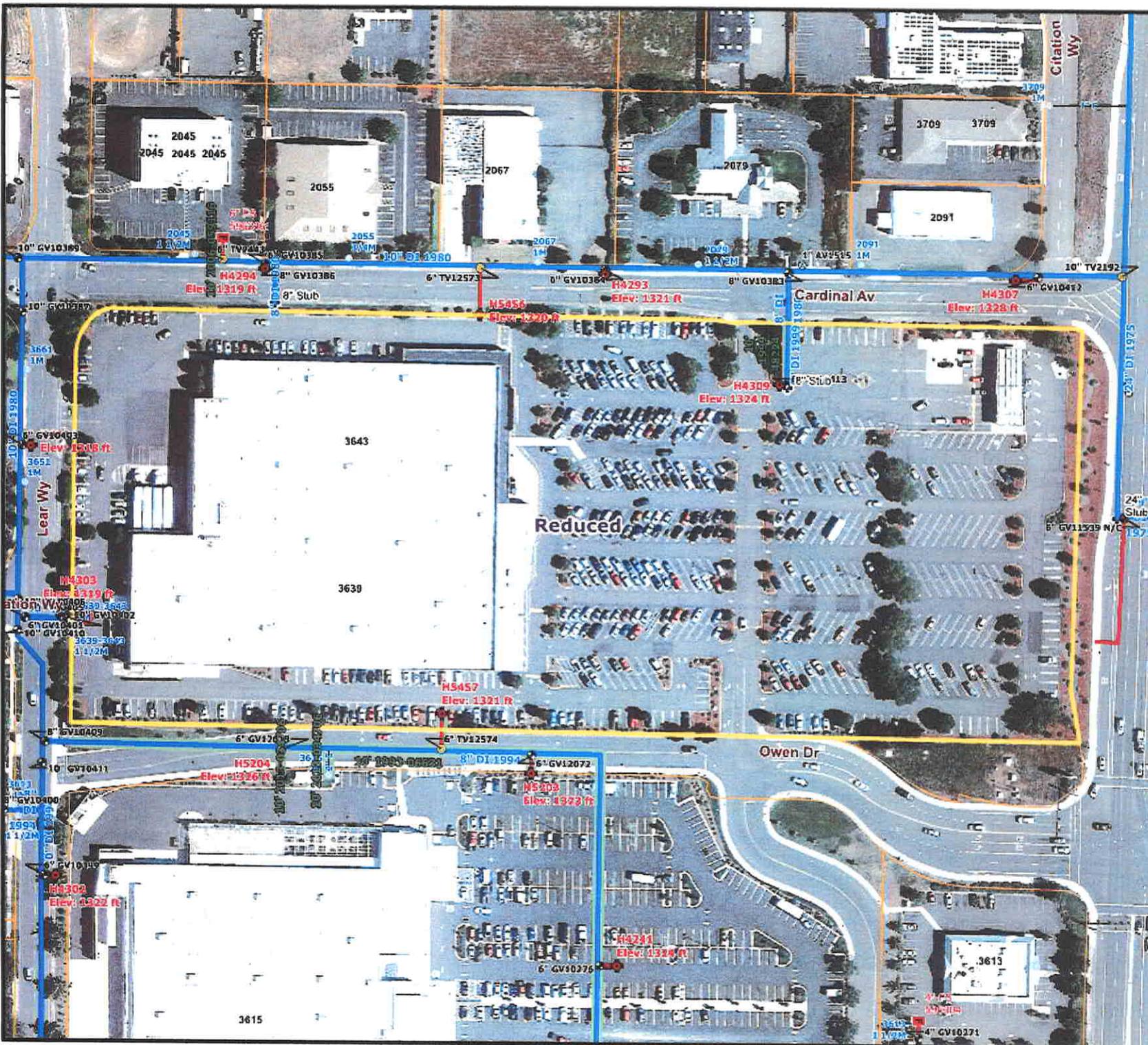
1. MWC-metered water service does not exist to this "area" on this site.
2. Access to MWC water lines is available. There is a 10-inch water line along the north side of Cardinal Avenue. There is an "on-site" 8-inch water line that comes from the above described 10-inch water line in Cardinal Avenue within a 10-foot wide Easement Per: JCOR 99-48224.
3. Static water pressure is approximately 77 psi.
4. There is an existing 24-inch water line located in Crater Lake Highway. No connections to this water line are allowed.



