

SITE PLAN & ARCHITECTURAL COMMISSION AGENDA DECEMBER 15, 2017



Commission Members

Jim Quinn, Chair

Bill Chmelir, Vice Chair

Jeff Bender

Jim Catt

David Culbertson

Bob Neathamer

Marcy Pierce

Curtis Turner

Rick Whitlock

City Council Liaison - Dick Gordon

City Council Liaison Alt. - Tim D'Alessandro

Regular Commission meetings are held on
the first and third Fridays of every month

Beginning at 12:00 Noon

City of Medford

Council Chambers,

Third Floor, City Hall

411 W. 8th Street

Medford, OR 97501

(541) 774-2380



Site Plan and Architectural Commission

Agenda

Public Hearing

December 15, 2017

12:00 noon

Council Chambers, City Hall, Room 300
411 West Eighth Street, Medford, Oregon

-
10. Roll Call.
 20. Consent Calendar. None.
 30. Minutes.
 - 30.1 Consideration for approval of minutes from the November 3, 2017, meeting.
 40. Oral and Written Requests and Communications.

Comments will be limited to 3 minutes per individual or 5 minutes if representing a group or organization. **PLEASE SIGN IN.**
 50. Public Hearings.

Comments are limited to a total of 10 minutes for applicants and/or their representatives. You may request a 5-minute rebuttal time. All others will be limited to 3 minutes per individual or 5 minutes if representing a group or organization. **PLEASE SIGN IN.**

Old Business

- 50.1 AC-17-061 Consideration of plans for the construction of a 3,900 square foot showroom on a 0.34 acre parcel located on the southwest corner of East Second Street and North Central Avenue within a Community Commercial (C-C) zoning district. (372W25AA Tax Lot 300); (Steve and Mary Curry, Applicants; Oregon Architecture Inc., Agent; Steffen Roennfeldt, Planner).
THIS APPLICATION HAS BEEN WITHDRAWN.

New Business.

- 50.2 AC-17-110 Consideration of a proposal for the construction of 3,468 square foot of additional storage area on one parcel totaling 0.64 acres, located on the west side of Stowe Avenue approximately 650 feet south of Rossanley Drive in the Light Industrial (I-L) zoning district (372W23A TL 5100); (Buzz Thielemann, Applicant, Scott Slack, Jefferson State Construction, Agent; Steffen Roennfeldt, Planner).
- 50.3 AC-17-129
E-17-146 Consideration of a proposal for the development of a single 2.49-acre lot, consisting of the construction of an 11,990 square foot building to be used as commercial offices for Options of Southern Oregon, along with an Exception request to exceed the maximum block length standards as required per MLDC 10.426-1. The property is located at 700 N. Central Ave-

Meeting locations are generally accessible to persons with disabilities. To request interpreters for hearing impaired or other accommodations for persons with disabilities, please contact the ADA Coordinator at (541) 774-2074 or ada@cityofmedford.org at least three business days prior to the meeting to ensure availability. For TTY, dial 711 or (800) 735-1232.

nue in the Heavy Commercial (C-H) zoning district (372W24DD TL 9900); (Options for Southern Oregon, Applicant; Richard Ward Associates, Agent; Dustin Severs, Planner).

- 50.4 **AC-17-135** Consideration of a proposal for the construction of a 7,200 square foot multi-tenant commercial building to be located within Phase I of the South Medford Center, a commercial and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 3604, 4708, 4802); (Galpin Gang, LLC, Applicant; Ron Grimes Architects, Agent; Dustin Severs, Planner).

60. Written Communications.

- 60.1 **AC-14-093** Consideration of request for the maximum five-year approval period for Fern Gardens Phase 3, a 48,446 square foot memory care facility on 2.57 acres located on the north side of Swing Lane, approximately 390 feet east of Table Rock Road within the MFR-20 (Multi-Family Residential – 20 units per gross acre) zoning district. (US-REDIC, Inc., Applicant; Ron Grimes Architects/Dave Evans, Agent).

70. Unfinished Business. None

80. New Business.

90. Report from the Planning Department.

100. Messages and Papers from the Chair.

110. Propositions and Remarks from the Commission.

120. City Council Comments.

130. Adjournment.



Site Plan and Architectural Commission

Minutes

From Public Hearing on November 3, 2017

The regular meeting of the Site Plan and Architectural Commission was called to order at noon in the Council Chambers on the above date with the following members and staff in attendance:

Commissioners Present

Jim Quinn, Chair
Bill Chmelir, Vice Chair
Jeff Bender (*arrived at 12:05 p.m.)
Jim Catt
Dave Culbertson
Bob Neathamer
Curtis Turner
Rick Whitlock

Staff Present

Kelly Akin, Assistant Planning Director
Katie Zerkel, Senior Assistant City Attorney
Terri Rozzana, Recording Secretary

Commissioners Absent

Marcy Pierce, excused absence
Dick Gordon, City Council Liaison

10. Roll Call.

20. Consent Calendar/Written Communications.

20.1 **AC-17-096** Final Order for consideration of plans for the construction of 14 dwelling units, to be comprised of two buildings totaling 12,240 square feet on one parcel totaling 0.47 acres located on the west side of Beekman Avenue, approximately 275 feet south of Stewart Avenue within the C-C (Community Commercial) zoning district. (372W36AC1600) (River Lane Homes, Applicant; Richard Stevens & Associates, Agent; Steffen Roennfeldt, Planner).

20.1 **AC-16-098** Final Order for consideration of a proposal for the development of two contiguous lots totaling 0.95 acres, consisting of the construction of a 3,260 square foot car wash facility, including vacuum stalls and a 106 square foot pay kiosk, to be located on the corner of South Pacific Highway 99 and Matt Loop in the Heavy Commercial (C-H) zoning district (381W05A TL 301 & 302) (Geiger Enterprises, LLC, Applicant; ORW Architecture, Agent; Dustin Severs, Planner).

Motion: Adopt the consent calendar.

Moved by: Commissioner Whitlock

Seconded by: Commissioner Chmelir

Voice Vote: Motion passed unanimously, 7-0-1, with Commissioner Neathamer abstaining.

30. Minutes.

30.1 The minutes for the October 20, 2017, meeting, were approved as submitted.

40. Oral and Written Requests and Communications. None.

50. Public Hearings.

Katie Zerkel, Senior Assistant City Attorney, read the rules governing the public hearings.

New Business- Continuance Request

50.1 AC-17-061 Consideration of plans for the construction of a 3,900 square foot show-room on a 0.34 acre parcel located on the southwest corner of East Second Street and North Central Avenue within a Community Commercial (C-C) zoning district. (372W25AA Tax Lot 300); (Steve and Mary Curry, Applicants; Oregon Architecture Inc., Agent; Steffen Roennfeldt, Planner).

Chair Quinn asked for any potential conflicts of interest, ex-parte communications, or site visits.

Commissioner Bender pointed out an error on the agenda. The agent should be Oregon Architecture, Inc., and not ORW Architecture as noted on the agenda. Commissioner Bender is an employee of ORW Architecture but since the agent is actually Oregon Architecture, Inc., he had absolutely no conflict of interest.

Commissioner Whitlock disclosed he has had previous contractual relationships in purchasing vehicles from the applicant. He believes it will not create any conflict of interest and he can remain completely fair and impartial on this application.

Chair Quinn stated he has also had a similar business dealing with the applicant.

Commissioner Whitlock asked about the exception referenced in the continuance request. Ms. Akin explained the applicant will be requesting relief from setback requirements and right-of-way dedication.

Motion: Continue this item to the December 15, 2017, meeting.

