

# SITE PLAN & ARCHITECTURAL COMMISSION AGENDA NOVEMBER 4, 2016



## Commission Members

Jeff Bender, Chair

Jim Quinn, Vice Chair

Jim Catt

Bill Chmelir

Tim D'Alessandro

Bob Neathamer

Marcy Pierce

Curtis Turner

Rick Whitlock

City Council Liaison - Dick Gordon

City Council Liaison Alt. - Eli Matthews

Regular Commission meetings are held on  
the first and third Fridays of every month

Beginning at 12:00 Noon

## City of Medford

Council Chambers,

Third Floor, City Hall

411 W. 8th Street

Medford, OR 97501

(541) 774-2380



## Site Plan and Architectural Commission

# Agenda

### Public Hearing

November 4, 2016

12:00 noon

Council Chambers, City Hall, Room 300  
411 West Eighth Street, Medford, Oregon

- 
10. Roll Call.
  20. Consent Calendar.
  - 20.1 AC-16-102 Final Order for the development of a storage unit facility consisting of 157,060 square feet of storage buildings, and 3,874 square feet for proposed office space with a caretaker's residence, on 6.39 acres located at 4843 Helo Drive within the Heavy Industrial (I-H) zoning district. (Jim/Jodi Salyer, Applicants; Douglas Day, Agent).
  30. Minutes.
  - 30.1 Consideration for approval of minutes from the October 21, 2016, meeting.
  40. Oral and Written Requests and Communications.  
Comments will be limited to 3 minutes per individual or 5 minutes if representing a group or organization. **PLEASE SIGN IN.**
  50. Public Hearings – New Business.  
Comments are limited to a total of 10 minutes for applicants and/or their representatives. You may request a 5-minute rebuttal time. All others will be limited to 3 minutes per individual or 5 minutes if representing a group or organization. **PLEASE SIGN IN.**
  - 50.1 AC-16-095 / E-16-120 Consideration of Orchard Glen Estates Phase 3, a proposed 57-unit multi-family development composed of five three story buildings, along with an Exception requesting a right-of-way reduction, on 2.02 gross acres located at 2686 West Main in the C-H (Heavy Commercial) zoning district. (Orchard Glen Estates, LLC, Applicant; Dennis Hoffbuhr, Agent).
  - 50.2 AC-16-108 Consideration of plans for the development of a 37,721 square foot, single-story, 40-unit memory care facility located on a 7.9 acre property west of the terminus of Misty Lane, west of the terminus of Honor Drive, and north and east of the intersection of Village Center Drive and Meadow View Drive, within the Rogue Valley Manor. The subject site is located in a SFR-4 /PD (Single Family Residential, four dwelling units per gross acre with Planned Unit Development Overlay) zoning district. (Chris Dalengas, Applicant; John Tamminga, Agent).
  60. Written Communications. None
  70. Unfinished Business. None
  80. New Business.
  90. Report from the Planning Department.
  100. Messages and Papers from the Chair.
  110. Propositions and Remarks from the Commission.

**120. City Council Comments.**

**130. Adjournment.**

BEFORE THE MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

STATE OF OREGON, CITY OF MEDFORD

IN THE MATTER OF SITE PLAN AND ARCHITECTURAL COMMISSION )  
FILE AC-16-102 APPLICATION FOR PROJECT REVIEW SUBMITTED ) ORDER  
BY JIM/JODI SALYER )

AN ORDER granting approval of plans for the development of a storage unit facility consisting of 157,060 square feet of storage buildings, and 3,874 square feet for proposed office space with a caretaker's residence, on 6.39 acres located at 4843 Helo Drive within the Heavy Industrial (I-H) zoning district.

WHEREAS:

1. The Site Plan and Architectural Commission has duly accepted the application filed in accordance with the Land Development Code, Section 10.285.
2. The Site Plan and Architectural Commission has duly held a public hearing on the matter of an application of plans for the development of a storage unit facility consisting of 157,060 square feet of storage buildings, and 3,874 square feet for proposed office space with a caretaker's residence, on 6.39 acres located at 4843 Helo Drive within the Heavy Industrial (I-H) zoning district, with a public hearing a matter of record of the Site Plan and Architectural Commission on October 21, 2016.
3. At the public hearing on said application, evidence and recommendations were received and presented by the Planning Department staff; and
4. At the conclusion of said public hearing, after consideration and discussion, the Site Plan and Architectural Commission, upon a motion duly seconded, granted approval and directed staff to prepare a final order with all conditions and findings set forth for the granting of approval.

THEREFORE LET IT BE HEREBY ORDERED that the application of Jim and Jodi Salyer, stands approved subject to compliance with the conditions stated in the Commission Report dated October 21, 2016.

AND LET IT FURTHER BE OF RECORD that the action of the Site Plan and Architectural Commission approving this application is hereafter supported by the following findings:

- (a) That the proposed development, with the conditions of approval, complies with the applicable provisions of all city ordinances as determined by the staff review.

FINAL ORDER AC-16-102

(b) That the proposed development is compatible with uses and development that exist on adjacent land, based upon information provided in the Applicant's Questionnaire and presented at the public hearing.

BASED UPON THE ABOVE, it is the finding of the Medford Site Plan and Architectural Commission that the project is in compliance with the criteria of Section 10.290 of the Land Development Code.

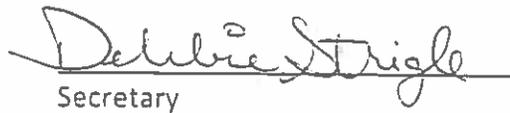
Accepted and approved this 4<sup>th</sup> day of November, 2016.

MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

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Site Plan and Architectural Commission Chair

ATTEST:

  
Secretary



## COMMISSION REPORT

for a Type-C quasi-judicial decision: **Site Plan and Architectural Review**

PROJECT Vilas Storage  
Applicant: Jim & Jodi Salyer; Agent: Douglas Day

FILE NO. AC-16-102

DATE October 21, 2016

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### BACKGROUND

#### Proposal

Consideration of plans for the development of a storage unit facility consisting of 157,060 square feet of storage buildings, and 3,874 square feet for proposed office space with a caretaker's residence, on 6.39 acres located at 4843 Helo Drive within the Heavy Industrial (I-H) zoning district (371W06AB TL 312).

#### Subject Site Characteristics

Zoning: Heavy Industrial (I-H)  
GLUP: Heavy Industrial (HI)  
Overlay(s): Airport Area of Concern (A-C)  
Airport Radar (A-R)  
Use: Vacant

#### Surrounding Site Characteristics

*North* Zone: I-H  
Use(s): Medford Gun Club

*South* Zone: I-H  
Use(s): Airport tower, vacant land

*East* Zone: I-H  
Use(s): TEC Equipment, Inc., Ferguson Plumbing, Mitchell Window and Door.

*West* Zone: I-H  
Use(s): Oregon Department of Transportation property, Action Auto Parts.

### Related Projects

- LDS-02-060 Tentative Plat - Hover Heights Industrial Park  
LDS-04-08 Tentative Plat revision – Hover Heights Industrial Park  
AC-07-251 Vilas Road Mini Storage (voided April 26, 2008)

### Applicable Criteria

MLDC Section: 10.290 – Site Plan & Architectural Review Criteria

*The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:*

- (1) The proposed development is compatible with uses and developments that exist on adjacent land; and*
- (2) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

## **ISSUES AND ANALYSIS**

### Background

The subject site is located within the Hover Heights Industrial Park, and currently consists of four tax lots totaling 6.39 acres. The applicant is proposing the development of a mini-storage facility, along with a two-story stick frame building which will include office space on the ground floor and a manager's apartment on the second floor.

This development was originally proposed by the applicant in October 2007; however, the application eventually expired (April 2008) due to the project being indefinitely postponed as a result of ODOT's planned expansion of the HWY 62 corridor which abuts the subject site to the west. The application was never deemed complete and, therefore, never reviewed by SPAC or any other approval authority.

With the site's conflict with the ODOT's planned expansion now resolved, the applicant has resubmitted the application for SPAC review. The development is proposed to be constructed in two phases (phases 1, 2, and 3 as shown on the plans to be combined into phase 1), and the applicant is requesting the full five year approval period for construction pursuant to MLDC 10.292(2) (Exhibit R).

### Lot line adjustments

The applicant is proposing to adjust the shared lot lines between the five adjoining tax lots within the subject site (Exhibit I). If approved, three vacant lots will remain within the subject

site which will not be a part of the proposed development, and will be available for future independent development.

As a condition of approval, the applicant will be required to gain approval for the proposed lot line adjustment prior to the issuance of a building permit. Lot line adjustments are authorized administratively through staff, and do not require a public hearing process.

#### Caretaker's residence

The applicant is proposing a caretaker's residence as part of the 3,874 square foot office building.

MLDC Section 10.835, states the following:

*One single-family residence for a caretaker, owner, operator, manager, or security guard is allowed for any industrial use for purposes of security and protection of the principle use.*

It can be found that the request is consistent with the Code, as the subject site is an industrial use. The applicant will be required to meet all applicable provisions for a dwelling unit per the State of Oregon Building Code in order to be issued a building permit for the proposed use.

#### Transit Facilities

MLDC Section 10.807 specifies that industrial development in excess of 120,000 square feet shall provide transit improvements, and the transit provider is to identify the types of facilities required.

Consistent with aforesaid Code section, staff forwarded the application to the Rogue Valley Transit District (RVTD), and they are not requesting any additional transit facilities for the proposed development (Exhibit P).

#### Airport

The subject site is located within the Airport Area of Concern Overlay District (A-C), and the Airport Radar Overlay District (A-R). Consistent with MLDC 10.355, staff has forwarded the application to the Federal Aviation Administration (FAA) and the Oregon Department of Aviation (ODA) for review as referral agencies. In the email received by staff (Exhibit N), ODA reported that the proposed use is not considered a hazard to air navigation. The applicant states in the submitted questionnaire that an application with the FAA has been submitted for approval.

#### Architecture

In regards to the design of the proposed office building, the applicant's submitted questionnaire (Exhibit J) states the following:

*The proposed office building will be stick framed with premanufactured trusses. The windows will be vinyl framed with a low-e double pane. The exterior walls will have stucco finish.*

Parking

**Parking Requirements**

	<b>REQUIRED</b>	<b>SHOWN</b>
<b>Total Spaces</b>	6	4
<b>Accessible Spaces</b>	1	1
<b>Van Accessible Spaces</b>	1	1
<b>Bicycle Spaces</b>	1	0

The submitted site plan identifies four spaces, including one accessible space, to serve the proposed office building, consistent with the Code. However, two additional parking spaces are required for a manager’s residence in a mini-storage facility, rendering the submitted site plan deficient two parking spaces. Additionally, the parking spaces identified on the site plan do not delineate the dimensions showing compliance with the standards provided in MLDC 10.743. As a condition of approval, the applicant will be required to submit a revised site plan showing two additional parking spaces and the length and width of the parking spaces, including the adjacent access aisle, consistent with the dimensional requirements outlined in MLDC 10.743.

As stated in the submitted narrative (Exhibit J), pursuant to MLDC 10.751, the applicant is requesting relief from providing bicycle parking. Relief for this specific use is provided in the Code.

MLDC 10.751 states the following:

*The approving authority may allow exceptions to the bicycle parking standards in connection with temporary uses or uses that do not generate the need for bicyclists parking such as Christmas tree sales and mini-storage units.*

Landscaping

**Frontage Landscaping Requirements**

	<b>Helo Drive</b>		<b>E Vilas Road</b>	
	<b>Required</b>	<b>Shown</b>	<b>Required</b>	<b>Shown</b>
<b>Minimum trees</b>	12	12+	2	2+
<b>Minimum shrubs</b>	60	60+	11	11+

It can be found that the submitted Landscape Plan (Exhibit D) meets and/or exceeds the frontage landscaping requirements per MLDC 10.797.

### Concealments

The submitted site plan and architectural plan show the proposed trash receptacle and Heating, Ventilation, Air Conditioning (HVAC) unit concealed consistent with the requirements of MLDC 10.781.

### Dedications

Per the Public Works staff report (Exhibit K), there is currently a 15 foot Public Utility Easement along the frontages of both E Vilas Road and Helo Drive that were originally dedicated with the final plat for the Hover Heights Industrial Park. No additional right-of-way is required of either street.

### Public Improvements

Per the agency comments submitted to staff (Exhibits K-M), along with the report submitted by the Rogue Valley Sewer Services (RVSS) (Exhibit O), it can be found that there are adequate facilities to serve the proposed development.

### Committee Comments

No comments were received from committees such as BPAC.

## DECISION

The Commission unanimously approved the application with the addition of two conditions and one Exhibit as recommended by staff. During the presentation, staff explained that the condition requiring the applicant to gain approval of the proposed lot line adjustment prior to the issuance of a building permit for vertical construction, as stated in the submitted staff report, was incidentally omitted as a condition of approval. The Commission approved the inclusion of the additional condition as condition #6 to the Conditions of Approval (Exhibit A-1). Additionally, the Commission included as condition #7 that the applicant submits FFA approval of the application. Staff also included an email from ODOT that was received after the staff report was submitted, adding the correspondence to the record as Exhibit S.

At the advisement of the Commission's legal counsel, the Commission specifically addressed the applicant's request to be granted relief from meeting the requisite bicycle parking spaces as outlined per the code in their motion. The Commission affirmed staff's recommendation supporting the applicant's request for relief from providing one bicycle parking space for the proposed development, as it was staff's view that the proposed use did not generate the need for bicycle parking and that relief could be granted in keeping with the purpose and intent of the ordinance.

## **FINDINGS AND CONCLUSIONS**

Staff has reviewed the applicant's findings and conclusions (Exhibit J) and recommends the Commission adopt the findings as submitted.

## **ACTION TAKEN**

Adopted the findings as recommended by staff, and directed staff to draft the Final Order of AC-16-102 per the staff report dated October 14, 2016, including Exhibits A through S.

## **EXHIBITS**

- A-1 Conditions of Approval drafted October 25, 2016.**
- B Site Plan received August 9, 2016.**
- C Drainage Detention & Treatment Plan received August 9, 2016.**
- D Landscape Plan received August 9, 2016.**
- E Elevation Plans (storage units) (1-11) received August 9, 2016.**
- F Floor Plans (storage unit building F) received August 9, 2016.**
- G Elevation Plans (office building) (1-2) received August 9, 2016.**
- H Floor Plans (office building) (1-2) received August 9, 2016.**
- I Proposed lot line adjustments plan received August 9, 2016.**
- J Applicant's Narrative, Questionnaire, and Findings of Fact received July 8, 2016.**
- K Public Works staff report received October 13, 2016.**
- L Medford Water Commission memorandum received September 21, 2016.**
- M Medford Fire Department report received September 21, 2016.**
- N Oregon Department of Aviation (ODA) email received September 20, 2016.**
- O Rogue Valley Sewer Services (RVSS) report received September 19, 2016.**
- P Rogue Valley Transit District (RVTD) email received October 6, 2016.**
- Q Survey map received August 9, 2016.**
- R Email from agent requesting 5 year phasing received October 6, 2016.**
- S Email from the Oregon Department of Transportation received October 18, 2016.**  
Vicinity map

## **SITE PLAN AND ARCHITECTURAL COMMISSION**

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Jeff Bender, Chair

**SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:**

**October 21, 2016**  
**November 4, 2016**

**EXHIBIT A-1**

Vilas Storage  
AC-16-102  
Conditions of Approval  
October 25, 2016

**CODE REQUIRED CONDITIONS**

Prior to the issuance of the first building permit for vertical construction, the applicant shall:

1. Comply with all conditions stipulated by Medford Public Works Department (Exhibit K).
2. Comply with all conditions stipulated by the Medford Water Commission (Exhibit L).
3. Comply with all requirements of the Medford Fire Department (Exhibit M).
4. Comply with all conditions of the Rogue Valley Sewer Service (RVSS (Exhibit O).
5. Submit a revised site plan delineating the dimensions of the parking spaces identified on the site plan consistent with the requirements of the Code.
6. **Gain approval for the proposed lot line adjustment prior to the issuance of a building permit.**
7. **Submit FAA approval of the application and its use prior to the issuance of a building permit. The applicant shall comply with any FAA conditions imposed.**

## Dustin J. Severs

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**From:** MOREHOUSE Donald <Donald.MOREHOUSE@odot.state.or.us>  
**Sent:** Tuesday, October 18, 2016 1:25 PM  
**To:** Dustin J. Severs  
**Cc:** Douglas Day (dougwday2@gmail.com); HARSHMAN Cathaleen A \* Cathy; ELANDT Virginia; GRIFFIN Jeremiah M; MARMON Jerry; WANG Wei \* Michael; Karl H. MacNair  
**Subject:** AC-16-102  
**Attachments:** TDIwithStorage.pdf

Hi Dustin,

Thank you for sending agency notice of a consideration of plans for the development of a storage unit facility consisting of 157,060 square feet of storage buildings, and 3,874 square feet for proposed office space with a caretaker's residence, on 6.39 acres located at 4843 Helo Drive, within the Heavy Industrial (I-H) zoning district. 371W06AB, TL 312). We reviewed this and determined that it would not significantly affect transportation facilities under the State Transportation Planning Rule (OAR 660-012-0060) or Access Management Rule (OAR 734-051-000). Our general comment about this application are as follows:

- This proposed development lies within the ODOT OR 62: Corridor Solutions Unit II Phase II Project. Please contact Richard Randleman (Project Leader) at 541-864-8828 for any project related information.
- An Interchange Area Management Plan (IAMP) is currently being developed for a planned interchange at the future OR 62 bypass and Vilas Road. Please have the property owner contact Project Planner, Virginia Elandt at 541-957-3635 to obtain information about the IAMP and how it may affect this proposed storage unit facility in the future. I have attached a graphic that depicts where the future interchange would likely be built and how it would impact access off Vilas to the Helo Drive location with a 1,250 interchange ramp access spacing standard.

I plan to attend the City of Medford SPAC hearing this Friday to reiterate the points I've made above and to answer any questions that come up, thanks.

**Don Morehouse**  
**Senior Transportation Planner**  
**ODOT Region 3, District 8 (Rogue Valley Tech Center)**  
**Ph: (541) 774-6399**  
**Fax: (541) 774-6349**  
**Donald.Morehouse@odot.state.or.us**

CITY OF MEDFORD  
EXHIBIT # S 1.3f 2  
File # AC-16-102





# Site Plan and Architectural Commission Minutes

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From Public Hearing on October 21, 2016

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The regular meeting of the Site Plan and Architectural Commission was called to order at noon in the Council Chambers on the above date with the following members and staff in attendance:

**Commissioners Present**

Jeff Bender, Chair  
Jim Catt  
Bill Chmelir  
Tim D'Alessandro  
Bob Neathamer  
Marcy Pierce  
Curtis Turner  
Rick Whitlock  
Dick Gordon, City Council Liaison

**Staff Present**

Kelly Akin, Interim Planning Director  
Eric Mitton, Senior Assistant City Attorney  
Doug Burroughs, Public Works/Eng Development Services Manager  
Karl MacNair, Transportation Manager  
Dustin Severs, Planner II  
Debbie Strigle, Recording Secretary

**Commissioners Absent**

Jim Quinn, Vice Chair

10. **Roll Call.**

20. **Consent Calendar/Written Communications.**

20.1 AC-16-086 Final Order for the construction of a 3,777 square foot two story multiple-family building consisting of five dwelling units on 0.28 gross acres located at 105 Tripp St. within the MFR-20 (Multiple Family Residential, 20 dwelling units per gross acre) zoning district. (Gary Caperna, Applicant)

Commissioner Neathamer declared a potential conflict of interest and recused himself. He explained his office had been asked to provide a boundary survey for this project.

**Motion:** Adopt the consent calendar.

**Moved by:** Commissioner Neathamer

**Seconded by:** Commissioner Whitlock

**Roll Call Vote:** Motion passed, 7-0.

30. **Minutes.**

30.1 The minutes for the October 7, 2016, meeting, were approved as submitted.

40. **Oral and Written Requests and Communications.** None.

50. **Public Hearings.**

Eric Mitton, Senior Assistant City Attorney, read the rules governing the public hearings.

New Business.

50.1 AC-16-102 Consideration of plans for the development of a storage unit facility consisting of 157,060 square feet of storage buildings, and 3,874 square feet for proposed office space with a caretaker's residence, on 6.39 acres located at 4843 Helo Drive within the Heavy Industrial (I-H) zoning district. (Jim/Jodi Salyer, Applicants; Douglas Day, Agent).

Chair Bender asked for any potential conflicts of interest or ex-parte communications. There were none.

Dustin Severs, Planner II, gave a PowerPoint presentation of the October 14, 2016, Staff Report. He stated that the Oregon Department of Transportation (ODOT) had recently submitted an email and it is labeled as Exhibit S. Mr. Severs also pointed out a typographical error on page 2 of the staff report under "Background". It says "four" tax lots and it should read "five" tax lots. This will be corrected in the Commission Report. Staff recommended approval.

Commissioner Whitlock wanted to know if it would be prudent to have an additional condition requiring approval from the Federal Aviation Administration (FAA). Mr. Severs replied staff had not received comments back from the FAA so felt it could be suitable to include it as a condition.

The public hearing was opened and the following testimony was given:

a) Douglas Day, agent for the applicant, said they had submitted an application to the FAA and had received comments back. These comments will be submitted to the Planning Department as part of the record. He spoke to the ODOT issue and said they have been waiting since 2007 to begin this project and now they want to move forward. As far as ODOT's future plan to develop an interchange at this location, it could take years or never happen at all.

Commissioner Whitlock asked what the response was from the FAA. Mr. Day answered that the FAA had no problems with the project.

The public hearing was closed.

Motion: Adopt the findings as recommended by staff and direct staff to prepare the Final Order of AC-16-102 per the staff report dated October 14, 2016, including Exhibits A through S, and adding the following:

- Commission grants the exception to the bicycle parking standards pursuant to MLDC §10.751
- Condition #6: Require the applicant to gain approval for the proposed five lot line adjustment prior to issuance of a building permit
- Condition #7: Require the applicant to submit FAA approval of the application and its use
- Applicant to agree to comply with any FAA conditions imposed

Moved by: Commissioner Whitlock

Seconded by: Commissioner Neathamer

Commissioner Whitlock commented that although ODOT submitted a letter indicating they had concerns about future plans that may interfere with this development, he felt it was appropriate to act on this application as presented and not consider speculative actions such as the possible interchange ODOT could be proposing at the future OR 62 bypass and Vilas Road.

Roll Call Vote: Motion passed, 8-0

60. Written Communications. None.

70. Unfinished Business. None.

80. New Business. None.

90. Report from the Planning Department.

90.1 Ms. Akin stated there is business scheduled for the November 4, 2016, meeting. There is no business scheduled for the November 18, 2016, meeting.

90.2 Ms. Akin stated at City Council there had been a street vacation initiation for part of the Cedar Landing project. There is no planning business scheduled for the next City Council meeting on November 3, 2016.

90.3 Ms. Akin announced that Desmond McGeough, Planner III, had resigned and would be moving to Minnesota.

100. Messages and Papers from the Chair. None.

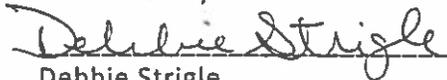
110. Propositions and Remarks from the Commission. None.

120. City Council Comments. None.

130. Adjournment

130.1 The meeting was adjourned at approximately 12:30 p.m. The proceedings of this meeting were digitally recorded and are filed in the City Recorder's office.

Submitted by:



Debbie Strigle  
Recording Secretary

\_\_\_\_\_  
Jeff Bender

Site Plan and Architectural Commission Chair

Approved: November 4, 2016

**BEFORE THE MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION**

**STATE OF OREGON, CITY OF MEDFORD**

IN THE MATTER OF SITE PLAN AND ARCHITECTURAL COMMISSION )  
FILE AC-16-095 APPLICATION FOR PROJECT REVIEW SUBMITTED ) **ORDER**  
BY ORCHARD GLEN ESTATES LLC )

AN ORDER granting approval of Orchard Glen Estates Phase 3, a proposed 57-unit multi-family development composed of five three story buildings, along with an Exception requesting a right-of-way reduction, on 2.02 gross acres located at 2686 West Main in the C-H (Heavy Commercial) zoning district.

WHEREAS:

1. The Site Plan and Architectural Commission has duly accepted the application filed in accordance with the Land Development Code, Section 10.285.
2. The Site Plan and Architectural Commission has duly held a public hearing on the matter of an application of Orchard Glen Estates Phase 3, a proposed 57-unit multi-family development composed of five three story buildings, along with an Exception requesting a right-of-way reduction, on 2.02 gross acres located at 2686 West Main in the C-H (Heavy Commercial) zoning district, with a public hearing a matter of record of the Site Plan and Architectural Commission on November 4, 2016.
3. At the public hearing on said application, evidence and recommendations were received and presented by the Planning Department staff; and
4. At the conclusion of said public hearing, after consideration and discussion, the Site Plan and Architectural Commission, upon a motion duly seconded, granted approval and directed staff to prepare a final order with all conditions and findings set forth for the granting of approval.

THEREFORE LET IT BE HEREBY ORDERED that the application of Orchard Glen Estates LLC, stands approved subject to compliance with the conditions stated in the Staff Report dated October 28, 2016.

AND LET IT FURTHER BE OF RECORD that the action of the Site Plan and Architectural Commission approving this application is hereafter supported by the following findings:

- (a) That the proposed development, with the conditions of approval, complies with the applicable provisions of all city ordinances as determined by the staff review.

**FINAL ORDER AC-16-095**

(b) That the proposed development is compatible with uses and development that exist on adjacent land, based upon information provided in the Applicant's Questionnaire and presented at the public hearing.

BASED UPON THE ABOVE, it is the finding of the Medford Site Plan and Architectural Commission that the project is in compliance with the criteria of Section 10.290 of the Land Development Code.

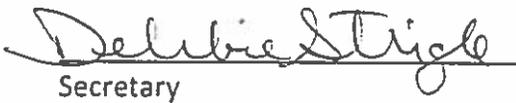
Accepted and approved this 4<sup>th</sup> day of November, 2016.

MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

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Site Plan and Architectural Commission Chair

ATTEST:

  
Secretary

BEFORE THE SITE PLAN AND ARCHITECTURAL COMMISSION

STATE OF OREGON, CITY OF MEDFORD

IN THE MATTER OF APPROVAL OF AN EXCEPTION FOR )  
 )  
ORCHARD GLEN ESTATES LLC [E-16-120] ) **ORDER**

ORDER granting approval of Orchard Glen Estates Phase 3, a proposed 57-unit multi-family development composed of five three story buildings, along with an Exception requesting a right-of-way reduction, on 2.02 gross acres located at 2686 West Main in the C-H (Heavy Commercial) zoning district.

WHEREAS:

1. The Site Plan and Architectural Commission has duly accepted the application filed in accordance with the Medford Land Development Code, Sections 10.211 and 10.252; and
2. The Site Plan and Architectural Commission has duly held a public hearing on the request for consideration of Orchard Glen Estates Phase 3, a proposed 57-unit multi-family development composed of five three story buildings, along with an Exception requesting a right-of-way reduction, on 2.02 gross acres located at 2686 West Main in the C-H (Heavy Commercial) zoning district, with a public hearing a matter of record of the Site Plan and Architectural Commission on November 4, 2016.
3. At the public hearing on said exception, evidence and recommendations were received and presented by the Planning Department Staff; and
4. At the conclusion of said hearing, after consideration and discussion, the Site Plan and Architectural Commission, upon a motion duly seconded granted exception approval and directed staff to prepare a final order with all conditions and findings set forth for the granting of the exception approval.

THEREFORE LET IT BE HEREBY ORDERED that the exception of Orchard Glen Estates LLC, stands approved per the Staff Report dated October 28, 2016, and subject to compliance with all conditions contained therein.

AND LET IT FURTHER BE OF RECORD, that the action of the Site Plan and Architectural Commission in approving this request for exception approval is hereafter supported by the findings referenced in the Staff Report dated October 28, 2016.

BASED UPON THE ABOVE, the Site Plan and Architectural Commission determined that the exception is in conformity with the provisions of law and Section 10.253 criteria for an exception of the Land Development Code of the City of Medford.

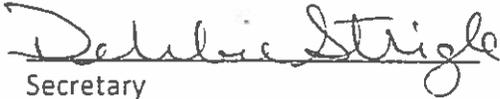
Accepted and approved this 4<sup>th</sup> day of November, 2016.

MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

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Site Plan and Architectural Commission Chair

ATTEST:

  
Secretary



**STAFF REPORT**

for a Type-C quasi-judicial decision: **Site Plan and Architectural Review**

PROJECT Orchard Glen Estates Phase 3  
 Applicant: Orchard Glen Estates, LLC; Agent: Dennis Hoffbuhr

FILE NO. AC-16-095/E-16-120

TO Site Plan and Architectural Review Commission *for November 4, 2016 hearing*

FROM Dustin Severs, Planner II

REVIEWER Kelly Akin, Principal Planner

DATE October 28, 2016

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**BACKGROUND**

Proposal

Consideration of Orchard Glen Estates Phase 3, a proposed 57-unit multi-family development composed of five three story buildings, including an Exception requesting a reduction in right-of-way dedication, on 2.02 gross acres located at 2686 West Main in the C-H (Heavy Commercial) zoning district (372W26B TL 1200).

Subject Site Characteristics

Zoning: Heavy Commercial (C-H)

GLUP: Commercial (CM)

Overlay(s): None

Use: Vacant

Surrounding Site Characteristics

*North* Zone: County Exclusive Farm Use (EFU)  
 Use(s): Bear Creek Pear Orchard

*South* Zone: C-H  
 Use(s): Bi- Mart

*East* Zone: C-H  
 Use(s): Orchard Glen Estates Phases 1 and 2  
 Single family residence (TL 1300)



- (3) *There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.*
- (4) *The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.*

## ISSUES AND ANALYSIS

### Background

Orchard Glen Estates Phases I and II were approved in 2012 with Phase I being completely built out, while Phase II is currently under construction. The applicant is now proposing to develop the subject lot, which adjoins Phases I and II to the west, as Phase III of Orchard Glen Estates. Phase III is proposed to consist of five three story multiple-family structures containing a total of 57 units. The five structures will consist of one 6-plex, one 9-plex, two 12-plex, and one 18-plex. Both three bedroom and two bedroom units are proposed to be offered with floor plans ranging from 600 to 900 square feet, and 33 of the units are proposed to have access to a single car garage.

### Right-of-way Exception

Several of the lots located along West Main Street, including the subject lot, exceed the maximum block length as required in MLDC 10.426(1). Accordingly, the site plan submitted by the applicant is required to be divided by one or more public accessways, in conformance with Sections 10.464-466 of the Code. Per the Public Works report (Exhibit I), the applicant is required to dedicate for public right-of-way sufficient width along the northerly frontage of the site to comply with the full width of a Standard Residential street, which is 63 feet.

The applicant has submitted an Exception requesting a 7 foot reduction of the public right-of-way width along the northerly frontage of the site. This would provide a 56 foot right-of-way and would eliminate the 8 foot wide planter strip along the northerly frontage. The applicant's submitted narrative explains that this request is being made in the interest of maintaining uniformity with the adjacent street being constructed to the east. The future street to the east will be located within Orchard Glen Phases I and II and is being constructed as a private street. The subject lot's proposed public street will connect to the future private street in order to continue an orderly street arrangement. Aligning the northerly curb line and the centerline of the private street being constructed to the east together with the public street proposed for the subject site necessitates a reduction of the required right-of-way width. The applicant's submitted narrative included in the Exception application proposes that this can be most aptly accomplished by eliminating the 8 foot planter strip on the north side of the proposed street.

Staff is supportive of the applicant's Exception request, as it is staff's view that there are indeed unique or exceptional circumstances which apply to this site, and that the strict application of the ordinance pertaining to right-of-way width would create a disjointed street connection with the adjoining property. Further, staff feels that this Exception can be granted in keeping with the purpose and intent of the ordinance, and that the strict application of the right-of-way in this particular instance would actually serve to the detriment of the intent and purpose of the ordinance pertaining to the *Street Circulation Design and Connectivity* Section of the MLDC, specifically Section 10.426(2)(A)(4), which states the following:

*Streets shall be constructed or extended in projections that maintain their function, provide accessibility, and continue an orderly pattern of streets and blocks.*

### Agricultural Buffering

The subject site currently shares its northerly lot line with Bear Creek Pear Orchard, abutting the site to the north and located outside of city limits within the Exclusive Farm Use (EFU) zoning district of Jackson County. Per MLDC 10.801, land proposed for urban development which abuts and has a common lot line with other land which is zoned EFU, requires agricultural buffering.

Pursuant to MLDC 10.801(C), the applicant has included an Agricultural Impact Assessment (AIA) Report (Exhibit N) with the application submittal consistent with requirements of MLDC 10.801(A-E) including a diagram showing the existing and proposed agricultural buffer serving to mitigate or minimize the adverse potential impacts associated with the proximity of the proposed development and the pear orchard.

In the submitted AIA report, it is stated that the buffer proposed to serve as spatial separation between the subject development and the existing orchard will consist of an existing double row of evergreen trees at 15-20 feet in height, along with the proposed construction of a 6 foot high chain linked security fence and a 20 foot mesh screen to assist in the mitigation of odors and drift. The existing evergreen landscaped area is located on the Bear Creek Orchard property and is irrigated and maintained by the Bear Creek Orchard. The proposed security fencing and mesh screen is proposed to be located on what is currently the shared lot line along the northerly property line of the subject site; however, on approval of the application, the two properties will be divided by a public right-of-way, placing the proposed future fence within the exclusive confines of the Bear Creek Orchard property.

It is staff's view that the requirement of the applicant to install a fence as a method to minimize or mitigate potential adverse impacts associated with the proximity of the urban and agricultural land uses, is inapplicable to the subject site.

MLDC 10.801(D)(2)(a) states the following regarding *Mitigation and Impact Management* between adjoining urban and agricultural land uses:

*(2) Mitigation - Intensive Agriculture. To minimize or mitigate the adverse potential impacts associated with the proximity of urban and agricultural land uses, the*

*following measures shall be undertaken by the developer when urban development is proposed adjacent to land which is in intensive agricultural use:*

*(a) Fencing. A wood fence, chain link fence, masonry wall, or other comparable fence, as approved by the approving authority not less than six (6) feet in height or such greater height as may be required, shall be installed at the rear or side property boundary where the urban development property adjoins and has a common property line with land zoned EFU or EA. In no case shall a fence or wall be required within a front yard area. The fence or wall used to buffer agricultural land shall comply with the regulations regarding fencing, Sections 10.731 through 10.735. Information shall be provided regarding the long term maintenance responsibility for the fence.*

The dedication of a public right-of-way between the two adjoining properties eliminates their common property line, and effectively creates a through lot, or a second street frontage along the northerly property line of the subject site, deeming the requirement of a fence inapplicable. It is staff's view that the existing evergreen trees located along the southerly lot line of Bear Creek Orchard, along with the future construction of a public street between the two properties, sufficiently addresses the buffering concerns outlined in the Code. Therefore, any contractual agreements privately pursued between the two parties to erect a fence to further serve to mitigate odors or drifts emanating from the orchard operation will be of their own prerogative and not included as a condition of approval of the application.

Pursuant to MLDC 10.801(D)(c), as a condition of approval the applicant will be required to provide staff with a deed declaration in compliance with the requirements of said Code section, and recorded with the Jackson County Clerk.

#### Architecture

The submitted Narrative and Questionnaire states the following in regards to the design of the proposed structures:

*The exterior will be Hardy Board lap siding with concrete shingles on the gables for an accent. The roof will be architectural grade composition roofing. The units are offset (to) break up the wall lines and to provide each unit with its own identity.*

Parking

**Parking Requirements**

	REQUIRED	SHOWN
<b>Total Spaces</b>	86	106
<b>Accessible Spaces</b>	4	4
<b>Van Accessible Spaces</b>	1	1
<b>Bicycle Spaces</b>	57	57

It can be found that the submitted Site Plan (Exhibit B) meets and/or exceeds the parking requirements per MLDC 10.741-10.751.

Landscaping

**Frontage Landscaping Requirements**

	West Main	
	Required	Shown
<b>Minimum trees</b>	4	4+
<b>Minimum shrubs</b>	25	25+

It can be found that the submitted Landscape Plan (Exhibit D) meets and/or exceeds the frontage landscaping requirements per MLDC 10.797.

Concealments

The submitted site plan and architectural plan show the proposed trash receptacle and Heating, Ventilation, Air Conditioning (HVAC) unit concealed consistent with the requirements of MLDC 10.781.

Public Improvements

Per the agency comments submitted to staff (Exhibits I-K), along with the report submitted by the Rogue Valley Sewer Services (RVSS) (Exhibit M), it can be found that there are adequate facilities to serve the proposed development.

Committee Comments

No comments were received from committees such as BPAC.

## **FINDINGS AND CONCLUSIONS**

Staff has reviewed the applicant's findings and conclusions (Exhibits G and H) and recommends the Commission adopt the findings as submitted.

## **RECOMMENDED ACTION**

Adopt the findings as recommended by staff and direct staff to draft the Final Order of AC-16-095/E-16-120 per the staff report dated October 28, 2016, including Exhibits A through N.

## **EXHIBITS**

- A Conditions of Approval drafted October 28, 2016.
- B Site Plan received September 23, 2016.
- C Drainage Detention & Treatment Plans (1 of 3) received July 27, 2016.
- D Landscape Plan received September 23, 2016.
- E Elevation Plans (1 of 4) received July 27, 2016.
- F Floor Plans (1 of 13) received July 27, 2016.
- G Applicant's Narrative and Questionnaire (site plan) received September 23, 2016.
- H Applicant's Narrative and Questionnaire (Exception) received September 28, 2016.
- I Public Works staff report received October 25, 2016.
- J Medford Water Commission memorandum received October 19, 2016.
- K Medford Fire Department report received October 19, 2016.
- L Rogue Valley Metropolitan Planning Organization (RVMPO) email received October 6, 2016.
- M Rogue Valley Sewer Services (RVSS) report received October 21, 2016.
- N Agricultural Impact Assessment received July 27, 2016.  
Vicinity map

**SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:**

**November 4, 2016**

**EXHIBIT A**

Orchard Glen Estates Phase 3  
AC-16-095/E-16-120  
Conditions of Approval  
October 28, 2016

**CODE REQUIRED CONDITIONS**

Prior to the issuance of the first building permit for vertical construction, the applicant shall:

1. Comply with all conditions stipulated by Medford Public Works Department (Exhibit I).
2. Comply with all conditions stipulated by the Medford Water Commission (Exhibit J).
3. Comply with all requirements of the Medford Fire Department (Exhibit K).
4. Comply with all conditions of the Rogue Valley Sewer Service (RVSS (Exhibit M).
5. Provide staff with a Deed Declaration identifying the maintenance and care responsibilities for the agricultural buffer consistent with the requirements outlined in MLDC 10.801(D)(c).