**Water Facility Map**  
**City of Medford**  
**Planning Application:**  
**AC-19-061**  
**(371W07A5204)**  
**Oct 9, 2019**

**Legend**

- Air Valve
  - ⊙ Sample Station
  - Fire Service
  - ⊕ Hydrant
  - ▲ Reducer
  - ⊗ Blow Off
  - ⊕ Plugs/Caps
- Water Meters:**
- ⊗ Active Meter
  - On Well
  - Unknown
  - ⊙ Vacant
- Water Valves:**
- ⊕ Butterfly Valve
  - ⊕ Gate Valve
  - ⊕ Tapping Valve
- Water Mains:**
- Active Main
  - - - Abandoned Main
  - Reservoir Drain Pipe
  - Pressure Zone Line
- Boundaries:**
- ▭ Urban Growth Boundary
  - ▭ City Limits
  - ▭ Tax Lots
- MWC Facilities:**
- C** Control Station
  - P** Pump Station
  - R** Reservoir





Medford Fire-Rescue Land Development Report

Review/Project Information

Reviewed By: Kleinberg, Greg

Review Date: 10/3/2019
Meeting Date: 10/9/2019

LD File #: AC19061

Planner: Dustin Severs

Applicant: Dickerhoof Properties

Site Name: Crater Lake Plaza

Project Location: 3643 Crater Lake HWY

ProjectDescription: Consideration of a proposal for the development of a single parcel totaling 12.5 acres—currently the Crater Lake Plaza, containing Hobby Lobby and the Ashley Home Store—consisting of the construction of two new buildings: A 7,536 square foot building to house an Advanced Auto Parts retail store, and a second 27,036 square foot building to house a 16,000 square foot Planet Fitness health club and a 11,036 square foot Party City retail store. The property is located at 3643 Crater Lake HWY in the C-R (Regional Commercial) zoning district (371W07A TL 5204).

Specific Development Requirements for Access & Water Supply

Conditions

Table with 3 columns: Reference, Comments, Description. Contains three rows of fire safety requirements (OFC 508.5, OFC 903.3.7, OFC 503.2.1) detailing hydrant, connection, and access road specifications.

OFC 503.4	Curbs shall be painted/stenciled to prohibit parking along fire lanes.	<p>Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).</p> <p>Where parking is prohibited for fire department vehicle access purposes, NO PARKING-FIRE LANE signs shall be spaced at minimum 50' intervals along the fire lane (minimum 75' intervals in 1 &amp; 2 family residential areas) and at fire department designated turn-around's. The signs shall have red letters on a white background stating "NO PARKING-FIRE LANE" (See handout).</p> <p>For privately owned properties, posting/marking of fire lanes may be accomplished by any of the following alternatives to the above requirement (consult with the Fire Department for the best option):</p> <p>Alternative #1: Curbs shall be painted red along the entire distance of the fire department access. Minimum 4" white letters stating "NO PARKING-FIRE LANE" shall be stenciled on the curb at 25-foot intervals.</p> <p>Alternative #2: Asphalt shall be striped yellow or red along the entire distance of the fire department access. The stripes shall be at least 6" wide, be a minimum 24" apart, be placed at a minimum 30-60 degree angle to the perimeter stripes, and run parallel to each other. Letters stating "NO PARKING-FIRE LANE" shall be stenciled on the asphalt at 25-foot intervals.</p> <p>Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths (20' wide) and clearances (13' 6" vertical) shall be maintained at all times (OFC 503.4; ORS 98.810-12).</p> <p>This restriction shall be recorded on the property deed as a requirement for future construction.</p> <p>A brochure is available on our website at:  <a href="http://www.ci.medford.or.us/Files/Fire%20Lane%20Brochure.pdf">http://www.ci.medford.or.us/Files/Fire%20Lane%20Brochure.pdf</a></p>
OFC 903	Possible code requirement for a fire sprinkler system.  Group A-3 > 12,000 sq. ft. or occupant load > 300	<p>Fire sprinkler system requirement information.</p> <p>Where a fire sprinkler system is required, it shall meet the requirements of the Oregon Fire Code and the applicable National Fire Protection Association (NFPA) Standard.</p> <p>Consult the Medford Water Commission for proper water meter sizing for fire sprinkler systems.</p>
OFC 907	Possible code requirement for a fire sprinkler system.  Group A occupant load > 300	<p>Fire alarm system requirement information.</p> <p>Where a fire alarm system is required, it shall meet the requirements of the Oregon Fire Code and the National Fire Protection Association (NFPA) 72 Standard.</p>

### Construction General Information/Requirements

Development shall comply with access and water supply requirements in accordance with the Oregon Fire Code in affect at the time of development submittal. Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (fire hydrants) is required to be installed prior to construction when combustibile material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.  
This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on information provided only.