Moved by: Commissioner Whitlock

Seconded by: Commissioner Neathamer

Roll Call Vote: Motion passed, 8-0

60. Written Communications. None.

70. Unfinished Business. None.

80. New Business. None.

90. Report from the Planning Department.

90.1 Ms. Akin reported that the Housing Advisory Committee had their second meeting. They are a cohesive group and are moving right along. The committee is ready to start tackling policy issues and design standards for residential developments. As the standards move forward, staff will be asking for this Commission's input.

90.2 Ms. Akin announced there is no business scheduled for the November 17th and December 1st meetings. There is business scheduled for the December 15th meeting.

90.3 Ms. Akin stated that at City Council's last meeting Mayor Wheeler had signed a letter of support for a Technical Assistance Grant that had been awarded for work in the Liberty Park area. At City Council's next meeting they will hear a Community Development Block Grant Program (CDBG) Consolidated Annual Performance Evaluation Report, and set a public hearing date in January for a People's Bank public utility easement vacation.

90.4 Staff is working on creating a public zoning district that would apply to city-owned properties. Staff will be talking to City Council at their next meeting to let them know the idea behind that and why it's important.

100. Messages and Papers from the Chair. None

110. Propositions and Remarks from the Commission.

110.1 Commissioner Bender apologized for coming in late to this meeting.

120. City Council Comments. None

130. Adjournment

130.1 The meeting was adjourned at approximately 12:13 p.m. The proceedings of this meeting were digitally recorded and are filed in the City Recorder's office.

Submitted by:


Debbie Strigle
Recording Secretary

Jim Quinn
Site Plan and Architectural Commission Chair

Approved: December 15, 2017



City of Medford

Planning Department

Working with the community to shape a vibrant and exceptional city

STAFF REPORT

for a Type-C quasi-judicial decision: **Site Plan and Architectural Review**

Project Buzz Thielemann Storage
Applicant: Buzz Thielemann; Agent: Scott Slack

File no. AC-17-110

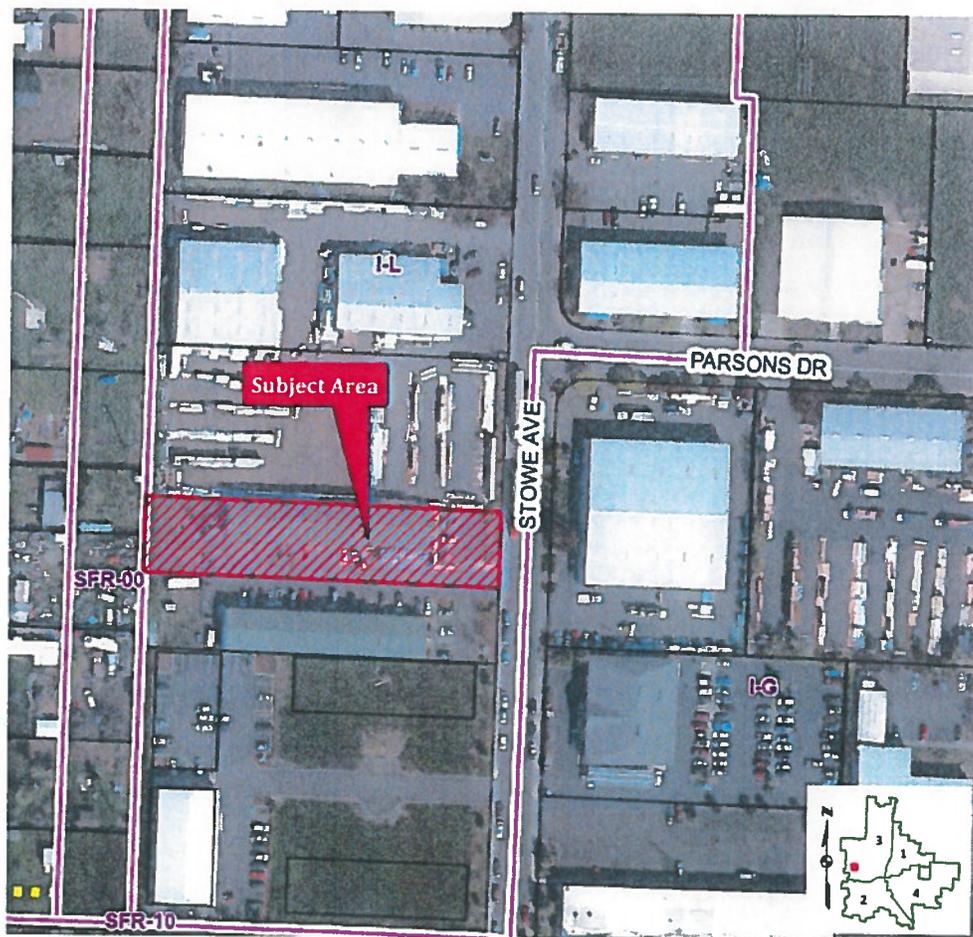
To Site Plan and Architectural Commission *for 12/15/2017 hearing*

From Steffen Roennfeldt, Planner III

Reviewer Kelly Akin, Assistant Planning Director

Date December 4, 2017

VICINITY MAP



BACKGROUND

Proposal

Consideration of a proposal for the construction of 3,468 square feet of additional storage area on one parcel totaling 0.64 acres, located on the west side of Stowe Avenue approximately 650 feet south of Rossanley Drive in the Light Industrial (I-L) zoning district (372W23A TL 5000).

Subject Site Characteristics

Zoning: I-L Light Industrial
GLUP: HI Heavy Industrial
Overlay(s): A-C Airport Area of Concern
Use: Storage

Surrounding Site Characteristics

| | | |
|--------------|-------|--|
| <i>North</i> | Zone: | I-L |
| | Use: | Open Storage |
| <i>South</i> | Zone: | I-L |
| | Use: | Storage |
| <i>East</i> | Zone: | I-G (General Industrial) |
| | Use: | Storage |
| <i>West</i> | Zone: | SFR-00 (Single Family Residential – 1 dwelling unit per lot) |
| | Use: | Vacant |

Related Projects

PUD-80-10 – Planned Unit Development for Northwest Medford Light Industrial Park

AC-98-103 – Site Plan and Architectural Review for construction of existing storage structure

Applicable Criteria

Medford Land Development Code Section: 10.290 – Site Plan & Architectural Review Criteria

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

1. The proposed development is compatible with uses and developments that exist on adjacent land; and

2. The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.

ISSUES AND ANALYSIS

Background

The site is situated within the Northwest Medford Light Industrial Park (File Number PUD-80-10) which is roughly located to the west of Sage Road and south of Rossanley Drive, approximately 41 acres in size.

The existing office/storage building on the subject parcel was approved in 1998 (AC-98-103). The approval included conditions for right-of-way and street frontage improvements, landscaping as well as a bufferyard along the westerly property line, similar to current requirements.

Site Plan (Exhibit C)

The proposal is for a second, freestanding structure, 3,468 square feet in size. The proposed use is for private storage for the owner. The site plan shows the proposed structure to be located towards the west of the existing structure. The proposed structure is restricted in size due to the existing development to the east, a 15-foot Public Utility Easement to the west and required side yard setbacks to the north and south.

Building Height

The proposed building height of 22.5 feet, as calculated per MLDC 10.705, requires a minimum side and rear yard setback of 1.25 feet. The applicant stated in the applicant's questionnaire that the setback to the north is at 1 foot. A condition of approval will be added for the applicant to submit a revised site plan showing the required setbacks per MLDC 10.721.