GRAPHIC SCALE:

1" = 10' 0"  
1" = 30' 0"



LEGEND

- INDICATES PROPOSED ASPHALT PAVING
- INDICATES PROPOSED BUILDING
- INDICATES PROPOSED LANDSCAPED AREAS
- INDICATES PROPOSED SIDEWALKS
- INDICATES PROPOSED TRASH ENCLOSURE

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PUBLIC STREET SECTION  
NOT TO SCALE

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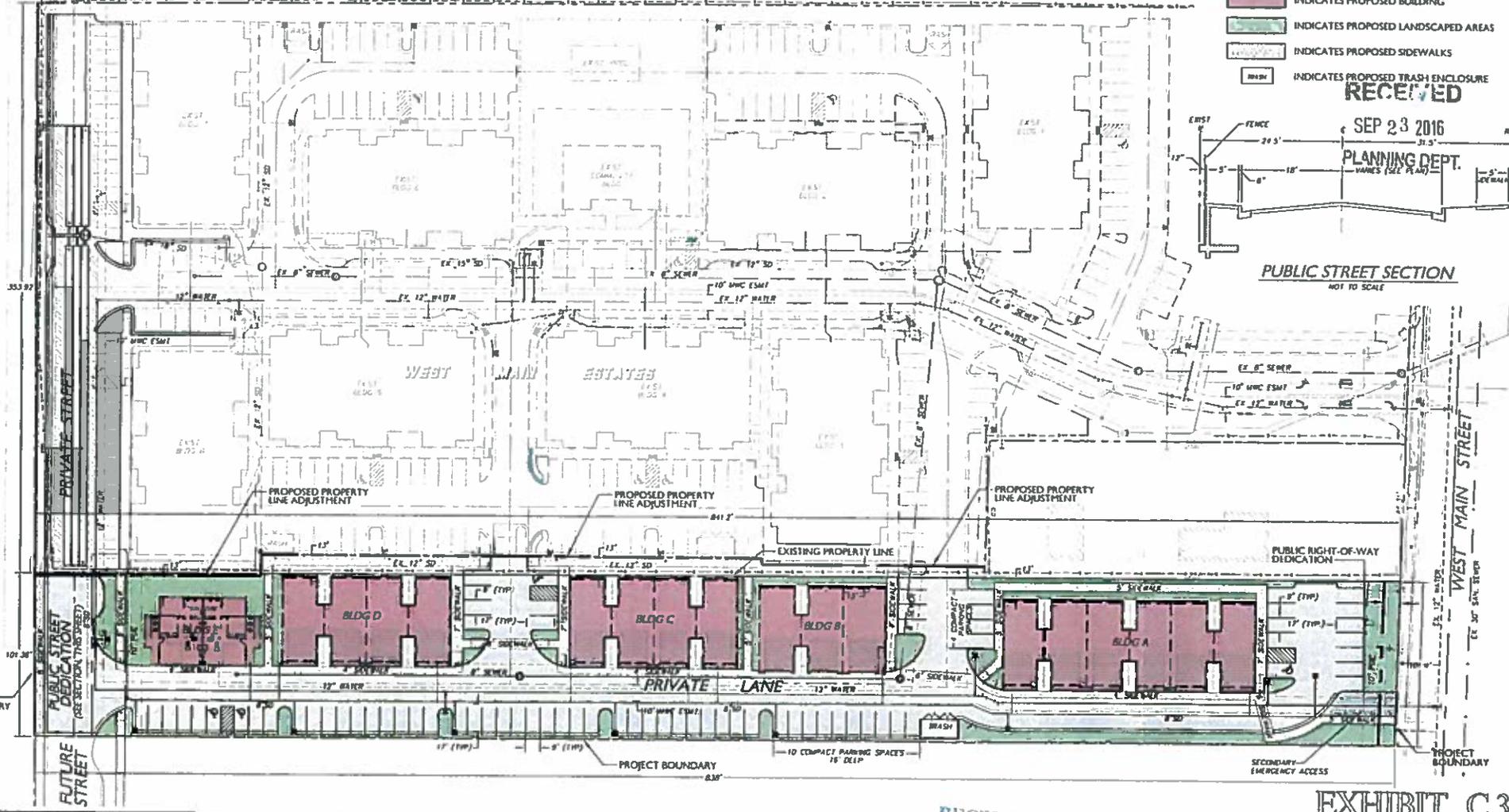


EXHIBIT C3



CITY OF MEDFORD

EXHIBIT # E-16-120



P.O. BOX 1774 - MEDFORD, OREGON 97501  
PHONE (541) 774-5260

DRAWN BY: DGC	DATE: 04/16
CHECKED BY: MHC, AMB	DATE: 04/16
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APPROVED	DATE:
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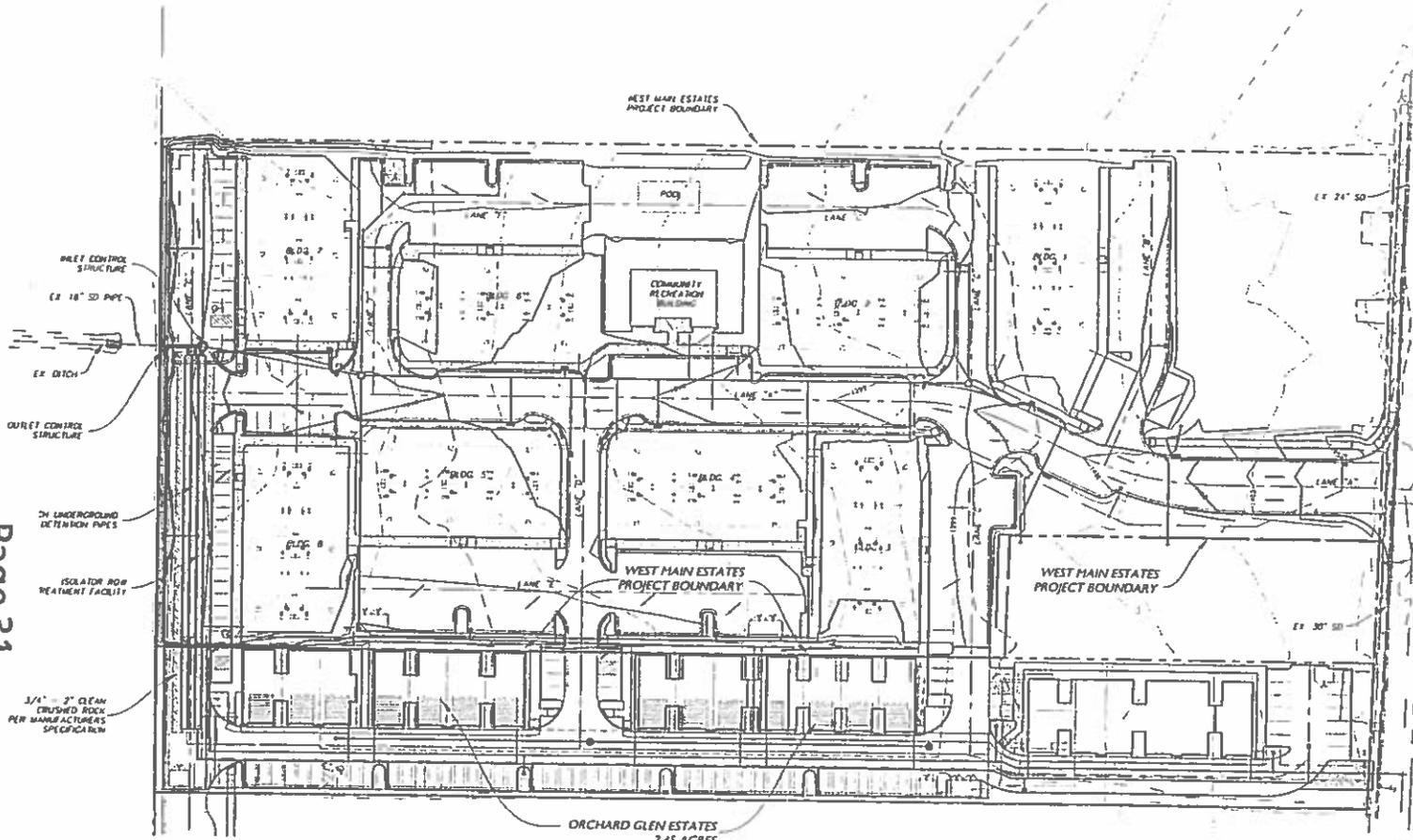
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SEP 23 2016		
PLANNING DEPT		



CONSTRUCTION ENGINEERING CONSULTANTS

ORCHARD CLOUD ESTATES PHASE 3  
EXHIBIT #  
FIG # AC-16-095

AC-16-095



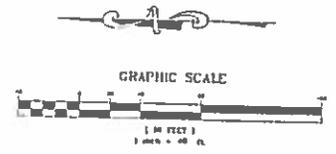
**PRIVATE DETENTION BASIN NOTES:**

- WEST MAIN ESTATES BASIN AREA = 0.40 ac
- ADJACENT PROP. TO WEST BASIN = 7.25 ac
- TOTAL DETENTION BASIN AREA = 0.85 ac
- ALLOWABLE FLOW RELEASE 1.6cfs
- SLOPE: 0.2%
- SOFT: SCH. TYPE-D
- ANTICIPATED 10YR FLOW = 13.3cfs

**PRIVATE STORM WATER QUALITY SWALE:**

- TOTAL TREATMENT AREA = 0.85 acres

- NOTES**
- STORM WATER FACILITY SIZED TO DETAIN AND TREAT ALL 0.85 ACRES
  - CONTROL STRUCTURE OFFICE TO BE SIZED TO RELEASE ONE (1) CFS TO EXISTING DITCH PER DEVELOPMENT COVENANTS DOCUMENT
  - SEE IMPACT STUDY CALCULATION SHEET



CITY OF MEDFORD  
 PERMIT # C-16-120 (1 of 3)  
 AG-16-095

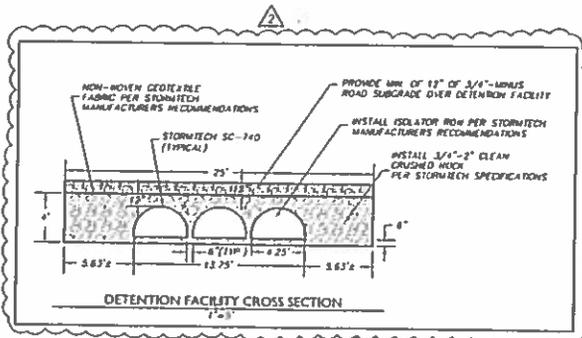
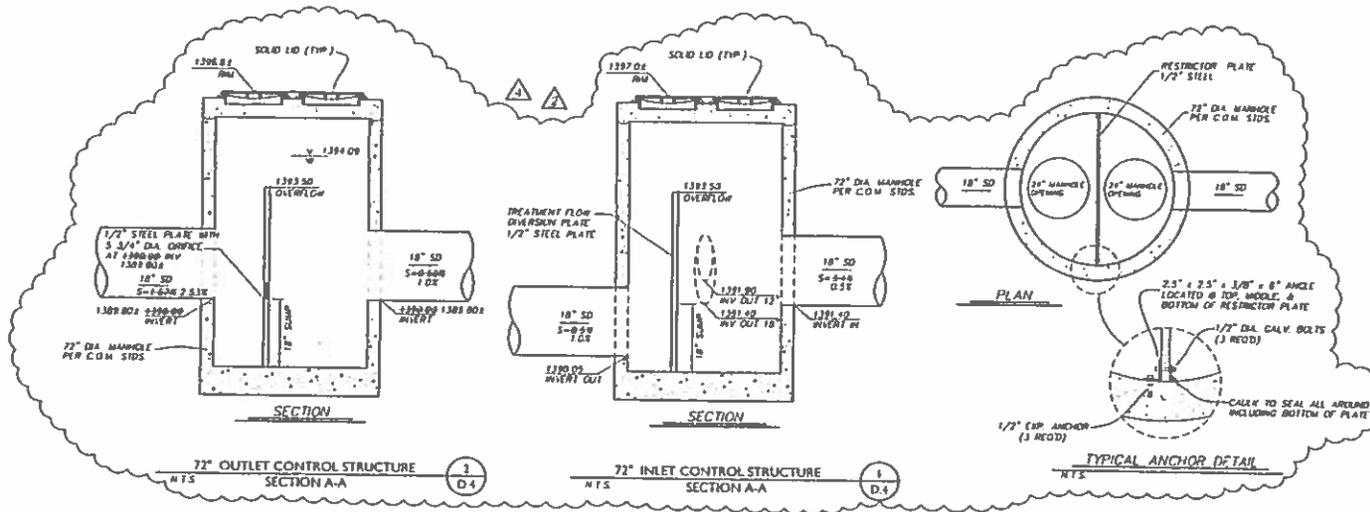
  
**CONSTRUCTION ENGINEERING CONSULTANTS**  
 P.O. BOX 1724 - MEDFORD, OREGON 97501  
 PH: (541) 770-5260 FAX: (541) 770-3132

DRAWN BY	AND BISH	DATE	4/14
CHECKED BY	AND	DATE	4/14
APPROVED		DATE	
APPROVED		DATE	
APPROVED		DATE	

NO.	REVISION	DATE	BY

CITY OF MEDFORD - ENGINEERING DEPARTMENT  
**WEST MAIN ESTATES**  
**DRAINAGE MAP**  
 PROJECT NO. \_\_\_\_\_  
 DRAWING NO. \_\_\_\_\_  
 REV. CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
 DWG. \_\_\_\_\_





P.O. BOX 1751 MEDFORD, OREGON 97501  
 PH. (541) 778-6250 FAX (541) 778-5328

DRAWN BY: MKK, TAM	DATE: 04/14
CHECKED BY: MKK, AMB	DATE: 04/14
APPROVED BY:	DATE:
APPROVED:	DATE:
APPROVED:	DATE:
APPROVED:	DATE:

NO	REVISION	DATE	BY
1	REMOVED STORM DRAIN AND DETENTION FACILITY	08/04/15	BDH
2	ADDED FUTURE NON-BY END IMPROVEMENTS	05/09/16	SDW



CONSTRUCTION ENGINEERING CONSULTANTS, INC.

WEST MAIN ESTATES  
 CIVIL IMPROVEMENTS  
 STORM WATER FACILITY  
 DETAILS

PROJECT NO.

DRAWING NO.

D.4

NAME: D:\P\PROJ\PPES\LE\TALS.dwg PLOT: 17-20 PLOT DATE: 05/20/16

CITY OF MEDFORD  
 EXHIBIT # C  
 File # E-16-120 (3 of 3)  
 AC-16-095

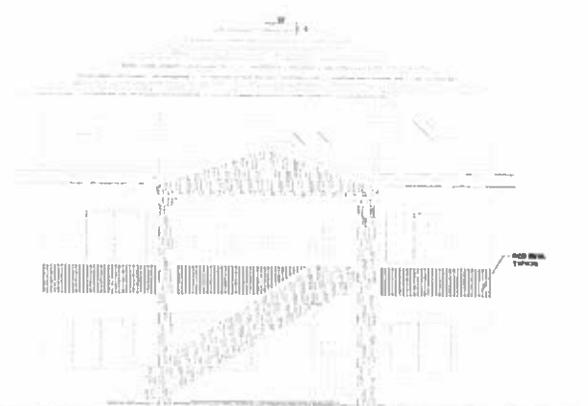


6" GREENS  
TYPICAL WINDOW GRID PATTERN  
8" HOR. SOUNDS

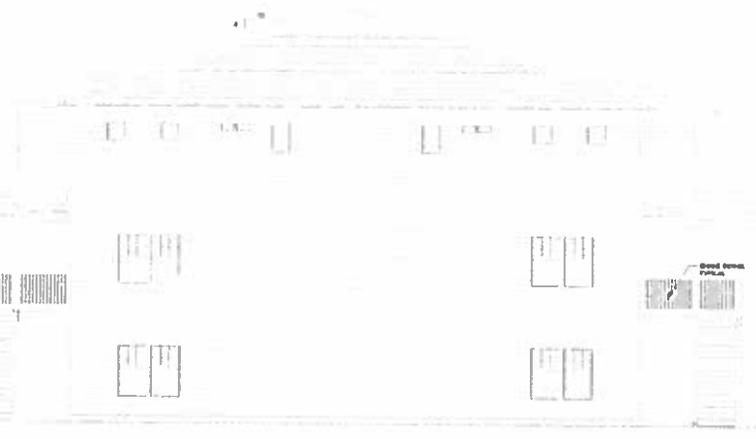
STEEL BARBIC  
1" NET x 4" BRN  
BELL BAND



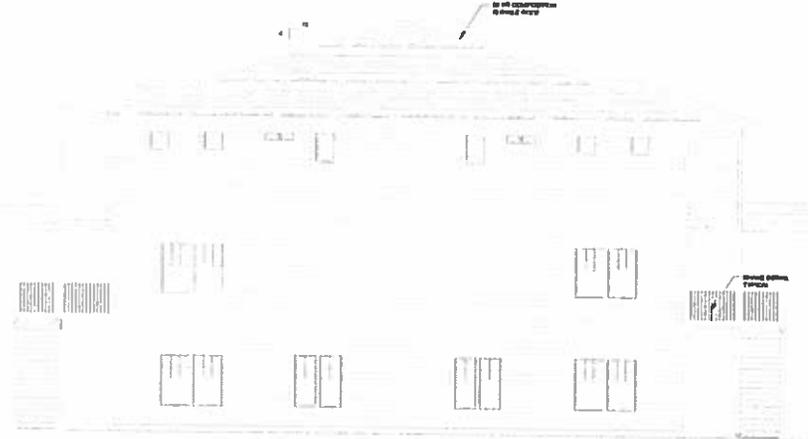
FRONT ELEVATION



BACK ELEVATION



SIDE ELEVATION



SIDE ELEVATION

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EXHIBIT # E (of H)  
File # AC-16-095  
E-1610.0

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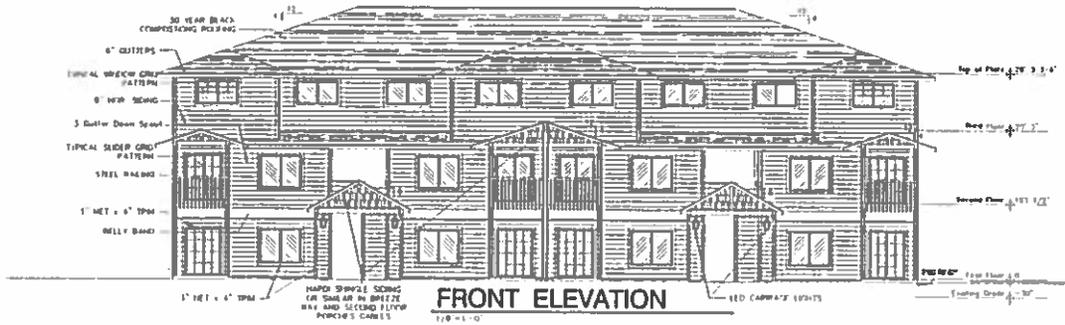
ORCHARD GLEN  
PHASE 3  
353 Dalton Street, Medford OR 97501

DATE	BY

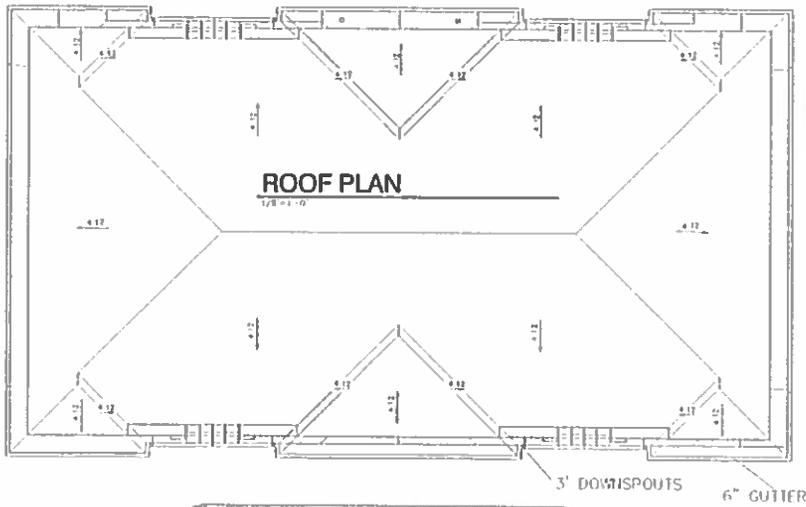
SHEET  
OF 123 ELEVATIONS  
E



# 12 Plex Elevations



**FRONT ELEVATION**  
1/8" = 1'-0"



**ROOF PLAN**  
1/8" = 1'-0"



**BACK ELEVATION**  
1/8" = 1'-0"



**SIDE ELEVATION**  
1/8" = 1'-0"



**SIDE ELEVATION**  
1/8" = 1'-0"

- NOTES**
1. SEE "FRONT" ELEVATION FOR FINICAL NOTES.
  2. ALL WINDOWS AND DOORS TO HAVE GRIPS AS SHOWN FOR EXAMPLE FOR EACH ELEVATION, TYPICAL.

TO BE BUILT BY  
**P.M.C.I. INC.**  
353 DALTON STREET  
MEDFORD, MA 02155  
PHONE: 978-671-5252

**ORCHARD GLEN APARTMENTS**  
PHASE 3  
353 Dalton Street, Medford OR 97501

NO.	DATE	BY

ORCHARD GLEN APARTMENTS  
PHASE 3  
353 DALTON STREET  
MEDFORD, MA 02155  
PHONE: 978-671-5252

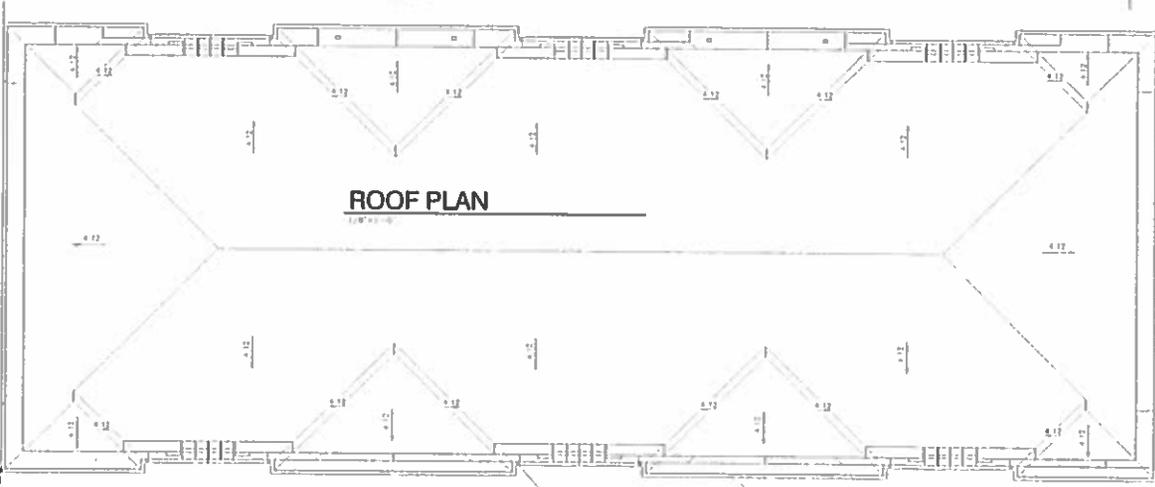
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EXHIBIT # E (3 of 4)  
File # AC-16-095  
E-16-120

# 18 Plex Elevations



**FRONT ELEVATION**  
1/8" = 1'-0"



**ROOF PLAN**  
1/8" = 1'-0"



**BACK ELEVATION**  
1/8" = 1'-0"



**SIDE ELEVATION**  
1/8" = 1'-0"



**SIDE ELEVATION**  
1/8" = 1'-0"

**NOTES**

- 1 SEE 'FRONT' ELEVATION FOR TYPICAL WINDOWS
- 2 ALL WINDOWS AND DOORS TO BE 1/2" OVERSIZED AT TOP AND BOTTOM ON EACH SIDE WITH 1/4" GAPS

TO BE BUILT BY  
**P.M.C.I. INC.**  
ARCHITECT  
353 DALTON STREET  
MEDFORD, MA 02155  
PHONE (508) 851-8800

**ORCHARD GLEN APARTMENTS**  
PHASE 3  
353 Dalton Street, Medford OR 97501

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SCALE	
PROJECT NO.	
DATE	
PROJECT CONTROLLER	
DATE	

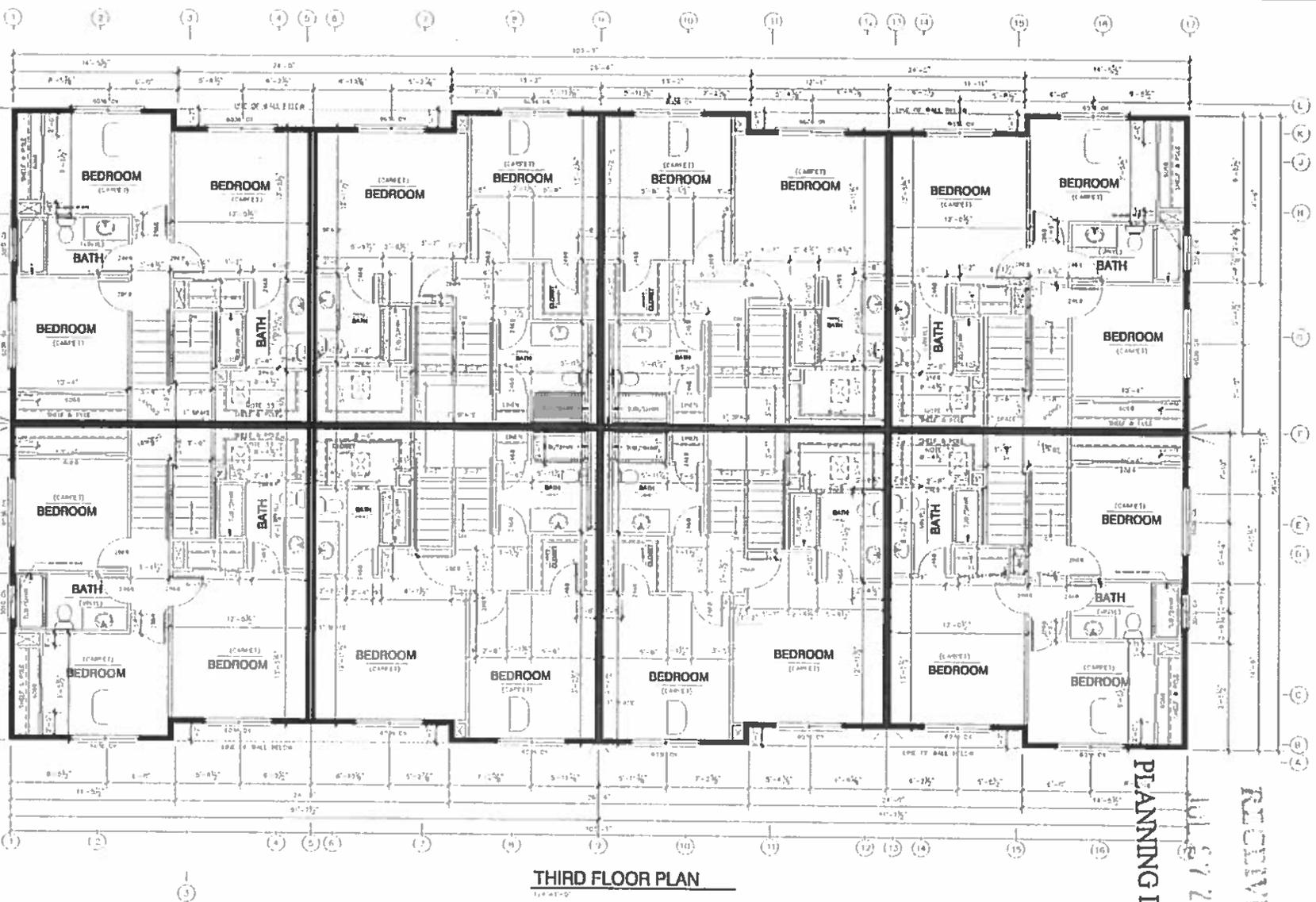
**A401**  
12 PLEX

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File # AC-16-095  
(4 SF 4)

22





THIRD FLOOR PLAN

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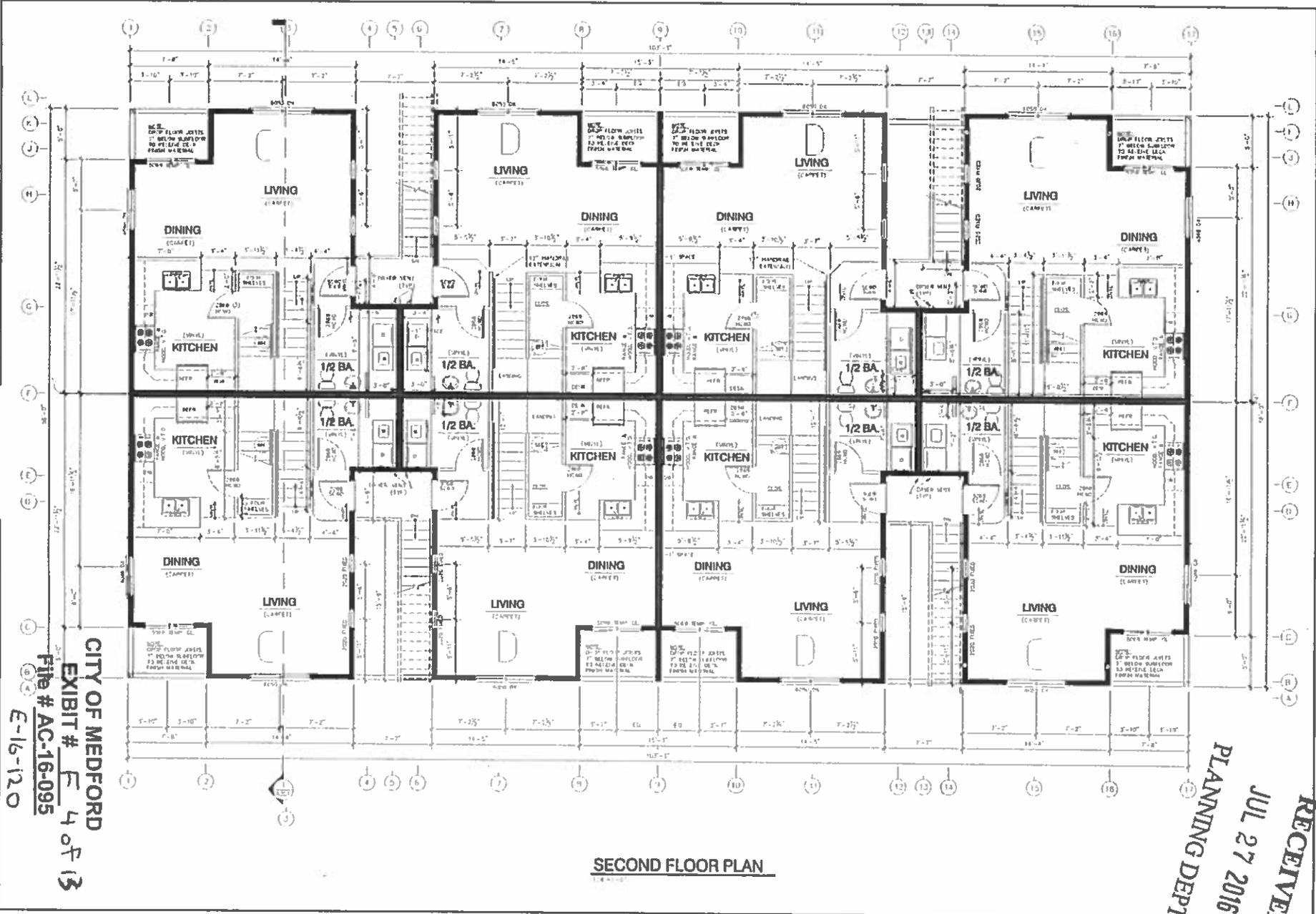
TO BE BUILT BY  
**P.M.C.I., INC.**  
 280 DALTON ST.  
 MEDFORD, OR 97501  
 PHONE 541 871-5203

**ORCHARD GLEN APARTMENTS**  
 PHASE 3  
 353 Dalton Street, Medford OR 97501

DATE	BY
SCALE	AS SHOWN
OWNER	P.M.C.I., INC.
DESIGNER	
PROJECT NUMBER	
DATE OF ISSUE	

**A103**  
 BUILDING 3





SECOND FLOOR PLAN

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 File # AC-16-095  
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**P. M. C. I. INC.**  
 353 DALTON ST.  
 MEDFORD, OR 97501  
 PHONE: (503) 837-1230

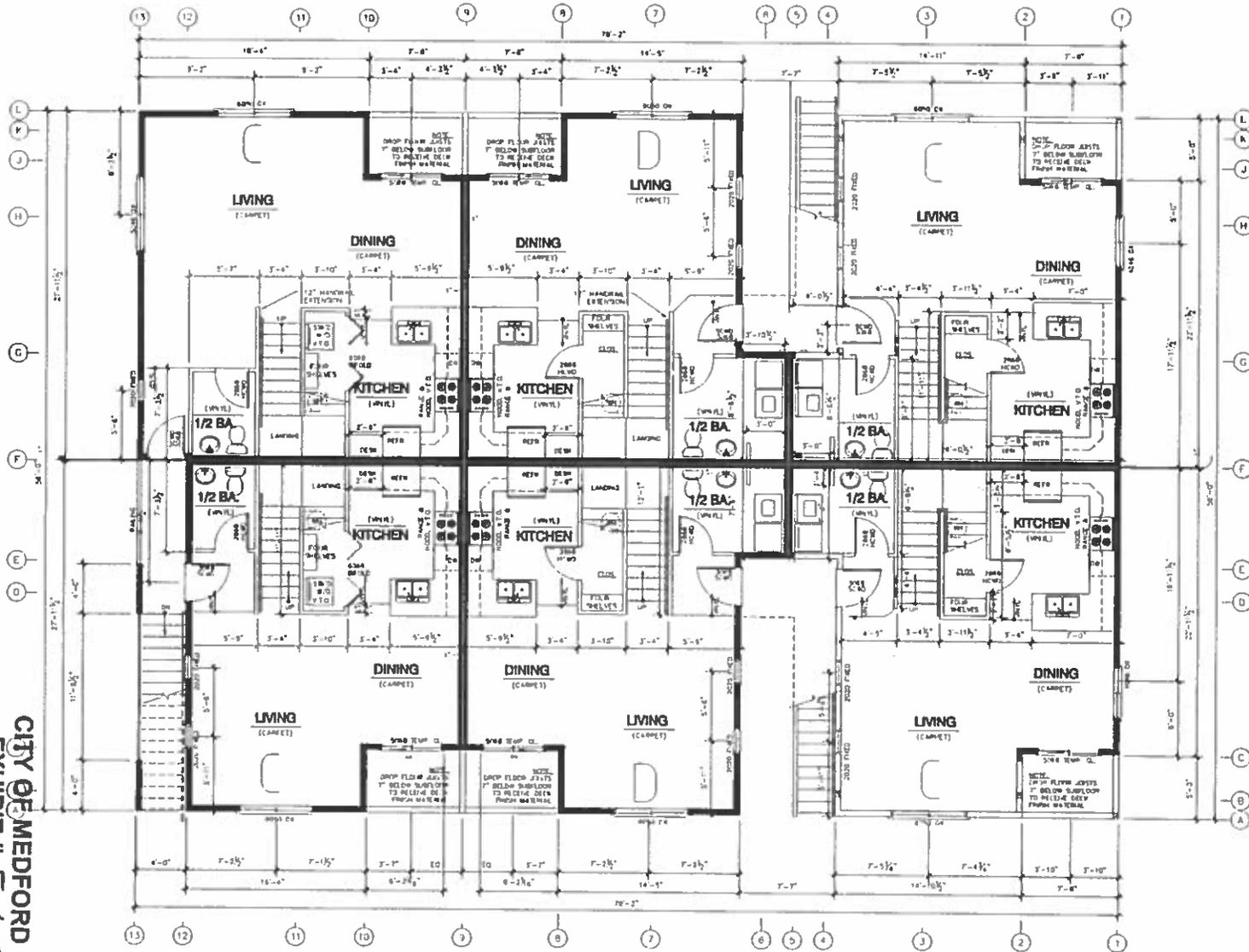
**ORCHARD GLEN APARTMENTS**  
 PHASE 3  
 353 Dalton Street, Medford OR 97501

NO.	DATE	DESCRIPTION

SHEET  
**A102**  
 BUILDING 3



GENERAL  
NOTES:  
SEE SHEETS  
T-2 & T-3



SECOND FLOOR PLAN  
1/4" = 1'-0"

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File # AC-16-095  
E-16-120

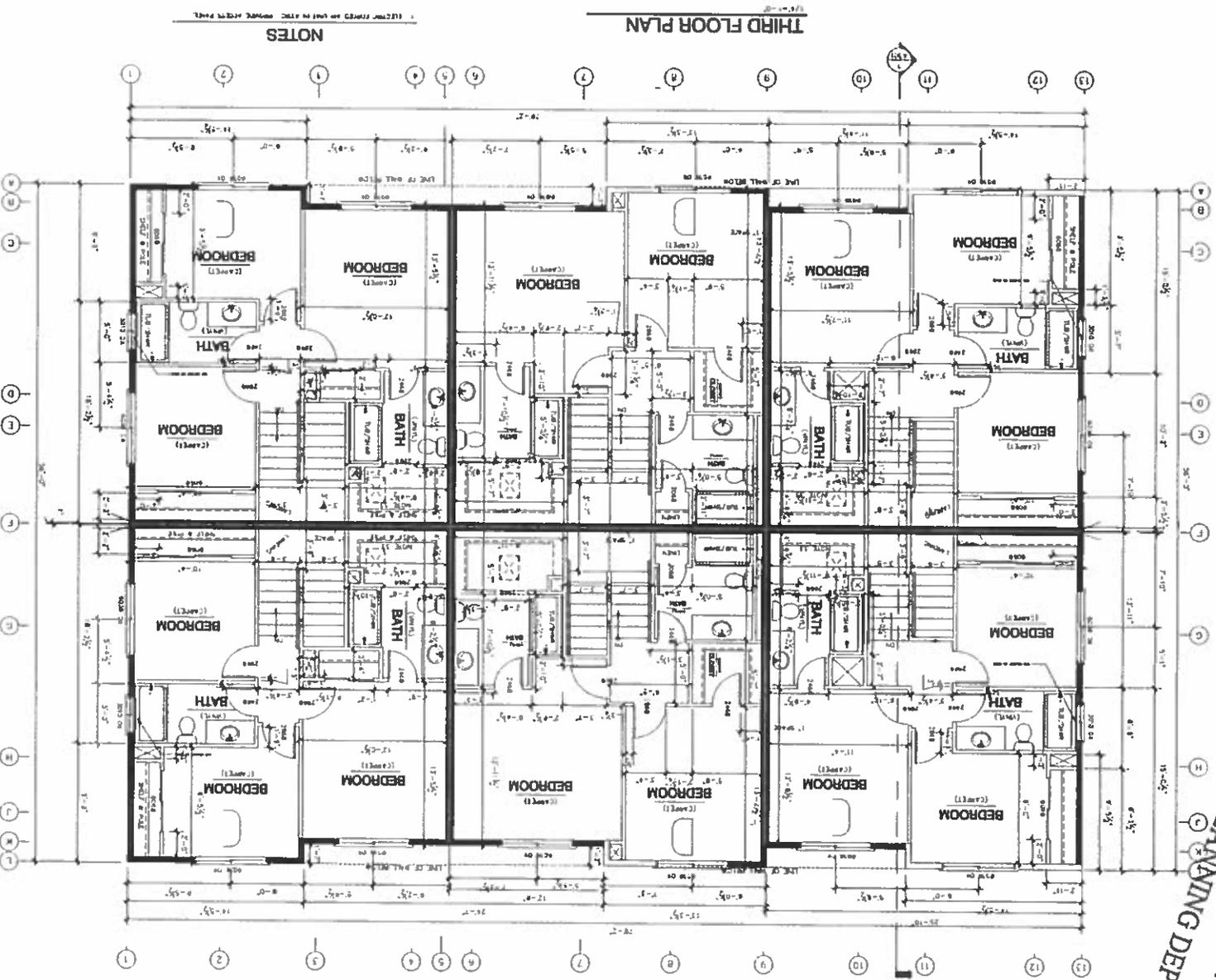
TO BE BUILT BY  
P.M.C.I. INC.  
353 Dalton Street,  
Medford, OR 97501  
Phone: (541) 881-3829

ORCHARD GLEN APARTMENTS  
PHASE 3  
353 Dalton Street, Medford OR 97501

NO.	DATE	DESCRIPTION

SHEET  
A102  
BUILDING 2

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THIRD FLOOR PLAN

NOTES

1. ELEVATOR STAIRS ARE PART OF OTHER ROOMS. REMOVE ALL STAIR PARTS.

GENERAL NOTES:  
 T-2 & T-3  
 SEE SHEETS

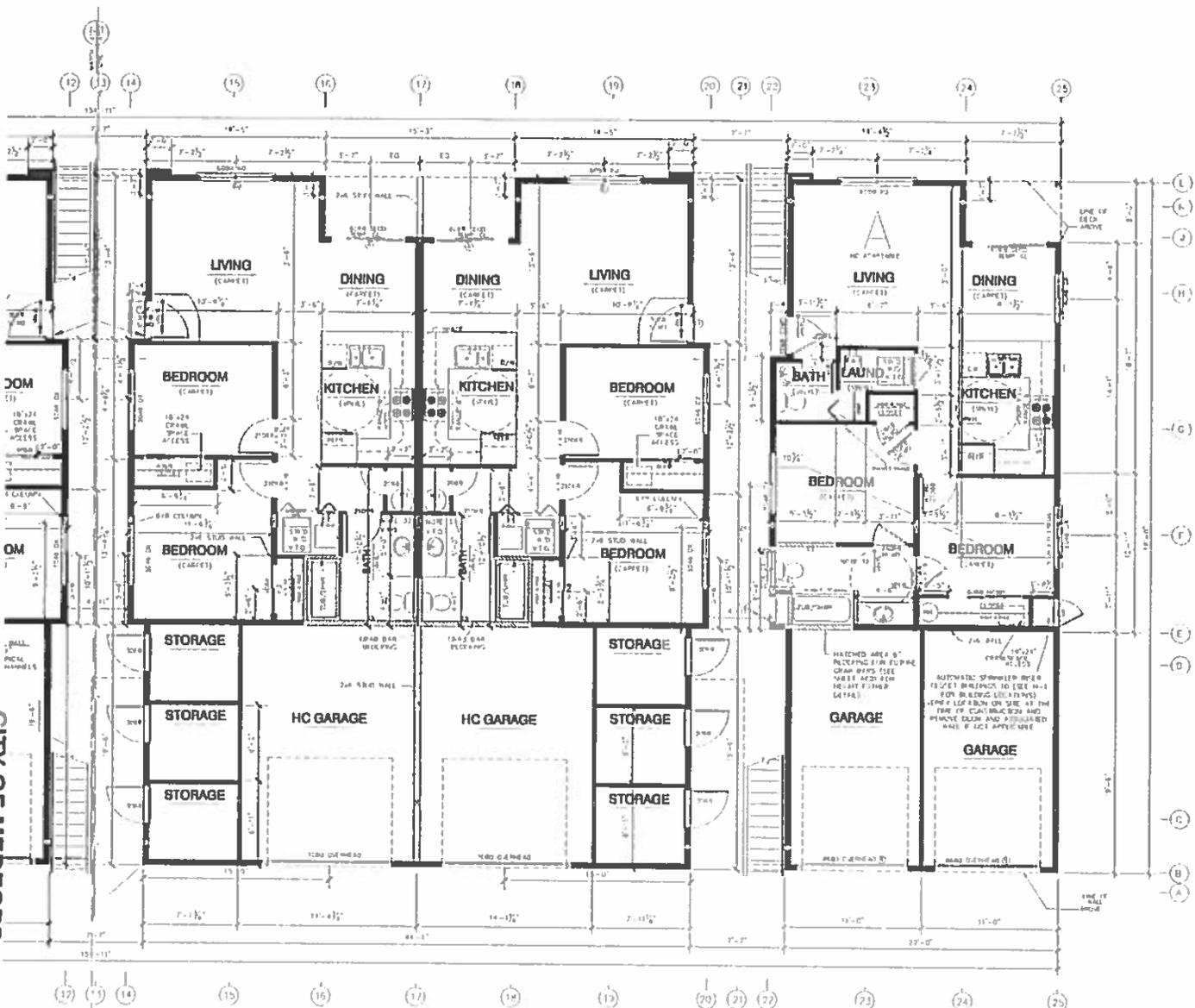
CITY OF MEDFORD  
 EXHIBIT # E-7 of 13  
 File # AC-16-095  
 E-16-120

BUILDING 2 <b>A103</b>	ORCHARD GLEN APARTMENTS PHASE 3 353 Dalton Street, Medford	TO BE BUILT BY <b>P.M.C.I. INC.</b> 880 DAVENPORT ST. MEDFORD, OR 97504 PHONE: 541.751.8122

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GENERAL NOTES:  
SEE SHEETS  
7-3 & 7-3



FIRST FLOOR PLAN

FRAMING NOTES

- 1 FRAMES FOR INTERIOR AND EXTERIOR WALLS
- 2 WINDOW AND DOOR FRAMES
- 3 WINDOW AND DOOR SILL FRAMES
- 4 WINDOW AND DOOR CASES
- 5 WINDOW AND DOOR LINEN
- 6 WINDOW AND DOOR SILL
- 7 WINDOW AND DOOR SILL
- 8 WINDOW AND DOOR SILL
- 9 WINDOW AND DOOR SILL
- 10 WINDOW AND DOOR SILL
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File # AC-16-095  
E-16-120

TO BE BUILT BY  
P.M.C.I. INC.  
353 DALTON STREET  
MEDFORD, OR 97504  
PHONE (541) 887-5888

ORCHARD GLEN APARTMENTS  
PHASE 3  
353 Dalton Street, Medford OR 97501

DATE	BY
SCALE	AS SHOWN
OWNER	P.M.C.I. INC.
DESIGNER	ARCHITECT
NO. OF SHEETS	13
TOTAL SHEETS	13
PROJECT NO.	AC-16-095

A102  
BUILDING 4

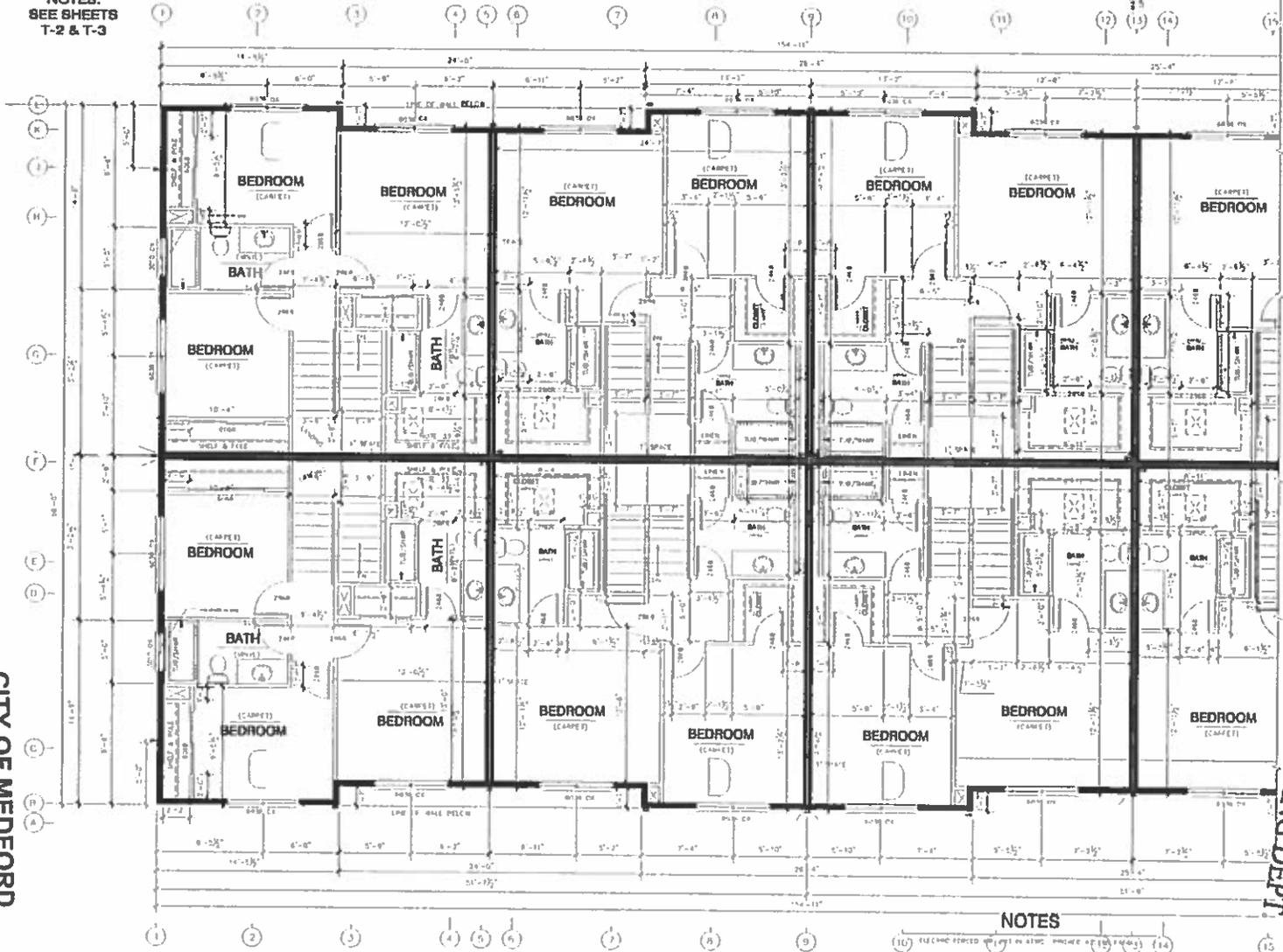
24







GENERAL NOTES:  
SEE SHEETS  
T-2 & T-3



THIRD FLOOR PLAN

FRAMING NOTES

- 1 BRACKET 1 TO BUTTER AND BARRIER OCCURS
- 2 BRACKET FOR BRACKET OCCURS
- 3 BRACKET FOR BRACKET OCCURS
- 4 BRACKET FOR BRACKET OCCURS
- 5 BRACKET FOR BRACKET OCCURS
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- 15 BRACKET FOR BRACKET OCCURS

RECEIVED

JUL 27 2016

PLANNING DEPT.

NOTES

1. ELECTRIC SERVICE TO BE PROVIDED BY THE OWNER.

TO BE BUILT BY  
P.M.C.I. INC.  
300 DALTON ST.  
MEDFORD, OR 97501  
PHONE: (503) 871-3333

ORCHARD GLEN APARTMENTS  
PHASE 3  
353 Dalton Street, Medford OR 97501

DATE	BY

BREIT  
A105  
BUILDING 4

**CITY OF MEDFORD  
SITE PLAN AND ARCHITECTURAL REVIEW**

*APPLICANTS QUESTIONNAIRE*

**ORCHARD GLEN ESTATES PHASE 3**

West Main Street Medford Oregon  
372W26B TL 1200

Philip and chuck Smith dba Orchard Glen LLC  
DENNIS HOFFBUHR: AGENT

May 17th, 2016  
Amended September 22, 2016

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**SECTION I - NARRATIVE**

The proposed project is located north of West Main Street approximately 500 feet east of Oak Grove Road and consists of 5 three story multiple family structures containing a total of 57 units. The 5 structures consist of 1 6-plex, 1 9-plex, 2 12-plex and one 18-plex building, the buildings have a maximum height of 32 feet as defined by the Medford Code. The subject parcel contains 2.02 gross ac and is zoned C-H, high density multiple family structures are a permitted use in the C-H zoning district. The units are 3 bedroom and 2 bedroom approximately 600 to 900 sq. ft. of living area. 33 units will have access to a single car garage. The units will take access from West Main Street to the south.