Design and installation shall meet the Oregon requirements of the International Fire, Building, Mechanical Codes and applicable NFPA Standards.

**Medford Fire-Rescue, 200 S Ivy St. Rm 180, Medford OR 97501 541-774-2300**

**[www.medfordfirerescue.org](http://www.medfordfirerescue.org)**



## MEMORANDUM

Subject Darren Dickerhoof Pre-Application  
File no. AC-19-061  
To Dustin Severs, Planner III  
From Liz Conner, Certified Floodplain Manager *LC*  
Date October 9, 2019

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### PROJECT DESCRIPTION

Consideration of a proposal for the development of a single parcel totaling 12.5 acres—currently the Crater Lake Plaza, containing Hobby Lobby and the Ashley Home Store—consisting of the construction of two new buildings: A 7,536 square foot building to house an Advanced Auto Parts retail store, and a second 27,036 square foot building to house a 16,000 square foot Planet Fitness health club and a 11,036 square foot Party City retail store. The property is located at 3643 Crater Lake HWY in the C-R (Regional Commercial) zoning district (371W07A TL 5204).

### SITE CHARACTERISTICS

- C-R Regional Commercial zoning district
- Upton Slough
- Special Flood Hazard Area Zone A
- No Base Flood Elevations or Floodway
- FIRM panel 41029C1976F effective May 3, 2011

### FLOODPLAIN REGULATIONS

The property is currently within a mapped A zone without Base Flood Elevations. Per the National Flood Insurance Program Regulations, any development and vertical structures and utilities shall comply with 44 CFR 60.3(b).

The Medford Floodplain regulations are found in Sections 9.701-9.707 of the Municipal Code. The sections pertaining to areas of special flood hazard with Base Flood Elevations (BFE) need to be reviewed and adhered to specifically, along with other relevant sections.

A Floodplain Development Permit is required prior to development in the Special Flood Hazard Areas. Development is broadly defined and includes, but is not limited to, grading, filling, paving, and construction of buildings.

*Per Section 9.706 (C), encroachments into the SFHA shall be prohibited unless it is demonstrated that the cumulative effect of the proposed development, when combined with all other existing and anticipated development, will not increase the water-surface elevation of the base flood more than 1 foot at any point within the community.*

Future tentative plans shall identify the special flood hazard areas. Structures shall be constructed a minimum of one-foot above the BFE.

Existing and proposed grades shall be provided and the effect of this earth movement on the floodplain shall be described in a narrative.

#### Comments

Please provide a detailed study identifying the Base Flood Elevation and Floodway.

#### Floodplain Permit

Submit a floodplain development application and fee along with submittal requirements identified in Section 9.705 (C). An Elevation Certificate (EC) is required with the submittal of building permits for new commercial structures located in the special flood hazard area (one at the time of building permit submittal, one during construction, and one prior to certificate of occupancy).

Submit copies of all necessary permits from other governmental agencies from which approval is required prior to start of construction.

Construction shall be in compliance with applicable building and fire codes and floodplain regulations.

#### Expiration of Floodplain Permit

Dickerhoof Properties  
AC-19-061  
October 9, 2019

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A floodplain Development Permit shall become invalid unless work is started within 180 days after its issuance. Extensions for periods of not more than 180 days each shall be requested in writing.

## Dustin J. Severs

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**From:** HOROWITZ Micah <Micah.HOROWITZ@odot.state.or.us>  
**Sent:** Tuesday, October 15, 2019 4:37 PM  
**To:** Dustin J. Severs  
**Cc:** WANG Wei \* Michael; SCRUGGS Julee Y  
**Subject:** RE: Dickerhoof - File AC-19-061

Hi Dustin,

Wanted to follow up on our discussion of this property – please find ODOT comments below:

- Please provide a formal grading plan if available as sidewalks appear to connect to existing sidewalks on ODOT Right of Way along Hwy 62
- Any work within the ODOT Right of Way would require a Misc./Utility Permit. Please contact Julee Scruggs at [Julee.Y.SCRUGGS@odot.state.or.us](mailto:Julee.Y.SCRUGGS@odot.state.or.us) to discuss the application process.
- ODOTs Hydraulic Engineer would like to see the drainage calculations showing changes to the stormwater system
- The proposed use will not trigger a Change of Use

Please let me know if you have any questions or concerns.