Parking

A Vehicular Cross Access Easement along the drive aisle of the parking lot provides access to the existing parking spaces as well as the proposed structure. Required off-street parking for an 'Industrial or Warehouse' use is based on the number of employees on the largest shift (1.0 space per employee), plus 0.2 space per 1,000 square feet of gross floor area. One parking space is required for the proposed structure. A total of 21 parking spaces are existing which is determined to be sufficient for the existing industrial and office use square footage.

Bicycle Parking

Bicycle parking for this use is already existing; no changes are proposed. No additional bike parking spaces are necessary as part of this application. As part of the approval for the existing

structure (AC-98-103), a Building Site Improvement Agreement (BSIA) was recorded with the County, including a condition that required the applicant to install bicycle parking per the approved plans. The BSIA, Recorded No. 00-39578, has been satisfied and the applicant should submit a Satisfaction of Building Site Improvement Agreement to the Planning Department for release.

Bufferyard

Condition I of the underlying PUD (Exhibit N) states that *"all lots adjacent to lands designated as urban residential on the Comprehensive Plan shall be required to install a minimum seven foot high concrete block fence or such other fence that provide equivalent sound attenuation and visual obstruction as approved by the city. Said fence shall be subject to review and approval by the Architectural Commission prior to issuance of any building permits. Furthermore, it shall be noted in the deed restrictions and on Exhibits "A-1" and "B-1" that said fence shall be the responsibility of the developer of each affected lot and construction of the fence completed prior to the issuance of a certificate of completion for each lot."* In addition, Condition III of PUD-80-10 reads that prior to the issuance of any building permits a final site plan shall be submitted which shall identify *'sound attenuation walls as required in condition I'*.

The staff report for AC-98-103 (Exhibit O) states that *'the applicant has incorporated frontage landscaping, and the fence and berm along the west project boundary as specified in the PUD master plan.'*

It is staffs opinion, that the existing 7-foot fence with wood slats and the 4-foot grass berm meet the conditions as required per Condition I of PUD-80-10. Therefore, no additional bufferyard improvements are required.

Landscaping

Landscaping must be consistent with the master plan for the PUD. In the staff report for AC-98-103 it was determined that *"the landscape plan is, in fact, consistent with the PUD and that it includes specifications consistent with the Commission's design guidelines."* The landscape plan for the PUD mostly addressed street frontage landscaping and there were no specific landscaping requirements for the area along the westerly boundary line. The remaining landscaping between the proposed building and the existing fence will be out of the public view.

Architecture

In regards to the design of the proposed buildings, the applicant stated that the building will be matching the color, height and style of the surrounding existing buildings. It will be a standard metal building with a light tan color and darker trim.

Concealments

The applicant stated that they will not be providing a trash receptacle or outside HVAC equipment. Therefore MLDC Section 10.781 and 10.782 do not apply.

Committee Comments

No committee comments were received.

No other issues were identified by staff.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibits B) and recommends the Commission adopt the findings as submitted.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and adopt the Final Order of approval for AC-17-110 per the staff report dated December 4, 2017, including Exhibits A through P.

EXHIBITS

- A Conditions of Approval, dated December 4, 2017
 - B Applicant's Findings of Fact and Conclusions, received September 19, 2017
 - C Site Plan, received September 19, 2017
 - D Storm Drain Plan, received September 19, 2017
 - E Elevation Plan, received September 19, 2017
 - F Floor Plan, received September 19, 2017
 - G Site Pictures, received September 19, 2017 and November 22, 2017
 - H Public Works Staff Report, received November 22, 2017
 - I Medford Water Commission Memo, received November 22, 2017
 - J Rogue Valley Sewer Services Memo, received November 16, 2017
 - K Medford Fire Department report, received November 22, 2017
 - L Jackson County Roads letter, received November 16, 2017
 - M City of Medford Surveyor memo, received November 8, 2017
 - N PUD-80-10 Staff Report, dated June 5, 1980
 - O AC-98-103 Staff Report, dated September 18, 1998
 - P Partition Plat No. P-15-2000
- Vicinity Map

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:

DECEMBER 15, 2017

EXHIBIT A

Buzz Thielemann
AC-17-110
Conditions of Approval
December 4, 2017

CODE REQUIRED CONDITIONS

Prior to the issuance of the first building permit the applicant shall:

1. Submit a revised site plan showing side yard setbacks of at least 1¼ feet or reduce building height so that proposed 1-foot side yard setback is acceptable.
2. Comply with all conditions stipulated by the Public Works Department (Exhibit H)
3. Comply with all conditions stipulated by the Medford Water Commission (Exhibit I)
4. Comply with all conditions stipulated by Rogue Valley Sewer Services (Exhibit J)

Thielemann Project
1215 Stowe Ave.
Medford, or.

9/19/17
RECEIVED
SEP 19 2017
PLANNING DEPT

Section I – Narrative

The proposed development will be a metal building matching the color and style of the surrounding existing buildings. The 3,468 sq. ft. building will be used solely by the owner as a storage building.

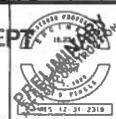
Section II – Compatibility: Criterion No. 1

- A. The surrounding buildings are used as office space, a gym, lumber yard, and contractor wholesale yards. The nearest buildings were constructed around 2002. Colors will be light Tan with darker trim to match existing buildings.
- B. Standard metal building construction to match surrounding buildings.
- C. Standard metal building construction to match surrounding buildings.
- D. The placement of this building will be 250' from the main road behind the existing building with access from existing parking lot.
- A. NA.
- E. NA.
- F. Vehicle access is through existing parking lot. (See Site Plan)

- G. No existing vegetation is present other than weeds.
- H. Storm water detention will be as per plan. (See Site Plan).
- I. Approximately 700sq. ft. of landscape will be on the west side (Back) of the building 100% out of any public view due to existing fence and berm.
- J. Most of the lighting will be from existing buildings. We will install 3 exterior lights consistent with the standards of Section 10.764
- K. No Signage will be present as this is the owner's personal storage.
- L. No new fencing will be added. There is existing fencing on 3 sides.
- M. No noise will be emitted for this building due to its' use.
- N. The new building will be compatible with surrounding building with type of use as well as architecture.
- O. No exceptions or modifications at this time.
- P. We would ask for a relief of landscape requirements due to it being a very small area and totally concealed from public view. The potential small area is on top of the PUE. This small area could also be used for outside storage.

COMMERCIAL BUILDING

MAP 372W23A, T.L. 5000



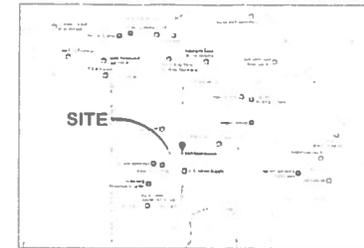
KAS
KAS STRUCTURAL PLANNING
1219 STONE AVENUE
MEDFORD, OREGON 97501
PH: 541-772-8888
FAX: 541-772-8889
WWW.KASSTRUCTURAL.COM