**Section II - Compatibility**

- A. the subject property is contiguous with West Main Street on the south, EFU land on the north, and commercial enterprises on the west and Orchard Glen Estates phases 1-2 on the east. The subject property is zoned Heavy Commercial (C-H) in which high density multiple family is a permitted use. The subject property is within walking distance of shopping, restaurants, and Oak Grove elementary school/park. The project will be good fit in the neighborhood. The EFU land on north of the subject property is owned as bear Creek Orchards and is operated as a pear Orchard. An agricultural

buffer will be provided similar to that on the adjacent Orchard Glen Estates phases 1 and 2 currently under construction. An agricultural Impact statement is included with this application as is a diagram of the existing and proposed buffer.

- B. The proposed units are as described above in the Narrative the exterior will be Hardy Board lap siding with concrete shingles on the gables for an accent. The roof will be architectural grade composition roofing. The units are offset the break up the wall lines and to provide each unit with it's own identity.
- C. See the above response to question "B".
- D. The units will take access from west Main Street on the south. Sidewalks will be constructed the west Main frontages and throughout the project to provide for pedestrians. The site is within 600 ft of an existing or proposed transit stop.
- E. No pedestrian facilities are proposed other than the sidewalks.
- F. See the response to question "D"
- G. One tree currently exists on the site.
- H. Stormwater detention will be provided in the form of underground pipes as shown in the attached stormwater detention plan completed by CEC Engineering. The Landscape plan provides for 33 percent of the site to be planted, to provide for screening and shade. The landscaping will soften the appearance of the structure and provide for a pleasant living environment for the occupants.
- I. No exterior lighting is proposed other than standard porch and patio lights mounted on the building. No signage is proposed.
- J. A 6 foot chain link fence is proposed along the west boundary and a 20 foot tall security and screening fence is proposed for the north boundary adjacent to the EFU land. No noise other than normal residential sounds will be generated by this project.
- K. Nothing further to add.
- L. No exceptions or modifications are requested.
- M. No relief requested.

DA

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Dennis Hoffbuhr  
Agent for the Applicant

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**CITY OF MEDFORD  
Planning Commission**

**Application for an Exception  
in accordance with the City of Medford Land Development  
Ordinance Sections 10.251-10.253**

***Findings of Fact***

**ORCHARD GLEN ESTATES PHASE 3**

West Main Street Medford Oregon  
372W26B TL 1200

Philip and chuck Smith dba Orchard Glen LLC Applicants  
DENNIS HOFFBUHR: AGENT

September 26, 2016

**General**

The proposed project is located north of West Main Street approximately 500 feet east of Oak Grove Road and consists of 5 three story multiple family structures containing a total of 57 units. The 5 structures consist of 1 6-plex, 1 9-plex, 2 12-plex and one 18-plex building, the buildings have a maximum height of 32 feet as defined by the Medford Code. The subject parcel contains 2.02 gross ac and is zoned C-H, high density multiple family structures are a permitted use in the C-H zoning district. The units are 3 bedroom and 2 bedroom approximately 600 to 900 sq. ft. of living area. 33 units will have access to a single car garage. The units will take access from West Main Street to the south. A application for Site Plan and Architectural Review has been submitted (AC-16-095) and is scheduled to be heard by that body on November 4, 2016.

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## **Specific Exception Request**

On the north side of the project is a proposed public street that is shown on the adopted Neighborhood Circulation Plan for the area surrounding the subject site. The street does not yet exist on the west side of the project. On the east side a private street is in the process of being completed as a portion of Orchard Glen Estates phases 1 and 2. Orchard Glen Estates 1 and 2 was not required to comply with the circulation plan because of legal issues surrounding the adoption of the Circulation Plan. The section of the proposed public street on Orchard Glen phase 3 will only be 101 feet long as that is the entire width of the subject property.

In a normal situation the developer would only be required to build a half street plus 12' because the street is located on the project boundary and the adjoining owner would be required to complete the improvements. However in this case the adjoining property to the north is outside the City of Medford Urban Growth Boundary and in use as an orchard. The property to the north is currently owned by Bear Creek Orchards. Orchard Glen Estates, Phase 2 has included an Agricultural Impact Statement with their SPAC application. As a result the applicant must attempt to build the entire street within the subject property.

In an attempt to merge the curb line of the private street being constructed to the east together with the public street proposed for Orchard Glen Estates, Phase 3 there is not room to include the 7' park strip on the north side of the proposed street. The applicant therefore requests an exception to 10.430 (1) of the Medford Land Development Code to eliminate the 7' park strip on one side of the street and reduce to total right of way width to 56' from the required 63'.

## **Approval Criteria Section 10.253 MLDO**

- (1) The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located , and shall not be injurious to the*

*general area or otherwise detrimental to the health, safety, and general welfare or to the adjacent natural resources. The approving authority shall have the authority to impose conditions to assure that this criterion is met.*

The elimination of the park strip from this short section of street on the subject property will in no way be detrimental to the health, safety, and general welfare of the area or negatively impact any natural resources. 5 foot Sidewalks are being provided of both sides of the street which will provide for safe pedestrian movement on what will be a very low traffic street in the future. The proposed exception will not eruct the traffic carrying capacity of the proposed street.

(2) *The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.*

No uses not permitted in the C-H zoning district are being proposed.

(3) *There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City and that the strict application of the standards for which an exception is being requested would result in peculiar, exceptional and undue hardship on the owner.*

As outlined above a number of unusual circumstances surround the subject property which create a truly unique situation that probably will not occur anywhere else in the City. The strict application of the code in this case would not only create an undue hardship on the the applicant it is extremely difficult to apply in this case.

(4) *The need for the exception is not the result of an illegal act nor can it be established on this basis bone who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.*

The need for this exception does not result from any illegal act or any wrongdoing on the part of the applicant. The applicants fully understand the

code standards and have done their best to apply them to this project but because of the unique existing circumstances all of the standards cannot be met. The inability to apply the code standards and the request for this exception is a result of physical restraints on the subject property and not a desire to earn greater profits from the project.

## **Conclusion**

Based on the information provided in these findings the Medford Planning Commission can find that this request for an exception to section 10.430 (1) MLDO does meet the criteria contained in section 10.253 MLDO and approve the request for an exception.

A handwritten signature in black ink, appearing to read 'Dennis Hoffbuhr', with a stylized flourish extending to the right.

Dennis Hoffbuhr  
Agent for the Applicant



Continuous Improvement Customer Service

## CITY OF MEDFORD

Revised Date: 10/25/2016  
File Number: AC-16-095/E-16-120

### **PUBLIC WORKS DEPARTMENT STAFF REPORT** **Orchard Glen Estates** Phase 3

- Project:** Consideration of Orchard Glenn Estates Phase 3, a proposed 57-unit multi-family development composed of five three story buildings along with an Exception request for a right-of-way reduction on 2.02 gross acres.
- Location:** Located at 2686 West Main in the C-H (Heavy Commercial) zoning district (372W26B TL 1200).
- Applicant:** Orchard Glen Estates, LLC., Applicant (Dennis Hoffbuhr, Agent). Dustin Severs, Planner.

**NOTE:**

The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention.
- Completion of all public improvements, if required. The applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements would need to be approved by the Public Works Engineering Department prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas.
- Certification by the design engineer that the stormwater quality and detention system was constructed per the approved plan.
- Completion of all public improvements, if applicable.

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PUBLIC WORKS DEPARTMENT  
ENGINEERING & DEVELOPMENT DIVISION

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FAX (541) 774-2552

CITY OF MEDFORD  
EXHIBIT #   1    
File # AC-16-095/E-16-120

## **A. STREETS**

### **1. Dedications**

**West Main Street** is classified as a Minor Arterial street within the Medford Land Development Code (MLDC), Section 10.428. The developer shall dedicate for public right-of-way, sufficient width of land along the frontage of this development to comply with the half width of right-of-way, which is 39-feet. **The Developer's surveyor shall verify the amount of additional right-of-way required.**

The developer will receive SSDC (Street System Development Charge) credits for the public right-of-way dedication on **West Main Street**, per the methodology established by the MLDC 3.815. **Should the developer elect to have the value of the land be determined by an appraisal, a letter to that effect must be submitted to the City Engineer within sixty (60) calendar days of the date of the Final Order of the Planning Commission. The City will then select an appraiser, and a cash deposit will be required as stated in Section 3.815.**

**"Public Street"** is classified as a Standard Residential street within the MLDC 10.430. The developer shall dedicate for public right-of-way, sufficient width of land along the frontage to comply with the full width of right-of-way, which is 63-feet.

An **exception request** has been submitted, which includes a 7-foot reduction of the "Public Street" right-of-way width. This would provide 56-feet of right-of-way and would eliminate the 8-foot wide planter strip along the north frontage. **If the exception request is denied the Developer shall dedicate the additional right-of-way as noted above per MLDC 10.430.**

**The proposed 20-foot high security/screening fence as shown on the north side of the proposed "Public Street" shall be located on private property and not within the public right-of-way.**

In accordance with MLDC 10.471, **the property owner shall dedicate a 10 foot wide public utility easement (PUE) adjacent to the right-of-way line along this Developments respective frontage.**

The right-of-way and easement dedications shall be submitted directly to the Engineering Division of the Public Works Department. The submittal shall include: the right-of-way and easement dedication, including an exhibit map; a copy of a current Lot Book Report, Preliminary Title Report, or Title Policy; a mathematical closure report (if applicable), and the Planning Department File Number; for review and City Engineer acceptance signature prior to recordation by the applicant. Releases of interest shall be obtained by holders of trust deeds or mortgages on the right-of-way and PUE area.

### **2. Public Improvements**

#### **a. Public Streets**

**West Main Street** is classified as a Minor Arterial Street within the Medford Land Development Code (MLDC), Section 10.428. All street section improvements have been completed, including pavement, curb and gutter and sidewalk. **No additional improvements are required.**

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**“Public Street”** shall be constructed to Standard Residential Street standards in accordance with MLDC 10.430. Minimum curb radii for bulb-outs shall be 20-feet. A concrete strip shall be constructed as a transition between the pavement of the public street and the pavement of the private street to delineate the public and private improvements.

As previously noted in section A.1 of this report, an **exception request** has been submitted for removal of the 8-foot wide planter strip. **If the exception request is denied the Developer shall construct the improvements as noted above.**

#### **b. Street Lights and Signing**

The Developer shall enter into a Deferred Improvement Agreement (DIA) for the future installation of a single street light in accordance with MLDC 10.495(1)d along the frontage of West Main Street.

The Developer shall provide and install in compliance with Section 10.495 of the Medford Municipal Code (MMC). Based on the preliminary plan submitted, the following number of street lights and signage will be required:

##### Street Lighting & Signage – Developer Provided & Installed:

- A. 1 – Type R-150 Street Light (along the “Public Street”)
- B. 1 – Base Mounted Cabinet (BMC) for the “Public Street” street light.
- C. DIA for a Type A-400 (noted above)

##### Traffic Signs and Devices – City Installed, paid by the Developer:

- A. 1 – Barricade

Numbers are subject to change if changes are made to the plans. All street lights shall be installed per City standards and be shown on the public improvement plans. Public Works will provide preliminary street light locations upon request. All street lights shall be operating and turned on at the time of the final “walk through” inspection by the Public Works Department.

The Developer shall pay for City installed signage required by the development. City installed signs include, but are not limited to, street name signs, stop signs, speed signs, school signs, dead end signs, and dead end barricades. Sign design and placement shall be per the Manual on Uniform Traffic Control Devices (MUTCD). All signs shall be shown on the public improvement plans and labeled as City installed.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer’s contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided the Developer.

#### **c. Pavement Moratoriums**

There is no pavement cutting moratorium currently in effect along this frontage.

The developer shall be responsible for notifying by certified letter all utility companies, as well as all current property owners of parcels which are adjacent to any Public Street being constructed or paved as part of this project. The letter shall inform the utility companies and property owners of the City's street moratorium policy with respect to pavement cutting for future utility services. The utility companies and property owners shall be given the opportunity to install utility services within the right-of-way prior to paving and the subsequent moratorium. Notifications shall be mailed by the Developer at least 6 months before a street is resurfaced or rebuilt per Medford Municipal Code (MMC), Section 3.070. Copies of the certifications shall be submitted to the City Engineer with the submittal of the preliminary construction drawings.

#### **d. Soils Report**

The Developer's engineer shall obtain a soils report to determine if there is shrink-swell potential in the underlying soils in this development. If they are present, they shall be accounted for in the roadway and sidewalk design within this Development. The soils report shall be completed by a licensed Geotechnical Engineer in the state of Oregon.

#### **e. Access and Circulation**

Driveway access and street circulation to and through the proposed development shall comply with MLDC 10.550 and 10.426. Access to this development will be taken from an existing driveway to the east, via Glen Oaks Phase 1 & 2 (aka: West Main Estates). No direct access to West Main Street from the proposed development will be allowed, except for emergency vehicles.

The Developer shall submit evidence of or obtain cross-access easements for the property along its western boundary in accordance with MLDC 10.550.

### **3. Section 10.668 Analysis**

To support a condition of development that an applicant dedicate land for public use or provide a public improvement, the Medford Code requires a nexus and rough proportionality analysis which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

#### **10.668 Limitation of Exactions**

*Notwithstanding any other provisions of this Chapter 10, an applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless:*

*(1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose and that there is a rough proportionality between the burden of the exaction on the developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or*

*(2) a mechanism exists and funds are available to fairly compensate the applicant for the excess burden of the exaction to the extent that it would be a taking.*

1. Nexus to a legitimate government purpose

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, emergency services and pedestrians. Further, these rights-of-way are used to provide essential services such as sanitary sewer, domestic water and storm drains to serve the developed parcels. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

2. Rough proportionality between the dedications and improvements, and the impacts of development.

No mathematical formula is required to support the rough proportionality analysis. Furthermore, benefits to the development resulting from the dedication and improvements when determining “rough proportionality” have been considered, including but not limited to: increased property values, intensification of use, as well as connections to municipal services and the transportation network.

As set forth below, the dedications and improvements recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development.

**West Main Street & Public Street:**

The additional right-of-way on West Main Street will provide the needed width for a future planter strip. West Main Street is a 35 mile per hour facility, which currently carries approximately 11,100 vehicles per day. The 10-foot planter strip moves pedestrians a safe distance from the edge of the roadway. West Main Street will be a primary route for pedestrians traveling to and from this development.

Local street right-of-way dedication and construction requirements identified by the Public Works Department and required by the City are the minimum required to protect the public interest and are necessary for additional or densification of development in the City without detracting from the common good enjoyed by existing properties. Developments are required to provide all internal local streets and half-street improvements to abutting streets, including associated right-of-way dedications, to ensure that new development and density intensification provides the current level of urban services and adequate street circulation is maintained.

Dedication of the Public Utility Easements (PUE) will benefit development by providing public utility services, which are out of the roadway and more readily available to each lot or building being served. The additional traffic of all modes of travel generated by this proposed development supports the dedication and improvements for all modes of travel and utilities. As indicated above, the area required to be dedicated for this development is necessary and roughly proportional to that required in similar developments to provide a transportation system that meets the needs for urban level services.

The City assesses System Development Charges (SDCs) to help pay for acquisition of right-of-

way and construction of additional Arterial & Collector street capacity required as a result of new development. Because a mechanism exists in the form of SDC credit for right-of-way dedication and street improvements in accordance with Medford Municipal Code (MMC) 3.815 and other applicable parts of the Code, to fairly compensate the applicant, the conditions of MLDC, Section 10.668 are satisfied.

**B. SANITARY SEWERS**

This site lies within the Rogue Valley Sewer Service (RVSS) area. The Developer shall contact RVSS for conditions of connection to the sanitary sewer collection system.

**C. STORM DRAINAGE**

**1. Drainage Plan**

A comprehensive drainage plan showing the project's impacted site with sufficient information to determine the direction of runoff to the existing or proposed drainage system, and also showing elevations of the proposed drainage system (if applicable), shall be submitted with the first building permit application for approval. Any new or reconstructed area catch basins shall meet Department of Environmental Quality (DEQ) requirements, which include a down-turned elbow and sump.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

All private storm drain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

**2. Grading**

A comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

**3. Detention and Water Quality**

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729. Detention calculations will be reviewed by the Public Works Engineering Department upon submittal of Public Improvement Plans, and shall not be reviewed and/or approved by the Site Plan and Architectural Commission.

The plans indicate the Applicant is planning to use a combined stormwater detention and water quality system located on private property. If so, then it will need to be privately maintained and a Release of Liability will need to be signed and recorded. A copy of the signed and recorded Release of Liability shall be submitted to the Public Works Engineering Department prior to approval of the first Building Permit.

#### 4. Certification

Upon completion of the project, and prior to certificate of occupancy of the building, the Developer's design engineer shall certify that the construction of the stormwater quality and detention system was constructed per plan. Certification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

#### 5. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

### D. GENERAL CONDITIONS

#### 1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the Public Works Engineering office.

#### 2. Construction Plans

If required, construction drawings for any public improvements for this project shall be prepared by a professional engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Construction drawings for public improvements shall be submitted only for the improvements to be constructed with each phase. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets, minimum access drives, sanitary sewers, storm drains, and street lights as required by the governing commission's Final Order, together with all pertinent details and calculations. A checklist for public improvement plan submittal can be found on the City of Medford, Public Works web site (<http://www.ci.medford.or.us/Page.asp?NavID=3103>). The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

In order to properly maintain an updated infrastructure data base, the Surveyor of Record shall submit an as-built survey prior to the Final Inspection and, the Engineer of Record shall submit mylar "as-constructed" drawings to the Engineering Division within sixty (60) calendar days of

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PUBLIC WORKS DEPARTMENT  
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the Final Inspection (walk through). Also, the engineer shall coordinate with the utility companies, and show all final utility locations on the "as built" drawings.

### **3. Construction and Inspection**

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans. Pre-qualification is required of all contractors prior to application for any permit to work in the public right-of-way.

### **4. Site Improvements**

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

### **5. System Development Charges (SDC)**

Buildings in this development are subject to street, sanitary sewer treatment and stormdrain SDCs. All SDC fees shall be paid at the time individual building permits are issued.

Prepared by: Doug Burroughs

## SUMMARY CONDITIONS OF APPROVAL

Orchard Glen Estates

Phase 3

AC-16-095

### A. Streets

#### 1. Street Dedications to the Public:

- Dedicate additional right-of-way on **West Main Street**.
- Dedicate full right-of-way on “**Public Street**”, unless otherwise approved through an Exception.
- Dedicate 10-foot Public Utility Easement (PUE) along both frontages.

#### 2. Improvements:

##### Public Streets

- **West Main Street** improvements have been completed.
- Construct “**Public Street**” to Standard Residential street standards, unless otherwise approved through an Exception.
- Public improvement plans for this work shall be submitted directly to the Public Works Engineering Department.

##### Lighting and Signing

- Developer supplies and installs all street lights at own expense.
- City installs traffic signs and devices at Developer’s expense.
- Developer shall enter into a DIA West Main Street frontage.

##### Access and Circulation

- Ensure access and circulation is in accordance with MLDC.
- Provide a cross-access easement.

##### Other

- Provide pavement moratorium letters.
- Provide soils report.

### B. Sanitary Sewer:

- The site is situated within the RVSS area.

### C. Storm Drainage:

- Provide a comprehensive grading and drainage plan.
- Provide water quality and detention facilities, calculations and O&M Manual.
- Provide engineers certification of stormwater facility construction.
- Provide liability release to the City for public water entering private system.
- Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.

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PUBLIC WORKS DEPARTMENT  
ENGINEERING & DEVELOPMENT DIVISION

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BOARD OF WATER COMMISSIONERS

**Staff Memo**

**TO:** Planning Department, City of Medford

**FROM:** Rodney Grehn P.E., Water Commission Staff Engineer

**SUBJECT:** AC-16-095

**PARCEL ID:** 372W26B TL 1200

**PROJECT:** Consideration of Orchard Glenn Estates Phase 3, a proposed 57-unit multi-family development composed of five three story buildings along with an Exception request for a right-of-way reduction on 2.02 gross acres located at 2686 West Main in the C H (Heavy Commercial) zoning district. (372W26B TL 1200); Orchard Glenn Estates, LLC. Applicant (Dennis Hoffbuhr, Agent). Dustin Severs, Planner.

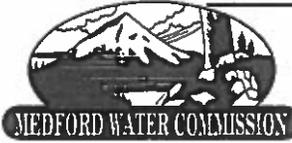
**DATE:** October 19, 2016

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

**CONDITIONS**

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. Installation of an on-site 12-inch water line is required in the "private lane" between W. Main Street and the existing 12-inch water line stubbed for extension in the "Private Street" along the north boundary.
4. Dedication of a 10 foot wide (minimum) access and maintenance easement to MWC over all water facilities located outside of public right-of-way is required. Easement shall be submitted to MWC for review and recordation prior to construction.
5. The existing ¾-inch water meter located along the frontage of W. Main Street is required to be abandoned, unless utilized for on-site landscape irrigation. Coordinate with MWC engineering staff for intentions of this existing water meter.
6. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35>.

*Continued to next page*



*Continued from previous page*

**COMMENTS**

1. Off-site water line installation is not required.
2. On-site water facility construction is required. (See Condition 3 above)
3. Static water pressure is expected to be between 78 psi at W. Main St, and 82 psi at north end of property. See attached document from the City of Medford Building Department on "Policy on Installation of Pressure Reducing Valves".
4. MWC-metered water service does exist to this property. There is an existing ¾" water meter that for (TL 1200) that is located approximately mid-lot along W. Main Street. (See Condition 5 above)
5. Access to MWC water lines is available. There is an existing 12-inch water line in W. Main Street in the west bound travel lane; there is also a 12-inch water on Tax Lot 1400 to the east.



0 37.5 75 150 Feet  
 Scale: 1"=150'

**Water Facility Map  
 for  
 AC-16-095**

**Legend**

- ⊙ Air Valve
- ⊙ Sample Station
- Fire Service
- ⊕ Hydrant
- ▲ Reducer
- Blow Off
- ⊕ Plugs-Caps
- Water Meters:**
- ⊙ Active Meter
- On Well
- Unknown
- Vacant
- Water Valves:**
- ⊙ Butterfly Valve
- ⊙ Gate Valve
- ⊙ Tapping Valve
- Water Mains:**
- Active Main
- - - Abandoned Main
- Reservoir Drain Pipe
- Pressure Zone Line
- Boundaries:**
- ▭ Urban Growth Boundary
- ▭ City Limits
- ▭ Tax Lots
- MWC Facilities:**
- G Control Station
- P Pump Station
- R Reservoir



We are pleased to offer services provided by Medford Water Commission. We are not responsible for any damage or liability resulting from the use of our services. Please call for more information regarding our services.



# Medford Fire Department

200 S. Ivy Street, Room #180  
Medford, OR 97501  
Phone: 774-2300; Fax: 541-774-2514;  
www.medfordfirerescue.org

## LAND DEVELOPMENT REPORT - PLANNING

To: Dustin Severs

LD Meeting Date: 10/19/2016

From: Greg Kleinberg

Report Prepared: 10/11/2016

Applicant: Orchard Glenn Estates, LLC., Applicant (Dennis Hoffbuhr, Agent

File #: AC - 16 - 95

Site Name/Description: Orchard Glenn Estates

Consideration of Orchard Glenn Estates Phase 3, a proposed 57-unit multi-family development composed of five three story buildings on 2.02 gross acres located at 2686 West Main in the C H (Heavy Commercial) zoning district. (372W26B TL 1200); Orchard Glenn Estates, LLC., Applicant (Dennis Hoffbuhr, Agent). Dustin Severs, Planner.

DESCRIPTION OF CORRECTIONS	REFERENCE
----------------------------	-----------

<b>Requirement FIRE HYDRANTS</b>	<b>OFC 508.5</b>
----------------------------------	------------------

Fire hydrants with reflectors will be required for this project.

Fire hydrant locations shall be as follows: Locations approved as submitted.

Additional hydrants may be required to comply with the requirement of proximity to fire department connections (for fire sprinkler and standpipe systems, the fire department connection shall be located at an approved location away from the building and within 75' of a fire hydrant. The fire department connection shall be located on the same side as the fire department access route.)

The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Plans and specifications for fire hydrant system shall be submitted to Medford Fire Department for review and approval prior to construction. Submittal shall include a copy of this review (OFC 501.3).

<b>Requirement PRIVATE FIRE DEPARTMENT ACCESS PARKING RESTRICTION</b>	<b>OFC 503.4</b>
---	------------------

Parking shall be posted as prohibited along fire lanes.

Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).

Where parking is prohibited for fire department vehicle access purposes, NO PARKING-FIRE LANE signs shall be spaced at minimum 50' intervals along the fire lane (minimum 75' intervals in 1 & 2 family residential areas) and at fire department designated turn-around's. The signs shall have red letters on a white background stating "NO PARKING-FIRE LANE" (See handout).

For privately owned properties, posting/marketing of fire lanes may be accomplished by any of the following

CITY OF MEDFORD  
EXHIBIT # K  
File # E-16-120  
Page  
AC-16-095 1





# Medford Fire Department

200 S. Ivy Street, Room #180  
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Phone: 774-2300; Fax: 541-774-2514;  
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## LAND DEVELOPMENT REPORT - PLANNING

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Report Prepared: 10/11/2016

Applicant: Orchard Glenn Estates, LLC., Applicant (Dennis Hoffbuhr, Agent

File #: AC - 16 - 95

Site Name/Description: Orchard Glenn Estates

Where two access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses (D104.3).

**Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.**

**Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.**

**Specific fire protection systems may be required in accordance with the Oregon Fire Code.**

**This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.**

**Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.**

## Dustin J. Severs

---

**From:** Nancy H. Abrahamson  
**Sent:** Thursday, October 06, 2016 2:04 PM  
**To:** All Planning  
**Subject:** FW: LDC Agenda for 10/12/16 Meeting.

FYI

---

**From:** Andrea Napoli [<mailto:anapoli@rvcoq.org>]  
**Sent:** Thursday, October 06, 2016 2:03 PM  
**To:** Nancy H. Abrahamson  
**Subject:** RE: LDC Agenda for 10/12/16 Meeting.

Hi Nancy,

The RVMPO would like to provide comments on the proposed AC-16-095, Orchard Glenn Estates Phase 3 project as presented in the LDC agenda provided, and CUP-16-109, St. Mary's School.

Orchard Glenn Estates Phase 3: The project location is within an "Activity Center" as identified by the City of Medford as part of the RVMPO Regional Transportation Plan's Alternative Measures. The project appears as if it may help the region to meet the following Alternative Measures:

- *Alternative Measure #2: Percent Dwelling Units w/in ¼ mile walk to 30-min transit service*
- *Alternative Measure #5: Percent of New Dwelling Units in Activity Centers*

St. Mary's School: The project location is within an "Activity Center" as identified by the City of Medford as part of the RVMPO Regional Transportation Plan's Alternative Measures. The project appears as if it may help the region to meet the following Alternative Measures:

- *Alternative Measure #6: Percent of New Employment in Activity Centers*

Alt. Measures 2, 5, and 6 are three of seven measures developed by RVMPO member jurisdictions for reduced automobile reliance as an alternative to the Transportation Planning Rule's per capita Vehicle Miles Traveled (VMT) reduction measure. The RVMPO supports projects that help the region meet the RTP's Alternative Measures.

Thank you,

Andrea Napoli, AICP | Senior Planner  
Rogue Valley Council of Governments  
155 N. 1st Street | P.O. Box 3275  
Central Point, OR 97502  
(541) 423-1369  
[www.rvcoq.org](http://www.rvcoq.org) | [www.rvmppo.org](http://www.rvmppo.org) | [www.mrmppo.org](http://www.mrmppo.org)

---

**From:** Nancy H. Abrahamson [<mailto:Nancy.Abrahamson@cityofmedford.org>]

**Sent:** Wednesday, October 5, 2016 4:14 PM

**To:** Andrea Napoli-RVCOG/RVMPO; Angela R. Durant; Bill W. Hoke; Brian W. Robinson; Carla G. Paladino; Cassie J. Neahr; Cathy Harshman - ODOT; Chad E. Wiltout; Chris C. Olivier; David I. Searcy; Desmond M. McGeough; Don Morehouse - ODOT; Douglas E. Burroughs; Dustin J. Severs; Earl R. Lighthill; Gayle G. Cotone; Greg G. Kleinberg; Heather M. Merrihew; Jennifer L. Ingram; Jim Martin - Centurylink (Qwest); Jodi K. Cope; John McDonald; Karen M. Spoons; Karl H. MacNair; Kelly A. Akin; Kyle W. Kearns; Mary E. Montague; Pete R. Young; Pauline O. McCannick

CITY OF MEDFORD

EXHIBIT # L

File # E-16-120



# ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 97502-0005  
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

October 21, 2016

City of Medford Planning Department  
200 S. Ivy Street  
Medford, Oregon 97501

**Re: AC-16-095, Orchard Glen Estates (Map 372W26B, Tax Lot 1200)**

ATTN: Dustin,

The subject property is within the Rogue Valley Sewer Services service area. Sewer service to the proposed development will require mainline extension into the property. There is an 8 inch sewer main extended to the west property boundary from the adjacent West Main Estates development. Currently, the sewer system for West Main Estates has not been accepted by RVSS. Consequently, sewer constructed for the subject development will not be accepted prior to the acceptance of the adjacent sewer system.

Rogue Valley Sewer Services requests that approval of this application be subject to the following condition:

1. Sewer improvements shall be designed in accordance with RVSS standards and submitted for approval.
2. Easements must be provided per RVSS standards for public sewer facilities located on private property.
3. The applicant must provide RVSS with a plumbing fixture plan for determination of system development charges.
4. The applicant must pay sewer system development charges to Rogue Valley Sewer Service prior to issuance of a building permit.

Sincerely,

*Nicholas R. Bakke*

Nicholas R. Bakke, P.E.  
District Engineer

K:\DATA\AGENCIES\MEDFORD\PLANNING\ARCH COMM\2016\AC-16-095\_ORCHARD GLEN ESTATES.DOC

CITY OF MEDFORD  
EXHIBIT # M  
File # AC-16-095

E-16-120

RECEIVED  
JUL 27 2016  
PLANNING DEPT.

ORCHARD GLEN ESTATES  
PHASE 3

AGRICULTURAL IMPACT ASSESSMENT

CITY OF MEDFORD  
EXHIBIT # N 1 of 41  
File # AC-16-095  
E-16-120

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APPENDICES

Appendix "A"	Vicinity Map
Appendix "B"	Aerial Photos & Zoning Maps
Appendix "C"	Preliminary Site Development Plan
Appendix "D"	Agricultural Land Information
Appendix "E"	Weather Data
Appendix "F"	Photographs

**I. INTRODUCTION**

Dennis Hoffbuhr was retained by the owners/applicants of Orchard Glen Estates, Phase 3 (PMCI, Inc.) to prepare this Agricultural Impact Assessment (AIA). This AIA has been prepared in accordance with Section 10.801 of the City of Medford Land Development Code (MLDC). This ordinance specifies the information to be submitted to the Planning Department prior to development of urban lands that abuts Exclusive Farm Use (EFU) zoned lands. The Medford Comprehensive Plan, Urbanization Element; Policies 11 & 12 also aid in the development of residential property that abuts EFU zoned lands.

Materials from previous AIA reports filed with the City of Medford are used as resource data. Past reports accepted by the City of Medford (including AC-07-005, West Main Estates) assist in following past patterns and practices regarding the content of AIA reports.

This report addresses the potential impacts of a proposed subdivision with abutting EFU zoned lands towards the north, owned by Bear Creek Orchards, Inc.

**II. PROJECT DESCRIPTION**

Orchard Glen Estates, Phase 3 is located on property described as Township 37S, Range 2W, Section 26B, Tax Lot 1200, Jackson County, Oregon; 2686 W. Main Street, Medford (See Appendix B).

The subject site is located inside the Medford City Limits and is currently zoned Heavy Commercial (C-H). The proposed multiple family attached housing development is located on approximately 1.95 acres. The Orchard Glen Estates, Phase 3 site plan identifies the layout of buildings, the landscaped areas with the associated parking and maneuvering areas included.

The abutting EFU lands, as prescribed in Section 10.801(B), MLDC, consists of a common lot line with property identified as T.37S-R.2W-Section 26B, Tax Lot 100, in the ownership of Bear Creek Orchards, Inc; a portion of the Hollywood orchard.

### III. DEVELOPMENT/ABUTTING AGRICULTURE

Bear Creek Orchards, Inc. property is zoned EFU, based on the Jackson County Official Zoning Map. The soils on this site are Ruch gravelly silt loam (158B), Ruch silt loam (157B), Gregory silty clay loam (76A) and Medford silty clay loam (127A) which are irrigated by Medford Irrigation District (MID) found in Appendix D. The agricultural activity present along the common boundary is a pear orchard. As defined in the Medford Land Development Code, Section 10.801(D) this report will address "Intensive" agriculture mitigation. The abutting EFU zoned land, Tax Lot 100 is located along the northern boundary line of the subject site, Tax Lot 1200.

The topography of the site and surrounding area is shown in Appendix D. The general surface gradient decreases from the south to the north along the common boundary line with Bear Creek Orchards. The surface water also drains towards the north over the subject site to an engineered storm drain system and draining towards the Elk Creek Drainage Basin.

Meteorological information on valley winds and downslope winds is found in Appendix E. Valley winds are caused by the differences in temperature in the valley air. Down slope winds are caused by cooler, higher elevation air flowing into lower elevation valleys at night. Down slope winds are very shallow, and slower in speed than valley winds.

A summary of precipitation, wind speed and wind direction is located in Appendix E. This information was collected at the Medford/Jackson County Airport. In general, hot, dry summers are followed by cooler fall and wet winter months.

Yearly average precipitation is just under 20 inches per year at the Medford Airport. The majority of the precipitation falls in the winter months. At the airport, the prevailing wind direction is from the northwest from March through September, changing to the south and north from October through February. The average yearly wind speed is 4.8 miles per hour, with higher winds reported in the summer months. Surface wind roses for the Airport are shown in Appendix E.

#### **IV. AGRICULTURAL LANDS DESCRIPTION**

Bear Creek Orchards, Inc., Hollywood orchard is located north of the proposed development. This orchard produces predominately Anjou and Bosc pears. The farmhouse, barn, and out-buildings are located on the ranch property north of W. Main Street, in the southwestern quadrant of the Hollywood orchard properties.

To portray the typical agricultural practices of pear orchard operations, the following describes the accepted farming practices for Bear Creek Orchards, Inc. Hollywood orchard, on a monthly basis, based on past interviews with orchardists.

##### **Typical Orchard Operations**

January- Prune trees with hand tools. Remove old trees. Periodic, once every 3-4 years, heavy limb trimming with contracted circular saw truck. Install, repair irrigation equipment. Begin pest spray at the end of the month.

February- Continue pest spray operations, if needed, and irrigation work. Begin weed control sprays. Complete pruning.

March- Continue pest and weed control operations, as needed. Plant new trees and graft trees. Begin pre-bloom sprays. Begin frost control operation as needed. Frost control is provided primarily by overhead sprinklers with orchard heaters for severe conditions. Begin mowing and ground discing with tractor to control ground vegetation.

April- Begin bloom sprays. Introduce beehives in the orchard for pollination. Continue mowing and ground discing operations. Continue weed and pest control sprays as needed. Continue frost control as needed. Begin post bloom sprays.

May- Begin first cover spray for pests. Continue frost control as needed. Continue mowing and discing. Continue weed and pest control sprays as needed. Begin irrigation by overhead sprinklers.

June- Continue irrigation. Begin second cover spray. Thin fruit on trees by hand. Continue weed spraying and mowing as needed.

July- Continue irrigation. Continue mowing and discing. Begin third cover spray. Ground fertilization using granular or liquid forms.

August- Continue irrigation, mowing and discing. Begin hormone spray to maintain fruit on trees.

September- Continue irrigation and mowing. Begin harvesting fruit.

October- Conclude harvest. Begin clean-up spray.

November- Continue maintenance operations. Begin tree removal.

December- Continue maintenance and tree removal.

The following are comprehensive typical agricultural activities occurring at Bear Creek Orchards.

1. Irrigation- Drip/micro sprinklers are used for irrigation. The water source is from Medford Irrigation District. Sprinkler irrigation can occur on a daily basis during the irrigation season.

2. Cultivation- Cultivation is performed using a tractor mounted disk and a tractor mounted mower. Discing and/or mowing operation occur approximately once per week.

3. Spray Operations- Spraying operations of insecticides, antibiotics, fungicides and acaricides are accomplished using a trailer mounted reservoir and sprayer (air blast sprayer) pulled by a tractor. The tractor pulls the spray trailer between the tree rows, providing spray coverage for the entire tree on both rows simultaneously. Daily spray operations begin at dawn, and continue until the afternoon wind speed affects spray efficiency.

During the spring and summer months spray activity is approximately 4 days per month. Spraying operations are done by block or variety of pears. Spray operations usually do not occur on Sunday.

4. Fertilizer/Herbicide Application- Typically used is the granular fertilizer that is broadcast by a tractor towed trailer. Also used are liquid fertilizer that is applied to the ground with a reservoir trailer towed by a tractor. Herbicide application is also applied with a boom sprayer and reservoir trailer towed by a tractor. Fertilizer and herbicide application is designed to impact the soil, not the trees.

5. Frost Protection- Wind machines are predominately used for frost protection with orchard heaters used during critical periods of frost soon after budding occurs on the trees. Irrigation water can also be used in the Hollywood orchard.

## V. ADVERSE IMPACTS

The list of adverse impacts when urban developments abut EFU lands are generally Noise, Odors, Dust, Drift, Trespass and Vandalism, with Irrigation and Storm Water Runoff.

Noise- This inclusion of the noise impact is to make aware of the present source of noise. The most common noise source with the strongest potential for intensity is the air blast sprayers. Because of low tractor speeds and stable atmospheric conditions, the whine of these machines is projected to exceed the tolerant outdoor noise levels at or close to the common boundary. Use of the wind machines in the early morning hours are also noise source during the bloom. The proposed residences near the common boundary may be exposed to noise an estimated length of 8 hours per year.

Dust- The grass/weed mowing and cultivation operations during the year may cause dust to drift off site at the perimeters of the orchard. The presence of micro-sprinklers that washes and settles dust particles may mitigate dust drift. From a drift stand point, soil dust may occasionally leave the orchard, due to lack of moisture conditions. The predominate Northwest wind direction is mitigated with the existing vegetative screen and a 20-foot high mesh windbreak screen along the common boundary line. These components will mitigate dust drift along with the spatial separation of approximately 60 from the north property line to the nearest dwelling unit.

Odor- It is inevitable that slight odors from orchard spraying may occur, mostly in the spring and summertime. Although a detailed investigation was not practicable, orchard operators seem to agree that spray treatment with the most odor potential is from the post harvest cover spray with a lime-sulfur-oil base. The transport mechanism most likely involved is the occasional breeze.

Trespass and Vandalism- Common knowledge points to two main adverse impacts from developments to abutting orchards; the first is people trespassing onto orchard property. Most of such trespassing is accomplished for the purpose of removing crops. The second and more severe incident is the removal of mechanical parts from vehicles and equipment.

Orchard Glen Estates, Host Plants- Information indicates that neighboring properties supporting plants from the Rose family, and including apple trees, pear trees, Hawthorne trees, Quince, Pyracantha, Walnut trees, Cotoneaster and Mountain Ash trees can become hosts for pests and diseases, which in turn may infect the orchard trees. The neighboring properties usually are not sprayed, making the host pest and disease problem continuous for the orchard in some cases. A deed declaration assuring the "Right to Farm" will run with Orchard Glen Estates, Phase 3.

Pesticides- Complaints about spray drift from pesticide applications is a potential adverse impact. The term pesticide has several subdivisions based on its chief target. Based on a list of previously supplied by Crystal Springs Orchards, Bear Creek Orchards and Hillcrest Orchards, the following types of pesticides are currently used on pear orchards.

Antibiotics: which kill bacteria and viruses

Fungicides: which kill fungi

Herbicides: which kill plants

Insecticides: which kill insects

Growth Regulators: which retard the growth of the trees

Acaricides: which kill mites and spiders

## VI. MITIGATION MEASURES

The proposed development is abutting the Bear Creek Orchards, Hollywood pear orchard that is zoned EFU, which contains predominately Ruch and Medford silty clay loam soils that are irrigated with MID water. Thus, the soil classification with the irrigation rights

determines that the orchard soils are Class I and Class II agricultural soils according to the Natural Resource Conservation Service (NRCS). Therefore, the standards and general criteria in Section 10.801(D)(2), MLDC "Intensive Agriculture" apply.

The Medford Code, Section 10.801(D)(2) requires the developer to address how the proposed development mitigates potential adverse impacts between agricultural uses and urban uses.

Trespass/Vandalism- The potential for trespassing will be mitigated by the use of visible open space between the common boundary and the proposed structures, with a 6 foot high chain link fence adjacent to the northern property line. The fence is proposed to prevent persons from directly trespassing onto the EFU lands and vandalizing the trees. The fencing will be installed concurrently with the development of the structures/dwellings within the multiple family project as proposed. The fence will be maintained by the individual property owners of Orchard Glen Estates, to ensure the fencing remains in good repair.

The farm equipment parked and locked in the tool yards and sheds for Bear Creek Orchards, that are well removed from the subject property, will help mitigate the destruction or removal of parts on the equipment.

Noise, Odors and Drift- The potential impact for agricultural noise, odors, and drift may be mitigated by the use of the spatial separation from the dwelling units to the actual orchard operation that includes and an established evergreen vegetative screen being 15-20 feet in height and fully enclosed. In addition, a 20 foot high mesh screen will assist in the mitigation of odors and drift. The evergreen landscaped area adjacent to the common boundary line is located on the Bear Creek Orchard property that they also irrigate to ensure survival, consistent with the Medford Code. The fencing and open space area will be maintained by the property owners of Orchard Glen Estates. The intent is to minimize the negative impacts of the listed occurrences on the urban development.

There is approximately 60 feet of physical separation from the closest dwelling unit to the common property line. The distance from the property line to the nearest tree is approximately 30 feet.

The proposed residential homes will be constructed to assist in noise control. The location of doors and windows with increased insulation for the closest dwelling units may also minimize the potential for noise and drift. Construction design for dwelling units beyond the adjacent units, need no mitigation measures due to the barrier effect of the first row of dwelling units.

Irrigation and Storm Water Runoff- Storm water surface runoff from the proposed development will be contained in accord with the Master Storm Drain Plan of the City of Medford. The storm water runoff will have an engineered retention area that can be directed towards a natural drainage that runs towards the north. The site is located within the Elk Creek Drainage Basin. The applicants engineer will provide the design and engineering to provide the system which will be reviewed and approved by the Medford Engineering Department.

Orchard irrigation runoff from Bear Creek Orchards generally flows northerly with the tree rows and natural slope of the land. Orchard Glen Estates is located at a slightly higher elevation than the pear orchard along the common boundary line and will not be affected by any orchard irrigation drainage.

Host Pest Problems- It is very important to the continuing viability of orchard operations that neighboring properties be prevented from growing host plants. In the deed declaration, all property owners and tenants within Orchard Glen Estates will be prevented from planting any of the previously listed host plants. Landscape plans will be required to be reviewed and approved by the Medford Parks Department in compliance with these restrictions.

Right to Farm- The orchard adjacent to the proposed subdivision, has established a "Right to Farm" as provided by Oregon Law, ORS 30.930 to 30.947, and there exist certain limitations on lawsuits against or relating to the farm or the farming practices and the impacts to adjoining property. The "Right to Farm" provisions of state law protect the adjacent agricultural operation and allow farming to continue within acceptable farming practices.

**VII. SUMMARY AND CONCLUSIONS**

In accordance with the Medford Land Development Code, this AIA was prepared to address the potential impacts of Orchard Glen Estates, Phase 3, on agricultural lands zoned EFU. Currently, Bear Creek Orchards, Inc. is in ownership of the abutting EFU zoned lands to the north, Hollywood orchard, where pear tree fruit activities and practices are occurring.