Best regards,

Micah

Micah Horowitz, AICP  
Development Review Planner  
ODOT Southwestern Region  
100 Antelope Rd.  
White City, OR 97503  
541.774.6331

**From:** Dustin J. Severs  
**Sent:** Wednesday, October 2, 2019 3:15 PM  
**To:** HOROWITZ Micah  
**Subject:** RE: Dickerhoof

The public hearing is scheduled for November 1<sup>st</sup>.

**From:** HOROWITZ Micah [<mailto:Micah.HOROWITZ@odot.state.or.us>]  
**Sent:** Wednesday, October 2, 2019 3:14 PM  
**To:** Dustin J. Severs <[Dustin.Severs@cityofmedford.org](mailto:Dustin.Severs@cityofmedford.org)>  
**Subject:** RE: Dickerhoof

Thanks Dustin – what was the timeframe for taking this to Planning Commission again?

Micah

**From:** Dustin J. Severs <[Dustin.Severs@cityofmedford.org](mailto:Dustin.Severs@cityofmedford.org)>  
**Sent:** Wednesday, October 2, 2019 3:09 PM  
**To:** HOROWITZ Micah <[Micah.HOROWITZ@odot.state.or.us](mailto:Micah.HOROWITZ@odot.state.or.us)>  
**Subject:** Dickerhoof

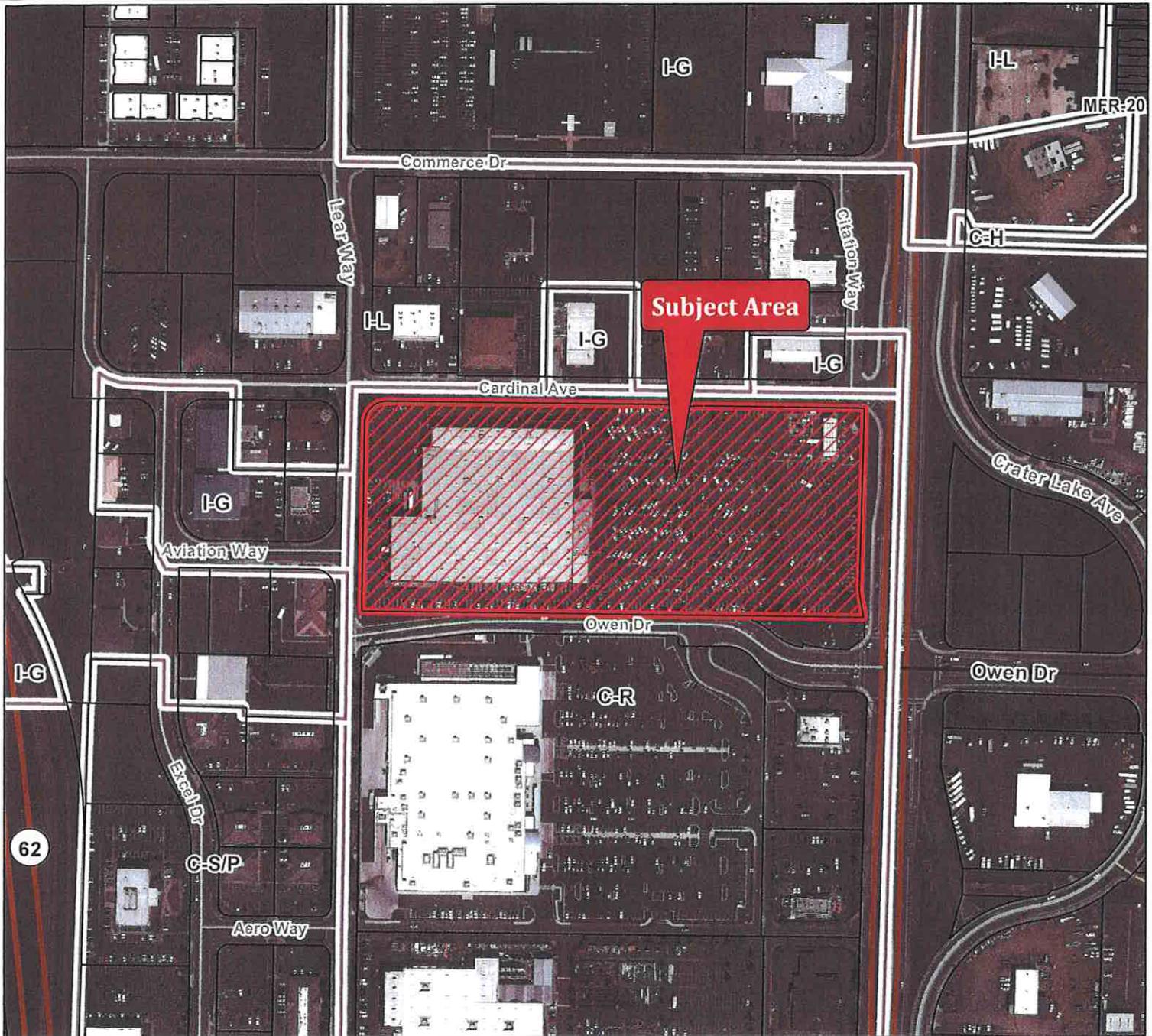
I actually realized that I had your contact too. Attached is the Grading and Drainage Plan they submitted. Again, it's very conceptual at this phase. They should have to submit the calcs when they apply for their building permit.