GENERAL UTILITY NOTES

1. ALL STORM DRAIN PIPING SHALL BE WATERLOG-SEAMLESS PVC PIPE CONFORMING TO ASTM D3034, 2007 35' UNDRERCASTED JOINTS CONFORMING TO ASTM D3212 OR MANHOLE CONCRETE PIPE (EIGHT CONCRETE TO ASTM C-76 WITH JOINTS CONFORMING TO ASTM C41).
2. ALL SANITARY SEWER PIPE SHALL BE PVC CONFORMING TO ASTM D-3034, 36" 35 UNLESS NOTED OTHERWISE.
3. ALL ENDS OF SEWER LATERALS SHALL BE MARKED WITH A 2"x4" PAINTED WHITE. ALL SS SHALL BE CAPPED DURING CONSTRUCTION AT THE FURTHEST POINT DOWNSTREAM FROM THE PRESENT CONDUIT WATER DISCHARGE INTO THE SANITARY SEWER.
4. ALL SEWER LATERAL CONNECTIONS TO THE MAIN LINE SHALL BE DONE BY A MANUFACTURED WYE INSTEAD OF A TEE.
5. 18" SANDHAY COVER IS LESS THAN 18" BELOW THE WATER LINE USE SCHEDULE 40X 1/2" PVC PRESSURE PIPE (ASTM D-2241 SCH 40X 3/2") 20' EACH SIDE OF THE WATER MAIN.
6. WHERE SERVICE LINES CROSS CURBS AND GUTTERS, STAMP "6" ON "5" ON TOP OF CURB.
7. ALL NON-METALLIC PIPE TRENCHES SHALL HAVE LOCATOR WIRE IN THEM FOR POWER, TELEPHONE, CABLE TV AND GAS SHALL BE INSTALLED IN A 4" WIDE CHANNEL TRENCH LOCATED PER LOCAL POWER LAYOUT AND PER SPECIFIC UTILITY COMPANY STANDARDS AND SPECIFICATIONS AND DEVICES.
8. ALL UTILITY SERVICES SHALL BE APPROPRIATELY MARKED NEAR THE BACK OF THE PLOT.
9. THE CONTRACTOR SHALL PROVIDE ALL TRENCHING AND BACKFILLING FOR POWER, TELEPHONE, CABLE TV AND GAS UNLESS SPECIFICALLY NOTED BY THE CITY.
10. ALL SANITARY SEWER, STORM DRAIN, WATER, IRRIGATION AND SELLER TRENCHES SHALL BE BACKFILLED AS FOLLOWS PER STD 02010: OUTSIDE OF THE BELOW TWO (2) CONDITIONS SHALL BE COMPACTED NATIVE MATERIAL.
 - A. WITHIN PUBLIC RIGHT-OF-WAY AND UNDER NEW DRIVEWAYS AND SIDEWALKS SHALL BE 1'-0" COMPACTED CRUSHED ROCK.
 - B. IN EXISTING STREETS, DRIVEWAYS AND SIDEWALKS SHALL BE CLSM BACKFILL.
11. ALL DRIVEWAYS WHERE THERE ARE PARALLEL SHALL HAVE 1' 4" ALLIE EACH SIDE OF THE DRIVEWAY. ALL DRIVEWAYS ADJACENT TO THE 6" PVC SEWER SHALL BE 18" SANDHAY COVER SHALL BE 6" FROM THE SIDEWALK AND BEYOND BOTH SIDES OF THE DRIVEWAY SHALL BE 6" FROM THE SIDEWALK AND SHALL BE CAPPED (PINEHAT ONLY).
12. WHERE CONNECTING TO AN EXISTING PIPE, THE CONTRACTOR SHALL LAPSE THE END OF THE EXISTING PIPE AND ALLOW THE ENGINEER TO VERIFY EXACT LOCATION AND ELEVATION BEFORE LAMING ANY NEW PIPE ON THAT SYSTEM.
13. ALL SANITARY SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL SANITARY SEWER SPECIFICATIONS. CONSTRUCTION MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH PWS PRIOR TO BEGINNING WORK ON THE FIELD. CONTRACTOR MUST PROVIDE 48 HOURS ADVANCE NOTICE OF THE PRE-CONSTRUCTION MEETING.

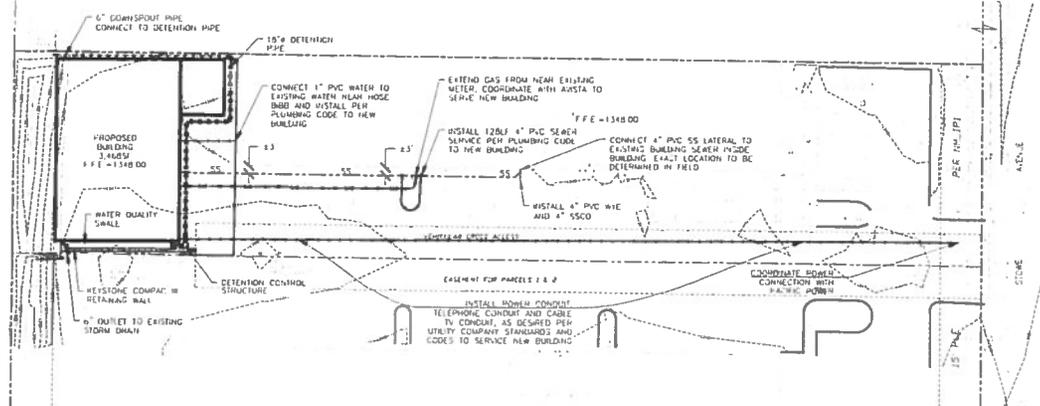
GENERAL NOTES

1. CONSTRUCTION SHALL CONFORM TO THE 2008 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION PROVIDED BY THE OREGON DEPARTMENT OF TRANSPORTATION AND THE CURRENT SET OF MULTIPLE SPECIAL PROVISIONS.
2. ALL CONCRETE SHALL BE 3500 PSI AT 28 DAYS UNLESS OTHERWISE SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN AND/OR MAINTAIN EXISTING PUBLIC STREETS OF SOIL, DEBRIS OR OTHER DEBRIS DAMAGED BY CONSTRUCTION OPERATIONS AND REPAIR ALL SHEETS DAMAGED BY CONSTRUCTION OPERATIONS IN A timely manner TO AVOID INCONVENIENCES OR HAZARDS TO THE PUBLIC.
4. CONTRACTOR SHALL OBTAIN A STREET UTILITY NOTIFICATION CENTER AT 541-772-8188 48 HOURS PRIOR TO BEGINNING WORK.
5. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE PRE-QUALIFIED WITH THE CITY OF MEDFORD PRIOR TO ANY CONSTRUCTION OF THIS PROJECT.
6. ITEMS NOT SHOWN BUT NECESSARY FOR SUCCESSFUL COMPLETION OF THIS PROJECT MAY BE REQUIRED BY THE CITY AND JACKSON COUNTY ROADS.
7. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN AND SECURE APPROVAL OF THE PLAN FROM THE CITY OF MEDFORD AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING WORK.
8. THE CONTRACTOR SHALL CONTINUE WORK ON ITEMS WHERE THE SPECIFICATIONS REQUIRE SPECIFIC INSPECTIONS UNITS. THE ENGINEER HAS BEEN COMPLETED BY THE CITY ENGINEER.
9. PROPOSED FIELD CHANGES SHALL BE PRESENTED TO THE ENGINEER FOR CONSIDERATION. THE ENGINEER SHALL PRESENT VALID FIELD CHANGES TO THE CITY AND THE COUNTY ENGINEER FOR REVIEW AND ACCEPTANCE PRIOR TO IMPLEMENTING THE PROPOSED CHANGES.
10. WHEN PERFORMING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ORS 75.541 TO 75.571, WHICH INCLUDE PROVISIONS THAT THE CONTRACTOR SHALL TAKE REASONABLE CARE TO AVOID UNDERGROUND FACILITIES AND USE REASONABLE CARE TO AVOID DAMAGING THEM.
11. THE CONTRACTOR SHALL NEGOTIATE NEGATIVE IMPACTS TO WATER QUALITY AND RELATED NATURAL RESOURCES RESULTING FROM CONSTRUCTION OPERATIONS. PLACEMENT OR STORAGE OF SOILS FROM THE SEWER LINE TRENCHES IS NOT PERMITTED ON HARD SURFACE STREETS WITHIN PUBLIC RIGHT-OF-WAY UNLESS STORED IN OTHER RIGHT-OF-WAY AREAS SHALL BE COATED TO PREVENT EROSION.
12. THE CONTRACTOR SHALL OBTAIN AND MAINTAIN A WORK ENVIRONMENT FREE FROM PLACED VIOLENCE (ANY ACT OF PHYSICAL, VERBAL OR WRITTEN ABUSE BY AN INDIVIDUAL OR GROUP RELATED TO THE WORK PLACE AND/OR PROJECTS) ANY WORKER WHO ENGAGES IN WORKPLACE VIOLENCE OR WHO BEGINS DRIVING OR OPERATING A MACHINE TO THE WORK PLACE TO THE SAFETY AND WELL BEING OF OTHER WORKERS, CITY EMPLOYEES, OR OTHER PERSONS SHALL IMMEDIATELY BE REMOVED FROM THE PROJECT BY THE CONTRACTOR.
13. BENCHMARK MATERIALS SHALL BE OBTAINED FROM A SOURCE APPROVED BY THE CITY. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER OF THE BENCHMARK INFORMATION TO BE PLACED AND SHALL NOT REMOVE BENCHMARK SOURCE WITHOUT APPROVAL.
14. CONSTRUCTION SHALL CONFORM WITH THE CURRENT 1602 STANDARD SPECIFICATIONS.