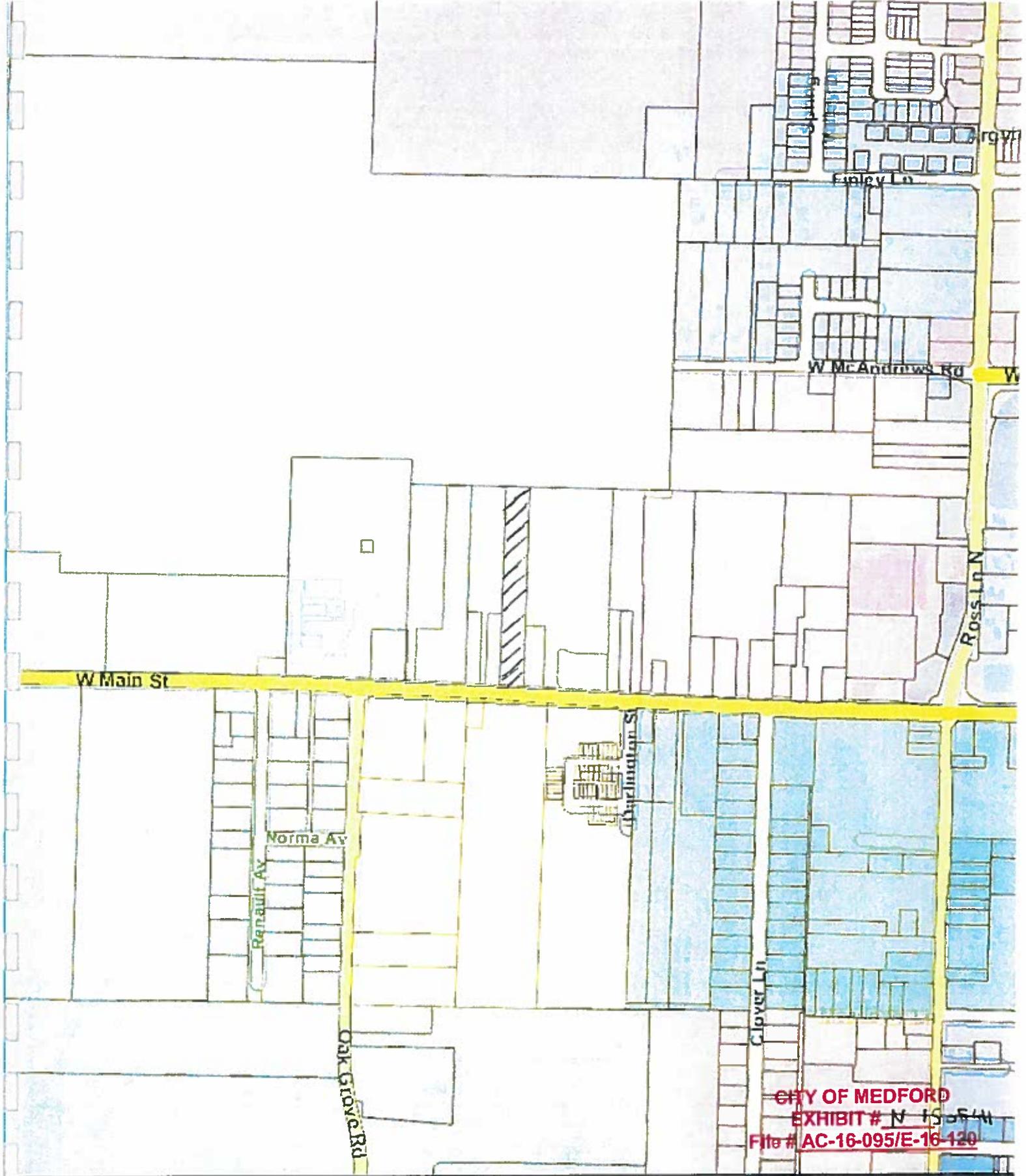
It is believed that the examination of impacts from the proposed Orchard Glen Estates, Phase 3 contained herein has adequately considered and demonstrates the effective application of the Agricultural Buffering Standards and Criteria in accordance with the requirements of Medford Land Development Code, Section 10.801. The impacts have been identified and through a variety of mitigation measures, which includes a 6 foot chain link fence, 20-foot high mesh screen, spatial separation, residential home construction and design, with the existing 15-20 foot evergreen vegetative screen and a Deed Declaration assuring the "Right to Farm", the identified impacts can be mitigated and reduced to insure any impact is within acceptable levels.

Respectfully Submitted,

Dennis Hoffbuhr

# Appendix “A”

## Vicinity Map



**CITY OF MEDFORD**  
**EXHIBIT # N 15-544**  
**File # AC-16-095/E-16-120**

**City of Medford: LIS**

Map created by City of Medford's Land Information System (LIS) www.medfordmaps.org

N  
  
 100m  
 F  
**Page 89** 10ft



Plot Date: May 9, 2016

**CITY OF MEDFORD**  
**GEOGRAPHIC INFORMATION SYSTEMS**

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NO GUARANTEE OR WARRANTY IS EXPRESSED OR IMPLIED IN TERMS OF DATA ACCURACY OR LEGITIMACY.

# Appendix “B”

## Aerial Photos & Zoning Map

# 2012 Aerial

37-2W-26B TL 100



## Legend

-  Subject Property
-  Bear Creek Orchards

0 300 600 Feet

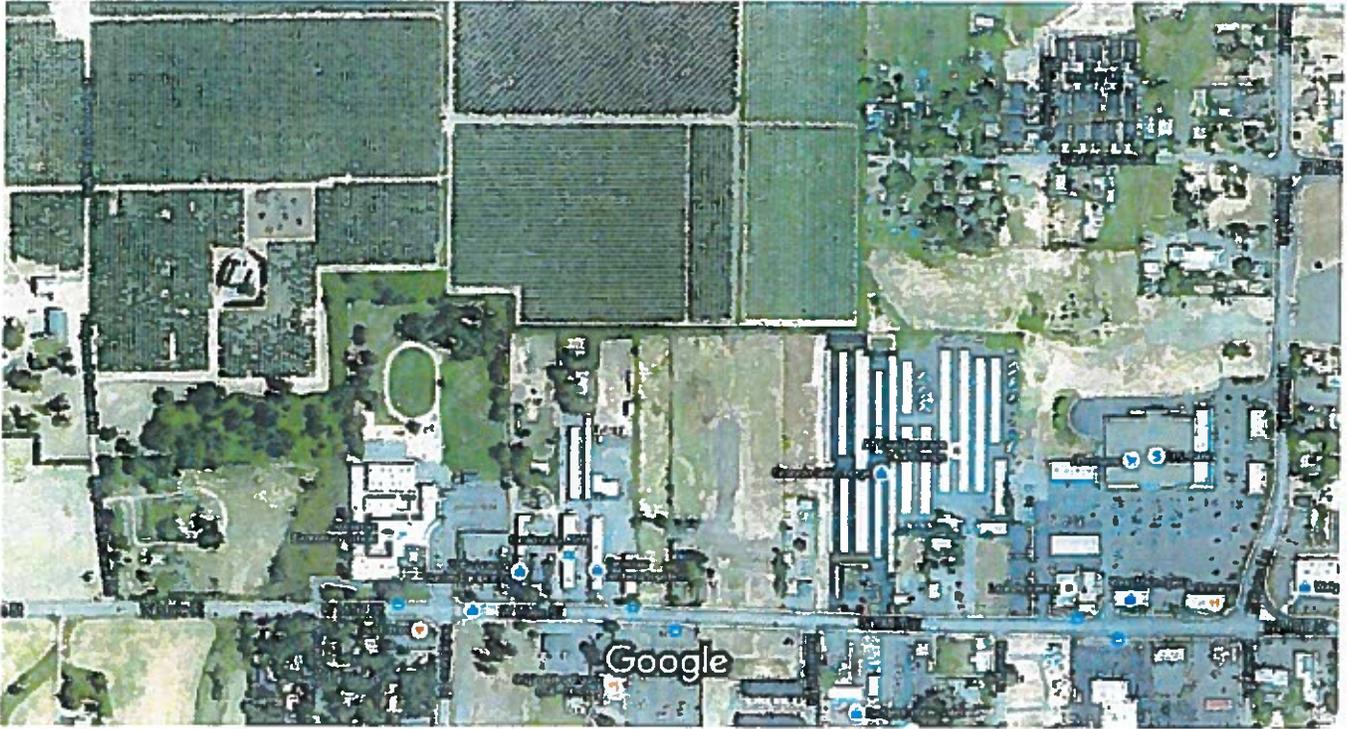
1 inch = 600 feet



This map is based on a digital database compiled by Jackson County GIS from a variety of sources, and may include RSA field data received by a Trimble GPS. We cannot accept responsibility for errors, omissions, or positional accuracy. There are no warranties, expressed or implied.

4-7-16

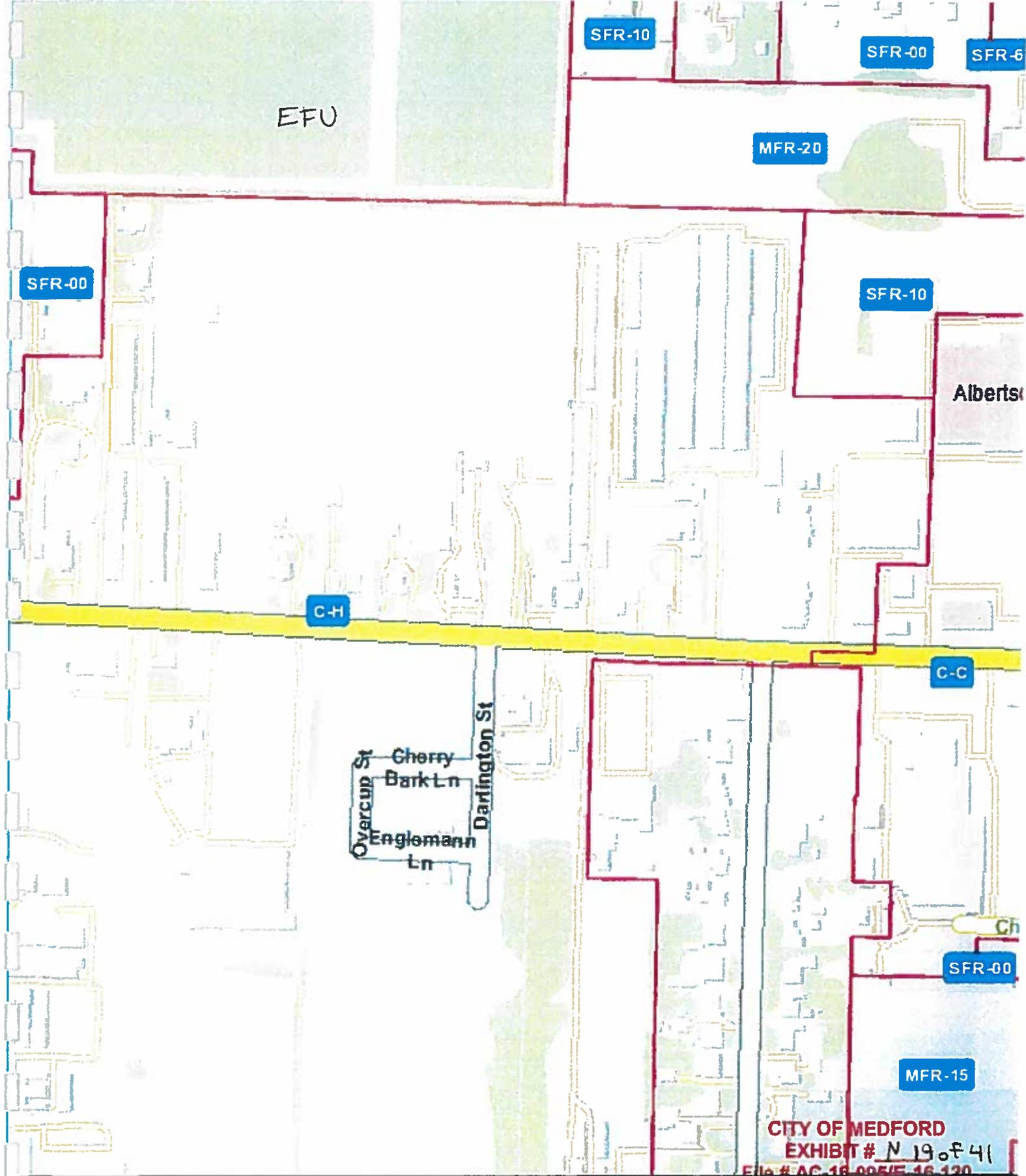
Google Maps



Imagery ©2016 DigitalGlobe, Jackson County GIS, State of Oregon, Map data ©2016 Google 200 ft

Google Maps

**CITY OF MEDFORD**  
**EXHIBIT # N 18 of 41**  
**File # AC-16-095/E-16-120**



**City of Medford: LIS**



80m

Plot Date: May 2, 2016

**CITY OF MEDFORD**

**GEOGRAPHIC INFORMATION SYSTEMS**

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NO GUARANTEE OR WARRANTY IS EXPRESSED OR IMPLIED IN TERMS OF DATA ACCURACY OR LEGITIMACY.

# Appendix “C”

## Site Development Plan

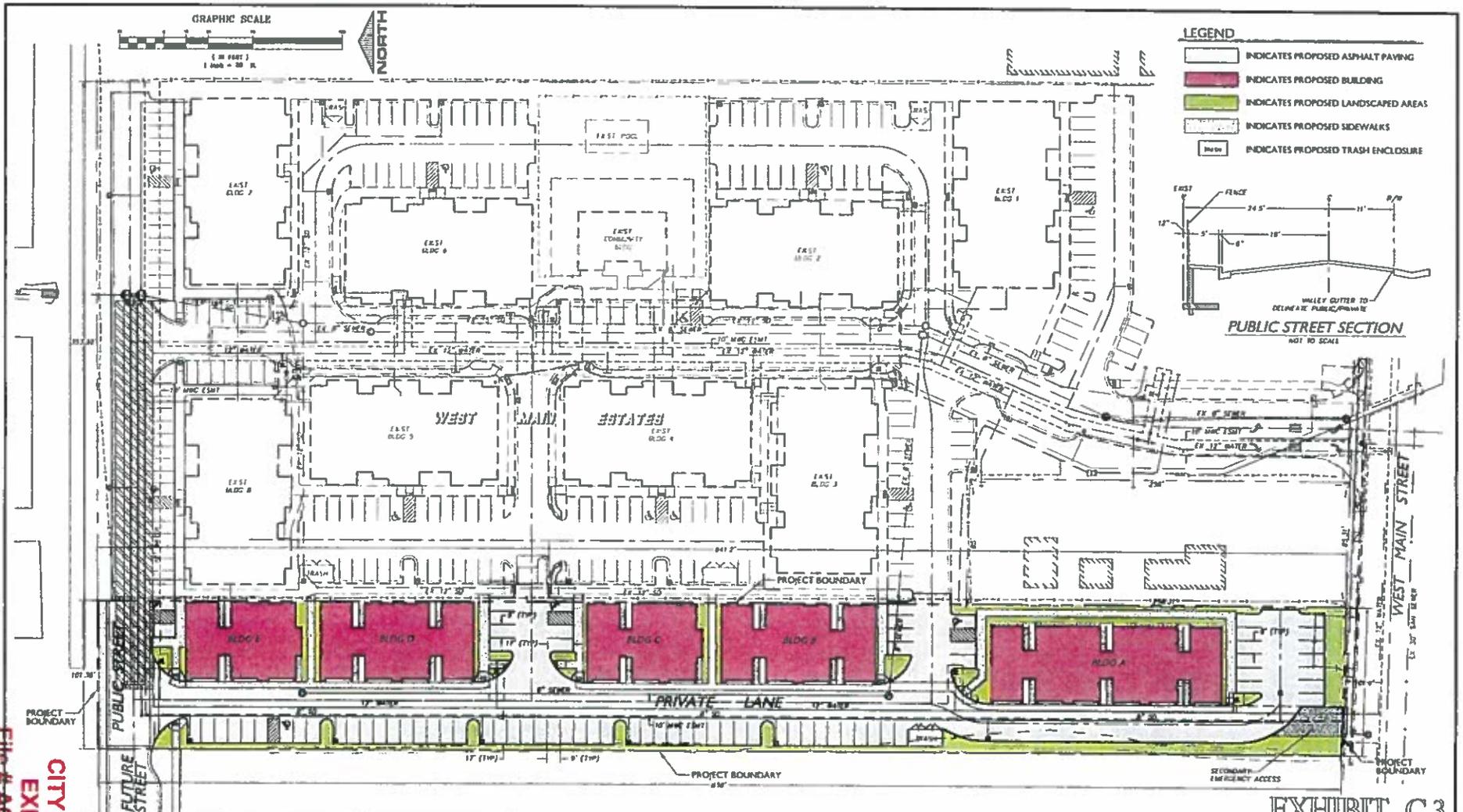


EXHIBIT C3

CITY OF MEDFORD  
 ORCHARD GLEN ESTATES, PHASE 3  
 SITE PLAN



DRAWN BY	DD	DATE	04/16
CHECKED BY	BAK, AND	DATE	04/18
APPROVED BY		DATE	
APPROVED		DATE	
APPROVED		DATE	

NO	REVISION	DATE	BY



REV CITY ENGINEER DATE  
 DATE: 04/18/18  
 DRAWN BY: DD  
 CHECKED BY: BAK, AND  
 PROJECT NO: 18-095/E-16-120

CITY OF MEDFORD  
 EXHIBIT # N 21 of 41  
 File # AG-18-095/E-16-120



P.O. BOX 3764 • MEDFORD, OREGON 97501  
PHONE (541) 778-6200

DESIGNED BY	CLC	DATE	04/10
CHECKED BY	AMK, AMB	DATE	04/10
		DATE	
		DATE	
		DATE	

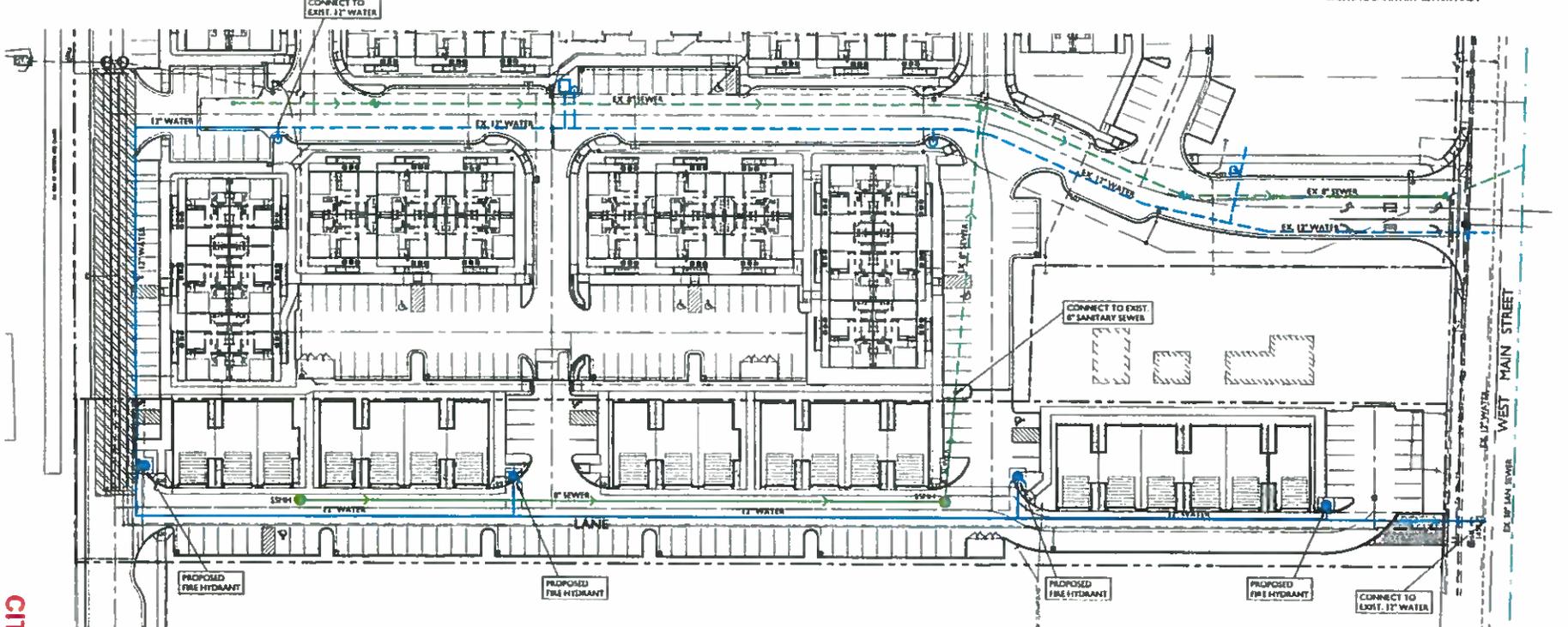
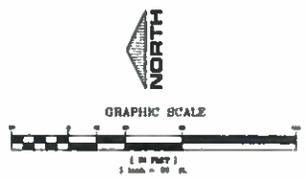
NO.	REV.	DATE	BY



### EXHIBIT C.2

CITY OF MEDFORD  
 ORCHARD GLEN ESTATES, PHASE 3  
 CONCEPTUAL  
 SEWER & WATER PLAN

- LEGEND**
- EXISTING WATER MAIN
  - EXISTING FIRE HYDRANT
  - PROPOSED WATER MAIN
  - PROPOSED FIRE HYDRANT
  - PROPOSED SEWER MAN-HOLE OR CLEANOUT
  - EXISTING SANITARY SEWER MAIN



DRAWING ROOM 04/10 C:\proj\09110001 PROJ# AC-16-095-E-16-120 FILE# 0410 04/10/10



- LEGEND**
- PROPOSED STORM MANHOLE OR CLEANOUT
  - PROPOSED CURB INLET
  - ▣ PROPOSED CATCH BASIN
  - ▤ PROPOSED DITCH INLET
  - PROPOSED STORM MAIN
  - - - EXISTING STORM MAIN
  - DRAINAGE DIRECTION

PROPOSED OUTLET CONTROL STRUCTURE

PROPOSED STORMWATER FACILITY DETENTION & TREATMENT

LANE

WEST MAIN STREET

CITY OF MEDFORD  
 EXHIBIT C.1  
 FILE # AC-16-093/SITE-16-120  
 N 23 of 14

# EXHIBIT C.1



P.O. BOX 1724 - MEDFORD, OREGON 97501  
 TEL (541) 778-4286

DRAWN BY:	DLG	DATE:	04/78
CHECKED BY:	MMK AMJ	DATE:	04/78
		DATE:	
		DATE:	
		DATE:	

NO	REVISION	DATE	BY



CITY OF MEDFORD	
ORCHARD GLEN ESTATES, PHASE 3	
CONCEPTUAL GRADING & DRAINAGE PLAN	
PROJECT NO.	
DRAWING NO.	

DATE PLOTTED: 04/11/2014 10:52:11 AM PLOT FILE: D:\CADD\...



# Appendix “D”

## Agricultural Land Information

# Soils

37-2W-26B TL 100



## Legend

- Subject Property
- Bear Creek Orchards

0 300 600 Feet

1 inch = 600 feet

SOILS					
Symbol	Name	Slope	NonIrr	Irr	Cubic Ft
158B	Ruch gravelly silt loam	2-7%	IV (4)	II (2)	85.8
157B	Ruch silt loam	2-7%	IV (4)	II (2)	85.8
76A	Gregory silty clay loam	0-3%	IV (4)	II (2)	0
127A	Medford silty clay loam	0-3%	IV (4)	I (1)	0

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CITY OF MEDFORD  
 EXHIBIT # N 26 OF 41  
 File # AC-16-095/E-16-120



This map is based on a digital database compiled by Jackson County GIS from a variety of sources, and may include RSA field data received by a Trimble GPS. We cannot accept responsibility for errors, omissions, or positional accuracy. There are no warranties, expressed or implied.

4-7-16

# 5' Contours

37-2W-26B TL 100



## Legend

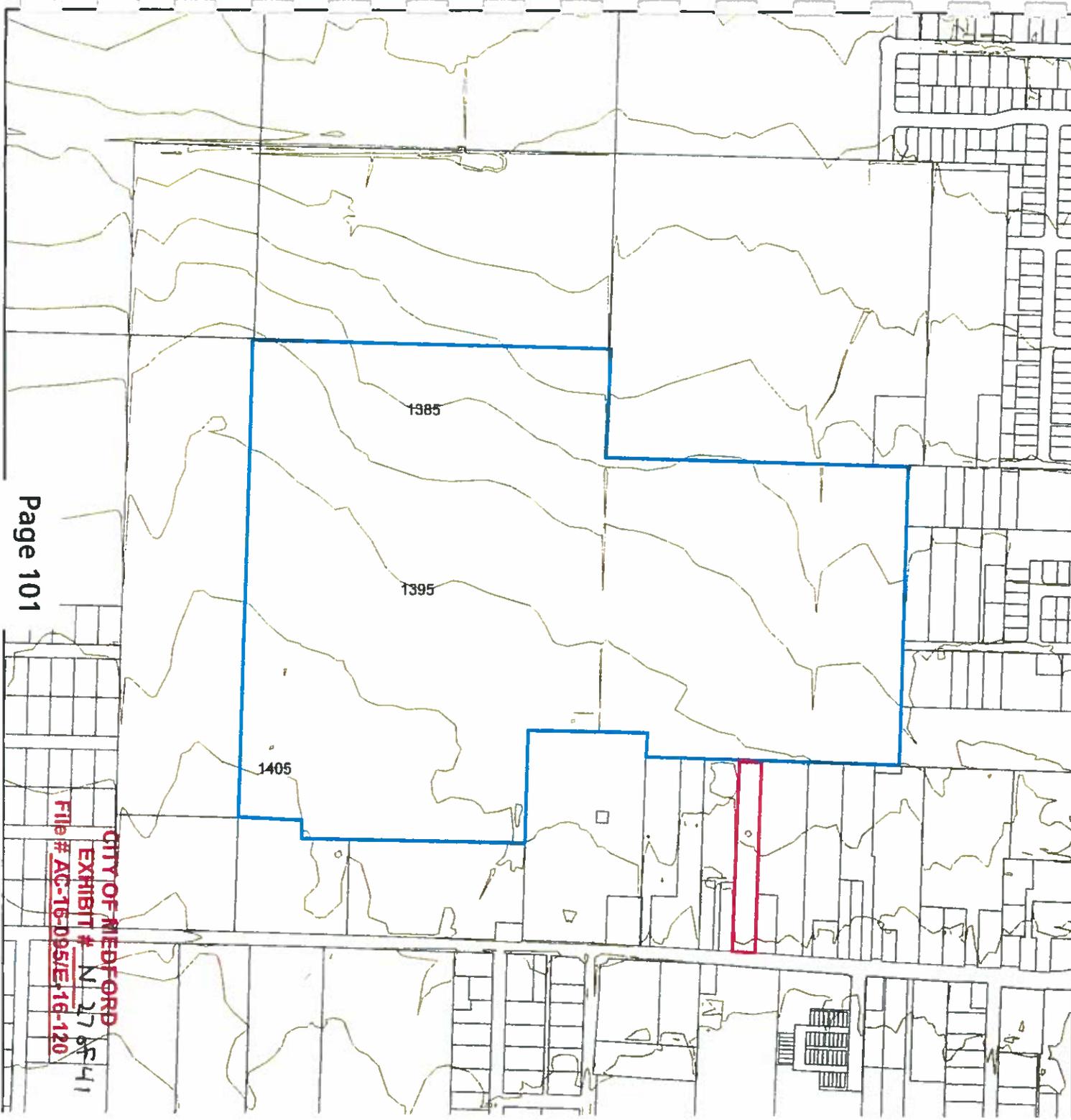
-  Subject Property
-  Bear Creek Orchards
-  5' Contours

0 300 600 Feet

1 inch = 600 feet



This map is based on a digital database compiled by Jackson County GIS from a variety of sources, and may include RSA field data received by a Trimble GPS. We cannot accept responsibility for errors, omissions, or positional accuracy. There are no warranties, expressed or implied.



Account Sequence	Map TL Sequence	Assessment Year <b>2016</b> ▼	Print Window	Close Window
------------------	-----------------	-------------------------------	--------------	--------------

**Assessment Info for Account 1-043085-1 Map 372W26B Taxlot 100**  
Report For Assessment Purposes Only Created April 04, 2016

<b>Account Info</b>		<b>Tax Year 2015 Info</b>		<b>Land Info</b>	
Account	1-043085-1	<b>Pay Taxes Online</b>		Tax Code	49-03
Map Taxlot	372W26B 100	Tax Report	<a href="#">Details</a>	Acreage	100.83
Owner	BEAR CREEK ORCHARDS INC	Tax Statement	<a href="#">Details</a>	<b>Zoning</b>	
<input type="checkbox"/> Situs Address		Tax History	<a href="#">Details</a>	<b>EFU</b>	
3092 W MAIN ST MEDFORD/COUNTY <span style="float:right">R</span>		Tax Code 49-03		<b>Land Class</b>	
Mailing Address	BEAR CREEK ORCHARDS INC BEAR CREEK OPERATIONS, INC LORIN PARSONS PO BOX 712 MEDFORD OR, 975010712	Tax Type	Due Date	Amount	
<input type="checkbox"/> Associated Taxlots 6 Acct		Advalorem	11/15/15	\$3,978.07	
Appraiser	141	Tax Rate		12.5721	
		District Rates		<a href="#">Details</a>	
		District Amounts		<a href="#">Details</a>	
		Tax Rate Sheet		<a href="#">Details</a>	

**Sales Data (AS 400)**

**Value Summary Detail ( For Assessment Year 2016 - Subject To Change )**

**Market Value Summary ( For Assessment Year 2016 - Subject To Change )**

Code Area	Type	Acreage	RMV	M5	MAV	AV
49-03	LAND	7.19	\$ 27,810	\$ 27,810	\$ 28,640	\$ 27,810
49-03	LAND	93.64	\$ 815,360	\$ 0	\$ 0	\$ 0
49-03	IMPR	0.00	\$ 209,310	\$ 209,310	\$ 215,590	\$ 209,310
Value History <a href="#">Details</a>		Total:	\$ 1,052,480	\$ 237,120	\$ 244,230	\$ 237,120

**Specially Assessed Value Summary ( For Assessment Year 2016 - Subject To Change )**

Code Area	Type	Acreage	SAV	MSAV	AV
49-03	LAND	93.64	\$ 144,317	\$ 81,678	\$ 81,678
		Total:	\$ 144,317	\$ 81,678	\$ 81,678

**Total (Market + Specially Assessed) Value Summary ( For Assessment Year 2016 - Subject To Change )**

Code Area	RMV	M5	MAV	AV
49-03	\$ 1,052,480	\$ 381,437	\$ 325,908	\$ 318,798

**Improvements**

Site	Building #	Code Area	Year Built	Eff Year Built	Stat Class	Description	Type	SqFt	% Complete
	4	49-03	1930	1930	300	Residential Other Improvements	Residence	0	100 %

**Images / Plans**

Image type	Item Number	Image Files
------------	-------------	-------------

CITY OF MEDFORD  
EXHIBIT # N 28 of 41  
File # AC-16-095/E-16-120

RESIDENTIAL	1	3	<a href="#">PDF</a>
RESIDENTIAL	2	1	<a href="#">PDF</a>
ACCOUNT PHOTOS	3	11	<a href="#">PDF</a>
All In One Report			<a href="#">PDF</a>
<input checked="" type="checkbox"/> Improvement Comments			
<input type="checkbox"/> Appraisal Maintenance			
2007 - VALID RESIDENTIAL R.T.			
2011 - INVENTORY REVIEW			
<input type="checkbox"/> Account Comments			
(1) VALUED W/372W23-1002 >>> THIS WAS PREVIOUSLY A SPLIT CODE ACCOUNT. ACCOUNTS COMBINED FOR 2006-07. PURGED ACCOUNT #10598159 - 09/30/98: VALUED AS ACRES IN COMMON W/TL #1002. 01/24/01: NO PROGRESS PER #96>>>1/04/07 NO LAND CHANGE #96>>> 10/13/10 NLC #141 >>03/23/11 SEG FOR RE-MAP PURPOSES ONLY. 1 PARCEL OVER 4 MAPS, VALUE AS AIC WITH 372W27A-11500, 372W22-3600 & 372W23-4800 #133>>>			
<input type="checkbox"/> Exemptions / Special Assessments / Notations / Potential Liability			
<b>Notations</b>			
Description	Tax Amount	Year Added	Value Amount
FARM LAND-POTENTIAL LIABILITY			
FARM LAND-POTENTIAL LIABILITY			
CARTOGRAPHIC ACTIVITY		2011	
CLERICAL ERROR - DECREASE		2011	
READ BEFORE DATA ENTRING EXCEPTION		2006	
SPLIT CODE COMBINE		2006	
BOPTA ORDER-REDUCTION 309.120		1988	
<input type="checkbox"/> Location Map			
<a href="#">Close Window</a>		<a href="#">Print Window</a>	

CITY OF MEDFORD  
 EXHIBIT # N 29 of 41  
 File # AC-16-095/E-16-120

# Appendix “E”

## Weather Data

## MEDFORD, OREGON

Medford is located in a mountain valley formed by the famous Rogue River and one of its tributaries, Bear Creek. The major portion of the valley ranges in elevation from 1,300 to 1,400 feet above sea level. Mountains surround the valley on all sides, to the east the Cascades, ranging up to 9,500 feet, to the south the Siskiyou's, ranging up to 7,600 feet, and to the west and north, the Coast Range and Umpqua Divide, ranging up to 5,500 feet above sea level. The valley exits to the ocean 80 miles westward through the narrow canyon of the Rogue River.

Medford has a moderate climate of marked seasonal characteristics. Late fall, winter, and early spring months are damp, cloudy, and cool under the influence of marine air. Late spring, summer, and early fall are warm, dry, and sunny, due to the dry continental nature of the prevailing winds aloft that cross this area.

The rain shadow afforded by the Siskiyou and Coast Range results in a relatively light annual rainfall, most of which falls during the winter season. Summertime rainfall is brought by thunderstorm activity. Snowfall is quite heavy in the surrounding mountains during the winter, providing excellent skiing. The mountains provide irrigation water storage which is necessary for production of most commercial crops during the dry summer. Valley snowfall is light. Individual accumulations of snow seldom last more than 24 hours and present little hindrance to transportation on the valley floor.

Few extremes of temperature occur. High temperatures in the summer months average slightly below 90 degrees. High temperatures are always

accompanied by low humidity, and hot days give way to cool nights as cool air drains down the mountain slopes into the valley. The length of the growing season is 170 days, from late April to mid-October. The last date of 32 degrees in the spring normally occurs in mid-June and the first date of 32 degrees in the fall occurs in mid-September.

Valley winds are usually very light, prevailing from the north or northwest much of the year. Winds exceeding 10 mph during the winter months nearly always come from the southerly quadrant. Highest velocities are reached when a well developed storm off the northern California coast causes a foehn or chinook wind off the Siskiyou Mountains to the south, speeds to 50 mph are common, and gusts to 70 mph have been recorded occasionally. Summer thunderstorms produce gusty winds to 40 or 50 mph which may come from any direction.

Fog often fills the lower portion of the valley during the winter and early spring months, when rapid clearing of the sky after a storm allows nocturnal cooling of the entrapped, moist air to the saturation point. Duration of the fog is seldom more than three days. Geographical and meteorological conditions contribute to a smoke problem during the fall, winter and early spring months. Smoke, from local sources, occasionally reduces visibility to 1 to 3 miles under stable conditions.

## CLIMATE OF MEDFORD, OREGON

### I. GEOGRAPHICAL LOCATION

MEDFORD, THE COUNTY SEAT OF JACKSON COUNTY, IS LOCATED IN THE ROGUE VALLEY OF SOUTHWESTERN OREGON, APPROXIMATELY 25 MILES NORTH OF THE CALIFORNIA BORDER. THE MAJOR PORTION OF THE VALLEY RANGES IN ELEVATION FROM 1300 TO 1400 FEET ABOVE SEA LEVEL. MOUNTAINS SURROUND THE VALLEY ON ALL SIDES, TO THE EAST THE CASCADES, RANGING UP TO 9500 FEET, TO THE SOUTH THE SISKIYOU, RANGING UP TO 7600 FEET, AND TO THE WEST AND NORTH, THE COAST RANGE AND UMPQUA DIVIDE, RANGING UP TO 5500 FEET ABOVE SEA LEVEL. THE VALLEYS OUTLET TO THE OCEAN 80 MILES WESTWARD IS THE NARROW CANYON OF THE ROGUE RIVER.

### II. HISTORY OF WEATHER OBSERVATIONS

PRECIPITATION AND TEMPERATURE RECORDS WERE BEGUN ON MARCH 3 1911 IN DOWNTOWN MEDFORD. THE COOPERATIVE STATION OPERATED UNTIL JULY 15 1927, WHEN ALL OF THE ACTIVITIES WERE ASSUMED BY U.S. WEATHER BUREAU, WHICH HAD BEGUN OPERATIONS ON DECEMBER 22 1926 AT BARBER FIELD (1.6 MILES SOUTHEAST OF THE COOPERATIVE STATION). THE WEATHER BUREAU OPERATED DOWNTOWN UNTIL NOVEMBER 1 1929, WHEN OPERATIONS WERE MOVED TO THE MUNICIPAL AIRPORT (3 MILES NORTH).

THE NATIONAL WEATHER SERVICE HAS MAINTAINED AN OFFICE AT THE AIRPORT TO THE PRESENT TIME. IT HAS MOVED THREE DIFFERENT TIMES, WITH THE LAST OCCURRING ON AUGUST 15 1934, WHEN IT OCCUPIED THE NEW WEATHER SERVICE OWNED BUILDING A MILE NORTH-NORTHWEST OF THE FAA CONTROL TOWER.

578

### III. CLIMATOLOGICAL CHARACTERISTICS

MEDFORD HAS A MODERATE CLIMATE OF MARKED SEASONAL CHARACTERISTICS. LATE FALL, WINTER, AND EARLY SPRING MONTHS ARE DAMP, CLOUDY, AND COOL UNDER THE INFLUENCE OF MARINE AIR. LATE SPRING, SUMMER, AND EARLY FALL ARE WARM, DRY, AND SUNNY, DUE TO THE DRY CONTINENTAL NATURE OF THE PREVAILING WINDS ALOFT THAT CROSS THE AREA.

THE RAIN SHADOW AFFORDED BY THE SISKIYOU AND COAST RANGE RESULTS IN A RELATIVELY LIGHT ANNUAL RAINFALL, MOST OF WHICH FALLS DURING THE WINTER SEASON. SUMMERTIME RAINFALL IS BROUGHT BY THUNDERSTORM ACTIVITY. SNOWFALL IS QUITE HEAVY IN THE SURROUNDING MOUNTAINS DURING THE WINTER PROVIDING ADEQUATE IRRIGATION WATER STORAGE WHICH IS NECESSARY FOR PRODUCTION OF MOST COMMERCIAL CROPS DURING THE DRY SUMMER. VALLEY SNOWFALL IS LIGHT, INDIVIDUAL ACCUMULATIONS OF SNOW SELDOM LAST MORE THAN 24 HOURS, AND PRESENT LITTLE HINDRANCE TO TRANSPORTATION ON THE VALLEY FLOOR.

FEW EXTREMES OF TEMPERATURE OCCUR. HIGH TEMPERATURES IN THE SUMMER MONTHS AVERAGE SLIGHTLY BELOW 90 DEGREES. HIGH TEMPERATURES ARE ALWAYS ACCOMPANIED BY LOW HUMIDITY, AND HOT DAYS GIVE WAY TO COOL NIGHTS AS COOL AIR DRAINS DOWN THE MOUNTAIN SLOPES INTO THE VALLEY. THE LENGTH OF THE GROWING SEASON IS 170 DAYS, FROM LATE APRIL TO MID-OCTOBER. LATEST DATE OF 32 DEGREES OR LESS IN THE SPRING IS JUNE 12, AND THE EARLIEST DATE IN THE FALL IS SEPTEMBER 13.

CITY OF MEDFORD  
EXHIBIT # N 32 of 41  
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VALLEY WINDS ARE USUALLY LIGHT, PREVAILING FROM THE NORTH OR NORTHWEST MUCH OF THE YEAR. WINDS EXCEEDING 10 MPH DURING THE WINTER MONTHS NEARLY ALWAYS COME FROM THE SOUTHERLY QUADRANT. HIGHEST VELOCITIES ARE REACHED WHEN A WELL DEVELOPED STORM OFF OF THE NORTHERN CALIFORNIA COAST CAUSES A FOEHN OR CHINOOK WIND OFF THE SISKIYOU MOUNTAINS TO THE SOUTH, SPEEDS TO 50 MPH ARE COMMON, AND GUSTS TO 70 MPH HAVE BEEN FELT OCCASIONLY. SUMMER THUNDERSTORMS AFFORD GUSTY WINDS TO 40 TO 50 MPH WHICH MAY COME FROM ANY DIRECTION

FOG OFTEN FILLS THE LOWER PORTION OF THE VALLEY DURING THE WINTER AND EARLY SPRING MONTHS, WHEN RAPID CLEARING OF THE SKY AFTER A STORM ALLOWS COOLING OF THE ENTRAPPED, MOIST AIR TO THE SATURATION POINT. DURATION OF THE FOG IS SELDOM MORE THAN THREE DAYS. GEOGRAPHICAL AND METEOROLOGICAL CONDITIONS CONTRIBUTE TO A SMOKE PROBLEM DURING THE FALL, WINTER, AND EARLY SPRING MONTHS. REDUCING VISIBILITY TO 1 TO 3 MILES UNDER STABLE CONDITIONS.