CITY OF MEDFORD  
EXHIBIT #   P    
FILE # AC-19-061



*Dustin Severs, Planner III*

City of Medford – Planning Department  
200 South Ivy Street, Lausmann Annex  
Medford, OR 98501 Phone: 541-774-2389



Project Name:

### Dickerhoof Properties

Map/Taxlot:

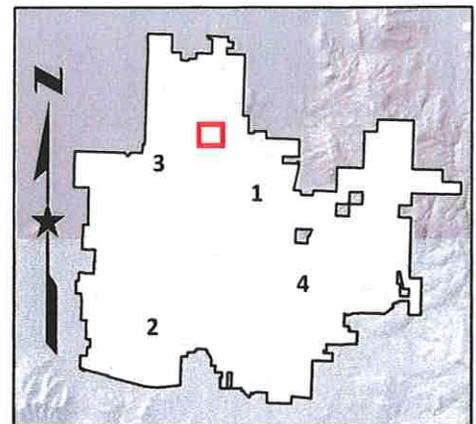
**371W07A TL 5204**



### Legend

-  Subject Area
-  Tax Lots
-  Zoning Districts

08/20/2019





## STAFF REPORT – EXTENSION OF TIME

**Project** Pacific Truck, Trailer & Equipment  
Applicant: Mike Hilton; Agent: Douglas Day

**File no.** E-17-138

**To** Site Plan and Architectural Commission *for 11/01/2019 hearing*

**From** Steffen Roennfeldt, Planner III

**Date** October 23, 2019

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### Request

Consideration of request for a one-year time extension of the approval of an Exception to the General Design Requirements for Parking, specifically the requirement that all parking, loading, and vehicle maneuvering areas shall be paved and improved, at a Heavy Equipment Sales Lot located at 4866 Helo Drive in the I-H (Heavy Industrial) zoning district (371W06AB300 & 301).

### Background

The Site Plan and Architectural Commission adopted the Final Order granting approval of the project on January 19, 2018. The applicant is requesting an extension of time as allowed under Medford Land Development Code (MLDC) Section 10.200(G).

### Project Review

Per MLDC Section 10.200(G), extensions shall be based on findings that the facts upon which the application was first approved have not changed to an extent sufficient to warrant refile of the application. It can be found that neither the circumstances of approval nor applicable site development standards have changed to a degree that warrants refile of the application. This is the only extension allowed under the Medford Land Development Code.

### Recommended Action

Approve the one-year time extension to January 19, 2021 for E-17-138 per the Staff Report dated October 23, 2019.

**EXHIBITS**

- A E-Mail requesting extension, received October 16, 2019
- B Approved Site Plan, dated November 15, 2017  
Vicinity Map

**Steffen K. Roennfeldt**

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**From:** Douglas Day <dougwday2@gmail.com>  
**Sent:** Wednesday, October 16, 2019 4:46 PM  
**To:** Steffen K. Roennfeldt  
**Cc:** Kelly Evans  
**Subject:** Request for Extension File No, E-17-138