VICINITY MAP
MEDFORD, OREGON

SCALE: N.T.S.



SITE PLAN
SCALE: 1" = 20'

CONTOUR LEGEND

LEGEND

| | |
|--|-------------------------------|
| | PROPOSED STORM DRAIN LINE |
| | PROPOSED SANITARY SEWER LINE |
| | PROPOSED WATER LINE |
| | PROPOSED PUE OR EASEMENT |
| | PROPOSED STREET CENTERLINE |
| | PROPOSED PROPERTY LINE |
| | PROPOSED PROJECT BOUNDARY |
| | NEW ASPHALT PAVING |
| | NEW ASPHALT WIDENING |
| | NEW ASPHALT OVERLAY |
| | PROPOSED CONCRETE SURFACE |
| | PROPOSED SEWER MANHOLE |
| | PROPOSED STORM DRAIN MANHOLE |
| | PROPOSED CLEANOUT |
| | PROPOSED CURB INLET |
| | PROPOSED WATER METER |
| | PROPOSED FIRE HYDRANT |
| | PROPOSED STREET LIGHT |
| | PROPOSED GATE VALVE |
| | PROPOSED HURST BLOCK |
| | PROPOSED WATER FITTINGS |
| | EXISTING WATER LINE |
| | EXISTING STORM DRAIN LINE |
| | EXISTING SANITARY SEWER LINE |
| | EXISTING FENCE LINE |
| | EXISTING GAS LINE |
| | EXISTING OVERHEAD POWER LINE |
| | EXISTING BURIED ELECTRIC LINE |
| | EXISTING PHONE LINE |
| | EXISTING STREET LIGHT |
| | EXISTING WATER METER |
| | EXISTING SEWER MANHOLE |
| | EXISTING STORM DRAIN MANHOLE |
| | EXISTING POWER POLE |
| | EXISTING SIGN |
| | EXISTING DECIDUOUS TREE |
| | EXISTING TRANSFORMER |
| | EXISTING HYDRANT |
| | EXISTING VALVE |
| | EXISTING SEWER MANHOLE |
| | EXISTING PHONE PEDESTAL |
| | EXISTING MANHOLE |
| | EXISTING CONIFER TREE |

| BENCHMARK/BASIS OF BEARING | SURVEYOR | DEVELOPER | SHEET INDEX |
|--|---|---|--------------------------------------|
| NORTHWEST MEDFORD LIGHT INDUSTRIAL PARK UNIT NO 1 NOV029 (UNADJUSTED) PER CITY OF MEDFORD BM D-116 | L.J. FRIAR & ASSOCIATES' P.C. CONSULTING LAND SURVEYORS P.O. BOX 1847 PHOENIX, OREGON 97535 MR. JAMES E. HROBS (541) 772-2782 L.FRIAR@CHARTER.NET | JEFFERSON STATE CONSTRUCTION 20606 SAWYER ROAD SHADY COVE, OREGON 97501 MR. SCOTT SLACK (541) 821-6001 JEFFERSONSTATECONSTRUCTION@CENTURYLINK.NET | 1 FILE A SITE PLAN 2 UTILITY PLAN |



COMMERCIAL BUILDING
MAP 372W23A, T.L. 5000

| |
|---------------------------------------|
| DATE: 08/14/2017 |
| SCALE: N.T.S. |
| PROJECT: COMMERCIAL BUILDING |
| CLIENT: L.J. FRIAR & ASSOCIATES' P.C. |
| DESIGNER: KAS STRUCTURAL PLANNING |
| CHECKED: KAS |
| APPROVED: KAS |
| DATE: 08/14/2017 |

TITLE & SITE PLAN

SHEET NO
C1
1 OF 2

(JEFFERSON STATE CONSTRUCTION)

EXHIBIT #
File # AC-17-110

Page 15

EXHIBIT #
AC-17-110
CITY OF MEDFORD



CIVIL STRUCTURAL PLANNING
KAS
100 Commercial Street, Suite 202
Medford, Oregon 97504
Tel: (541) 754-7200
Fax: (541) 754-7201
www.kasinc.com

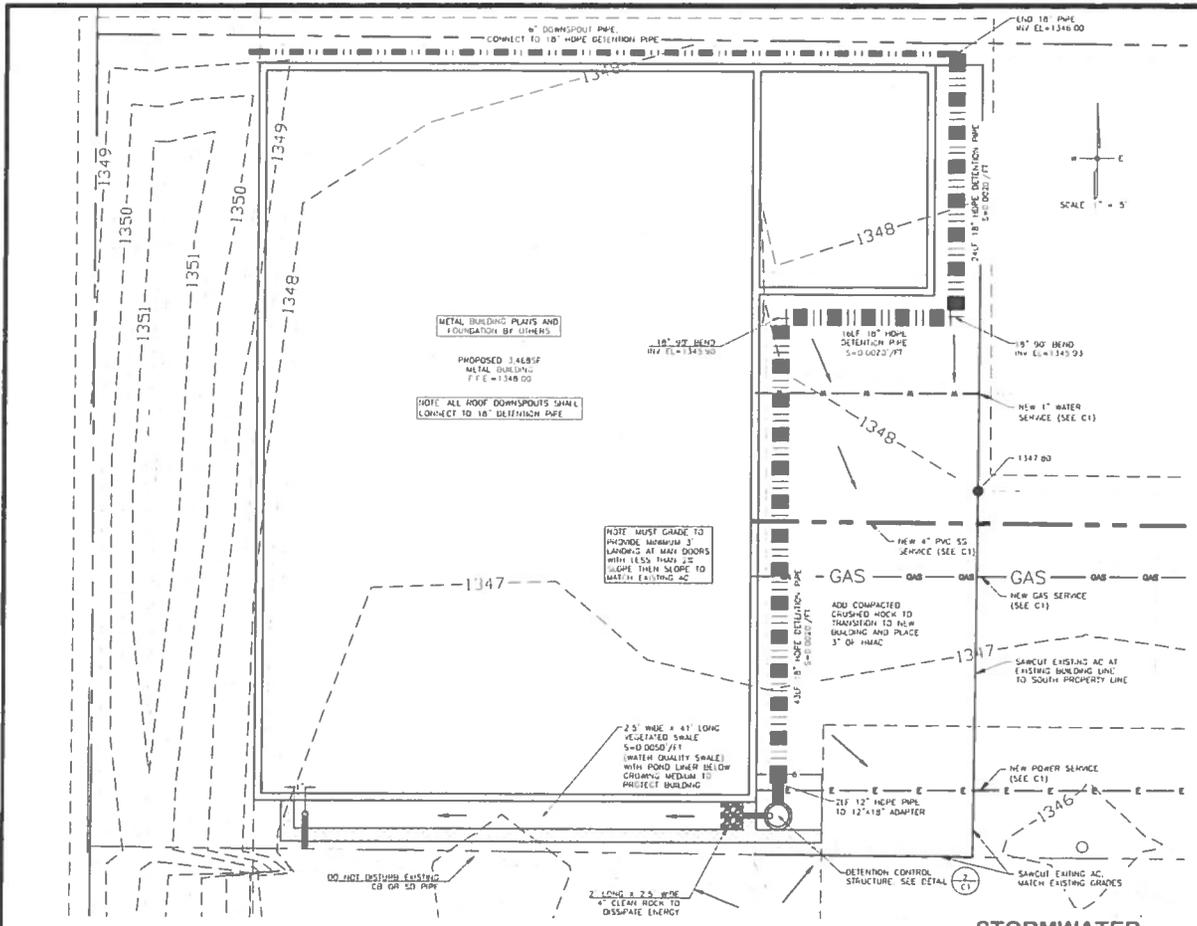
COMMERCIAL BUILDING
1218 STONE AVENUE
MEDFORD, OREGON 97504
Tel: (541) 754-7200
Fax: (541) 754-7201