## Monthly Mean Avg Temperature for Medford Area, OR (ThreadEx)

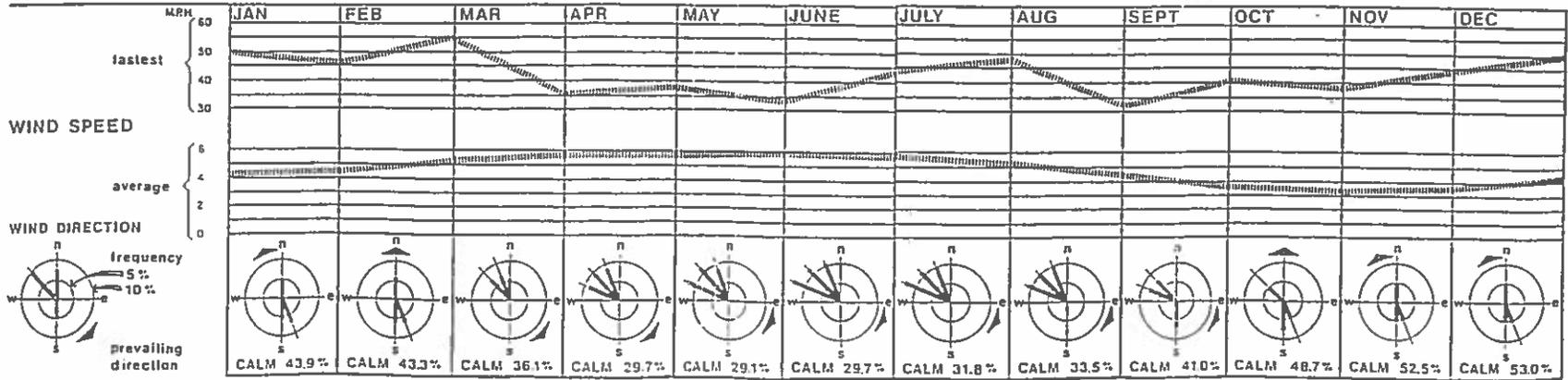
Year	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
2000	39.6	46.0	45.5	55.0	59.0	68.7	71.8	73.2	65.8	54.9	40.2	38.4	54.8
2001	39.7	41.7	48.9	49.4	64.2	64.6	73.0	74.7	68.2	56.5	46.8	40.9	55.7
2002	39.5	45.0	45.7	53.4	58.5	68.0	76.6	72.0	67.1	53.5	45.7	41.5	55.5
2003	44.2	42.9	48.6	48.9	58.6	69.9	77.4	73.8	68.9	58.1	43.2	42.8	56.4
2004	41.4	44.9	52.6	55.4	59.7	68.5	76.4	75.6	64.9	55.6	42.4	40.7	56.5
2005	39.2	44.9	50.3	51.9	60.5	63.5	76.4	76.2	64.4	55.8	42.9	40.6	55.5
2006	40.8	43.7	44.2	53.2	62.3	69.5	77.2	73.2	67.4	55.1	45.4	40.1	56.0
2007	35.8	42.3	50.4	53.0	61.9	66.6	76.2	73.0	64.6	53.1	44.7	38.4	55.0
2008	37.0	42.8	44.4	49.4	60.9	65.9	75.1	74.2	69.7	56.2	46.3	36.5	54.9
2009	38.8	43.9	45.8	52.1	62.3	67.5	77.9	73.9	69.4	53.4	42.5	35.3	55.2
2010	45.7	45.8	47.6	49.6	55.0	63.9	75.5	73.1	66.5	57.4	43.8	42.6	55.5
2011	39.4	41.0	46.6	48.8	54.9	64.4	71.2	74.9	71.8	56.4	45.2	35.3	54.2
2012	39.0	43.2	45.1	54.0	60.6	64.0	73.7	76.3	71.0	57.3	47.4	39.2	55.9
2013	36.8	41.4	49.4	54.2	61.6	68.6	78.9	74.4	66.7	53.3	44.4	31.3	55.1
2014	40.2	46.2	51.1	56.2	63.0	67.7	79.9	77.0	71.0	60.3	47.9	45.7	58.9
2015	42.1	48.0	53.3	53.7	62.8	74.8	78.4	75.9	67.6	61.9	43.6	42.2	58.7
2016	43.0	47.6	50.4	58.3	M	M	M	M	M	M	M	M	49.8
Mean	40.1	44.2	48.2	52.7	60.4	67.3	76.0	74.5	67.8	56.2	44.5	39.5	55.5
Max	45.7 2010	48.0 2015	53.3 2015	58.3 2016	64.2 2001	74.8 2015	79.9 2014	77.0 2014	71.8 2011	61.9 2015	47.9 2014	45.7 2014	58.9
Min	35.8 2007	41.0 2011	44.2 2006	48.8 2011	54.9 2011	63.5 2005	71.2 2011	72.0 2002	64.4 2005	53.1 2007	40.2 2000	31.3 2013	49.8

## Monthly Total Precipitation for Medford Area, OR (ThreadEx)

Year	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Annual
2000	5.00	2.76	1.52	3.59	0.75	0.43	0.58	0.07	0.38	1.51	1.24	0.98	18.81
2001	1.00	0.82	1.55	1.15	0.40	0.38	0.19	0.03	0.79	0.19	4.16	4.35	15.01
2002	1.59	1.65	1.33	1.49	0.53	0.03	0.08	0.00	0.53	0.16	3.42	7.19	18.00
2003	2.48	1.74	2.52	3.53	0.86	0.00	0.00	0.76	0.86	0.05	2.38	4.66	19.84
2004	2.98	3.35	1.27	0.75	1.27	0.18	T	0.52	0.04	2.90	1.70	4.13	19.09
2005	1.60	0.30	1.77	2.16	2.97	0.68	0.07	0.00	0.48	0.39	5.93	7.07	23.42
2006	5.12	1.94	2.19	1.26	1.51	0.81	T	T	0.06	0.38	3.78	4.75	21.80
2007	1.66	3.57	0.97	1.34	0.27	0.20	0.62	0.23	0.59	2.06	2.81	2.78	17.10
2008	3.77	0.54	1.85	0.69	1.20	0.09	T	0.04	0.01	0.40	2.29	2.93	13.81
2009	1.52	0.91	1.57	0.35	2.18	1.14	T	0.38	0.08	0.65	1.22	1.81	11.81
2010	2.77	1.03	2.10	2.92	1.53	1.00	0.00	0.86	0.79	2.06	1.94	4.31	21.31
2011	1.73	1.23	4.26	2.12	2.20	0.69	0.60	T	0.01	0.65	1.99	0.94	16.42
2012	2.76	2.19	3.72	1.92	1.10	2.36	0.07	0.00	0.00	1.96	5.13	5.66	26.87
2013	0.96	0.49	0.56	1.04	0.69	0.39	0.00	0.42	2.76	0.20	1.12	0.36	8.99
2014	0.78	4.55	3.50	0.82	0.47	0.54	0.10	0.63	2.04	2.59	1.95	2.28	20.25
2015	1.25	3.20	1.45	0.60	0.33	0.31	0.29	0.04	0.25	0.46	1.57	7.73	17.48
2016	4.22	1.03	2.45	0.96	M	M	M	M	M	M	M	M	M
Mean	2.42	1.84	2.03	1.57	1.14	0.58	0.16	0.25	0.60	1.04	2.66	3.87	18.13
Max	5.12 2006	4.55 2014	4.26 2011	3.59 2000	2.97 2005	2.36 2012	0.62 2007	0.86 2010	2.76 2013	2.90 2004	5.93 2005	7.73 2015	26.87 2012
Min	0.78 2014	0.30 2005	0.56 2013	0.35 2009	0.27 2007	0.00 2003	0.00 2013	0.00 2012	0.00 2012	0.05 2003	1.12 2013	0.36 2013	8.99 2013

CITY OF MEDFORD  
EXHIBIT # N 35 of 41  
File # AC-16-095/E-16-120

### WIND ANALYSIS



DATA SOURCE: U.S. DEPT. OF COMMERCE - FATHER BUREAU  
 CLIMATOLOGY OF THE U.S. # 01-33, AND  
 1970 LOCAL CLIMATOLOGICAL DATA FILE

# Appendix "F"

## Photographs



CITY OF MEDFORD  
EXHIBIT # N. 38 OF 41  
FILE # AC-16-095/E-16-120



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CITY OF MEDFORD  
EXHIBIT A  
File # AC-18-0867-16-150

# EXISTING & PROPOSED EFU BUFFER

## ORLAND GLEN ESTATES #3

### PROJECT

EFU



EXISTING DOUBLE ROW OF CEDAR TREES

PROPOSED TOTAL SECURITY FENCE & SCREEN

BUILDING

PEEL TREES



15'

23'

12'

SW

STREET

PARKING

SW

41'

60'

TOTAL BUFFER DISTANCE

101'

FROM PEEL TREES

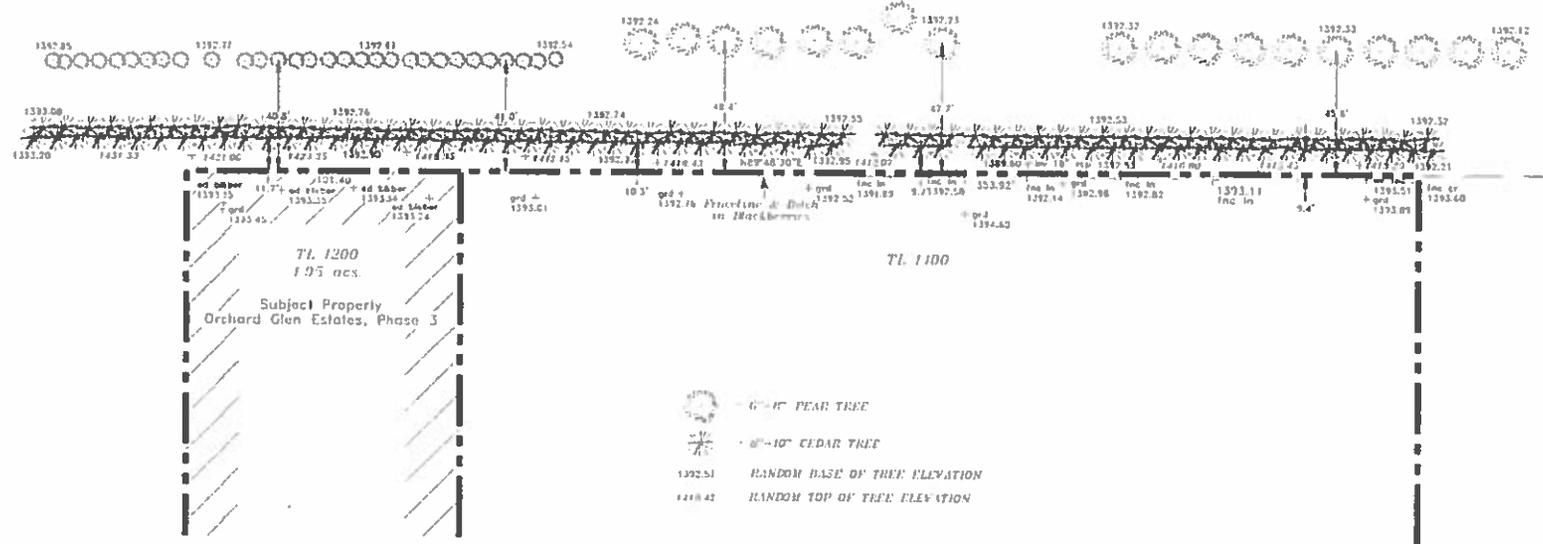


HOFFER & ASSOC.  
NOT TO SCALE



Existing EFU Buffer  
 For:  
**Orchard Glen Estates, LLC**  
 Located in:  
 in the Northwest 1/4 of Section 26,  
 Township 37 South, Range 2 West, W.M.,  
 City of Medford, Jackson County, Oregon  
 Tax lot 100

TL 100



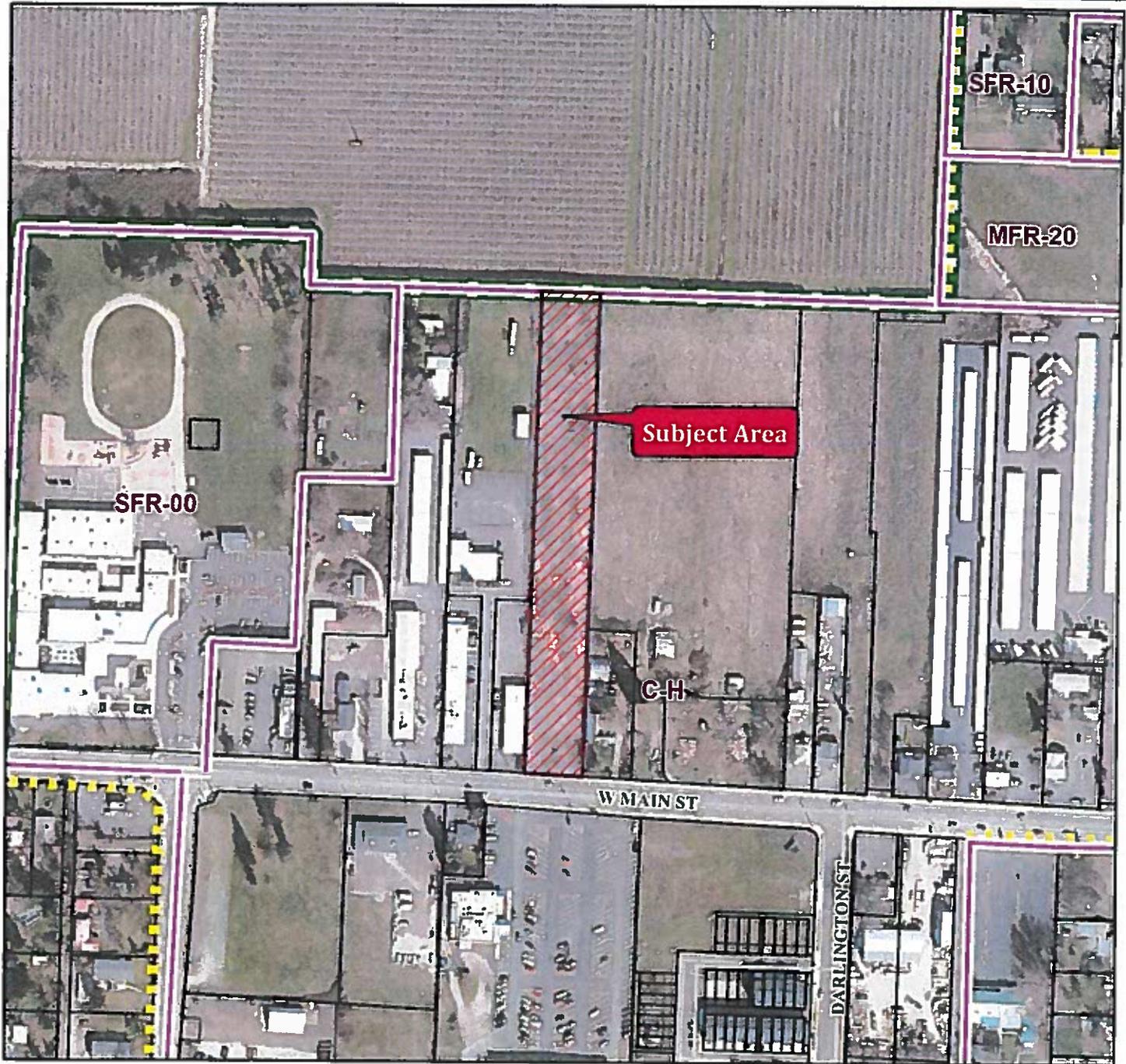
- 6"-8" PEAR TREE
- 8"-10" CEDAR TREE
- 1392.51 RANDOM BASE OF TREE ELEVATION
- 1418.41 RANDOM TOP OF TREE ELEVATION

REGISTERED  
 PROFESSIONAL  
 LAND SURVEYOR

OREGON  
 JULY 14, 1988  
 DAVID M. HOFFMANN  
 2343  
 EXPIRES 12/31/19



	BY: David Hoffmann	DATE: JULY 7, 2018
	TITLE: EFU BUFFER	PROJECT NO: 132-039
	DRAWN BY: [blank]	DRAWING NO: 13039001/EFUBUF
	SCALE: 1" = 10'	DATE: [blank]
	REVISION NO.:	DATE: [blank]
	DATE: [blank]	DATE: [blank]



Project Name:

**Orchard Glen Estates Ph #3**

Map/Taxlot:

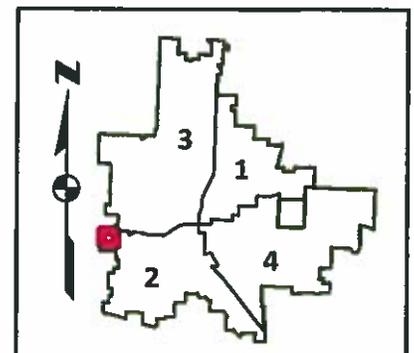
**372W26B TL 1200**



08/08/2016

**Legend**

-  Subject Area
-  Medford Zoning
-  Tax Lots
-  Streets



BEFORE THE MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

STATE OF OREGON, CITY OF MEDFORD

IN THE MATTER OF SITE PLAN AND ARCHITECTURAL COMMISSION )  
FILE AC-16-108 APPLICATION FOR PROJECT REVIEW SUBMITTED ) ORDER  
BY CHRIS DALENGAS )

AN ORDER granting approval of plans for the development of a 37,721 square foot, single-story, 40-unit memory care facility located on a 7.9 acre property west of the terminus of Misty Lane, west of the terminus of Honor Drive, and north and east of the intersection of Village Center Drive and Meadow View Drive, within the Rogue Valley Manor. The subject site is located in a SFR-4 /PD (Single Family Residential, four dwelling units per gross acre with Planned Unit Development Overlay) zoning district.

WHEREAS:

1. The Site Plan and Architectural Commission has duly accepted the application filed in accordance with the Land Development Code, Section 10.285.
2. The Site Plan and Architectural Commission has duly held a public hearing on the matter of an application of plans for the development of a 37,721 square foot, single-story, 40-unit memory care facility located on a 7.9 acre property west of the terminus of Misty Lane, west of the terminus of Honor Drive, and north and east of the intersection of Village Center Drive and Meadow View Drive, within the Rogue Valley Manor. The subject site is located in a SFR-4 /PD (Single Family Residential, four dwelling units per gross acre with Planned Unit Development Overlay) zoning district, with a public hearing a matter of record of the Site Plan and Architectural Commission on November 4, 2016.
3. At the public hearing on said application, evidence and recommendations were received and presented by the Planning Department staff; and
4. At the conclusion of said public hearing, after consideration and discussion, the Site Plan and Architectural Commission, upon a motion duly seconded, granted approval and directed staff to prepare a final order with all conditions and findings set forth for the granting of approval.

THEREFORE LET IT BE HEREBY ORDERED that the application of Chris Dalengas stands approved subject to compliance with the conditions stated in the Staff Report dated October 28, 2016.

AND LET IT FURTHER BE OF RECORD that the action of the Site Plan and Architectural Commission approving this application is hereafter supported by the following findings:

**FINAL ORDER AC-16-108**

- (a) That the proposed development, with the conditions of approval, complies with the applicable provisions of all city ordinances as determined by the staff review.
- (b) That the proposed development is compatible with uses and development that exist on adjacent land, based upon information provided in the Applicant's Questionnaire and presented at the public hearing.

BASED UPON THE ABOVE, it is the finding of the Medford Site Plan and Architectural Commission that the project is in compliance with the criteria of Section 10.290 of the Land Development Code.

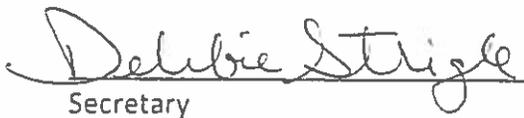
Accepted and approved this 4<sup>th</sup> day of November, 2016.

MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

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Site Plan and Architectural Commission Chair

ATTEST:

  
Secretary



## STAFF REPORT

for a Type-C quasi-judicial decision: **Site Plan Review**

PROJECT Rogue Valley Manor Memory Care Center  
 Applicant: Chris Dalengas; Agent: John Tamminga

FILE NO. AC-16-108

TO Site Plan and Architectural Commission *for November 4, 2016 hearing*

FROM Desmond McGeough, Planner III *DM*

REVIEWER Kelly Akin, Principal Planner *KA*

DATE October 28, 2016

### BACKGROUND

#### Proposal

Consideration of plans for the development of a 37,721 square foot, single-story, 40-unit memory care facility located on a 7.9 acre property west of the terminus of Misty Lane, west of the terminus of Honor Drive, and north and east of the intersection of Village Center Drive and Meadow View Drive, within the Rogue Valley Manor. The subject site is located in a SFR-4 /PD (Single Family Residential, four dwelling units per gross acre with Planned Unit Development Overlay) zoning district.

#### Subject Site Characteristics

Zoning SFR-4 with P-D zoning overlay  
 GLUP UR (Urban Residential)  
 Use Vacant

#### Surrounding Site Characteristics

North	SFR-4	Single Family Residential
South	SFR-4	Single Family Residential
	SFR-4/ PD	Rogue Valley Manor duplex units
East	SFR-4	Single Family Residential
West	SFR-4/ PD	Rogue Valley Manor triplex units

### Related Projects

PUD-84-003 Rogue Valley Manor Planned Unit Development  
PUD-98-023 Rogue Valley Manor Planned Unit Development Expansion

### Applicable Criteria

Medford Land Development Code (MLDC) §10.290

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) The proposed development is compatible with uses and development that exist on adjacent land; and
- (2) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.

### Corporate Names

Rogue Valley Manor is the owner of this property. The Oregon Secretary of State Business Registry lists Sarah Lynch as the Registered Agent, Sue Kupillas as President and Ray Heysell as Secretary.

## **ISSUES AND ANALYSIS**

### Project History

The original planned unit development (PUD 84-3) approval was granted in 1984. On March 14, 1991, the Planning Commission approved a major revision to the PUD resulting in a 195.6 acre configuration to include up to 1053 dwellings and various amenities, the most notable of which was a 9-hole golf course.

On April 28, 1994, the Planning Commission approved a revision to the PUD which increased the project area to 213.3 acres and 1096 dwelling units. The 1996 revised PUD, approved in 1997, included some internal revisions and the addition of an existing residence resulting in a 213.8-acre project with 1097 dwelling units approved.

In September 1998, the Planning Commission considered and approved a revision of the Planned Unit Development, which included a 25.2-acre expansion of the project. The decision of the Planning Commission was appealed to the City Council. In the appeal decision (Resolution 1998-249 – Exhibit "R"), the City Council modified the Commission approval by revising a condition of approval. The revision changed the required setback

of the subject facility to the PUD project boundary from 100 feet, as conditioned, to 50 feet.

#### Proposed Memory Care Facility Site Plan (Exhibit D)

The subject memory care facility is considered Phases 20 & 14 of the Rogue Valley Manor PUD. The site consists of a total of 7.9 acres. Ingress and egress is located at three separate points; one on the west side of the site that connects to Village Center Drive, one on the south that intersects with Village Center Drive, and on the northeast corner of the site that links to Misty Lane. Subject to the approval of the Revised PUD (PUD-98-23) the connection to Misty Lane, which is public street, shall be gated and used for emergency access only.

Generally, the facility improvements consist of a one-story, 37,721 square foot building, a 42-space parking lot, site landscaping, and on-site pedestrian pathways on the south, east and north sides. The subject building coverage is 10.9% of the total 7.9 acre site. It should be noted that there is a Phase 2 pad site located at the southeast corner of the property. The total landscape area of the site is 246,305 square feet, which is almost 71.5 % of the site. As noted above, a portion of this non-irrigated landscape area will be utilized for Phase 2 of the facility.

#### Parking

The site plan demonstrates that there are a total of 42 parking spaces proposed for the development. The approved 1998 Revised PUD included a condition that required the subject facility to be single-story, set back no less than 50 feet from the PUD boundary, and provide no more parking than the minimum required by code.

The applicant has sent correspondence regarding facility parking needs for employees. MLDC Section 10.743 requires 1 stall per 7 residents, and 1 stall per employee on the largest shift as the minimum requirement for parking. The Applicant has submitted e-mail correspondence regarding the number of employee parking needed for the facility (Exhibit Q).

There are a total of 17 employees on the morning shift and 13 employees on the evening shift. However, there is also a time where these shifts overlap in a hand-off period, when the evening shift arrives slightly before shift and the morning shift leaves when the shift is complete. Thus, 30 spaces are needed to address employee parking. There is one patient per room, thus the minimum code requirement for visitor parking stalls is six. Per condition number 12 of the approval of PUD-98-023, the maximum number of parking spaces should be no greater than 36. Staff has included a condition of approval limiting the parking spaces for Phase 1 to 36 spaces.

All proposed drive aisles are two-way and meet or exceed the 24-foot width requirement of the MLDC. Each parking bay is generally surrounded by an ample amount of landscaping and meets code requirements for parking lot interior landscaping.

#### Landscaping

The applicant has submitted a landscape plan that can be found to comply with the requirements of MLDC Sections 10.746, pertaining to parking lot landscape planters, and with Section 10.780 regarding site landscaping. As previously noted, the 7.9 acre site contains a total of 246,305 square feet of landscaping area, which almost is 72% of the site area. There is a total of 172,000 square feet of landscaping that will be seeded with native grasses and non-irrigated. Generally, the areas seeded with native grass will be utilized for the development of Phase 2. Thus, within Phase 1 of the development, there is a total of 74,305 square feet of landscaping area. Of the Phase 1 landscape area, there is a total of 17,256 square feet of lawn area, which is 23.2% of the total landscape area. Per the MLDC, institutional uses are permitted up to 30% of the landscaping area to be of high water use; multi-family uses may have up to 40% high water use landscape area. There are several areas of annual color beds, located near the front entry, in the landscape ellipse in the drive aisle and at the northwest entry. Even if these areas were included as high water use, the percentage would remain well below the maximum allowed by code.

It appears that a few of the planter islands on the south side of the development will need to be augmented with structural soil to meet soil volume requirements of the MLDC for trees to ensure proper growth of the selected trees. A condition of approval has been included requiring the applicant to include structural soil underneath pavement for the parking lot trees, if required by the MLDC. The applicant can provide needed revisions to the landscape plan on the construction set submitted for building permit.

#### Elevations

The single story building is well articulated. Generally the building could be described as having both a strong craftsman style and prairie style character. The roof architecture possesses hip roof construction, though there are gable elements as well. The roof is covered with a medium-gray asphalt shingle and has large overhangs with low slopes. The combination of different roof construction along with varying roof heights provides dynamic and visually interesting roof architecture. The exterior façade of the building will have a mix of materials that integrates well with the surrounding built environment.

The building architecture is four-sided. High-quality exterior finishing will extend around the entire perimeter of the building. Façade materials on the front

elevation(west) include wood beams, wood composite siding, dry stack stone, brick, lap siding, wide plank siding and cementitious trim elements. The building generally carries the same materials to the side elevations with exception of the dry stack stone. The rear side of the building (east elevation) encompasses both wide plank and lap siding elements, which are different in color. The rear elevation is further articulated by cementitious trim elements and numerous windows. Combined, the various elements effectively break up the rear façade of the building.

### Concealments

#### *HVAC & Trash Enclosure Screening*

HVAC units will not be visible from streets, parking areas or pedestrian pathways. The building floor plan identifies where the trash receptacle is located. There is a service loading dock to the right of main lobby and reception area. Immediately to the left the service bay is an area for trash disposal that is located within building and under roof.

### Dedications and Public Improvements

#### *Sanitary Sewer*

This site lies within the City of Medford Sewer Service Area. The Developer shall provide one separate individual service lateral to the site or ensure the site is served by an existing service lateral. Any unused laterals adjacent and stubbed to the development shall be capped at the mainline. A conditional of approval is included requiring the applicant to comply with the Public Works Report dated October 12, 2016 (Exhibit M).

#### *Water*

The Staff Memo from the Medford Water Commission (MWC) notes that planning, design and construction will be done in accordance with MWC regulations governing water service and standards for water facilities, fire protection systems and backflow prevention devices. The installation 8-inch water line is required from the intersection of Village Center Drive and Meadow View Drive through the paved travel way which terminates at the northerly end of Village Center Drive. The full listing of conditions is provided the MWC memo dated October 12, 2016. A condition of approval has been included requiring the applicant to comply with the Water Commission Staff Memo (Exhibit N).

### Phasing

The subject site plan represents the first of two phases proposed by the applicant. As a condition of approval of PUD-92-023, the Commission stipulated that the facility construct a wall, along with vegetative berm (Exhibit L) on the northwest, east and southeast boundaries of the site area. The applicant's site plan appears to show

construction of the northwest wall with Phase 1. The site plan notes that the east wall and southeast wall will be constructed with the development of Phase 2.

The approval of the PUD did not contemplate that the facility would be constructed in phases. Therefore, no timing provisions were given regarding the construction of screening mitigation. As such, staff has provided a condition of approval requiring the buffer wall and vegetative landscape berm on all three sides with Phase 1 development. The Applicant shall revise plans submitted for building permit to reflect the construction of mitigation improvements with Phase 1 of the development.

It should be noted the developer indicated that some surrounding neighbors have expressed concern about the construction of the 8-foot wall. The developer has indicated to staff that they may seek an amendment to the PUD to address stipulated buffer requirements. Should the developer seek an amendment to the PUD to revise mitigation requirements, a public hearing before the Planning Commission must be held.

In summary, staff has conditioned that the improvement of the entire buffer wall and full length of vegetated landscape berm shall be constructed with Phase 1. However, should a subsequent PUD amendment approval change the buffering standard of the development, such future standard would apply. Regardless of the phasing an emergency access gate shall be constructed at the terminus of the private drive at Misty Lane with the development of Phase 1.

#### Committee Comments

No comments were received from a committee such as BPAC.

#### **FINDINGS OF FACT**

##### MLDC 10.290

1. *The proposed development is compatible with uses and development that exist on adjacent land;*

The Commission can find that there is sufficient evidence contained in the Applicant's Narrative along with submitted exhibits and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land.

2. *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit "A". No Exception has been requested or is required.

### **RECOMMENDED ACTION**

Adopt the findings as recommended by staff and direct staff to prepare a final order for approval of AC-16-108 per the staff report dated October 28, 2016; including Exhibits A through R .

### **EXHIBITS**

- A Conditions of Approval dated October 28, 2016.
- B Applicant's Narrative and Code Compliance checklist; received August 22, 2016.
- C Site Plan Coversheet; received August 22, 2016.
- D Site Plan; received August 22, 2016.
- E Floor Plan; received August 22, 2016.
- F Roof Plan; received August 22, 2016.
- G Project Elevations; received August 22, 2016.
- H Façade Materials; received August 22, 2016.
- I Landscape Plans; received August 22, 2016.
- J Lighting Plan; received August 22, 2016.
- K Utility & Grading Plans; received August 22, 2016.
- L Exhibit "Z2" of PUD-98-023, buffer wall and vegetative berm standard.
- M Medford Public Works Department Staff Report dated October 12, 2016.
- N Medford Water Commission Memorandum, dated October 12, 2016.
- O Medford Fire Department Report, prepared October 7, 2016.
- P City of Medford Building Department Memo, dated October 12, 2016.
- Q Applicant correspondence regarding maximum number of employees, received October 24, 2016.
- R Resolution 1998-249, appeal decision and approval of PUD-98-023, including PUD conditions of approval, dated November 5, 1998.  
Vicinity Map

**SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:**

**NOVEMBER 4, 2016**

## EXHIBIT A

**Rogue Valley Manor Memory Care Facility Site Plan  
AC-16-108  
Conditions of Approval  
October 28, 2016**

### CODE CONDITIONS

1. The applicant shall:
  - a. Comply with the Public Works Staff Report dated October 12, 2016 (Exhibit "M");
  - b. Comply with the Medford Water Commission Staff Memo dated October 12, 2016 (Exhibit "N");
  - c. Comply with the Fire Department Report, prepared October 7, 2016 (Exhibit "O").
2. Where required, the applicant shall provide structural soils under hardscape areas in accordance with Section 10.780G(10)(a) of the MLDC.
3. Prior to issuance of building permit, the Applicant shall submit, and received approval from the Planning Department, a Final PUD Plan for the Memory Care Facility.
4. All previous conditions of approval for the Rogue Valley Manor Planned Unit Development, Application PUD-98-023, remain in full effect (Exhibit "R").

### DISCRETIONARY CONDITIONS

5. Unless otherwise modified by a future amendment to the Rogue Valley Manor PUD, the applicant shall comply with Exhibit "Z2" of PUD 98-023 by constructing all required bufferyard mitigations with Phase 1 of the development. Plans submitted for Phase 1 building permit shall include all required mitigation improvements.
6. As required by Condition # 12 of PUD-98-023, based on the number of employees and residents of the facility, the parking for Phase 1 of the development shall not exceed 36 spaces. The applicant shall provide a revised site plan for the Phase 1 building permit reflecting a total of 36 spaces.

**CITY OF MEDFORD  
EXHIBIT # A  
File # AC-16-108**

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AUG 22 2016

PLANNING DEPT.

# ROGUE VALLEY MANOR-MEMORY CARE

LAKE VILLAGE DRIVE - MEDFORD OR 97504



SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION- #PA-16-56

08-19-2016

ARCHITECTURE  
INTERIORS  
URBAN DESIGN  
BRANDING

Ankrom Molsan Architects  
Portland & Seattle

6720 SW Macadam Ave  
Suite 100  
Portland, OR 97219  
503.245.7100

1505 5<sup>th</sup> Ave  
Suite 300  
Seattle, WA 98101  
206.576.1600

ankrommolsan.com

CITY OF MEDFORD  
EXHIBIT # <sup>v</sup>B<sup>^</sup>  
File # AC-16-108

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# ROGUE VALLEY MANOR-132807

Aug 22 2016

PLANNING DEPT.

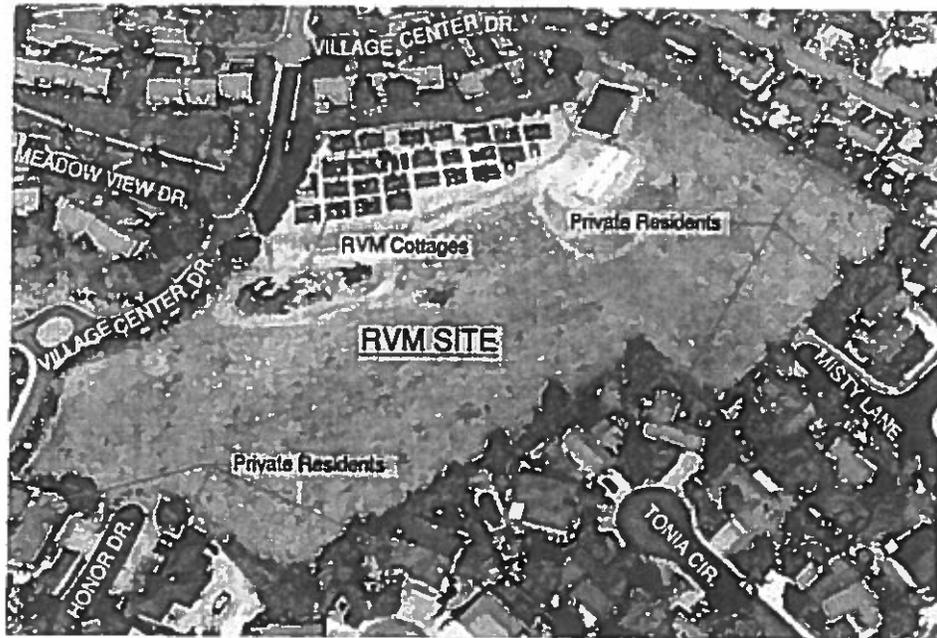
## APPLICANT QUESTIONNAIRE

### Section 1- Narrative

### Section 2- Compattibility: Criterion No.1

- A. List existing uses and development adjacent to your project site. Along with this list, describe the architecture (materials, colors, etc.), age, and condition of the adjacent buildings (you may use photographs to supplement this information).

Private Residential, Mid-Century 1 & 2 Story homes  
 Rogue Valley Manor facility cottages, 1 to 2 Story homes



- B. Describe the building architecture and exterior treatments in your proposal, and how they fit with and complement adjacent buildings and development.

The building architectural style would be similar to craftsman and Prairie style architecture with large overhangs and low slope roofs. Materials and colors would keep in with the overall campus theme and neighborhood. The building would be a one story structure with courtyards and outdoor walkways.

- C. Describe the proposed architecture and exterior treatments that break up large facades and give relief to the building mass. The Site Plan and Architectural Commission Design

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Zof8

Guidelines are a helpful reference, and can be found on the city website, and the Planning Department.

The design of the memory care facility will have many breaks in the façade so that each area has a unique feel. Careful consideration has been given to the long facades. Introduction of projections bays and dormer roofs to emphasize different changes in wall and roof planes.

PUD-98-23 identifies a 50' setback and a 1 story building 35 feet in height per city council decision on NOV 12 1998.

- D. Describe how the placement and orientation of the proposed building(s) relate(s) to the street facilities, and how this orientation promotes a more pedestrian-friendly site design.
- If the site lies within 600-ft of an existing or planned transit stop, as designated by the Transportation System Plan (TSP), describe compliance with the standards of section 10.80B, New Commercial and Institutional Development.

The placement lies within the campus site. The facility would have pedestrian friendly paths, benches and landscape areas. The campus itself has private streets all w/ sidewalks and an internal bus system.

- F. Describe the pedestrian facilities and amenities on your site (useable outdoor space, benches, etc.) and how they will function for pedestrians.

The pedestrian facilities are provided in a loop pathway/sidewalk system around the building. The paths follow the streets & parking lot layout and diverge into landscape areas where available to give a continuous system for walking and jogging. Along the pathways there are two drinking fountains and four bench locations. The paths/sidewalks provide direct access to the building doors & service areas.

- F. Describe vehicle and pedestrian access to the site, and how it relates internally on the site, and to adjacent sites.

The proposed facility lies within the campus site. The facility would have pedestrian friendly paths, benches and landscape areas. The campus itself has private streets all w/ sidewalks and internal bus system.

- G. Describe if and how the proposed plan is sensitive to retaining any existing trees or significant native vegetation on the site. Should existing trees be preserved, a Tree Protection Plan shall also be included in this application.

There are no existing trees on site within the construction limit lines. However, two trees will be removed on the south end of the site to facilitate the widening of the entrance driveway.

- H. Describe stormwater detention facilities on the site (underground storage, surface pond, etc.) if these facilities will be landscaped areas, describe how the proposed landscaping will be integrated with other landscaping on the site.

The Bio-Retention facilities will be planted with indigenous species suitable for the purpose of aiding in the settlement of suspended particulates & in the recharging of ground water. See sheet L-4 for the Bio-Retention plant list. Plantings will be in accordance with the Rogue Valley Stormwater Quality Design Manual.

- I. Describe how your proposed landscaping design will enhance the building and other functions on the site.

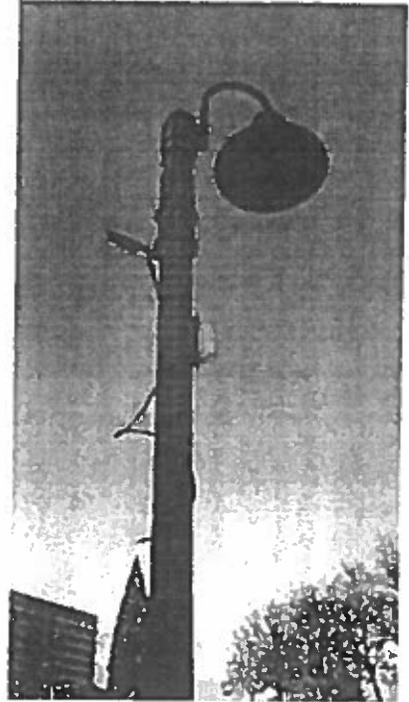
Graded back slopes & cut slopes will be landscaped with trees, ground covers & shrubs in a pleasing arrangement to enhance the visual appearance. Flowering & interesting foliage textures will be used. The building will receive planting of shrubs & ground covers along its foundation to soften the structure making it more amenable within the residential neighborhood. It will be planted more like the residential homes in the neighborhood.

- J. Describe how your exterior lighting illuminates the site, and explain how the design of fixtures does not diminish a view of the night sky, or produces glare on adjacent properties, consistent with the standard of Section 10.764.

B' 3 of 8

For all the strategies glare and light trespass are of the utmost concern. What may be just uncomfortable glare for someone in their 30s can quickly become debilitating glare for someone in their 70s so carefully controlling the glare onsite is paramount. In addition, we need to be careful to control all stray light from entering into adjacent homes. This is particularly important in the homes because stray light can interrupt people's circadian rhythms causing long-term health impacts by not allowing for sufficient deep sleep at night. The site lighting for the project consists of three primary lighting types and strategies.

1. The pedestrian scale lighting will be mounted on campus interior roads at a height not to exceed 12". The fixtures will be placed to illuminate the adjacent sidewalk and roadway only. The campus standard poles will be used with a full cutoff optic recessed into the fixture

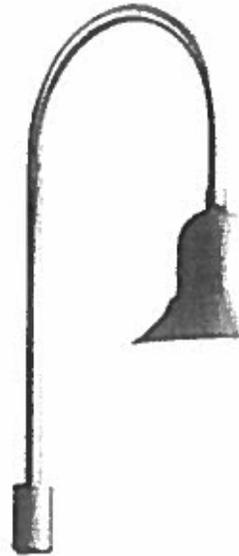


shroud so that light is eliminated above 90 degrees.

2. The single parking lot on the site will be lit utilizing a similar pole to the pedestrian but with higher output and better optical control. This is necessary in this area due to the proximity of adjacent properties. The higher optical control will allow us to dial in the exact pattern of light to conform to the shape of the parking area and reduce stray light as much as

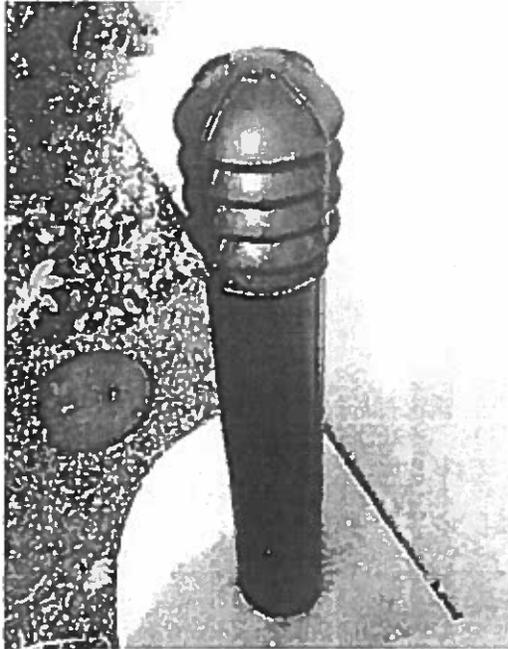
11-B"  
4 of 8

possible. This fixture will also be full cutoff and oriented so that the back of the fixture is



facing nearby properties.

3. The low level pathway lighting will be mounted no higher than 42 inches off the ground and will be used on the surrounding walking paths. The campus standard full cutoff bollard will



be used.

- K. Describe any proposed signage, and how it will identify the location of the occupant and serve as an attractive complement to the site.

The signage would be per signage standards, it would be easily identified at the main entry of the site.

"B"  
5 of 8

- L. Explain any proposed fencing, including its purpose, and how you have incorporated it as a functional, attractive component of your development. (See sections 10.731-10.733)  
-Perimeter wall  
Per 10.732 Fencing shall not exceed 3 Ft in height in the MFR zone.  
Per PUD 2-26-1998- the Fence to be 6-8 Ft in height. We are complying with PUD unless otherwise advised.
- M. Explain how any potential noise generated by future occupants will be mitigated on the proposed site, consistent with the standards of Sections 10.752-10.761.  
Potential noise  
The potential noise will be primarily generated from on site building equipment: the emergency generator, on site air cooled chillers and building loading. For the emergency generator, it will be housed in a building enclosure and the exhaust will be provided with a noise dampening muffler. The air cooled chillers will be behind a screened wall or fence with a landscaping buffer. The chillers don't generate much noise and will be located more than 100' from the closest neighbor. The loading dock will only generate localized noise mostly from garbage collection.
- N. Explain anything else about your project that adds to the compatibility of the project with adjacent development and uses.  
The site is located on the Rogue Valley Manor Campus, a Planned Unit Development. This facility is part of a Continuing Care Retirement Community (CCRC) and adds a necessary care component to the existing growing campus. The one-story building sits below the adjacent duplex cottages as to allow them to continue to have a view east to the valley and mountains beyond. The building utilizes similar materials and exterior colors to compliment the adjacent cottages on the campus.
- O. List and explain any exceptions or modifications requested and provide reasons for such.  
There are no exceptions or modifications requested at this submission.
- P. Section 10.780(C)(2)- List any petition for relief of landscaping standards (i.e., request an increase in turf area at a facility for active recreation; eliminate requirement for root barriers when trees are planted in structural soils)> Provide rationale for requested deviation from standard.  
No relief of landscape standards are requested at this time.



Chris Dalengas, AIA  
Ankrom Moisan Architects, Inc.

9.17.2016  
Date

"B"  
leaf 8

SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION

RECEIVED

AUG 22 2016

PLANNING DEPT.

**Section II – Code Compliance: Criterion No. 2**

<b>PROJECT SITE</b>		
	PROPOSED	REQUIRED
• Zoning District	SFR-4/PD	SFR-4/PD
• Overlay District(s)		
• Proposed Use	MEMORY CARE FACILITY	N/A
• Project Site Acreage	7.9 ACRES	
• Site Acreage (+ right-of-way)	N/A	
• Proposed Density (10.708)	5-BEDS/ACRES	
• # Dwelling Units	40	N/A
• # Employees	30	N/A

<b>STRUCTURES</b>		
	EXISTING	PROPOSED
• # Structures	VACANT LOT	1
• Structure Square Footage (10.710-10.721)	VACANT LOT	37,721SF

<b>SITE DESIGN STANDARDS</b>		
	PROPOSED	REQUIRED
• Front Yard Setback (10.710-721)	N/A	
• Side Yard Setback (10.710-721)	N/A	
• Side Yard Setback (10.710-721)	50' SETBACK	50' SETBACK
• Rear Yard Setback (10.710-721)	50' SETBACK	50' SETBACK
• Lot Coverage (10.710-721)	11%	

<b>PARKING</b>		
	PROPOSED	REQUIRED
• Regular Vehicular Spaces (10.743)	39	10.743- 1 STALL PER 7 RESIDENTS + 1 EMPLOYEE LARGEST SHIFT
• Disable Person Vehicular Spaces (10.746[8])	2 ADA	2 ADA
• Carpool/Vanpool Spaces (10.809)	1 VAN	1 VAN
• Total Spaces (10.743)	42	
• Bicycle Spaces (10.748)	5	4 MIN.
• Loading Berths (10.742)	N/A	N/A

0"  
7 of 8

**SITÉ PLAN AND ARCHITECTURAL REVIEW APPLICATION**

<b>LANDSCAPING</b>		
	<b>PROPOSED</b>	<b>REQUIRED</b>
• Total Landscape Area (square feet)	246,305 SF	N/A
• Total Landscape Area in High Water Use Landscaping (square feet)	0	
• Total Landscape Area in High Water Use Landscaping (percentage)	0	
• Total % Landscape Coverage	71%	
• Required Organic Content (cu.yd.)	928 CU YDS	
• Frontage Landscaping (10.797)		
• Street:	VILLAGE CENTER DR.	
• Feet:	175 FT	
• # Trees:	14	7
• # Shrubs:	64	44
• Street:	MEADOW VIEW DR.	
• Feet:	471 FT	
• # Trees:	21	19
• # Shrubs:	188	118
• Bufferyard Landscaping (10.790)		
• Type:	MODIFIED	MODIFIED 1998 PUD
• Distance (ft):	328 FT	
• # Canopy Trees:	14	
• # Shrubs:	49	
• Fence/Wall:	8' TALL (328 FT)	
• Parking Area Planter Bays (10.746)		
• Type:	PERPENDICULAR	
• # Bays:	6	6
• Area:	972 SF	972 SF
• # Trees:	6	6
• # Shrubs:	23	11

<b>STRUCTURE</b>	
	<b>PROPOSED</b>
• Materials	See drawing sheet A3.02
• Colors	See drawing sheet A3.02

Please remember that the information you provide in response to the questionnaire must be included with your SPAR application submittal. Remember to sign and date your written response.