<EXTERNAL EMAIL>

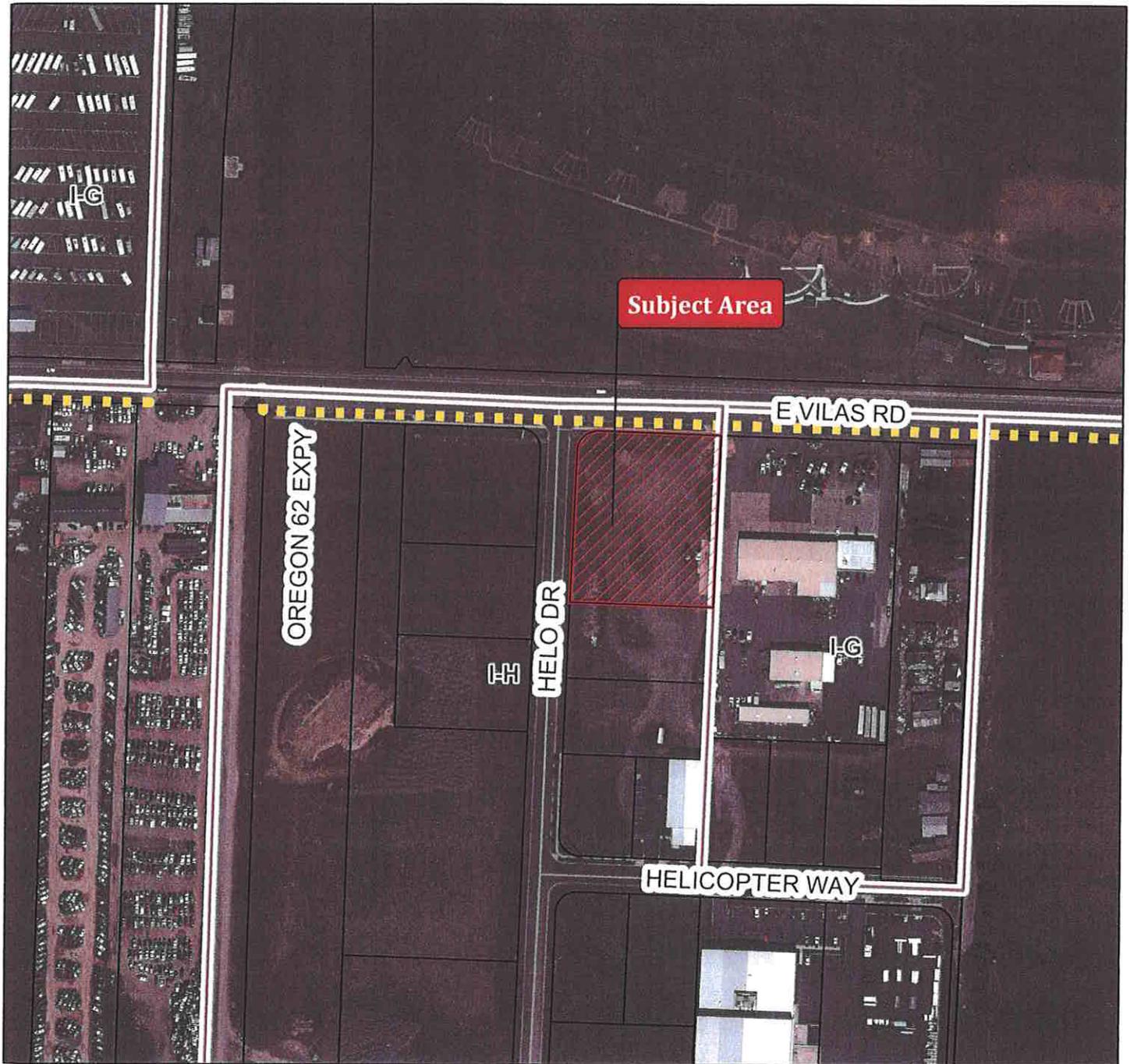
Please grant Vilas Truck & Trailer Sales, LLC (previously named Pacific Truck, Trailer, & Equipment LLC) located at 4866 Helo Drive, Central Point, OR. 97502 a one year extension as described in the Notice of Site Plan and Architectural Commission Action, File NO. E-17-138, decision date: January 19, 2018.

Thank you,

Douglas W Day, Agent  
592 Parsons Drive, Suite 102  
Medford, OR. 97501

CITY OF MEDFORD  
EXHIBIT # A  
File # E-17-138  
EXTENS. 014



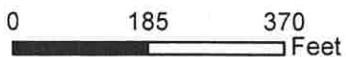


Project Name:

**Pacific Truck, Trailer & Equipment  
Paved Parking Exception**

Map/Taxlot:

**371W06AB TL 300**



11/14/2017

**Legend**

-  Subject Area
-  Medford Zoning
-  Tax Lots