| | | |
|-----|----------|-------------------|
| NO. | DATE | REVISION |
| 1 | 08/20/17 | ISSUE FOR PERMITS |
| 2 | 08/20/17 | ISSUE FOR PERMITS |
| 3 | 08/20/17 | ISSUE FOR PERMITS |
| 4 | 08/20/17 | ISSUE FOR PERMITS |
| 5 | 08/20/17 | ISSUE FOR PERMITS |
| 6 | 08/20/17 | ISSUE FOR PERMITS |
| 7 | 08/20/17 | ISSUE FOR PERMITS |
| 8 | 08/20/17 | ISSUE FOR PERMITS |
| 9 | 08/20/17 | ISSUE FOR PERMITS |
| 10 | 08/20/17 | ISSUE FOR PERMITS |

STORM DRAIN PLAN & DETAILS

SHEET NO. C2

CITY OF MEDFORD
EXHIBIT #
File # AC-17-110



METAL BUILDING PLANS AND FOUNDATION BY OTHERS
PROPOSED 3'x6'x5' METAL BUILDING
F.F.E. = 1348.00
NOTE ALL ROOF DOWNSPOUTS SHALL CONNECT TO 18" DETENTION PIPE

NOTE MUST GRADE TO PROVIDE MINIMUM 3" LANDSLOPE AT MAIN DOORS WITH LESS THAN 2" SLOPE THEN SLOPE TO MATCH EXISTING AC

ADD COMPACTED CRUSHED ROCK TO TRANSITION TO MAIN BALDING AND PLACE 3" OF HMAAC

DO NOT DISTURB EXISTING CO OR SD PIPE

2" LONG x 2.5" WIDE 4" CLEAR ROCK TO DISSIPATE ENERGY

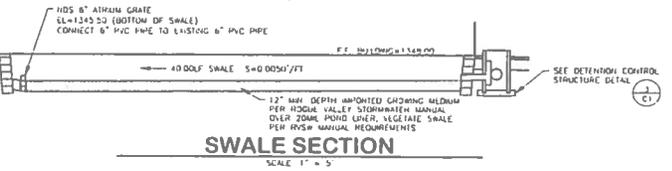
PLAN SCALE 1" = 5'

STORMWATER DESIGN SUMMARY

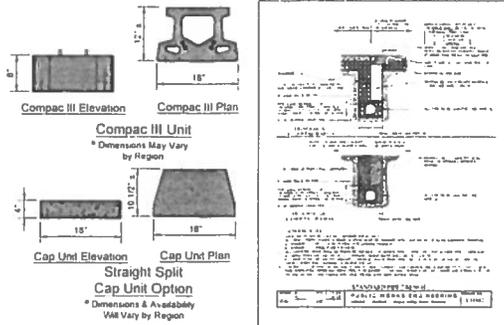
DEVELOPMENT PERVIOUS AREA = 0.03AC
DEVELOPMENT IMPERVIOUS AREA = 0.11AC
DEVELOPMENT TOTAL AREA = 0.14AC
WATER QUALITY STORM Q = 0.022CFS
PRE-DEVELOPMENT 10-MIN STORM Q = 0.057CFS
POST-DEVELOPMENT 10-MIN STORM Q = 0.022CFS
POST-DEVELOPMENT 25-MIN STORM Q = 0.106CFS
POST-DEVELOPMENT 10-MIN PEAK THRU 1-1/2" ORIFICE Q = 0.058CFS
DETENTION VOLUME REQUIRED = 147CF

SWALE DESIGN SUMMARY

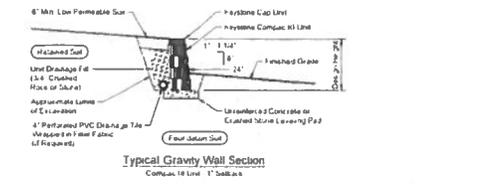
AT 2' DEEP Q = 0.0106CFS > 0.022CFS
AT 1.5' DEEP Q = 0.4355CFS > 0.106CFS (25-MIN STORM)
RESIDUAL TIME AT 2' DEEP = 6.0MIN > 5MIN



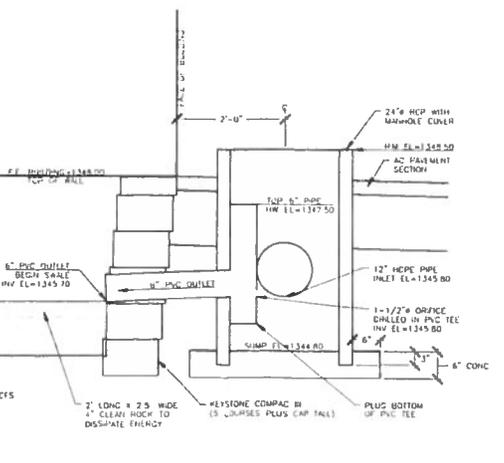
SWALE SECTION SCALE 1" = 5'



KEYSTONE COMPAC III DETAILS SCALE N.T.S.