*"B" Soft*

# ROGUE VALLEY MANOR MEMORY CARE

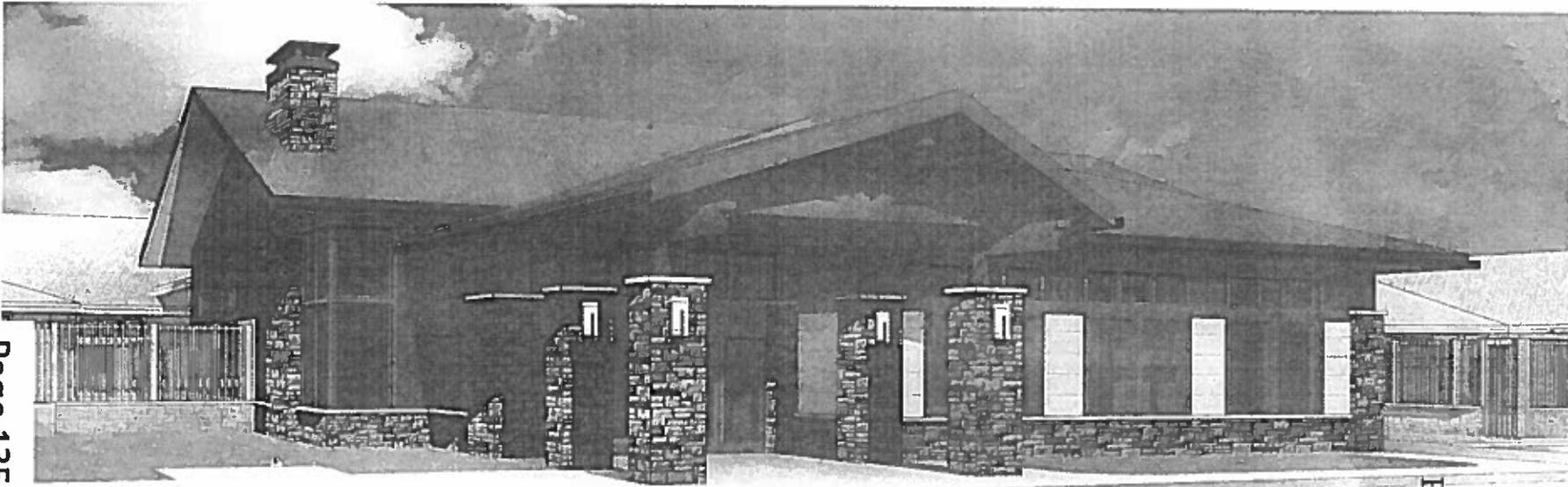
LAKE VILLAGE DRIVE MEDFORD, OR 97504

SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION #PA-16-56 08-19-2016

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EXHIBIT # *VC*  
File # AC-16-108



<p><b>1.0001</b> Site Plan Scale: 1/8" = 1'-0"</p>	<p>Project Name: ROGUE VALLEY MANOR MEMORY CARE Site Address: LAKE VILLAGE DRIVE, MEDFORD, OR 97504 Project Number: PA-16-56 Date: 08-19-2016</p>
<p><b>1.0002</b> Site Plan Scale: 1/8" = 1'-0"</p>	<p>Project Name: ROGUE VALLEY MANOR MEMORY CARE Site Address: LAKE VILLAGE DRIVE, MEDFORD, OR 97504 Project Number: PA-16-56 Date: 08-19-2016</p>
<p><b>1.0003</b> Site Plan Scale: 1/8" = 1'-0"</p>	<p>Project Name: ROGUE VALLEY MANOR MEMORY CARE Site Address: LAKE VILLAGE DRIVE, MEDFORD, OR 97504 Project Number: PA-16-56 Date: 08-19-2016</p>

<p><b>1.0004</b> Site Plan Scale: 1/8" = 1'-0"</p>	<p>Project Name: ROGUE VALLEY MANOR MEMORY CARE Site Address: LAKE VILLAGE DRIVE, MEDFORD, OR 97504 Project Number: PA-16-56 Date: 08-19-2016</p>
<p><b>1.0005</b> Site Plan Scale: 1/8" = 1'-0"</p>	<p>Project Name: ROGUE VALLEY MANOR MEMORY CARE Site Address: LAKE VILLAGE DRIVE, MEDFORD, OR 97504 Project Number: PA-16-56 Date: 08-19-2016</p>
<p><b>1.0006</b> Site Plan Scale: 1/8" = 1'-0"</p>	<p>Project Name: ROGUE VALLEY MANOR MEMORY CARE Site Address: LAKE VILLAGE DRIVE, MEDFORD, OR 97504 Project Number: PA-16-56 Date: 08-19-2016</p>

<p><b>1.0007</b> Site Plan Scale: 1/8" = 1'-0"</p>	<p>Project Name: ROGUE VALLEY MANOR MEMORY CARE Site Address: LAKE VILLAGE DRIVE, MEDFORD, OR 97504 Project Number: PA-16-56 Date: 08-19-2016</p>
<p><b>1.0008</b> Site Plan Scale: 1/8" = 1'-0"</p>	<p>Project Name: ROGUE VALLEY MANOR MEMORY CARE Site Address: LAKE VILLAGE DRIVE, MEDFORD, OR 97504 Project Number: PA-16-56 Date: 08-19-2016</p>
<p><b>1.0009</b> Site Plan Scale: 1/8" = 1'-0"</p>	<p>Project Name: ROGUE VALLEY MANOR MEMORY CARE Site Address: LAKE VILLAGE DRIVE, MEDFORD, OR 97504 Project Number: PA-16-56 Date: 08-19-2016</p>

<p><b>1.0010</b> Site Plan Scale: 1/8" = 1'-0"</p>	<p>Project Name: ROGUE VALLEY MANOR MEMORY CARE Site Address: LAKE VILLAGE DRIVE, MEDFORD, OR 97504 Project Number: PA-16-56 Date: 08-19-2016</p>
<p><b>1.0011</b> Site Plan Scale: 1/8" = 1'-0"</p>	<p>Project Name: ROGUE VALLEY MANOR MEMORY CARE Site Address: LAKE VILLAGE DRIVE, MEDFORD, OR 97504 Project Number: PA-16-56 Date: 08-19-2016</p>
<p><b>1.0012</b> Site Plan Scale: 1/8" = 1'-0"</p>	<p>Project Name: ROGUE VALLEY MANOR MEMORY CARE Site Address: LAKE VILLAGE DRIVE, MEDFORD, OR 97504 Project Number: PA-16-56 Date: 08-19-2016</p>



ROGUE VALLEY MANOR MEMORY CARE  
LAKE VILLAGE DRIVE  
PACIFIC RESIDENT SERVICES

NO. 1	NO. 2	NO. 3	NO. 4

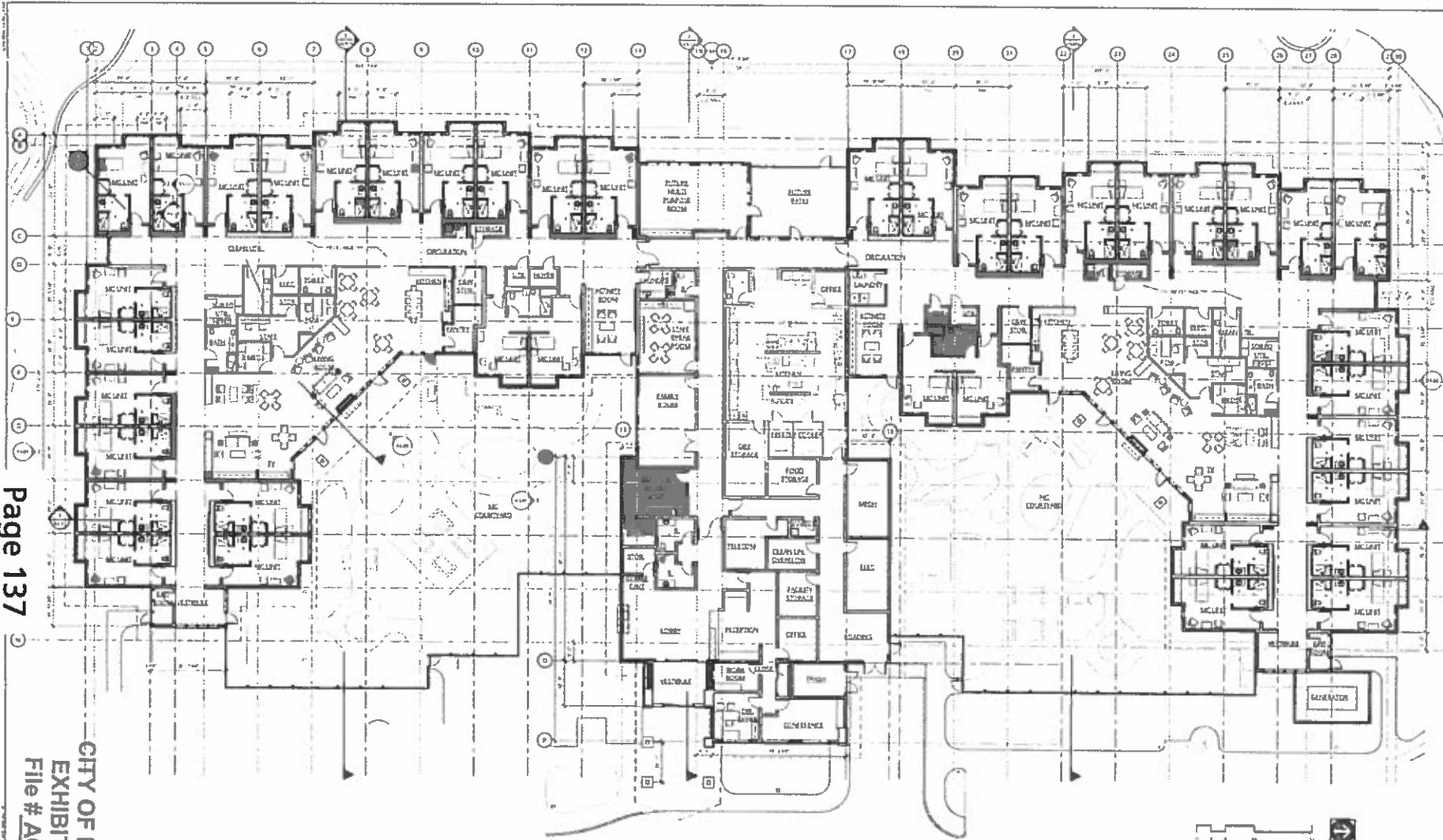
COVER SHEET

SPAC SUBMITTAL  
SCHEMATIC DESIGN

DATE: 08-19-2016  
SCALE: AS SHOWN  
DRAWN BY: J. S. MOYER  
CHECKED BY: J. S. MOYER  
DATE: 08-19-2016

00.00





CITY OF MEDFORD  
 EXHIBIT # 2  
 File # AC-16-008

**TYPICAL EXTERIOR WALL ASSEMBLY**  
 1HR RATED  
 (LISTED FROM OUTSIDE IN):  
 FIBER CEMENT SIOING  
 1X3 FURRING W/ FASTENERS INTO STUDS  
 2" AIR GAP  
 2" MINERAL INSULATION BOARD  
 BUILDING WRAP (AIR BARRIER)  
 MR GYP SHEATHING  
 PLY WD SHEATHING  
 R-19 BATT INSULATION  
 WOOD STUDS  
 VAPOR RETARDER  
 GYP BD

**EXTERIOR WALL ASSEMBLY AT BRICK**  
 1HR RATED  
 (LISTED FROM OUTSIDE IN):  
 NORMAN BRICK  
 2" AIR GAP  
 2" MINERAL INSULATION BOARD  
 BUILDING WRAP (AIR BARRIER)  
 MR GYP SHEATHING  
 PLY WD SHEATHING  
 R-19 BATT INSULATION  
 WOOD STUDS  
 VAPOR RETARDER  
 GYP BD

**TYPICAL DEWISING WALL**  
 1HR RATED - UL U341  
 GYP BD  
 WOOD STUD FRAMING W/ 3 1/2" ACOUSTICAL INSUL  
 PLYWOOD SHEATHING WHERE REQ'D FOR SHEAR  
 1" AIRSPACE  
 WOOD STUD FRAMING W/ 3 1/2" ACOUSTICAL INSUL  
 GYP BD

**TYP CORRIDOR WALL**  
 1HR RATED - UL U340  
 GYP BD  
 PLY SHEATHING WHERE REQ'D FOR  
 SHEAR  
 STAGGERED 2x4s @ 2x6 PLATE  
 3 1/2" ACOUSTICAL INSUL  
 GYP BD  
 GYP BD

**TYP SHAFT WALL**  
 2HR RATED  
 GYP BD  
 GYP BD  
 2x6 FRAMING  
 GYP BD  
 GYP BD

- ASSEMBLY GENERAL NOTES:**
- ALL GYP BD 5/8" TYPE 'X' U N O
  - MOISTURE RESISTANT GYP SHEATHING AT ALL LOCATIONS EXPOSED TO
  - EXTERIOR EITHER DURING CONSTRUCTION OR AFTER
  - ALL COLUMNS TO BE INDIVIDUALLY FIRE WRAPPED
  - MOISTURE RESISTANT GYP AT ALL SHOWER AND KITCHEN LOCATIONS.

**TOTAL BUILDING SQUARE FOOTAGE**

MEMORY CARE SOUTH WING	14,507 SF
MEMORY CARE NORTH WING	14,529 SF
CENTRAL	9,913 SF
<b>TOTAL</b>	<b>37,126 SF</b>

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 PORTLAND, OR 97201  
 503.251.1100  
 147 NW 10th Street, Suite 100  
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 503.325.1100  
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11 A PASS COMMUNITY

ROGUE VALLEY MANOR MEMORY CARE  
 LAKE VILLAGE DRIVE  
 PACIFIC RETIREMENT SERVICES

NO. 1	DATE	BY
1	06/16/2016	132807
2	06/16/2016	132807
3	06/16/2016	132807

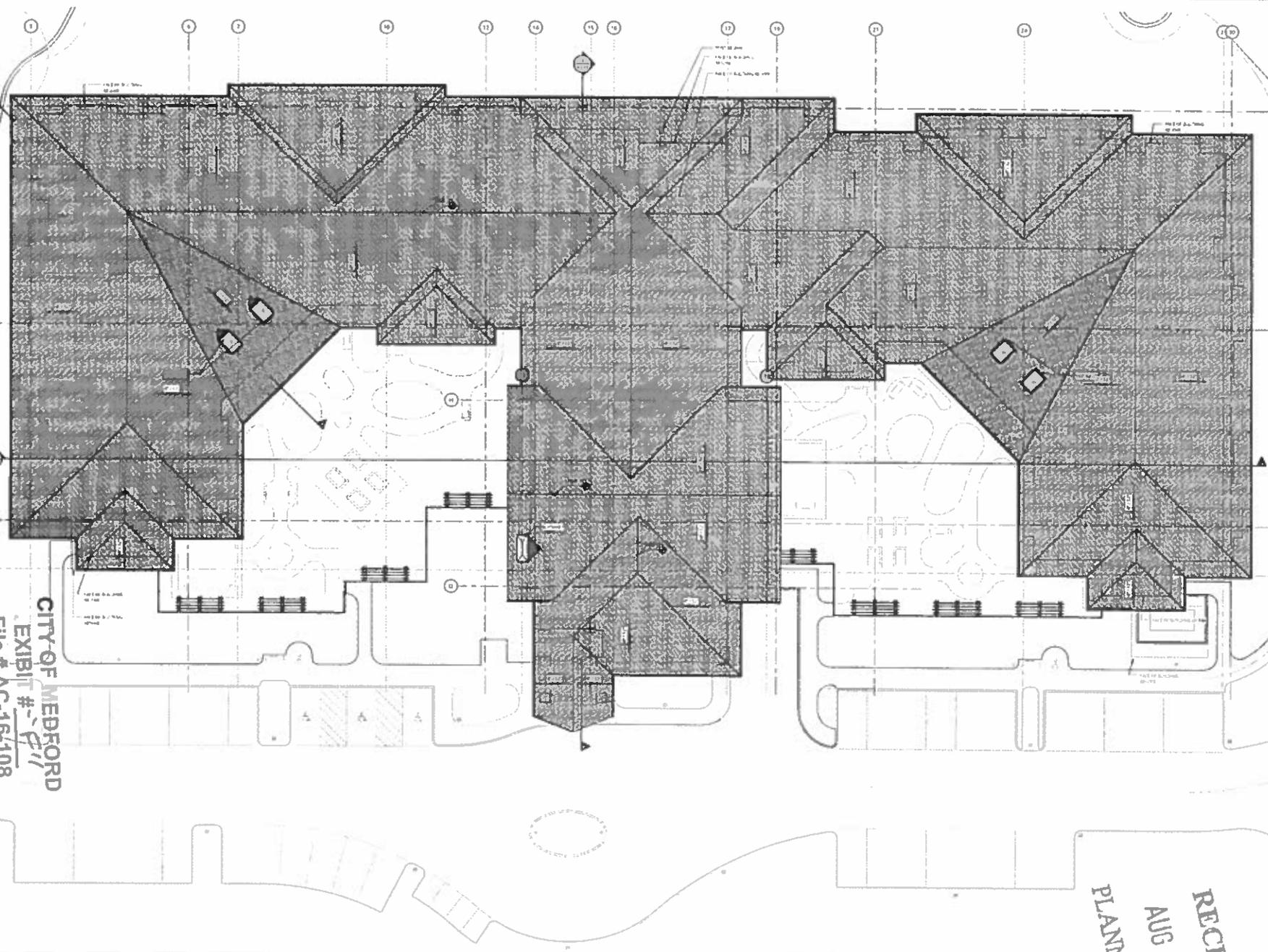
FIRST FLOOR PLAN

SPAC SUBMITTAL  
 SCHEMATIC DESIGN

DATE: 06/16/2016  
 TIME: 1:32:07  
 SCALE: 3/32" = 1'-0"  
**A2.01**

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EXHIBIT # 5-11  
File # AC-16-108

1 ROOF PLAN



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3075 SW BELLEVUE AVENUE SUITE 100  
 MEDFORD, OR 97504  
 503.388.7000  
 117 SOUTH BEND STREET SUITE 100  
 MEDFORD, OR 97504  
 503.388.7000  
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ROGUE VALLEY MANOR MEMORY CARE  
 LAKE VILLAGE DRIVE  
 PACIFIC RETIREMENT SERVICES

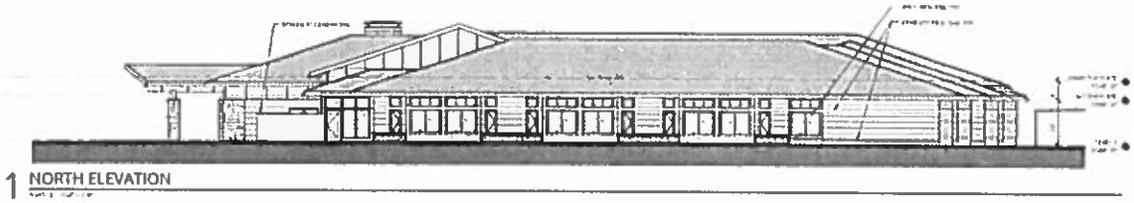
NO.	DATE	DESCRIPTION

ROOF PLAN

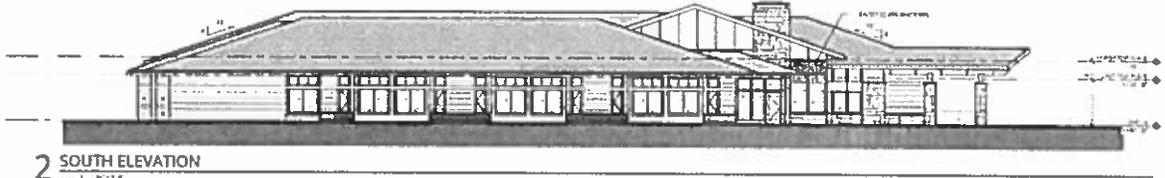
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08-15-2016	
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SCALE - 1/8" = 1'-0"	A2.91

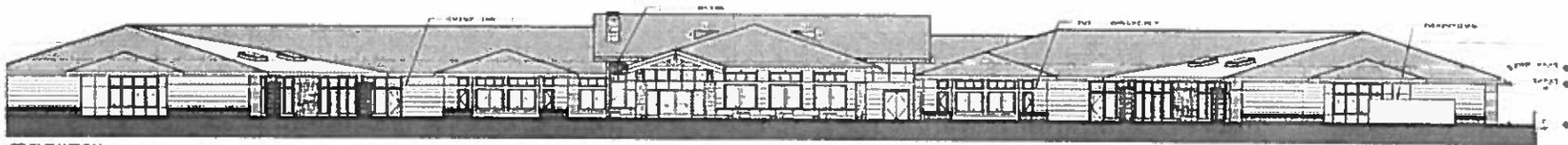
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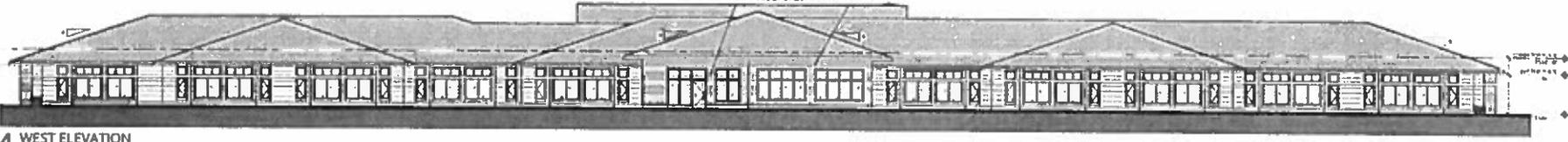
1 NORTH ELEVATION



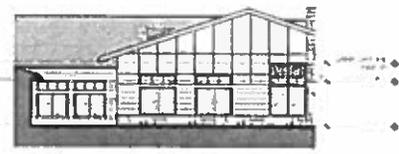
2 SOUTH ELEVATION



3 EAST ELEVATION



4 WEST ELEVATION



5 NORTH COURTYARD ELEVATION



6 SOUTHWEST COURTYARD ELEVATION

EXTERIOR MATERIAL LEGEND

- SOLID
- BRICK
- STONE
- CONCRETE
- METAL
- GLASS



STATE OF OREGON ARCHITECTURAL BOARD  
 ARCHITECT: ARKONJI MOISAN  
 PROJECT: ROGUE VALLEY MANOR MEMORY CARE  
 SHEET: 13. BUILDING ELEVATIONS  
 DATE: 10/15/2015



ROGUE VALLEY MANOR MEMORY CARE  
 LONG VALLEY DRIVE  
 MEDFORD, OREGON

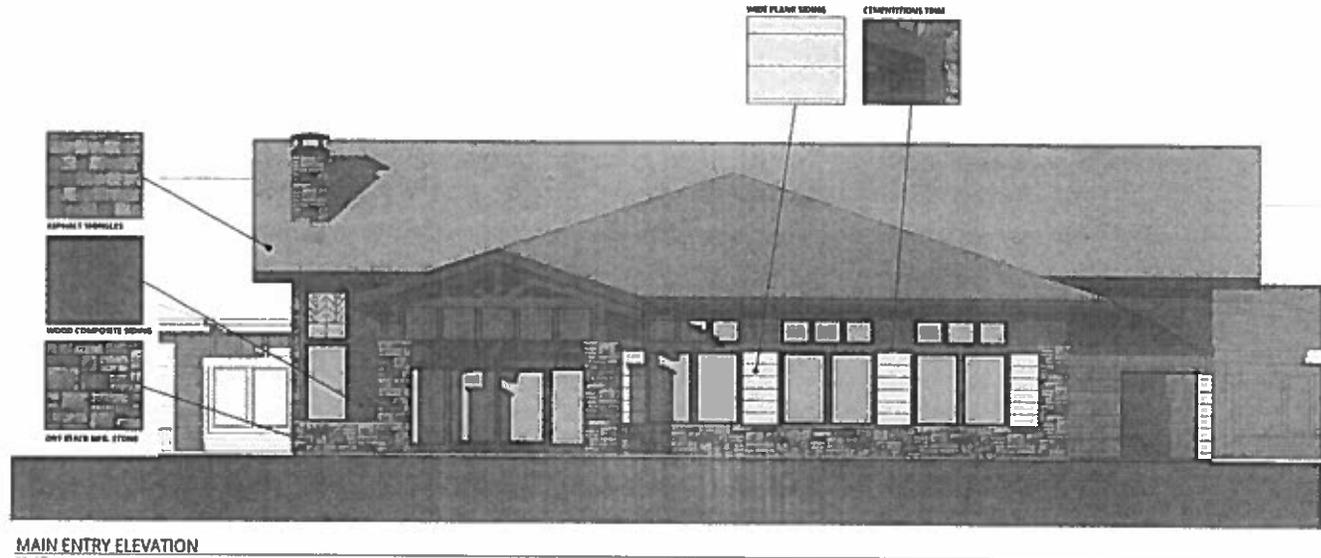
NO.	DATE	DESCRIPTION

BUILDING ELEVATIONS

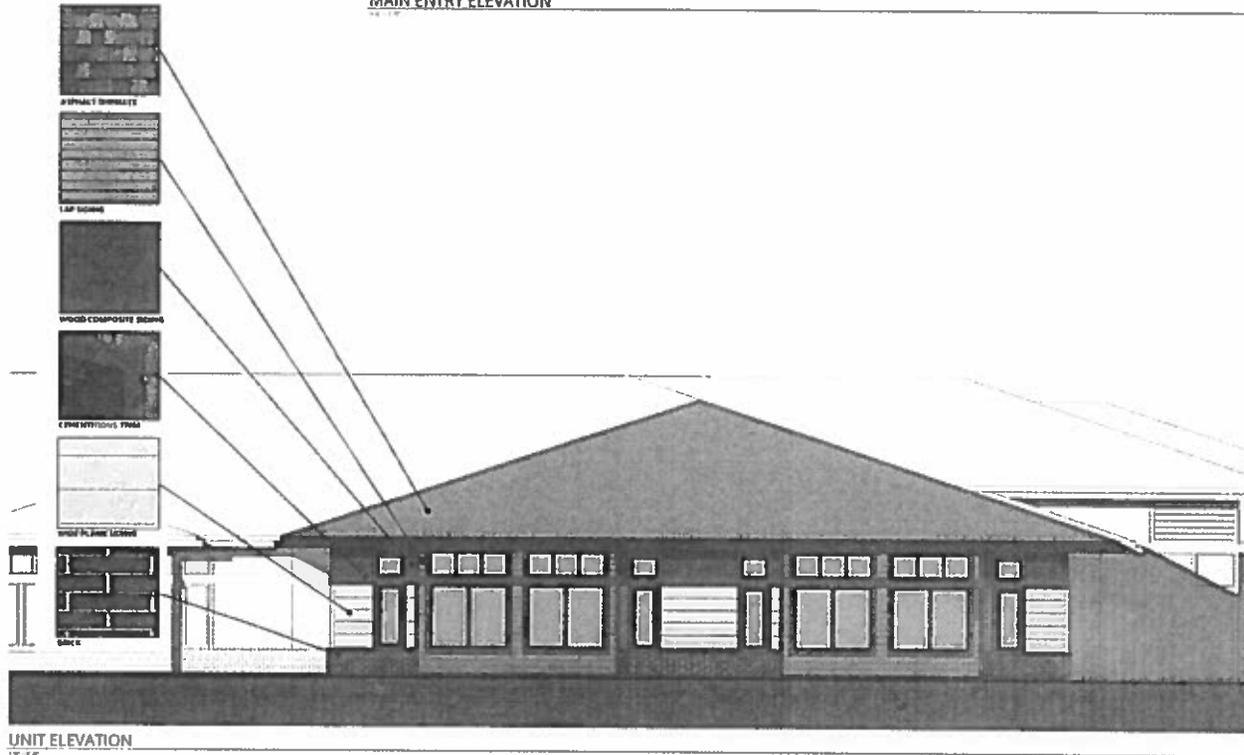
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DATE: 10-15-2015	SCALE: 1/8" = 1'-0"
PROJECT: 132807	SHEET: A3.01

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MAIN ENTRY ELEVATION



UNIT ELEVATION



STP DR DRAINAGE AROUND RAFTS AND  
 FOUNDATIONS FOR 5'-0" TO  
 5'-0" AND 10'-0"  
 AND 5'-0" TO 10'-0" BY 10'-0" AND  
 10'-0" BY 10'-0"  
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ROGUE VALLEY MANOR MEMORY CARE  
 LAKE VILLAGE DRIVE  
 PACIFIC RETIREMENT SERVICES

DATE	NO.	DESCRIPTION

ENLARGED BUILDING ELEVATIONS

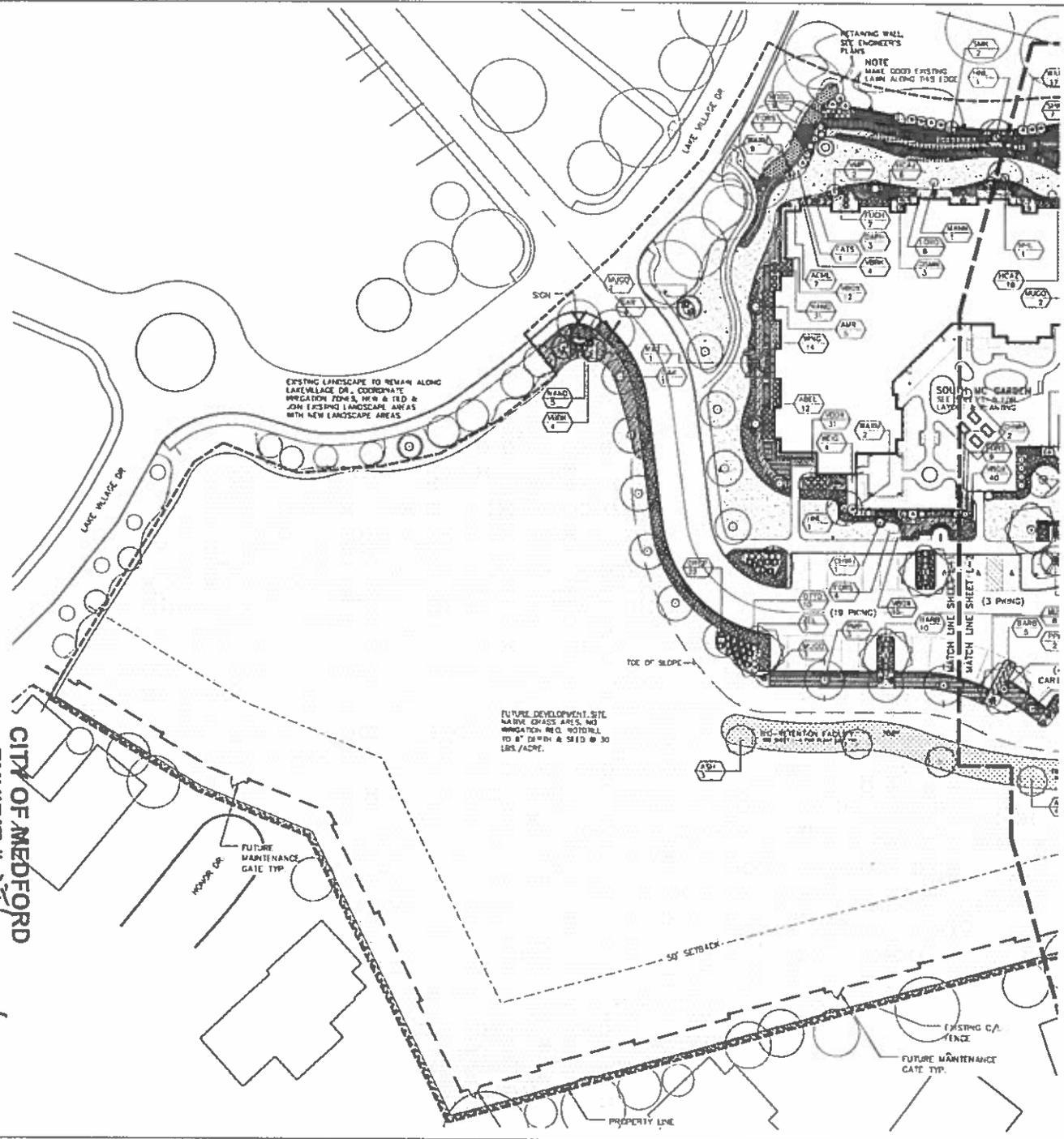
SPAC SUBMITTAL SCHEMATIC DESIGN

DATE	BY	SCALE
08-19-2016		

A3.02

CITY OF MEDFORD  
EXHIBIT # 1  
File # AC-16-108

1 of 4



**LANDSCAPE AREA CALCULATIONS:**

THE FOLLOWING SQUARE FOOTAGES INCLUDE SHEETS L-1 & L-2 (SITE 7.8 ACRES APPROX)

1. **CLUSTER**  
NORTH SIDE OF SITE (1000 PDS REQUIREMENT)  
ORLAND COVERS 2,400sf  
TREES 16 (Average)  
SHRUBS 48
  2. **LAWN AREA**  
(INCL. MC GARDEN COURTS) 17,256sf
  3. **BIO-RETENTION FACILITY** 5,328sf
  4. **NON-IRRIGATED AREAS** 172,000sf  
(FUTURE DEVELOPMENT SITE TO BE SETBACK IN WATER GRASSES)
  5. **PARKING LOT PLANTERS** 1,650sf  
(10 ISLANDS & 100 CAPS)  
TREES 71  
SHRUBS 56  
ORLAND COVERS 430sf
  6. **TREES, SHRUBS & ORLAND COVERS** 45,836sf
- TOTAL "SOFT" LANDSCAPE TAKEOFF (77% SITE COVERAGE)**
1. **BUILDING COVERAGE** 37,721sf
  2. **TOTAL HARD LANDSCAPE** 58,348sf  
(STREETS, PARKING & SIDEWALKS ETC.)

**TOTAL PAVED SURFACES** 85,827sf  
(20% COVERAGE)

ALL ESTIMATES OF QUANTITIES ILLUSTRATED ON THIS PLAN ARE THE FOLLOWING PLANS & IN NOTES ON THESE PLANS ARE FOR PLANNING PURPOSES ONLY. ACTUAL QUANTITIES MUST BE VERIFIED BY PLANNING CONSTRUCTION BEFORE ANY CONSTRUCTION ESTIMATES OR BIDDING IS UNDERWAY.

- KEY:**
- HOLLAND LIGHTS (see Electrical Drawings)
  - POST TOP LIGHTS (see Electrical Drawings)
  - FIRE RACKS (2 RACKS - TO RW15)
  - DRINKING FOUNTAIN (TWO)
  - 6"X 6" BRUSH
  - LANDSCAPE CONTRACT LIMIT LINE
  - MATCH LINE SHEET TO SHEET L-1 TO L-2
  - EXIST. TREES TO BE REMOVED
  - EXIST. TREES TO BE SAVED, SURROUND w/ PROTECTIVE FENCE AT THE DROP LINE (ONLY WITHIN THE CONTRACT LIMIT LINE) QUANTITY IS OOK - RETAINING WALLS SEE ENGINEERING DRAWINGS
  - EXIST. CHAIN LINK FENCE ON NORTH & EAST SIDES OF THE SITE (REPAIR WHERE DAMAGED) (SEE SHEET L-10 FOR PLANNING PLANS)
  - 50' SETBACK LINE ON NORTH & EAST SIDES OF THE SITE
  - DRIVEWAY SURFACE ROSE
  - CYCLER/PROGRAM LANE AREA
  - DOUBLE CHECK RADIATION PREVENTION: TEBSD UP 850'-0"
  - TREE PROTECTION FENCING TO BE MAINTAINED DURING CONSTRUCTION ONLY

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NORTH  
PLANTING PLAN  
SPAC SET 8-19-16



OFFICE OF LANDSCAPE ARCHITECTURE  
1000 N. W. 10TH ST.  
SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1100  
WWW.PACIFICRETIREMENT.COM

PROJECT NO. 2016-0016  
LANDSCAPE ARCHITECTURE & PLANNING  
1000 N. W. 10TH ST.  
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ROGUE VALLEY MANOR MEMORY CARE AND SKILLED NURSING

PACIFIC RETIREMENT SERVICES

DATE	BY	REVISION

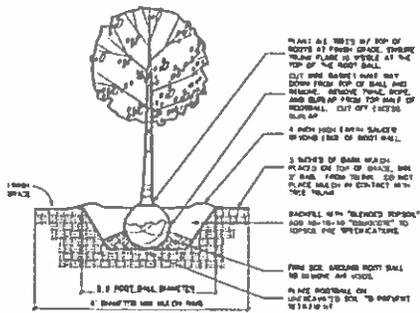
LANDSCAPE PLAN

SPAC

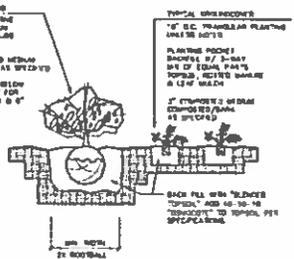
DATE	BY
08-19-2016	
PROJECT NUMBER	DRAWING NUMBER
132807	L-1
SCALE	AS NOTED



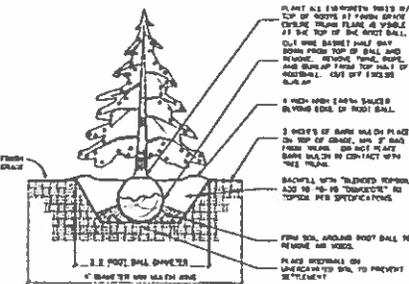




1 Tree Planting Detail (Deciduous) SECTION



2 Shrub & Groundcover Detail SECTION



3 Tree Planting Detail (Evergreen) SECTION

NOTES:

1. 1/2" FROM TREE (EVERGREEN OR DECIDUOUS) AT LEAST TWO CLUMP FEET OF SOIL VOLUME IS REQUIRED FOR EACH THE SQUARE FOOT OF TREE CANOPY AT MATURITY.
2. SOIL VOLUME IS CALCULATED AS THE LANDSCAPING AREA UNDER THE TREE CANOPY, FREE OF WATERLOGGED SURFACE OR PAVING, AND IS PLANTED AT A DEPTH OF THREE (3) FEET.
3. FOR TREES WITHIN PARKING AREA PLANTERS OR SIDEWALK PLANTERS, IN LACK OF THE SOIL VOLUME PROVIDED, ASIDE STRUCTURAL SOIL MAY BE UTILIZED AS AN ALTERNATIVE MATERIAL UNDER ASPHALT SURFACES TO MEET THE REQUIRED SOIL VOLUME CALCULATION.

**PLANTING PLAN & PLANT LIST NOTES:**

1. PLANT LIST: PLANT MATERIALS SHALL BE CHOSEN AS SPECIMENS IN THE CURRENT GRADES. IF PLANT MATERIALS ARE NOT AVAILABLE IN SIZES SPECIFIED THEN THE NEXT LARGER SIZE SHALL BE SUBSTITUTED. IF PLANTS ARE NOT AVAILABLE, THEN SUBSTITUTIONS MAY BE CHOSEN FROM THE "ALTERNATIVE PLANTS LIST". SUBSTITUTIONS FOR NON-TREE PLANTS FOR THE MEMORY CARE (MC) GARDENS MUST ALSO BE NON-TREE.
2. PLANTING PLANS: THE PLANTING PLANS ILLUSTRATE THE PLACEMENT OF PLANT MATERIALS. THE LANDSCAPE CONTRACTOR MUST ADHERE TO THE DESIGN (AS MUCH AS POSSIBLE). HOWEVER, SITE CONDITIONS MAY REQUIRE DESIGN ADJUSTMENTS. REVIEW ANY DESIGN ADJUSTMENTS ON SITE WITH THE OWNER'S REPRESENTATIVE.

**NOTES FOR HARD LANDSCAPE ELEMENTS:**

Site Furniture

1. See Det #5 Sheet L-4 for planter box construction. Boxes are to be located in Memory Care Gardens. (8 required). Landscape contractor to construct concrete covers around all planter box locations leaving open area beneath each box. Box construction & installation will be by the Regent Valley Manor or its Maintenance Crew.
2. Site benches are to match manufacturer & specs of benches located at the Manor. The Regent Valley Maintenance Division will supply all benches. Install by placing each bench in the location shown on the plan. The "backing" to the conc. slabs or deck is necessary in the Memory Care Gardens. Benches are to be provided by residents. However, benches on site are to be furnished to the spec. wherever in all other areas.

Memory Care Garden Walls, Railings & Gates

1. See Architectural drawings for all Memory Care Garden railings, gates & hardware.
2. See Det #1 Sheet L-3 for screen walls. Construct screen wall 8' tall along north property line in metal studs w/ 1/2" SS finish both sides. Color in beige tones to be chosen by the Architect to match the building color scheme. All railing, structure, & hardware to be by the Structural Engineer's specs. Gates to be chain link with white powder coated mesh. Contractor to supply collage cut sheets of concrete gates for Owner's choice. Contractor to supply & install the screen gate off of Home Dr. and 1/2" with emergency vehicle access hardware.

Site Lighting

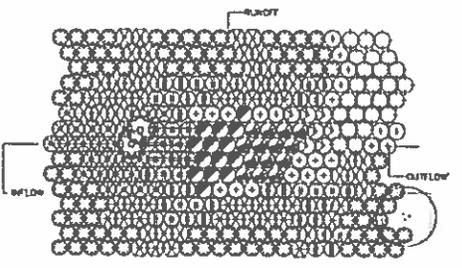
1. See Electrical Engineer's drawings for all site lighting solutions & installation. All electrical hardware & services by the Electrical Engineer's plans & specs.
2. Post Top lights are to match existing campus lights found up by the Manor as well as Richard Light's.

Concrete Pathways

1. See concrete details for sidewalks & patios on the Civil Engineer's drawings. All site pathways shall be to the Civil's design both upstream & materials.

Bicycle Racks

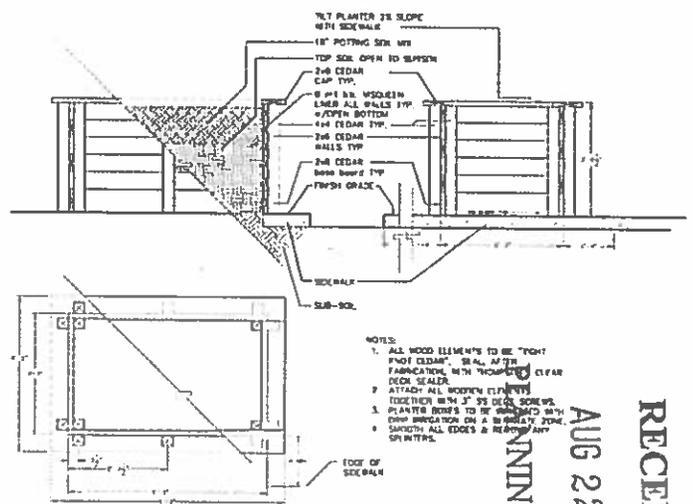
1. Contractor to supply stainless steel posts of same ratio that match the Campus bike racks by the Manor. Owner's cap will point from the cut sheet.



4 BIO-RETENTION FACILITY Detail TYP. Partial Plan section not to scale

PLANT LIST BIO-RETENTION FACILITIES		
1	SPRINK BENT GRASS / ACRISTIS EXARATA	1 O.C. @ 12" O.C.
2	CREeping RUSSUS / RUBUS VENTRILOBUS	1 O.C. @ 12" O.C.
3	AMERICAN SLOUGH GRASS / BECKMANNIA SYSTACHNE	1 O.C. @ 12" O.C.
4	SLOUGH SEDGE / CAREX OBLUPATA	1 O.C. @ 12" O.C.
5	COMMON SWEET WUSH / JUNGLUS EFFUSUS VAR. GRACIOS	1 O.C. @ 12" O.C.
6	CREeping OREGON GRAPE / MANHOTA REPENS	1 O.C. @ 12" O.C.
7	SWOED FERN / POLYSTICHUM MANTUM	1 O.C. @ 12" O.C.
8	GRACEFUL CHENOPEDIA / POTENTILLA GRACKS VAR. GRACKS	1 O.C. @ 12" O.C.
9	SMALL FRUITED RUSH / SCIRPUS MICROCARPUS	1 O.C. @ 12" O.C.
10	BLUE-EYED GRASS / SYMPHYLOM DANCHEISE	1 O.C. @ 12" O.C.
11	DOCKWOOD / COPRINUS VULSIA S.C. MUTABILIS	2 O.C. @ indicated

NOTE: GALLON CAN (G.C.) PLANT SIZES MAY BE SUBSTITUTED WITH 4" POTS. HOWEVER, THREE 4" POTTED PLANTS ARE REQUIRED FOR EACH GALLON CAN SUBSTITUTIONS.



5 PLANTER BOX Detail not to scale

SPAC SET 8-19-

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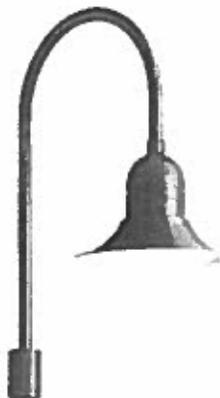
LANDSCAPE PLAN DETAILS SPAC

DATE: 08-18-2016  
PROJECT NUMBER: 132807  
SHEET NUMBER: L-4

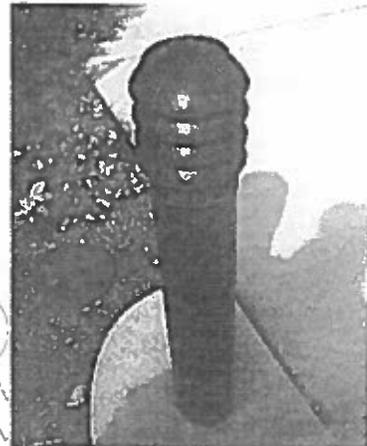
ROGUE VALLEY MANOR MEMORY CARE AND SKILLED NURSING

PACIFIC RETROFIT SERVICES

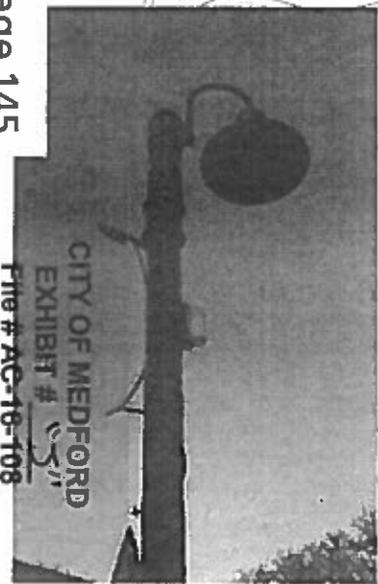
454



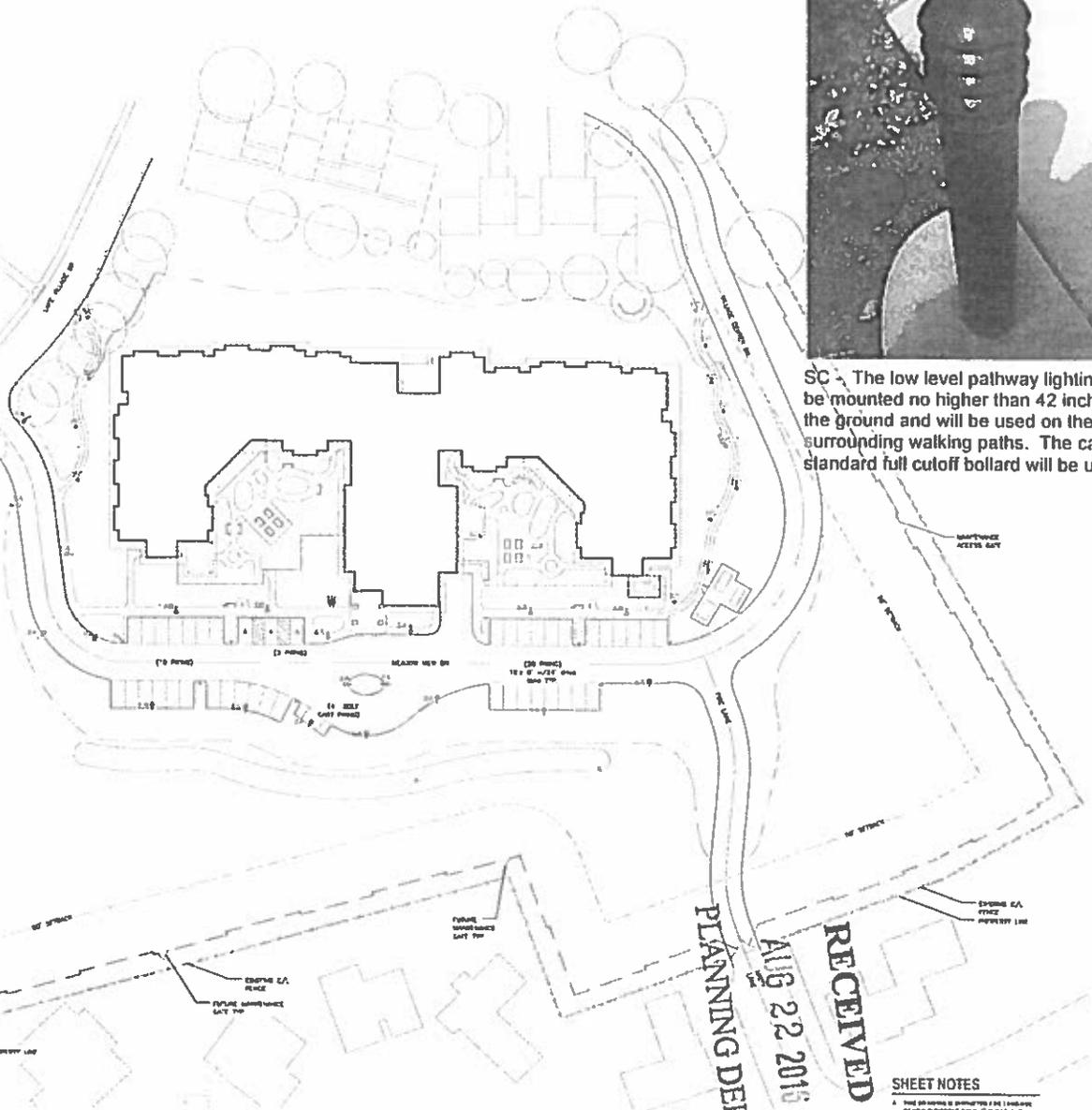
SB - The single parking lot on the site will be lit utilizing a similar pole to the pedestrian but with higher output and better optical control. This is necessary in this area due to the proximity of adjacent properties. The higher optical control will allow us to dial in the exact pattern of light to conform to the shape of the parking area and reduce stray as much as possible. This fixture will also be full cutoff oriented so that the back of the fixture is facing nearby



SC - The low level pathway lighting will be mounted no higher than 42 inches off the ground and will be used on the surrounding walking paths. The campus standard full cutoff bollard will be used.



SA - The pedestrian scale lighting will be mounted on campus interior roads at a height not to exceed 12'. The fixtures will be placed to illuminate the adjacent sidewalk and roadway only. The campus standard poles will be used with a full cutoff optic recessed into the fixture shroud so that light is eliminated above 90



1 SITE PLAN - LIGHTING  
SCALE: 1"=1'

**SHEET NOTES**

1. All lighting is to be installed in accordance with the applicable codes and standards. The lighting design shall be submitted for review and approval by the City of Medford.
2. All lighting shall be installed in accordance with the applicable codes and standards. The lighting design shall be submitted for review and approval by the City of Medford.

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CITY OF MEDFORD  
EXHIBIT # 5  
File # AC-16-108



2018 08 22 10:00 AM  
2018 08 22 10:00 AM  
2018 08 22 10:00 AM



ROGUE VALLEY MANOR MEMORY CARE AND SKILLED NURSING  
LAKE VILLAGE DRIVE  
PACIFIC RETIREMENT SERVICES

NO.	DATE	REVISION

SITE PLAN - LIGHTING  
SCHEMATIC DESIGN

DATE: 07/26/2018  
PROJECT NUMBER: 132807  
SHEET NUMBER: EL.1.1





STATE OF MICHIGAN  
 PROFESSIONAL ENGINEER  
 NO. 24270  
 EXPIRES 12/31/16  
 ANTRAM MOISAN  
 1000 WEST WALKER STREET  
 ANN ARBOR, MI 48106

AGGLE VALLEY MAJOR MEMORY CARE

PLANNING DEPT.

PROJECT NO. 16-001

PRELIMINARY  
 UTILITY PLAN

SCHEMATIC DESIGN

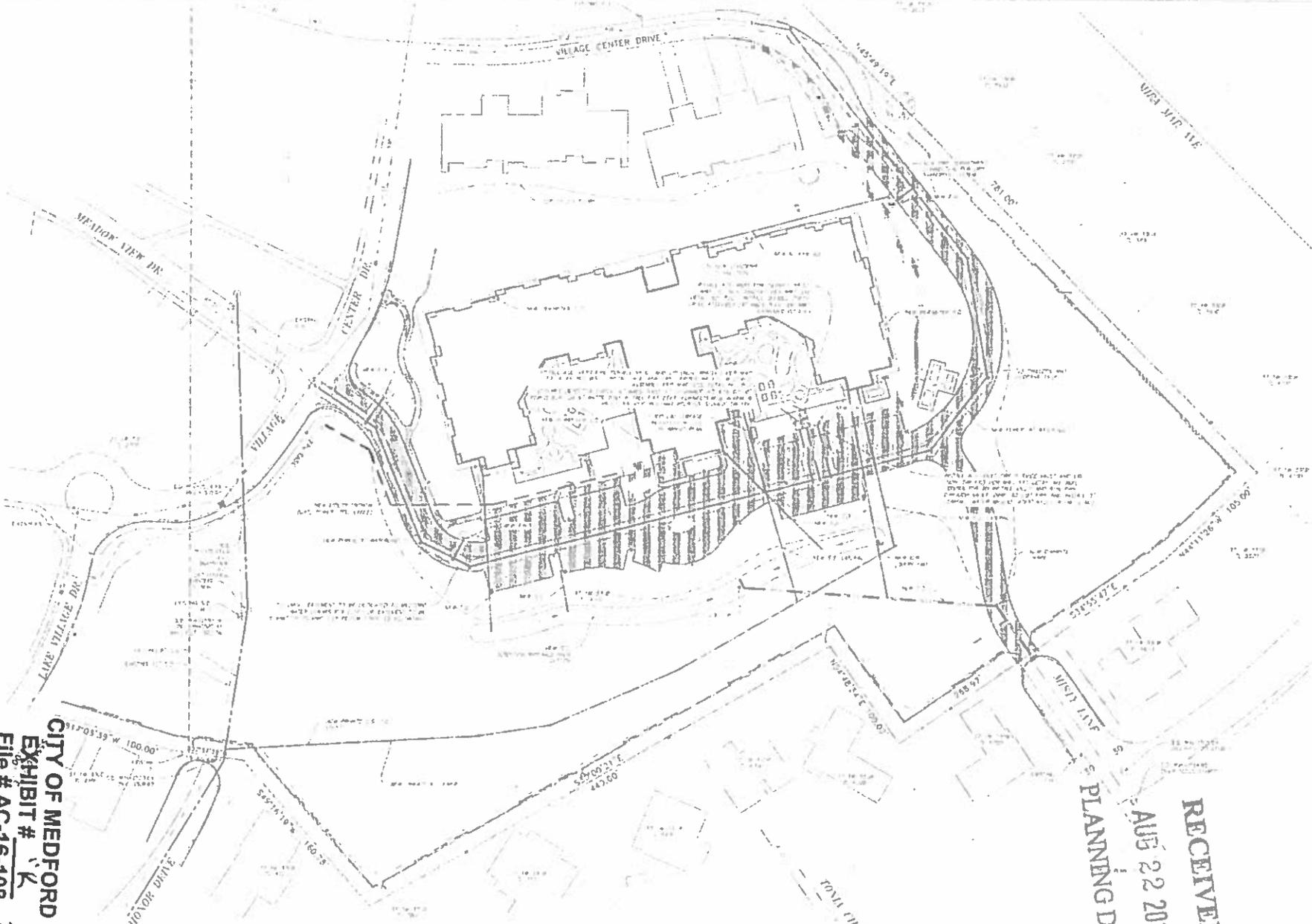
DATE	DESCRIPTION
8-16-2016	ISSUED FOR PERMIT
8-16-2016	ISSUED FOR PERMIT
8-16-2016	ISSUED FOR PERMIT

C2

**RECEIVED**  
 AUG 22 2016  
 PLANNING DEPT.

**THORNTON ENGINEERING**  
 200 WEST WALKER STREET  
 ANN ARBOR, MI 48106  
 734.769.1100

PRELIMINARY UTILITY PLAN



CITY OF MEDFORD  
 EXHIBIT # 16  
 File # AC-16-108

2016



STATE OF MASSACHUSETTS  
 PROFESSIONAL ENGINEER  
 REG. NO. 10100  
 EXPIRES 12/31/16

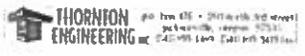
SCHEMATIC DESIGN

SCHEMATIC DESIGN

PRELIMINARY  
 GRADING PLAN

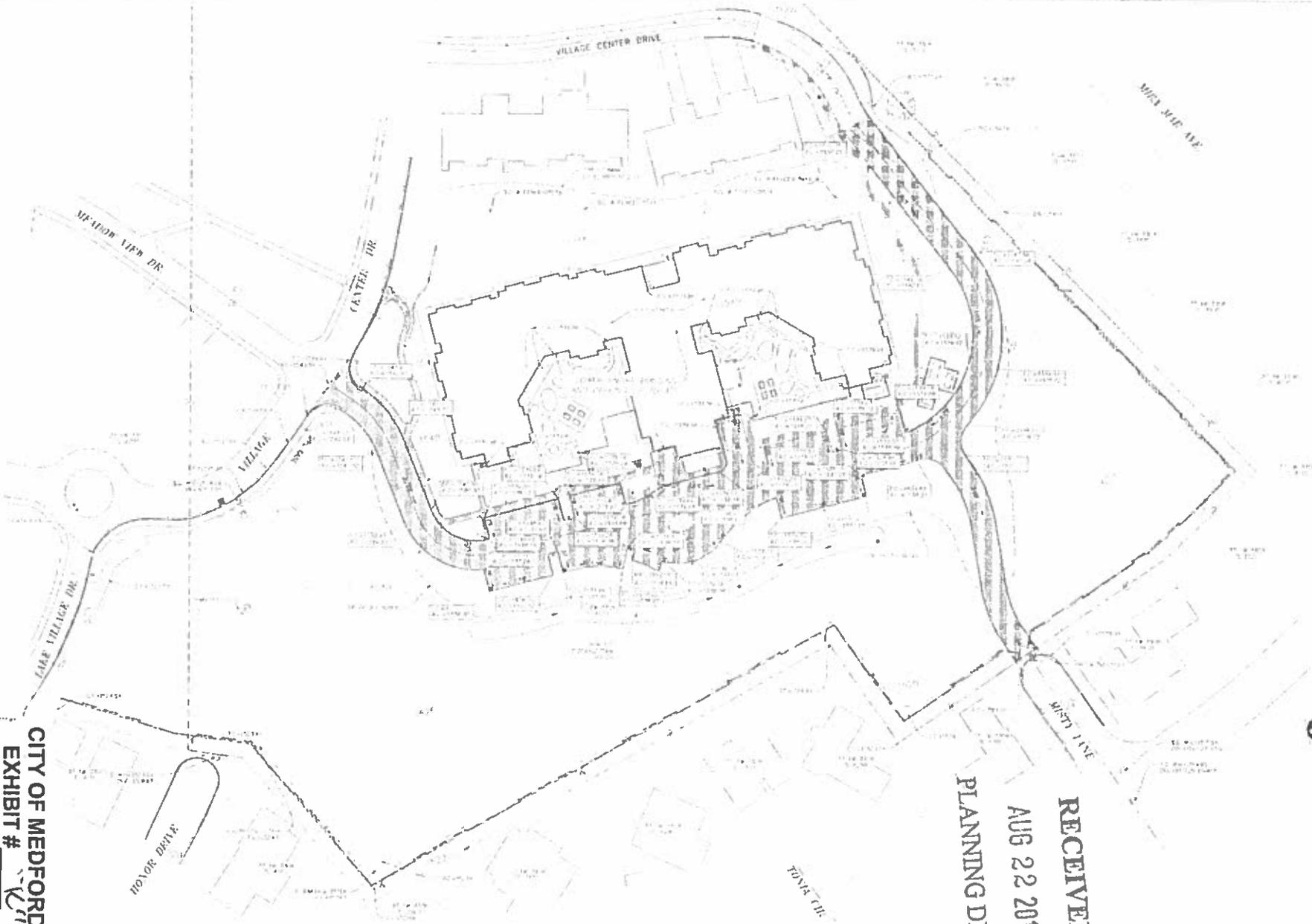
SCHEMATIC DESIGN

DATE	DESCRIPTION
08-22-2016	ISSUED FOR PERMIT

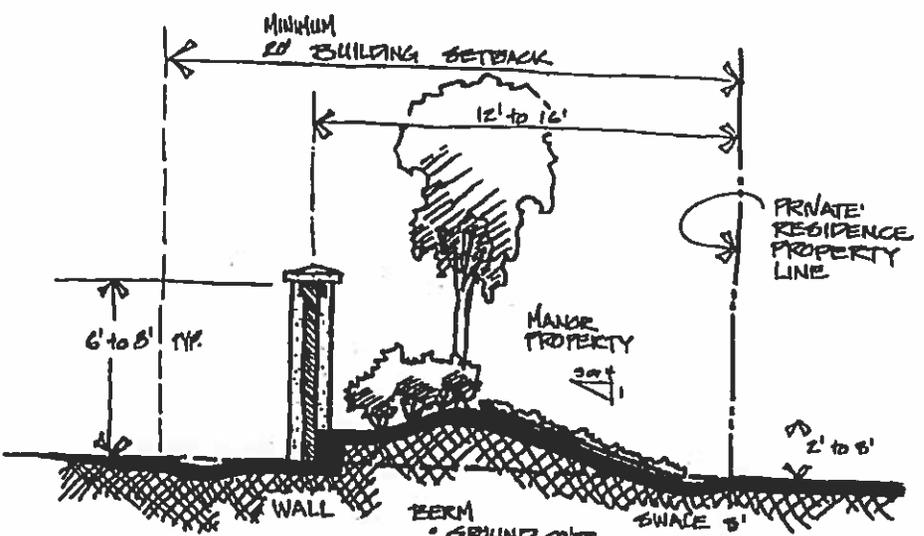
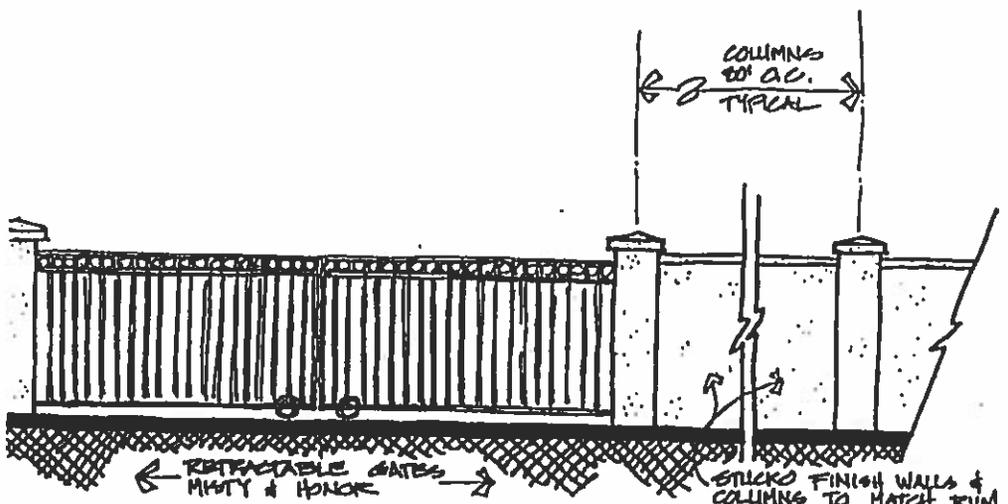


**RECEIVED**  
 AUG 22 2016  
 PLANNING DEPT.

**PRELIMINARY GRADING PLAN**

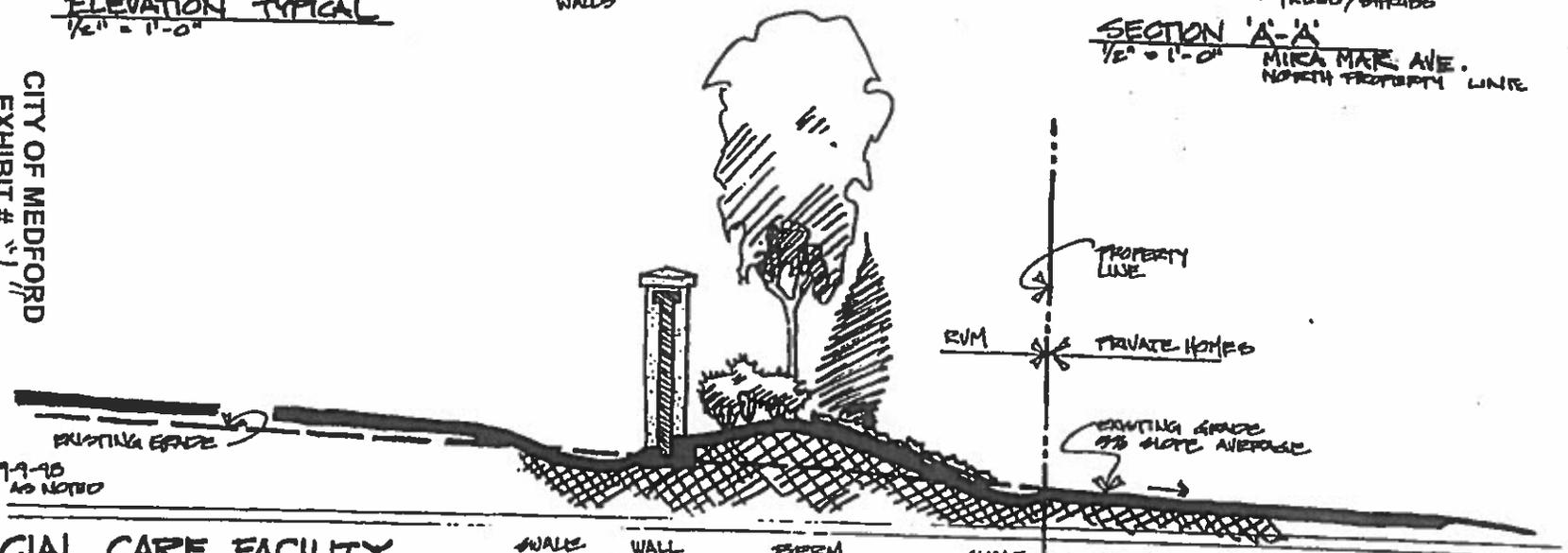


CITY OF MEDFORD  
 EXHIBIT # *AC-16-108*  
 File # AC-16-108



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CITY OF MEDFORD  
EXHIBIT # 1  
File # AC-16-108  
10/2



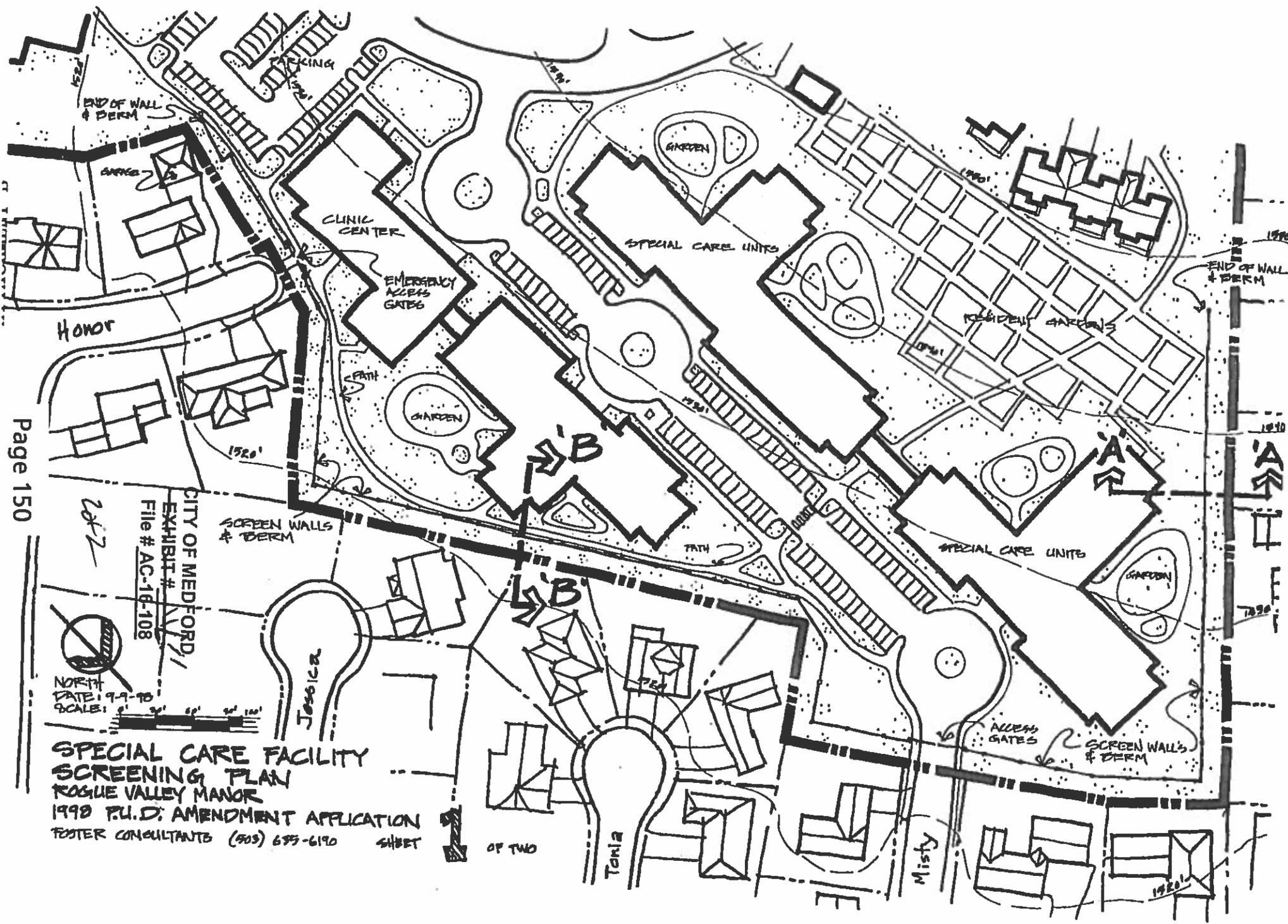
DATE: 7-9-98  
SCALE: AS NOTED

**SPECIAL CARE FACILITY  
SCREENING SECTIONS & DETAILS  
ROGUE VALLEY MANOR**

1998 P.L.D. AMENDMENT APPLICATION  
FOSTER CONSULTANTS (503) 699-6110

SHEET **2** OF TWO

WALL WALL BERM SWALE  
NOTE: SEE SECTION A-A FOR TYPICAL DIMENSIONS



Page 150

CITY OF MEDFORD  
 EXHIBIT # 11/1  
 File # AC-16-108  
 287

NORTH  
 DATE: 9-9-78  
 SCALE: 1" = 100'

**SPECIAL CARE FACILITY  
 SCREENING PLAN  
 ROGUE VALLEY MANOR  
 1998 P.U.D. AMENDMENT APPLICATION**  
 FOSTER CONSULTANTS (903) 695-6190 SHEET  
 OF TWO



Continuous Improvement Customer Service

## CITY OF MEDFORD

LD Date: 10/12/2016  
File Number: AC-16-108

### **PUBLIC WORKS DEPARTMENT STAFF REPORT** **Rogue Valley Manor Memory Care**

**Project:** Consideration of plans for the development of a 37,721 square foot, single-story, 40-unit memory care facility located on a 7.9 acre property west of the terminus of Misty Lane, west of the terminus of Honor Drive, and north and east of the intersection of Village Center Drive and Meadow View Drive, within the Rogue Valley Manor.

**Location:** The subject site is located in a SFR-4/PD (Single Family Residential, four dwelling units per gross acre with Planned Unit Development Overlay) zone district (Portions of Tax Lots 371W33CB9100 and 371W33CC2200).

**Applicant:** Chris Dalengas, Applicant (John Tamminga, Agent). Desmond McGeough, Planner.

**NOTE:**

The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention.
- Completion of all public improvements, if required. The applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements would need to be approved by the Public Works Engineering Department prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas.
- Certification by the design engineer that the stormwater quality and detention system was constructed per the approved plan.
- Completion of all public improvements, if applicable.

---

P:\Staff Reports\AC\2016\AC-16-108 Village Center Dr (RV Manor Memory Care)\AC-16-108 Staff Report-DB\_Revised.docx Page 1 of 7

PUBLIC WORKS DEPARTMENT  
ENGINEERING & DEVELOPMENT DIVISION

200 S. IVY STREET  
MEDFORD, OREGON 97501  
[www.ci.medford.or.us](http://www.ci.medford.or.us)

CITY OF MEDFORD PHONE (541) 774-2100  
EXHIBIT # 11 FAX (541) 774-2552  
File # AC-16-108

**A. STREETS**

**1. Dedications**

**Honor Drive** is classified as a Standard Residential Street in accordance with Medford Land Development Code (MLDC) Section 10.430. Honor Drive terminates at the subject property boundary. **No additional right-of-way is required.**

**Misty Lane** is classified as a Standard Residential Street in accordance with Medford Land Development Code (MLDC) Section 10.430. Misty Lane terminates into the subject property and becomes a private roadway. **No additional right-of-way is required.**

The non-access reserve strip (1-foot dedication) per MLDC 10.439, which was granted in fee to the City of Medford, shall be dedicated to the public as part of this connection.

**Meadow View Drive and Village Center Drive** are private roadways. **No dedications are required.**

**2. Public Improvements**

**a. Public Streets**

**Honor Drive** is currently improved with pavement, curb, gutter, sidewalk and street lights. **No additional improvements are required.**

**Misty Lane** is currently improved with pavement, curb, gutter, sidewalk and street lights with a radius at the terminus. **No additional improvements are required** if a standard driveway approach is to be constructed at the terminus of Misty Lane and its use is restricted to a fire lane only. However, if a non-standard approach is proposed and/or the use is not restricted to just a fire lane, then the radius shall be removed and Misty Lane shall be improved to a full paved width to the edge of property line where the public street transitions to a privately maintained road and shall have a concrete valley gutter installed (per Standard Drawing CD702) to delineate the respective jurisdictions.

**Meadow View Drive and Village Center Drive** are privately maintained roadways. **No public improvements are required.**

**b. Street Lights and Signing**

**No additional street lights are required.**

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer's contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided the Developer.

### c. Pavement Moratoriums

There is no pavement cutting moratorium currently in effect along this frontage to Honor Drive or Misty Lane.

#### 3. Access and Circulation

Driveway access to the proposed development site shall comply with MLDC 10.550.

#### 4. Section 10.668 Analysis

To support a condition of development that an applicant dedicate land for public use or provide a public improvement, the Medford Code requires a nexus and rough proportionality analysis which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

##### 10.668 Limitation of Exactions

*Notwithstanding any other provisions of this Chapter 10, an applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless: (1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose, and that there is a rough proportionality between the burden of the exaction on the developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or (2) a mechanism exists and funds are available to fairly compensate the applicant for the excess burden of the exaction to the extent that it would be a taking.*

##### 1. Nexus to a legitimate government purpose.

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and are supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, and pedestrians. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

##### 2. Rough proportionality between the required dedications and improvements, and the impacts of development.

No mathematical formula is required to support the rough proportionality analysis. Also, the City is allowed to consider the benefits to the development from the dedication and improvements when determining “rough proportionality.”

As set forth below, the improvements recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development and are consistent with the Medford Land Development Code.

##### Misty Lane:

Local street construction requirements identified by the Public Works Department and required <sup>M</sup>

P:\Staff Reports\AC\2016\AC-16-108 Village Center Dr (RV Manor Memory Care)\AC-16-108 Staff Report-DB\_Revised.docx Page 3 of 7

by the City are the minimum required to protect the public interest and are necessary for additional or densification of development in the City without detracting from the common good enjoyed by existing properties. Developments are required to provide all internal local streets and half-street improvements to abutting streets, including associated right-of-way dedications, to ensure that new development and density intensification provides the current level of urban services and adequate street circulation is maintained.

The additional traffic of all modes of travel generated by this proposed development supports the improvements for all modes of travel. The improvements required for this development are necessary and roughly proportional to that required in similar developments to provide a transportation system that meets the needs for urban level services.

## **B. SANITARY SEWERS**

The proposed development is situated within the Medford sewer service area. The Developer shall provide one separate individual service lateral to the site or ensure that the site is served by an individual service lateral. All unused laterals adjacent and stubbed to the development shall be capped at the main.

## **C. STORM DRAINAGE**

### **1. Drainage Plan**

A comprehensive drainage plan showing the entire project site with sufficient spot elevations to determine direction of runoff to the proposed drainage system, and also showing elevations on the proposed drainage system, shall be submitted with the first building permit application for approval.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

A Site/Utility Plan shall be submitted with the building permit application to show the location of the existing or proposed stormdrain lateral/s for the site.

All private storm drain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

### **2. Grading**

A comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

### 3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729.

### 4. Certification

Upon completion of the project, and prior to certificate of occupancy of the building, the developer's design engineer shall certify that the construction of the stormwater quality and detention system was constructed per plan. Certification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

### 5. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

## D. General Conditions

### 1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the Public Works Engineering office.

### 2. Construction Plans

If required, construction drawings for any public improvements for this project shall be prepared by a professional engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Construction drawings for public improvements shall be submitted only for the improvements to be constructed with each phase. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets, minimum access drives, sanitary sewers, storm drains, and street lights as required by the Site Plan and Architectural Commission's Final Order, together with all pertinent details and calculations. A checklist for public improvement plan submittal can be found on the City of Medford, Public Works web site (<http://www.ci.medford.or.us/Page.asp?NavID=3103>). The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the

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of 7

deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

In order to properly maintain an updated infrastructure data base, the Surveyor of Record shall submit an as-built survey prior to the Final Inspection and, the Engineer of Record shall submit mylar "as-constructed" drawings to the Engineering Division within sixty (60) calendar days of the Final Inspection (walk through). Also, the engineer shall coordinate with the utility companies, and show all final utility locations on the "as built" drawings.

### **3. Construction and Inspection**

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans. Pre-qualification is required of all contractors prior to application for any permit to work in the public right-of-way.

Contractors proposing to do work on public streets, sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit from the County.

For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and storm drain mains be inspected by video camera prior to acceptance of these systems by the City.

Where applicable, the developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

### **4. Site Improvements**

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

### **5. System Development Charges (SDC)**

**Buildings in this development are subject to street, sanitary sewer collection and treatment, and stormdrain SDCs. All SDC fees shall be paid at the time individual building permits are issued.**

Prepared by: Doug Burroughs

# SUMMARY CONDITIONS OF APPROVAL

Rogue Valley Manor Memory Care

AC-16-108

## A. Streets

### 1. Street Dedications to the Public:

- **Honor Drive** – No street dedications are required for this development.
- **Misty Lane** – No street dedications are required for this development.
- **Meadow View Drive and Village Center Drive** are private roadways. **No dedications are required.**
- No requirement for dedication of PUEs.

### 2. Improvements:

#### Public Streets

- No public improvements are required along **Honor Drive**.
- No public improvements are required along **Misty Lane** if use is restricted to fire lane.
- No public improvements are required along **Meadow View Drive or Village Center Drive (private)**.

#### Lighting and Signing

- No additional street lights are required.

#### Access and Circulation

- Driveway access shall comply with MLDC 10.550.

#### Other

- There is no pavement moratorium currently in effect on **Honor Drive** or **Misty Lane**.

## B. Sanitary Sewer:

- Ensure or construct separate individual sanitary sewer connection.
- Cap remaining unused laterals at the main.

## C. Storm Drainage:

- Provide a comprehensive grading and drainage plan.
- Provide water quality and detention facilities, calculations and O&M Manual.
- Provide Engineers certification of stormwater facility construction.
- Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.



BOARD OF WATER COMMISSIONERS

**Staff Memo**

**TO:** Planning Department, City of Medford

**FROM:** Rodney Grehn P.E., Water Commission Staff Engineer

**SUBJECT:** AC-16-108

**PARCEL ID:** 371W33CB TL 9100

**PROJECT:** Consideration of plans for a the development of a 37,721 square foot, single-story, 40-unit memory care facility located on a 7.9 acre property west of the terminus of Misty Lane, west of the terminus of Honor Drive, and north and east of the intersection of Village Center Drive and Meadow View Drive, within the Rogue Valley Manor. The subject site is located in a SFR-4/PD (Single Family Residential, four dwelling units per gross acre with Planned Unit Development Overlay) zone district; Chris Dalengas, Applicant (John Tamminga, Agent). Desmond McGeough, Planner.

**DATE:** October 12, 2016

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

**CONDITIONS**

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. Installation of an 8-inch water line is required between the intersection of Village Center Drive and Meadow View Drive, and shall extend on-site through the paved travel way which terminates at the existing northerly end of Village Center Drive.
4. Dedication of a 10 foot wide (minimum) access and maintenance easement to MWC over all water facilities located outside of public right-of-way is required. Easement shall be submitted to MWC for review and recordation prior to construction.
5. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35> .

*Continued to Next Page*

CITY OF MEDFORD  
EXHIBIT # 10F3  
File # AC-16-108

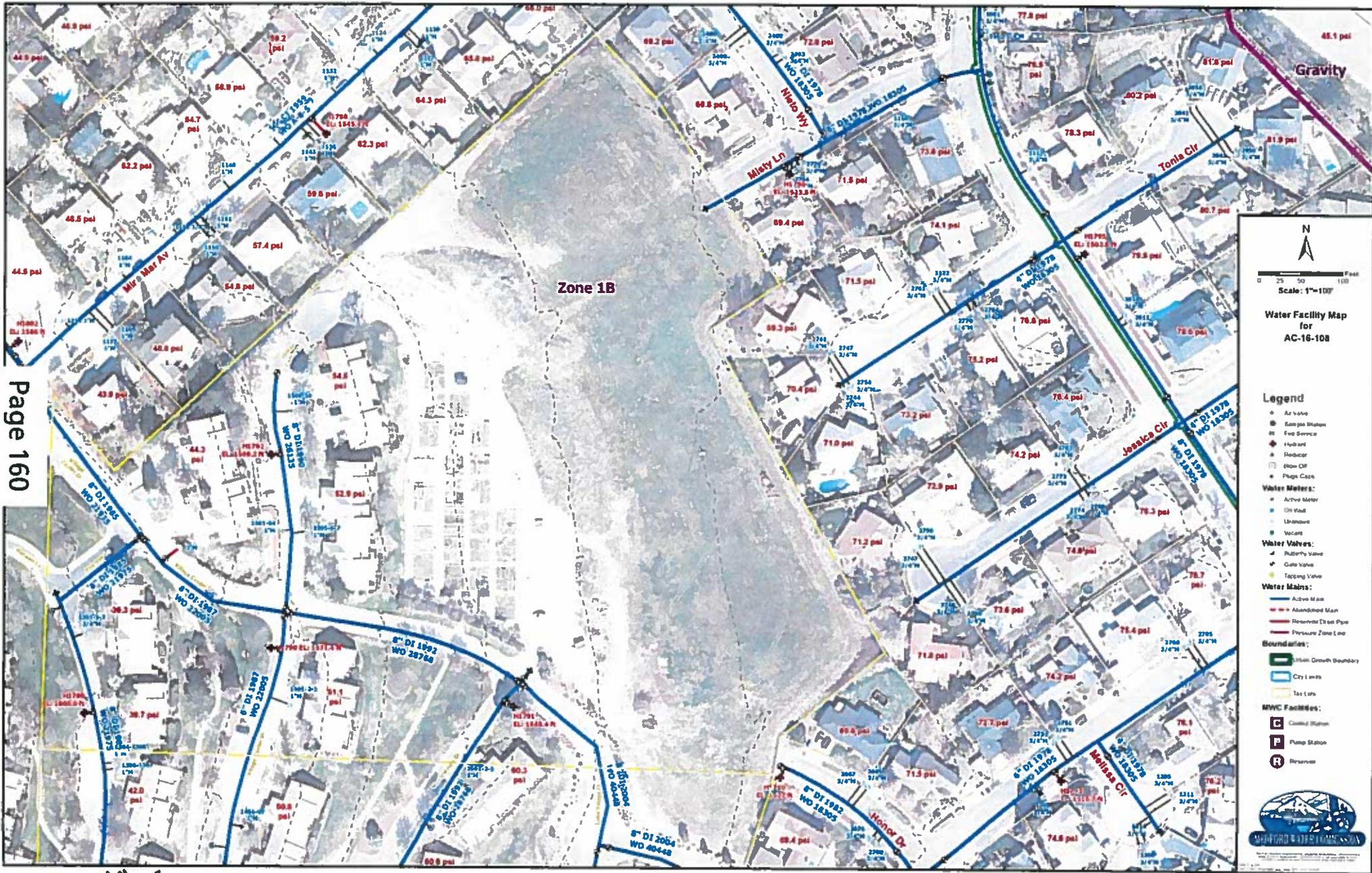


*Continued from Previous Page*

**COMMENTS**

1. Off-site water line installation is not required.
2. Static water pressure ranges between 50-60 psi.
3. On-site water facility construction is required. (See Condition 3 above)
4. MWC-metered water service does not exist to this property.
5. Access to MWC water lines is available. There is an existing 8-inch water line in Village Center Drive, an 8-inch water line in Lake Village Drive, and an 8-inch water line in Misty Lane.

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2 of 3



383  
N



# Medford Fire Department

200 S. Ivy Street, Room #180  
Medford, OR 97501  
Phone: 774-2300; Fax: 541-774-2514;  
www.medfordfirerescue.org

## LAND DEVELOPMENT REPORT - APPLICANT

To: Desmond McGeough

LD Meeting Date: 10/12/2016

From: Greg Kleinberg

Report Prepared: 10/07/2016

Applicant: Chris Dalengas, Applicant (John Tamminga, Agent)

File #: AC - 16 - 108

### Site Name/Description:

Consideration of plans for a the development of a 37,721 square foot, single-story, 40-unit memory care facility located on a 7.9 acre property west of the terminus of Misty Lane, west of the terminus of Honor Drive, and north and east of the intersection of Village Center Drive and Meadow View Drive, within the Rogue Valley Manor. The subject site is located in a SFR 4/PD (Single Family Residential, four dwelling units per gross acre with Planned Unit Development Overlay) zone district; Chris Dalengas, Applicant (John Tamminga, Agent). Desmond McGeough, Planner.

### DESCRIPTION OF CORRECTIONS

### REFERENCE

#### Requirement FIRE HYDRANTS

OFC

508.5

Fire hydrants with reflectors will be required for this project.

Fire hydrant locations shall be as follows: Approved as submitted.

Additional hydrants may be required to comply with the requirement of proximity to fire department connections (for fire sprinkler and standpipe systems, the fire department connection shall be located at an approved location away from the building and within 75' of a fire hydrant. The fire department connection shall be located on the same side as the fire department access route.).

The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Plans and specifications for fire hydrant system shall be submitted to Medford Fire Department for review and approval prior to construction. Submittal shall include a copy of this review (OFC 501.3).

#### Requirement FD APPARATUS ACCESS ROAD DESIGN

OFC

503.2.1

Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches. The required width of a fire apparatus access road shall not be obstructed in any manner, including parking of vehicles. Minimum required widths and clearances established under section 503.2.1, shall be maintained at all times. The fire apparatus access road shall be constructed as asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 60,000 pounds.

(See also OFC 503.4; D102.1)

The turning radius on fire department access roads shall meet Medford Fire Department requirements (OFC 503.2.4).

#### Requirement PRIVATE FIRE DEPARTMENT ACCESS PARKING RESTRICTION

OFC

503.4

Parking shall be posted as prohibited along the fire lanes by one of the methods stated below.

CITY OF MEDFORD  
EXHIBIT # 50  
File # AC-16-108

10-3



# Medford Fire Department

200 S. Ivy Street, Room #180  
Medford, OR 97501  
Phone: 774-2300; Fax: 541-774-2514;  
www.medfordfirerescue.org

## LAND DEVELOPMENT REPORT - APPLICANT

To: Desmond McGeough

LD Meeting Date: 10/12/2016

From: Greg Kleinberg

Report Prepared: 10/07/2016

Applicant: Chris Dalengas, Applicant (John Tamminga, Agent)

File #: AC - 16 - 108

### Site Name/Description:

Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).

Where parking is prohibited for fire department vehicle access purposes, NO PARKING-FIRE LANE signs shall be spaced at minimum 50' intervals along the fire lane (minimum 75' intervals in 1 & 2 family residential areas) and at fire department designated turn-around's. The signs shall have red letters on a white background stating "NO PARKING-FIRE LANE" (See handout).

For privately owned properties, posting/marketing of fire lanes may be accomplished by any of the following alternatives to the above requirement (consult with the Fire Department for the best option):

#### Alternative #1:

Curbs shall be painted red along the entire distance of the fire department access. Minimum 4" white letters stating "NO PARKING-FIRE LANE" shall be stenciled on the curb at 25-foot intervals.

#### Alternative #2:

Asphalt shall be striped yellow or red along the entire distance of the fire department access. The stripes shall be at least 6" wide, be a minimum 24" apart, be placed at a minimum 30-60 degree angle to the perimeter stripes, and run parallel to each other. Letters stating "NO PARKING-FIRE LANE" shall be stenciled on the asphalt at 25-foot intervals.

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths (20' wide) and clearances (13' 6" vertical) shall be maintained at all times (OFC 503.4; ORS 98.810-12).

This restriction shall be recorded on the property deed as a requirement for future construction.

A brochure is available on our website or you can pick up one at our headquarters.

### Requirement FIRE SPRINKLER SYSTEM

OFC

903

A fire sprinkler system will be required by code for this occupancy.

The Fire Department Connection (FDC) shall be located away from the building (out of the collapse zone if possible) and within 75 feet of a fire hydrant. The fire hydrant and fire department connection shall be located on the same side of the fire department access route.

The exterior water flow alarm bell shall be attached to the fire department connection.

Consult the Medford Water Commission for proper water meter sizing for fire sprinkler systems.

10'  
2 of 3



# Medford Fire Department

200 S. Ivy Street, Room #180  
Medford, OR 97501  
Phone: 774-2300; Fax: 541-774-2514;  
www.medfordfirerescue.org

## LAND DEVELOPMENT REPORT - APPLICANT

To: Desmond McGeough

LD Meeting Date: 10/12/2016

From: Greg Kleinberg

Report Prepared: 10/07/2016

Applicant: Chris Dalengas, Applicant (John Tamminga, Agent)

File #: AC - 16 - 108

Site Name/Description:

### Requirement HORIZONTAL STANDPIPE

MEDFORD HORIZ

In lieu of fire department access on the west side of the building, a horizontal standpipe system is required for this project. Prior to construction the proposed standpipe system shall be approved by the Fire Marshal (See Medford Handout) and meet NFPA 14 requirements.