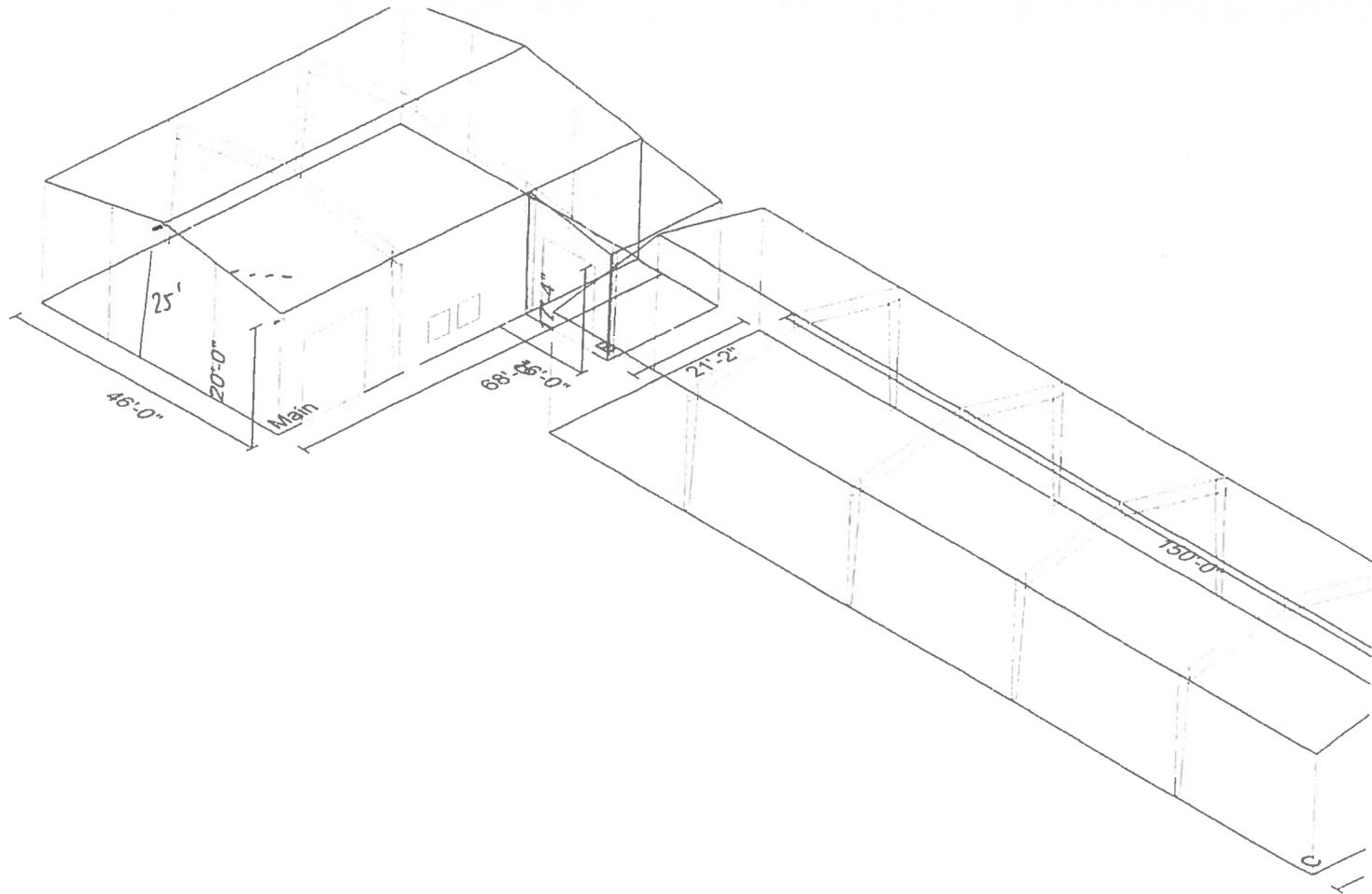


Typical Gravity Well Section Compac III Unit 12" Dia Well



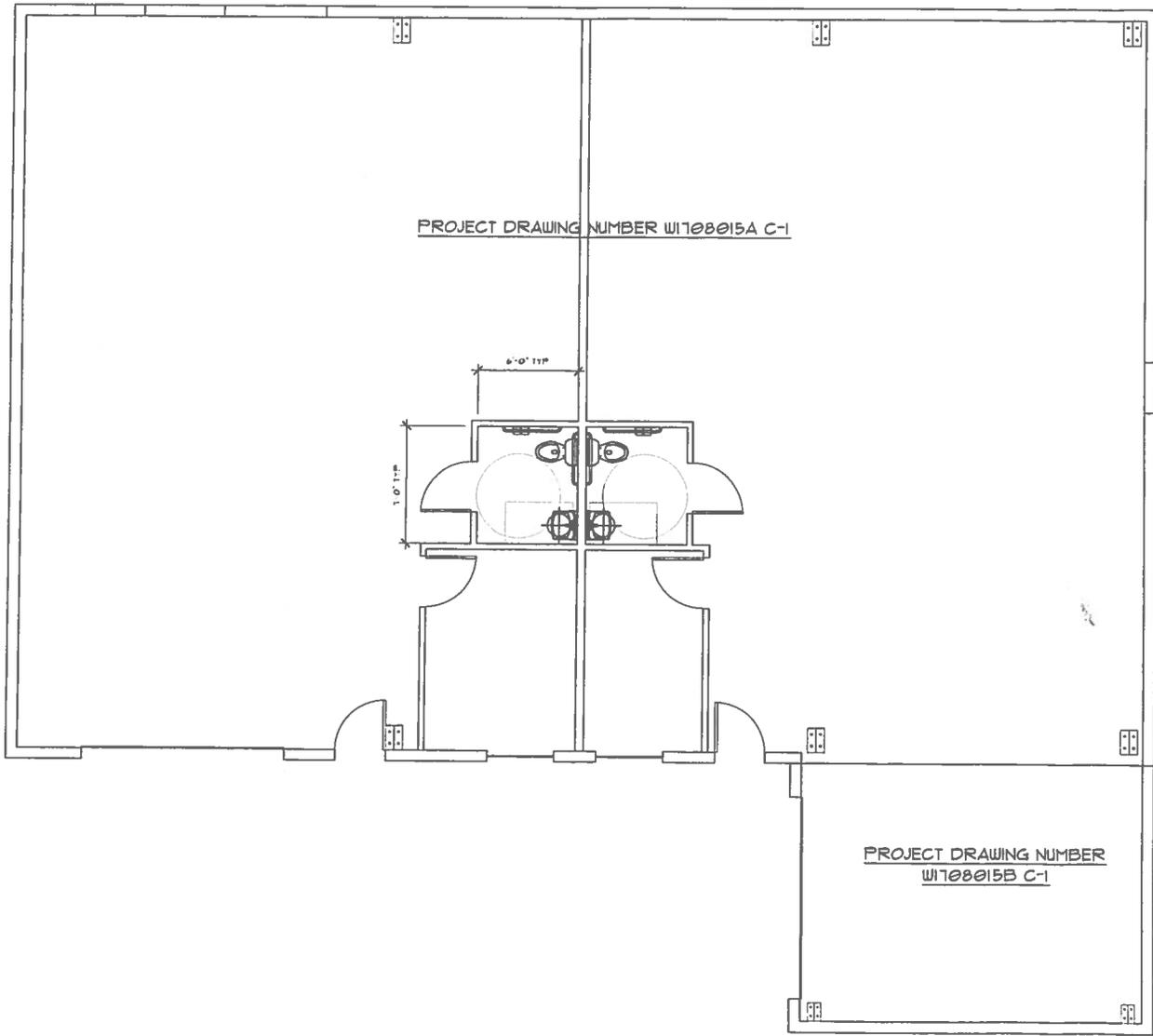
DETENTION CONTROL STRUCTURE SCALE 1" = 1'