### Requirement FIRE ALARM SYSTEM

OFC 907.2

A NFPA 72 fire alarm system will be required by code for this occupancy adhering to the occupancy classification specific requirements listed in Chapter 9 of the OSSC/OFC.

**Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.**

**Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.**

**Specific fire protection systems may be required in accordance with the Oregon Fire Code.**

**This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.**

**Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.**

110"  
303



# Memo

**To:** Desmond McGeough, Planning Department  
**From:** Chad Wiltrout, Building Department (541) 774-2363  
**CC:** Chris Dalengas, Applicant; John Tamminga, Agent  
**Date:** October 12, 2016  
**Re:** October 12, 2016 LDC Meeting: Item #2 – AC-16-108

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***Please Note:***

***This is not a plan review. Unless noted specifically as Conditions of Approval, general comments are provided below based on the general information provided; these comments are based on the 2014 Oregon Structural Specialty Code (OSSC) unless noted otherwise. Plans need to be submitted and will be reviewed by a commercial plans examiner, and there may be additional comments.***

***Fees are based on valuation. Please contact Building Department front counter for estimated fees at (541) 774-2350 or [building@cityofmedford.org](mailto:building@cityofmedford.org).***

***For questions related to the Conditions or Comments, please contact me, Chad Wiltrout, directly at (541) 774-2363 or [chad.wiltrout@cityofmedford.org](mailto:chad.wiltrout@cityofmedford.org).***

**General Comments:**

1. For list of applicable Building Codes, please visit the City of Medford website: [www.ci.medford.or.us](http://www.ci.medford.or.us) Click on "City Departments" at top of screen; click on "Building"; click on "Design Criteria" on left side of screen and select the appropriate design criteria.
2. All plans are to be submitted electronically. Information on the website: [www.ci.medford.or.us](http://www.ci.medford.or.us) Click on "City Departments" at top of screen; click on "Building"; click on "Electronic Plan Review (ePlans)" for information.
3. A site excavation and grading permit will be required if more than 50 cubic yards is disturbed.
4. A separate demolition permit will be required for demolition of any structures not shown on the plot plan.

**Comments:**

5. Proposed construction in proximity to property lines shall comply with table 602 and code section 705 of the Oregon Structural Specialty Code.
6. ADA parking spaces shall be required in accordance with code section 1106 of the Oregon Structural Specialty Code.
7. A code analysis providing occupant load type of construction, type of occupancy, occupant load notation of sprinkled or non-sprinkled, separated or non-separated use, egress plan etc...
8. According to the City of Medford Building Safety Department Policy Requiring Geotechnical Investigation, a site specific soils engineering report prepared by an Oregon-licensed geotechnical engineer must be provide at time of permit application.

CITY OF MEDFORD  
EXHIBIT # "E"  
File # AC-16-108

10 of 1

**Desmond M. McGeough**

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**From:** Mark Coplin <markc@ankrommoisan.com>  
**Sent:** Monday, October 24, 2016 11:21 AM  
**To:** Desmond M. McGeough  
**Cc:** John Tamminga; Maria Power  
**Subject:** RE: Requested parking calculation Rogue Valley Manor Memory Care AC-16-108

Desmond,

Here is the parking breakdown for the staff requirements from RVM. The remainder of the parking shown would be for visitor parking. Let me know if this is what you need.

	AM Shift	Evening
Memory Care Administrator	x1	x1
Care Coordinators	x2	x2
Caregivers	x6	x6
Dining	x5	x3
Facilities	<u>x3</u>	<u>x1</u>
	17	13 until 5pm: drops to 9 after 5pm.

Also, we are sending you the pdf files for the SPAC submission under a separate email.

Mark

**Mark Coplin** AIA, NCARB, LEED AP  
SENIOR ASSOCIATE, ARCHITECT  
D) 503.952.1591  
C) 503.539.1349

**Ankrom Moisan Architects, Inc.**  
ARCHITECTURE INTERIORS URBAN DESIGN BRANDING  
6720 SW Macadam Ave / Suite 100 / Portland, OR 97219

ankrommoisan.com

**From:** John Tamminga [mailto:jtamminga@retirement.org]  
**Sent:** Monday, October 24, 2016 10:50 AM  
**To:** Mark Coplin <markc@ankrommoisan.com>  
**Subject:** Fwd: Requested parking calculation Rogue Valley Manor Memory Care AC-16-108

CITY OF MEDFORD  
EXHIBIT # "Q"  
File # AC-16-108  
10/1

FYI

Sent from my iPhone

Begin forwarded message:

**From:** "Desmond M. McGeough" <Desmond.McGeough@cityofmedford.org>  
**Date:** October 24, 2016 at 10:38:55 AM PDT  
**To:** "chrisd@ankrommoisan.com" <chrisd@ankrommoisan.com>

RESOLUTION NO. 1998-249

A RESOLUTION modifying the decision of the Planning Commission to approve a revised Planned Unit Development for the Rogue Valley Manor.

WHEREAS, on September 24, 1998, the Planning Commission adopted the final order for approval of the revised Planned Unit Development for the Rogue Valley Manor; and

WHEREAS, at the September 24, 1998 meeting testimony was presented by the applicant and citizens who will be affected by the development; and

WHEREAS, the Planning Commission, having considered the testimony, approved the project but added conditions to the PUD; now, therefore,

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MEDFORD, OREGON, that

The decision of the Planning Commission to approve a revised Planned Unit Development for the Rogue Valley Manor (File No. PUD-98-23) is modified and the council adopts the Findings of Fact and Conclusions of Law attached hereto and by this reference incorporated herein.

PASSED by the Council and signed by me in authentication of its passage this 5th day of November, 1998.

ATTEST: Beverly Sandblast  
City Recorder

[Signature]  
Mayor

CITY OF MEDFORD  
EXHIBIT # "A"  
File # AC-16-108

1 of 20

Resolution No. 1998-249

P.U.W.P.I.R.E.S.O.S.I.M.A.N.O.R.3



November 5, 1998

*Section 10.248 Conditional Use Permit Criteria. The approving authority (Planning Commission) must determine that the development proposal complies with either of the following criteria before approval can be granted.*

*(1) The development proposal will cause no significant adverse impact on the livability, value, or appropriate development of abutting property, or the surrounding area when compared to the impacts of permitted development that is not classified as conditional.*

*(2) The development proposal is in the public interest, and although the development proposal may cause some adverse impacts, conditions have been imposed by the approving authority (Planning Commission) to produce a balance between the conflicting interests."*

### FINDINGS OF FACT

1. The Alzheimer's clinic and skilled nursing facility are uses not allowed in the underlying zone.
2. The above project is located within 100 feet of the exterior boundary of the PUD and is not adjacent to a zone where the use is permitted.
3. The Alzheimer's clinic and skilled nursing facility are in the public interest for the following reasons and, therefore, can be approved under criterion No. 2.
  - a. There is an increasing demand for special Alzheimers' care facilities in the community due to the increasing age of the population and the incidence of this disease.
  - b. It is beneficial in the treatment of Alzheimers disease to have a separate facility.
4. Concerns regarding the Alzheimers' clinic and skilled nursing facility included the following:
  - a. Loss of property value because it's commercial development;
  - b. Creates additional traffic impacts causing noise and safety concerns and loss of quality of life;
  - c. People with dementia potentially shouting obscenities and potentially being unclothed.
5. The applicant proposed mitigation measures contained in Exhibit "Z2" which includes a separation from the adjacent neighborhood by a landscaped berm and 6-8-foot high wall, and 40-foot setback (agreed to verbally).

### CONCLUSIONS

The City Council finds that the Alzheimers' clinic and skilled nursing facility are in the public interest, and, although they may cause some adverse impacts, conditions have been imposed (No. 12 as modified above and No. 13 on the Commission Report dated September 24, 1998 including Exhibit "Z2") to produce a balance between the conflicting interests consistent with criterion No. 2.

BEFORE THE MEDFORD PLANNING COMMISSION

STATE OF OREGON, CITY OF MEDFORD

IN THE MATTER OF PLANNING COMMISSION FILE PUD-98-23 )  
APPLICATION FOR A PLANNED UNIT DEVELOPMENT ) ORDER  
SUBMITTED BY ROGUE VALLEY MANOR )

ORDER granting approval to Rogue Valley Manor of a revision and 25.2 acre expansion of a mixed use Planned Unit Development on 219.7 acres of property, located east of Interstate 5 between Ellendale and La Loma Drives, within the SFR-4 and SFR-10/BC (Single-Family Residential - 4 units and 10 units per acre/Bear Creek Overlay), MFR-20 and MFR-30 (Multiple-Family Residential - 20 units and 30 units per acre), and C-C (Community Commercial) zoning districts; as provided for in the City of Medford Land Development Code.

WHEREAS:

1. The Planning Commission has duly accepted the application filed in accordance with the Land Development Code, Section 10.230 Application, Planned Unit Development, and
2. The Medford Planning Commission has duly held public hearings on the matter of an application for a revision and 25.2 acre expansion of a mixed use Planned Unit Development on 219.7 acres of property, located east of Interstate 5 between Ellendale and La Loma Drives, within the SFR-4 and SFR-10/BC (Single-Family Residential - 4 units and 10 units per acre/Bear Creek Overlay), MFR-20 and MFR-30 (Multiple-Family Residential - 20 units and 30 units per acre), and C-C (Community Commercial) zoning districts, with public hearings a matter of record of the Planning Commission on August 27 and September 10, 1998.
3. At public hearings on said application, evidence and recommendations were received and presented by the applicant's representative and Planning Department staff; and
4. At the conclusion of said public hearings, after consideration and discussion, the Medford Planning Commission, upon a motion duly seconded, granted a Planned Unit Development permit and directed staff to prepare a final order with all conditions and supplemental findings set forth for the granting of the planned unit development.

THEREFORE LET IT BE HEREBY ORDERED that the application of Rogue Valley Manor stands approved supported by the findings of fact and conclusions of law and the conditions of approval stated in the Revised Commission Report dated September 24, 1998, ~~and the Supplemental Findings of Fact and Conclusions of Law - Exhibit Z3.~~

CITY OF MEDFORD  
RECORDERS OFFICE

OCT 16 1998  
A.M. 7 8 9 10 11 12 1 2 3 4 5 6 P.M.

"R" 4 of 20

**FINAL ORDER**

**PUD-98-23**

BASED UPON THE ABOVE, it is the finding of the Medford City Planning Commission that the approval of Rogue Valley Manor, a 25.2 acre expansion of a mixed use, will not be detrimental to the health, safety, or general welfare of the persons residing or working in the neighborhood of the proposed use or be detrimental or injurious to the property and improvements in the neighborhood or to the general welfare of the City.

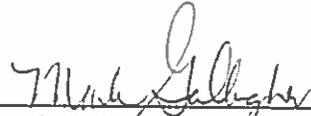
Accepted and approved this 24th day of September, 1998.

CITY OF MEDFORD PLANNING COMMISSION



Carl Bartlett, Chair

ATTEST:



Mark Gallagher, Secretary

"R"  
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**REVISED COMMISSION REPORT**

**File No.:** PUD-98-23 Rogue Valley Manor Planned Unit Development (Revised)

**Applicant:** Rogue Valley Manor (Robert Foster, agent)

**Request:** Consideration of a revision and 25.2-acre expansion of a mixed use Planned Unit Development on 219.7 acres of property, located east of Interstate 5 between Ellendale and La Loma Drives, within the SFR-4 and SFR-10/BC (Single-Family Residential - 4 units and 10 units per acre/Bear Creek Overlay), MFR-20 and MFR-30 (Multiple-Family Residential - 20 units and 30 units per acre) and C-C (Community Commercial) zoning districts.

**Decision:** This Commission Report includes some of the original text related to the applicant's initial proposal, including discussion about all the commercial buildings, but has been modified, particularly with regard to conditions of approval, to reflect the Planning Commission's decision. The major text revisions are preceded by the word Decision.

**Background:**

The original planned unit development (PUD-84-3) approval was granted in 1984. On March 14, 1991, the Planning Commission approved a major revision to the PUD resulting in a 195.6 acre configuration to include up to 1053 dwellings and various amenities, the most notable of which was a 9-hole golf course. In July 1991, a minor revision was approved by the Planning Director to allow a 12,000 square foot expansion to the congregate dining facility.

On April 28, 1994, the Planning Commission approved a revision to the PUD which increased the project area to 213.3 acres and 1096 dwelling units. The 1996 revised PUD, approved in 1997, included some internal revisions and the addition of an existing residence resulting in a 213.8-acre project with 1097 dwelling units approved. To date, 12 phases of development have been completed or approved for construction which represents a total of 609 dwellings including the 75 congregate units currently under construction in Skyline Plaza on the south side of Manor Hill.

It should be noted that the current approved acreage total for the project, per the 1997 revision, has been corrected by the County Assessor. As a result of consolidation of tax lots within the project, it was determined that there were actually 194.5 acres of property. As this still represents all parcels previously approved, it is considered to be the correct project acreage. With the proposed additions per this revision (25.2 acres), the total area of the PUD will be 219.7 acres.

~R''  
6 of 20

**Decision:** Even though the Planning Commission did not approve all of the proposed commercial development for which there is not currently adequate public facilities, the boundary of the PUD proposal remains the same. The area that previously showed all the proposed commercial development, is now shown to be partially vacant with only the approved portion of the commercial development shown (Exhibit "Z3").

**Relevant Sections of the Land Development Code:**

On June 19, 1997, the City Council adopted new Planned Unit Development (PUD) standards and criteria as contained in Sections 10.230 through 10.245 of the Land Development Code and which establish the basis of review for the current proposal. Relevant sections of the revised code are as follows:

- 10.230 PUD General Provisions
- 10.235 Preliminary PUD Plan (including Approval Criteria)
- 10.240 Final PUD Plan (including Approval Criteria)
- 10.236 Revision or Termination of a PUD

**Findings:**

The applicant's findings which include the documents entitled Application to Amend the Planned Unit Development (Exhibit "B"), received February 27, 1998, and Supplemental Information Regarding Transportation Issues (Exhibit "C") received June 26, 1998, include a detailed discussion of the planned community as well as the requisite findings. References to the applicant's findings contained in this report are shown in *(italics)* and refer to Exhibit "B" to assist in locating the applicable supporting text. Each of the criteria for approval are identified in the findings (*Exh. "B" Pages 30-45*); therefore, they are not repeated herein. As many components of the approved Manor are unaffected by the revisions, discussions pertaining to the PUD criteria focus on the changes proposed at this time. The findings summarize the dwelling and acreage totals for the revised project as well as the proposed mix of uses and support facilities.

**Decision:** The applicant's final submittal now includes the required Revised Partial Master Site Plan, Exhibit "Z3." The revised plan includes the revisions required by the Planning Commission relative to the 138 PM peak hour trip limitation.

**Project Compliance with Relevant Sections of the Land Development Code:**

The staff discussion and analysis which follows includes references to the applicant's findings where relevant Code sections are also discussed.

**Acreage Limitation:** The proposed PUD will contain over 219 acres of property and, therefore, complies with the one-acre minimum. (*Exh. "B" Page 16*)

**Consolidated Applications:** As the property is to remain under a single ownership (*Exh. "B" Page 16*) and city zoning exists on all of the property, no application for a land division or change of zone has been included as part of this proposal.

**Common Area/Ownership:** As the property is to remain under a single ownership (including that of a subsidiary or an affiliate of the Rogue Valley Manor) (*Exh. "B" Pages 16, 28, and 45*), establishment of a Homeowners' Association is not required.

**Deviations from Standards:**

**Lots and Parcels** As several of the existing parcels and associated tax lot lines will conflict with proposed building locations (e.g., Phase 13), a condition has been included to consolidate parcels, within each phase as it develops, with evidence thereof submitted at the time of final plan approval. No parcels less than the minimum lot sizes are proposed.

**Yards, Setbacks, and Building Height:** The applicant proposes that several of the buildings be allowed to exceed the 35-foot height limitation of the underlying residential zoning districts. This would include the Hotel/Conference Center (*B*), Office Building (*C*), Multi-Family and Congregate Housing (*I, K, O, Q, S, and T*), Medical Center (*P*), and Auditorium (*R*). Distance from the adjoining streets and/or from the nearest project boundary, or compatibility with anticipated commercial uses on adjoining property, is cited as the primary mitigating factor in terms of impacts on adjoining uses (*Exh. "B" Page 30-31*). The congregate housing on Ellendale (*I*) was originally to be set back only 20 feet from the side property line as depicted on the master plan (Exhibit "A"). The design details for this have been revised in response to neighborhood concerns which has resulted in a much greater setback for the 3-story structure (Exhibit "E"). Although comments in the findings (*Exh. "B" Page 31*) identify an existing 10 foot change in grade as a mitigating factor, the increased setback from adjoining residences has also been incorporated. Additional discussions regarding the height of buildings is included later in this report.

**Parking, Bicycles, and Pedestrians:** Residential parking is proposed to meet the standards for retirement facilities (*Exh. "B" Page 31 to 35 and Table Five*). A combined overall parking reduction of 8 percent at the various nonresidential support facilities is proposed and will be offset by provision of shuttle service throughout the development. Parking strategies are not expected to impact any areas outside of the development. Bicycle parking and pedestrian facilities will be required as prescribed by code as no specific deviations are requested.

**Frontage, Access, Landscaping, and Signs:** The applicant has not identified what, if any, specific deviations are sought (*Exh. "B" Page 35*). It is assumed that in the context of mixed uses within the development, signage would be requested that would not otherwise be permitted in the underlying residential zones. Such signage would be identified at the time of final plan approval. The Commission should consider what, if any, standards should be

applied to signs within the PUD, particularly those where uses not allowed in the underlying zone are proposed. It is suggested, for simplicity sake, that the signage standards for the zone in which the use typically occurs be used.

**Decision:** The Planning Commission deferred review of the signage to the Site Plan and Architectural Commission.

**Streets:** All existing streets within the boundaries of the PUD are private except for Ellendale Drive, a designated collector, and Shannon Drive, which turns into Rogue Valley Manor Drive approximately 1,000 feet north of Mira Mar Avenue. All new streets proposed within the revised PUD are proposed to be private as well. All private streets are subject to Fire Marshal approval in terms of emergency vehicle access. In fact, adjoining sidewalks have been specially constructed along some of the existing one-way streets to provide the requisite fire lane.

The applicant proposed to add a gated access on the end of Misty Lane to provide a secondary access to the Alzheimer/Clinic facility (*Exh. "B" Page 25*). There are existing gated accesses at the ends of Argonne Avenue and Donnalee Drive. All other streets that end at the Manor property will remain as dead-end streets with no access allowed. The Public Works Director (Exhibit "F") had suggested that gates on Misty Lane and Argonne Avenue be left open during the day to help reduce traffic impacts on streets serving the main entrances. Availability of secondary (local) access points into the PUD could help distribute trips such as would be accomplished by an interconnected street system. The Commission weighed this recommendation and, in light of the resultant additional traffic into adjoining neighborhoods, decided to leave the access points at Honor Drive, Misty Lane, and Argonne Avenue closed.

The Public Works Director initially recommended that an area for a roadway connection to the south project boundary be reserved for future access to adjoining lands also owned by the Manor and within the Urban Growth Boundary. This was intended to provide an alternative to using Donnalee Drive (and associated impacts of such use). Three cottage units would have had to be adjusted to accommodate the roadway. The recommendation was removed due to topographic constraints.

**Decision:** The Planning Commission required that Honor Drive, Misty Lane, and Argonne Avenue remain closed.

A 100-foot wide strip of land shall be deeded to the city for the southward extension of Highland Drive as part of the anticipated Highland/Garfield connection. The area beneath the portion of the street extension that will contain an overpass shall be reserved for such use by an easement. The proposed master plan identifies this area and proposes to locate parking in the area beneath the overpass.

**Decision:** The above recommendation was deleted by the Planning Commission at the request of staff. Since the project will not be generating any additional vehicular trips beyond that currently allowed by the existing zoning, no additional street improvements are necessary.

The traffic impacts of the project are further discussed below in the context of the requisite findings for the proposed commercial uses (*Exh. "B" Pages 25 & 41; the Appendix; and Exhibit "C"*).

**Street Lights:** A private street light design has been used within the existing Manor project which will be continued (*Exh. "B" Page 35*). Specifications for street lighting shall be included at the time of final plan approval, subject to approval of the City Engineer.

**Housing Density:** The applicant has included a detailed summary of the housing density associated with the PUD (*Exh. "B" Pages 35-36 and Table Six*). Based upon the underlying residential zoning for the entire project, a maximum of 1,536 dwellings would be allowed for a standard residential development. It should also be noted that a minimum of 903 dwellings would be required to meet minimum density standards. With the 20 percent density bonus allowed for PUD's, a maximum of 1,844 dwellings would be allowed. As 22.2 acres of SFR-10 property are proposed to be utilized for commercial uses, the maximum dwellings allowed would be 1,316 or 1,624 with the PUD bonus. The minimum number of dwellings would be 815 when adjusted for the acreage proposed for the commercial development. As the applicant is proposing a maximum of 1,265 units, this project complies with density requirements.

**Allowed Uses:** The applicant has proposed both permitted and accessory uses as well as nonresidential uses that are not otherwise permitted in the underlying residential zones as described in Exhibit "C" Tables S4 and S6. Uses not allowed in the underlying zoning include the following:

- Restaurant
- Hotel/Conference Center
- Office Building
- Parking/Potential Small Office Buildings (2)
- Mixed Use Site E-F
  - E. Housing/Retail
  - F. Retail
- Mixed Use Site G-H-I
  - G. Housing/Retail
  - H. Retail
  - I. Housing

"R"  
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As these nonresidential uses will occupy approximately 20.75 acres of the 219 acres within the PUD, the proposal complies with the 20 percent limitation (i.e., 43 acres maximum). The applicant's findings include the requisite discussion of the conditional use permit (CUP) and facilities adequacy criteria. Additional comments in regard to those findings are included below.

**Decision:** The above list of proposed uses has been reduced by the Planning Commission's approval of only that portion of the commercial equivalent to the 138 PM peak hour trips.

**Housing Types:** The applicant has included a detailed summary of the housing types and quantities associated with the PUD (*Exh. "B" Page 11, Table One, and Page 36*). A net increase of 168 dwellings is proposed from the previously approved 1,097 units for a total of 1,265 units. This new total includes; 374 attached single-family (Cottages), 96 upstairs apartments for general occupancy within the commercial portion of the development, 7 existing detached single-family residences, and 788 congregate (apartment) units. Congregate living facilities also include the medical center and Alzheimer's unit facilities within the existing PUD boundary. The revised PUD includes changes within the existing boundary to include a reduction of 59 cottage units and an increase of 68 congregate units for a net increase of 9 units.

**Common Elements:** As mentioned above, all property is to remain in the ownership of the Rogue Valley Manor (or its subsidiaries); therefore, formation of a Homeowners' Association is not necessary. As the sole owner, the Rogue Valley Manor shall record documents containing assurances that the common areas (elements) will be improved and maintained for their intended purpose (Section 10.230 (E)(3)).

**Proposed Changes:**

Much of the original design of the "Manor" PUD remains as a component of the current proposal and many of the associated issues (e.g., streets, access, buffers, etc.), remain the same as when previously approved. A summary of the currently proposed revisions to the development is included in the applicant's findings (*Exh. "B" Pages 7-10*), and further amended in Exhibit "C," and findings relevant to the CUP criteria included for those nonresidential uses within 100 feet of the project boundary pursuant to 10.230(D)(9)(b) (*Exh. "B" Pages 42-45, Exhibit 6*). Issues associated with some of the uses in the new master plan are also discussed in the following section:

**Commercial Village - Ellendale Drive**

Because this portion of the PUD includes uses that are not allowed in the underlying residential zone, it is required that a demonstration of Category A facility adequacy also be made (*Exh. "B" Page 41 and Appendices*). This includes storm drainage, sanitary sewer, water, and streets.

**Traffic** Based on the response from Oregon Department of Transportation (ODOT), it has been determined that the Barnett Road interchange will go to 90 percent of capacity and drop to Level of Service "E" (Exhibits "Q," "R," and "S") with the proposed development. This would be in violation of the standards established in the Oregon Highway Plan for highway operations. The applicant has made revisions to the proposal in the context of this issue and the requisite facilities adequacy finding. In the supplemental findings entitled Supplemental Information Regarding Transportation Issues (Exhibit "C"), the applicant has proposed a program of development equivalency and allocation of future facility capacity which may be an acceptable method of allowing approval of the long-term master plan. This has been a topic of much discussion within the community and the applicant's proposed conditions of approval are consistent with the developing program to deal with the street capacity issue.

The Public Works Director has determined that the surrounding streets have sufficient capacity to handle vehicle trips generated from this site without opening any additional access points, the freeway interchange notwithstanding. In acknowledging the reduced Level of Service (LOS) on Barnett Road at Ellendale Drive, it is suggested that approved roadways into the property (Argonne Avenue and Misty Lane) allow secondary ingress and egress by not closing gates during the day. In anticipation of access to lands immediately to the south of the project, space for a roadway to the south boundary could be preserved (i.e., no buildings). Such a roadway reservation would help prevent the use of existing residential streets (i.e., Donnalee Drive) for such future access.

**Decision:** The Planning Commission did not approve any uses not allowed in the underlying zone that would generate traffic beyond the 138 PM peak hour trips. The access points along the project perimeter were required to remain closed and the proposed road extension to the south mentioned above was removed as a recommendation due to topographic constraints.

**Congregate Housing**

Affordable Retirement Facility (I) - As the applicant proposes this 60-unit facility, and small office, as the next phase of development (Phase 13), detailed site, architectural, and landscape plans (Exhibit "E") have been submitted for review by the Planning Commission consistent with the exemption from Site Plan and Architectural Commission review. An application for final plan approval for Phase 13 per Section 10.240 is anticipated immediately following preliminary approval of the master plan. Such plans have been reviewed by the affected agencies and departments and conditions of development have been included in this report for development of that site upon approval of the PUD.

The structure, which is to replace four existing single-family residences, is proposed to be three stories in height, exceeding the 35-foot height limitation of the underlying SFR-4 zone. The building was originally proposed to be set back 20 feet from the adjoining residential properties as depicted on the master plan (Exhibit "A"). Due to concerns over the visual impact of this building on the adjoining properties, the applicant has revised the site design placing the structure away from the project boundary (Exhibit "E"). The other tall structures in the PUD are far enough from the project boundaries that the extra height above the height limit does not exacerbate the line of sight obstruction that would be created by a structure located within the allowable setbacks of the underlying zone, as viewed from a neighboring property. It is recommended that sight line elevations be submitted at the time of Final Plan approval request demonstrating that any structure, if over 35 feet high, will not exceed the visual impacts of a 35-foot high, multiple-family residential structure built at the minimum setback of 20 feet from the project boundary. The Commission should also consider the overall size and bulk of the structure when assessing impacts on adjoining residences and an appropriate setback.

**Alzheimers' Unit/Special Care Facility** - Discussed in the applicant's findings (*Exh. "B" Page 44-45*) and above in the discussion about streets (page 3). It should be noted that the applicant's findings state that there is "*an increasing need for quality professional care for Alzheimers' patients*" (*Exh. "B" Page 45*) concluding that the public interest is being served per Criterion #2. The applicant has indicated that the facility will be an expansion of, and ultimately a relocation for, the existing special care/medical facility currently located at the main Manor building and that these facilities are to be for Manor residents. The Commission should consider the degree of "public interest" served when evaluating the impacts of such facilities. In the context of the proposed location, site design and landscaping features are identified by the applicant as a means to reduce impacts of the facility. However, the proposed 125 parking spaces suggest a staff and visitor component (i.e., vehicle trips) that may also impact the adjoining residential neighborhood and consideration should be given to what, if any, access to Misty Lane should be utilized, including the nature of the proposed gate. The potential for noise from exterior mechanical equipment and glare from exterior lighting should also be addressed.

**Decision.** The Planning Commission required the above facility to be single story in height and located no closer than 99 feet from the exterior boundary of the PUD in order to mitigate anticipated adverse impacts to adjoining properties. The Planning Commission also accepted the applicant's proposal to buffer the area with a landscaped berm and wall (Exhibit "Z2").

**Auditorium** - Discussed in the applicant's findings (*Exh. "B" Page 44*).

**Areas/Issues of Special Concern:**

**Larson Creek** - The lower section of the creek which adjoins or is contained within the boundaries of the project has been identified as a Class 1 fish habitat due to the observed presence of fish.

Larson and Bear Creeks are considered habitat for coho and chinook salmon, which have recently been placed on the threatened species list, as well as steelhead trout. In that regard, the Oregon Department of Fish and Wildlife has recommended that a 50-foot setback be applied to Larson Creek (Exhibit "J"). Similar concerns have been expressed by Oregon Trout (Exhibit "K") who also recommend that development be set back 50 feet from the creek. The Rogue Valley Council of Government (RVCOG) has submitted a letter discussing the above fish habitat concerns as well as water quality, storm drainage, and flood plain responsibilities of streamside developers as regulated by the City (Exhibit "L"). The Special Report from the Public Works Director also includes comments and conditions in regard to Larson Creek as a component of the city's storm drainage system (Exhibit "F").

The future development of a pedestrian/bicycle path along Larson Creek has been supported by the City as witnessed by the acquisition of an easement along upper stretches of the creek including the existing Rogue Valley Manor property between Hilldale Drive and Ellendale Avenue. Such a pathway is also conceptually shown primarily north of the creek on the master plan for the expanded portion of the PUD.

The above stream related objectives (fish habitat, storm drainage, recreation/transportation, water quality, and flood prevention) are not all mutually compatible in terms of how to treat the urban/waterway interface and the City is developing new policies and code language in regard to Larson Creek, similar to what has been adopted in the Southeast Plan, that appropriately weigh all of these concerns. Prior to actual legislative review and adoption of such setback restrictions, it is recommended that a development/construction setback of 20 feet from the top of the stream bank be maintained along the Manor's Larson and Bear Creek frontages. In requesting such a setback, it is recognized that development of impervious surfaces within close proximity to the creek negates the possibility of creating and maintaining the riparian corridor necessary to create a viable fish habitat. The 10 feet of the strip closest to the stream bank should be planted with riparian vegetation approved by ODFW. The remainder can be planted with ornamental vegetation that is also supportive of creating a viable fish habitat.

**Decision.** In response to concerns raised during the public hearing, the applicant proposed, and the Planning Commission accepted, a 50-foot setback from the top of the creek bank.

#### Building Height - General

The proposed congregate living facilities, auditorium, office building, and hotel/conference building will exceed the 35-foot height limitation of the underlying SFR and MFR zones. Although the exact height is not known at this time, none of the buildings will be as tall as the existing manor building. For the tall structures that are far enough from the project boundaries, the extra height above the height limit does not exacerbate the line of sight obstruction that would be created by a structure located within the allowable setbacks of the underlying zone, as viewed from a neighboring property.

It is recommended that sight line elevations be submitted at the time of Final Plan approval request demonstrating that any structure, if over 35 feet high, will not exceed the visual impacts of a 35-foot high structure built at the minimum setback of 20 feet from the project boundary. This does not include buildings previously approved that exceed the 35-foot height limit.

**Conclusion:**

Several portions of the proposed plan have concurrence from both the City of Medford staff and ODOT in meeting the required criteria. This includes the residential portion of the project that is consistent with the underlying zoning and that portion of the project that includes commercial development equivalent to the trips (138 PM peak hour) that would otherwise be generated by the underlying residential zoning.

ODOT and the City of Medford staff do not support approval of the third part of the proposal to conditionally approve the balance of the commercial development.

**Decision.** The Planning Commission found the project to meet the required criteria with the required revisions and the conditions of approval.

**Commission Action:**

Approval of PUD-98-23, per the Revised Commission Report dated September 24, 1998; including:

- Exhibit "A" - Master Plan Map (with amended portion contained in Exhibit "Z3");
- Exhibit "B" - Application to Amend the Planned Unit Development (Findings) received February 27, 1998;
- Exhibit "C" - Supplemental Information Regarding Transportation Issues submitted June 26, 1998;
- Exhibit "D" - Additional Operational Analysis (Supplemental Traffic Study) received April 6, 1998;
- Exhibit "E" - Phase 13 Site Plan, Elevations, and Landscape Plan;
- Exhibit "F" - Special Report from the Public Works Director No. PUD-98-23b dated July 16, 1998;
- Exhibit "G" - Memorandum from the Bureau of Fire Prevention dated April 10, 1998;
- Exhibit "H" - Letter from Bear Creek Valley Sanitary Authority dated April 8, 1998;
- Exhibit "I" - Memorandum from the Medford Water Commission dated March 31, 1998;
- Exhibit "J" - Letter from Oregon Department of Fish and Wildlife dated April 14, 1998;
- Exhibit "K" - Letter from Oregon Trout dated June 2, 1998;
- Exhibit "L" - Letter from RVCOG dated June 2, 1998;
- Exhibit "M" - Special Report from the Public Works Director No. PUD-98-23a (Phase 13) dated May 19, 1998;
- Exhibit "N" - Memorandum from the Bureau of Fire Prevention (Phase 13) dated July 8, 1998;
- Exhibit "O" - Memorandum from the Medford Water Commission dated July 8, 1998;
- Exhibit "P" - Memorandum from Medford Parks and Recreation (Phase 13) dated June 1, 1998;
- Exhibit "Q" - Letter from Mike Arneson ODOT (Oregon Department of Transportation) dated April 28, 1998;

- Exhibit "R" - Letter from Mike Arneson (ODOT) dated May 5, 1998;
- Exhibit "S" - Letter from Mike Arneson (ODOT) dated July 13, 1998;
- Exhibit "T" - Letter from Mike Arneson (ODOT) dated July 22, 1998.
- Exhibit "U" - Letter from Mike Arneson (ODOT) dated July 23, 1998.
- Exhibit "V" - Letter from Mike Arneson (ODOT) dated August 25, 1998.
- Exhibit "W"- Memo from Public Works Department dated August 20, 1998.
- Exhibit "X" - Letter from Tom Becker, Rogue Valley Manor, dated June 25, 1998.
- Exhibit "Y" - Letter from Tom Becker, Rogue Valley Manor, dated August 27, 1998.
- Exhibit "Z" - Letter from Chuck Fustish (Oregon Department of Fish and Wildlife) dated August 27, 1998.
- Exhibit "Z1"- Letter from Mike Arneson (ODOT) dated September 3, 1998.
- Exhibit "Z2"- Letter from Brian McLemore, Rogue Valley Manor (rebuttal), dated September 10, 1998.
- Exhibit "Z3"- Letter from Brian McLemore, Rogue Valley Manor, dated September 17, 1998 including Revised Partial Master Site Plan (commercial portion to comply with the 138 PM peak hour trip limitation), and
- Exhibit "Z4"- Supplemental Findings dated September 10, 1998;

and subject to the following conditions:

1. The revised Rogue Valley Manor Planned Unit Development includes uses that will generate vehicle trips in excess of the standard residential development allowed in the underlying zones. In order to maintain an acceptable Level of Service (LOS) at the Barnett Road/Stewart Avenue/Interstate 5 interchange, development of the nonpermitted uses shall be subject to the following:
  - A. The proposed nonpermitted uses set forth in Table S6 of the Rogue Valley Manor application (Exhibit "C") entitled Supplemental Information Regarding Transportation Issues (submitted June 25, 1998) can be developed if they are consistent with the Revised Partial Master Site Plan (Exhibit "Z3") and provided that the PM peak hour trips generated by the nonpermitted uses do not exceed a threshold limit of 138 PM peak hour trips.
2. A minimum setback of 50 feet shall be maintained along the Larson and Bear Creek frontages. This area shall remain natural or be planted with vegetation, approved by Oregon Department of Fish and Wildlife, that does not require irrigation.
3. Fire protection facilities and access shall be provided per Exhibit "G." All private streets are subject to Fire Marshal approval for adequacy of emergency vehicle access.

4. Comply with Special Report from the Public Works Director No. PUD-98-23b dated July 16, 1998 (Exhibit "F") with the following requirements deleted:
  - A. Revise the Master Plan to show a roadway extending to the southwest project boundary.
  - B. A 100-foot wide strip of land shall be deeded to the city for the southward extension of Highland Drive and the area beneath the portion of the street extension that will contain an overpass shall be reserved for such use by an easement.
5. Rogue Valley Manor shall record documents containing assurances that the common areas (elements) will be improved and maintained for their intended purpose.
6. Signage for nonresidential uses shall be subject to Site Plan and Architectural Commission review.
7. Exterior illumination for all nonresidential uses and congregate living facilities within the PUD shall not cause glare on any residential property that is not part of the PUD. Construction plans submitted for such uses shall include design specifications for all exterior lighting including a photometric site illumination plan consistent with the standards contained in Section 10.764.
8. All exterior mechanical equipment and trash collection facilities for uses within 100 feet of PUD boundaries that adjoin residential zones, excluding that for individual cottage units, shall be located within enclosures designed to conceal such facilities from view and maintain noise levels at or below those prescribed by Section 10.753 New Noise Sources.
9. Construction plans for all structures, except for those previously approved, that exceed the 35-foot height limitation shall include sight line elevations demonstrating that any such structure will not exceed the visual impacts of a 35-foot high structure built at the minimum setback of 20 feet from an exterior project boundary, excluding changes in grade (slopes).
10. Boundary line adjustments or lot consolidation of existing tax lots, shall be completed prior to final plan approval for each phase, where proposed buildings are located over lot lines with evidence thereof submitted at the time of final plan approval.
11. Prior to final plan approval, existing water lines shall be shown on a master plan to prevent conflicts with future building.

12. The Alzheimers' Clinic/Skilled Nursing Facility shall be single story only and set back a minimum of 99 feet from the exterior PUD boundary. The off-street parking shall not be greater than the minimum required by the Land Development Code.
13. The Alzheimers' Clinic/Skilled Nursing Facility shall be screened from the adjoining neighborhood as proposed in Exhibit "Z2."
14. Honor Drive, Misty Lane, and Argonne Avenue shall remain closed.
15. All HVAC (heating ventilation and air conditioning) equipment for buildings shall be located on the ground and concealed from view.
16. The review and approval of detailed building elevations and landscape plans is delegated to the Site Plan and Architectural Commission for all new development, except Phase 13 ( HUD project).
17. Affordable Retirement Facility and Office - Phase 13 Site Development.

Apply for, and receive, Final Plan Approval pursuant to Section 10.240 per the approved design as shown in Exhibit "E" - Site Plan (revised), Elevations, and Landscape Plan; and the following:

- A. Comply with conditions contained in: Exhibit "M" - Special Report from the Public Works Director # PUD-98-23a dated May 19, 1998; Exhibit "N" - Memorandum from the Bureau of Fire Prevention dated July 8, 1998; Exhibit "O" - Memorandum from Medford Water Commission dated July 8, 1998; and Exhibit "P" - Memorandum from Parks and Recreation dated June 1, 1998; and including, but not limited, to the following:
  - (1) A different shrub species substituted for the Hawthorne.
  - (2) Specifications for root barriers for all trees within six (6) feet of hardscapes.
  - (3) Specifications for an automatic irrigation system including the location of an approved backflow prevention device.
- B. Prior to issuance of the first building permit, revised site and landscape plans shall be submitted for staff review showing:

- (4) Finished floor elevations and the location and elevations for the 100-year flood plain as shown on the Federal Emergency Management Agency (FEMA) as administered by the Building Safety Department.
- (5) The deciduous trees shall be replaced with fast growing evergreen trees along the south side of the site and shrubs being a minimum size of 5 gallons.
- C. Prior to issuance of the first building permit, the property owner shall consolidate parcels to contain the residential structure and submit evidence thereof to the Planning Department.
- D. Prior to issuance of the first building permit, the property owner shall deed to the public a 15-foot Public Utility Easement (PUE) across the Ellendale Avenue frontage or provide evidence that such an easement exists.  
  
Prior to recordation of the deed by the applicant, the deed, together with a Lot Book or Preliminary Title Report and releases of interest obtained from holders of trust deeds or mortgages on the property, shall be submitted to the Planning Department for review and approval. A sample easement form is available at the Planning Department.
- E. Exterior mechanical equipment and trash receptacles shall be concealed from public view.
- F. Prior to issuance of the first building permit, the property owner shall sign and record with the Jackson County Clerk's office a Building Site Improvement Agreement, with the original returned to the Planning Department, specifying that the following items will be completed within six (6) months of the date of the agreement:
  - (1) Install landscaping and irrigation per the approved plan.
  - (2) Pave all parking and vehicle maneuvering areas, including extruded curb around perimeter, to City of Medford specifications.
  - (3) Install bicycle parking per the approved plans.
  - (4) Construct concealment for mechanical equipment and trash receptacles.
  - (5) Install pedestrian walkways and bicycle parking per the approved plans.

112"  
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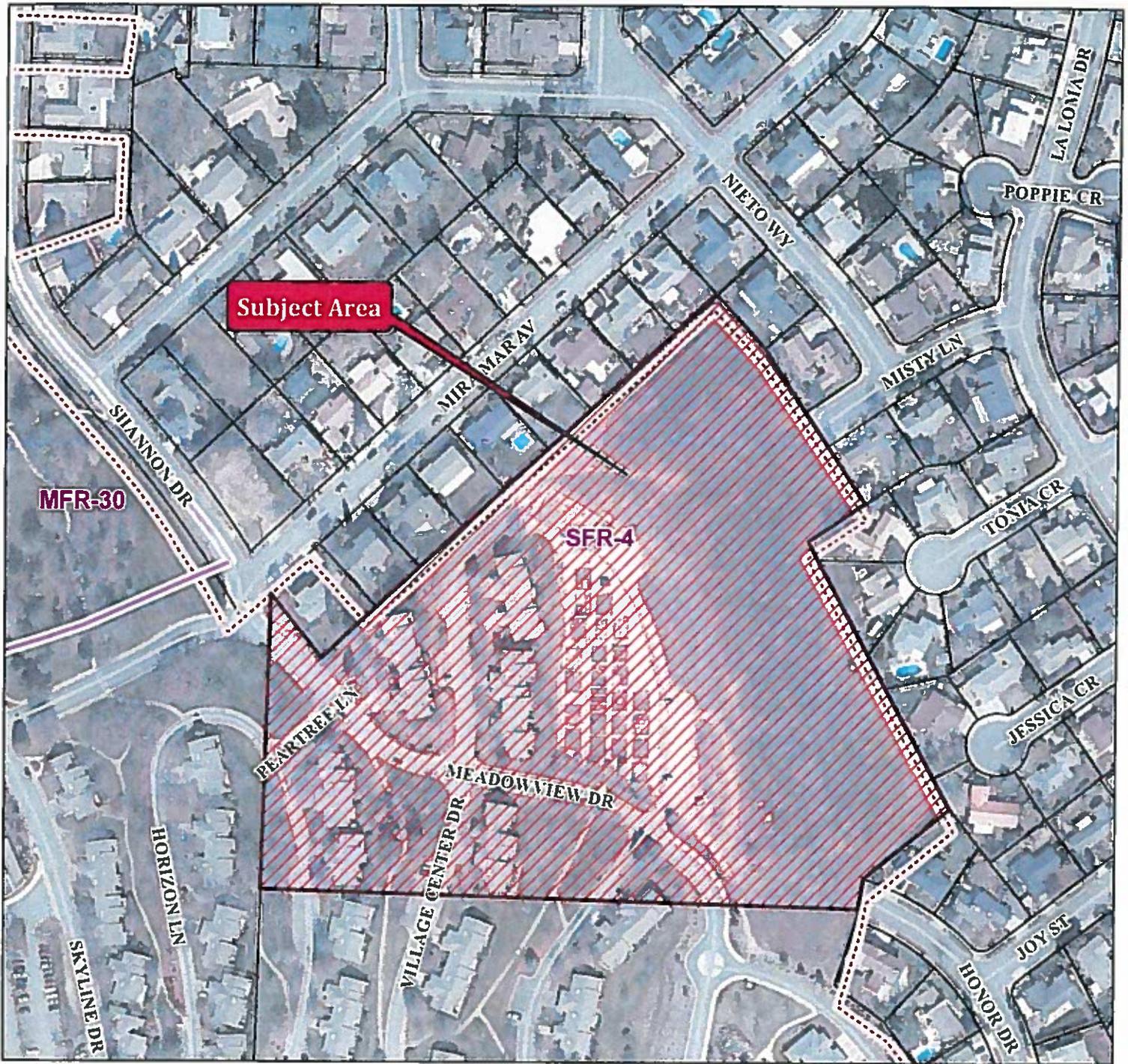
MEDFORD PLANNING COMMISSION



Carl Bartlett, Chair

**PLANNING COMMISSION AGENDA:** JUNE 11, 1998  
JULY 23, 1998  
AUGUST 27, 1998  
SEPTEMBER 10, 1998  
SEPTEMBER 24, 1998

"R"  
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Project Name:

**Rogue Valley Manor**

Map/Taxlot:

**371W33CB TL 9100**



**Legend**

-  Subject Area
-  Medford Zoning
-  Tax Lots
-  Streets
-  PUD