CITY OF MEDFORD
EXHIBIT # D
File # AC-17-110



Elevation Plan

CITY OF MEDFORD
EXHIBIT # _____
File # AC-17-110



CITY OF MEDFORD
EXHIBIT # F
File # AC-17-110

CITY OF MEDFORD
EXHIBIT # _____
File # AC-17-110

2

RECEIVED

New Warehouse – 2019 Stowe Ave. Medford
Thielemann Family LLC

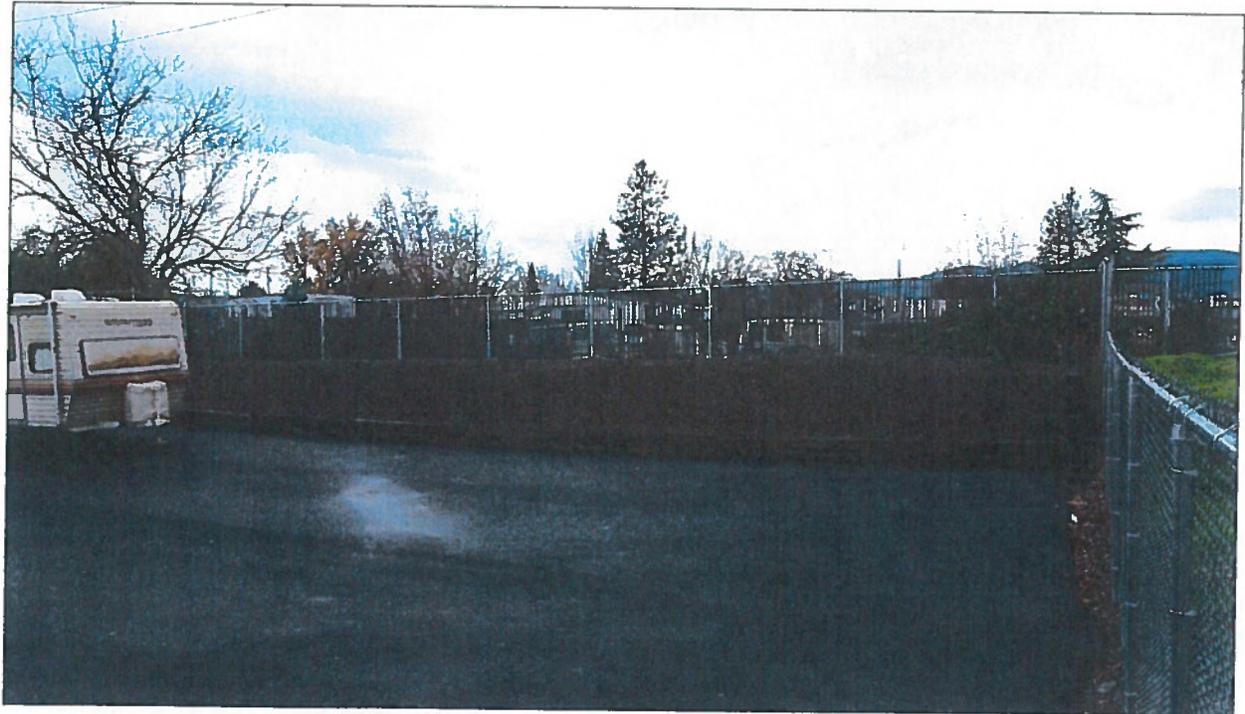
NOV 22 2017

PLANNING DEPT.

11-22-2017



CITY OF MEDFORD
EXHIBIT # 6
File # AC-17-110
REL.



New Building to
Match Existing



Building Site



Looking towards Stowe Ave.





Medford – A fantastic place to live, work and play

CITY OF MEDFORD

LD Date: 11/22/2017
File Number: AC-17-110

PUBLIC WORKS DEPARTMENT STAFF REPORT **Commercial Building** **1219 Stowe Avenue**

- Project:** Consideration of a proposal for the construction of 3,468 square foot of additional storage area on one parcel totaling 0.64 acres.
- Location:** Located on the west side of Stowe Avenue approximately 650 feet south of Rossanley Drive in the Light Industrial (I-L) zoning district (372W23A TL 5100).
- Applicant:** Applicant, Buzz Thielemann; Agent, Scott Slack, Jefferson State Construction; Planner, Steffen Roennfeldt.

NOTE: The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention, if applicable.
- Completion of all public improvements, if required. The Applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements shall be approved by the Public Works Engineering Division prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas
- Certification by the design Engineer that the stormwater quality and detention system was constructed per the approved plan, if applicable.
- Completion of all public improvements, if applicable.

A. STREETS

1. Dedications

Stowe Avenue is classified as a Commercial street. Right-of-way has already been dedicated with the final plat for Northwest Medford Light Industrial Park, Unit No. 1 (Survey #8620). **No additional right-of-way is required.**

There is currently a 15-foot Public Utility Easement (PUE) along the frontage of Stowe Avenue that was originally dedicated with the final plat for Northwest Medford Light Industrial Park, Unit 1 (Survey #8620).

2. Public Improvements

a. Public Streets

Stowe Avenue; All street section improvements, with the exception of a planter strip, have been completed in close conformance with current standards, including pavement, curb and gutter, street lights, and sidewalks as part of Northwest Medford Light Industrial Park, Unit No. 1 (P678D). **No additional improvements are required.**

b. Street Lights and Signing

No additional street lights are required.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer's contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided the Developer.

c. Pavement Moratoriums

There is no pavement cutting moratorium currently in effect along this frontage.

d. Access to Public Street System

The existing driveway access as shown on the Proposed Site Plan is acceptable.

B. SANITARY SEWERS

This site lies within the Rogue Valley Sewer Service (RVSS) area. Contact RVSS for sanitary sewer connections.

C. STORM DRAINAGE

1. Drainage Plan

A comprehensive drainage plan showing the project's impacted site with sufficient information to determine the direction of runoff to the existing or proposed drainage system, and also

showing elevations of the proposed drainage system (if applicable), shall be submitted with the first building permit application for approval.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

A Site/Utility Plan shall be submitted with the building permit application to show the location of existing or proposed stormdrain lateral/s for the site.

All private storm drain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729.

4. Certification

Upon completion of the project, and prior to certificate of occupancy of the building, the Developer's design Engineer shall certify that the construction of the stormwater quality and detention system was constructed per plan. Certification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

5. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

6. Access for Maintenance Vehicles

Developer shall ensure the City of Medford has vehicular access, a minimum of 10-feet in width, to the existing storm drainage system running along the westerly portion of this parcel for maintenance access purposes.

D. GENERAL CONDITIONS

1. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans.

Contractors proposing to do work on public streets, sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit from the County. Any work falling within another agencies jurisdiction shall require a separately issued permit or approval from the respective agency.

For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and storm drain mains be inspected by video camera prior to acceptance of these systems by the City.

Where applicable, the Developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

2. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

3. Existing Easement

Building shall be constructed so that no portion of the building, including the footings and/or single story eaves can encroach into the existing 15-foot easement along the westerly edge of the parcel.

4. System Development Charges

Buildings in this development are subject to street, sanitary sewer treatment and storm drain system development charges (SDC). All SDC fees shall be paid at the time individual building permits are issued.

Prepared by: Doug Burroughs

SUMMARY CONDITIONS OF APPROVAL

Commercial Building

1219 Stowe Avenue

AC-17-110

A. STREETS

1. Street Dedications to the Public:

- Stowe Avenue – No additional right-of-way required.
- Public Utility Easements have already been dedicated.

2. Improvements:

Public Streets

- Stowe Avenue – No improvements are required.

Lighting and Signing

- No additional street lights are required.

Access to Public Street System

- Existing driveway access as shown on the Proposed Site Plan is acceptable.

Other

- There is no pavement moratorium currently in effect along the frontage to Stowe Avenue.

B. SANITARY SEWER:

- The site is situated within the RVSS area.

C. STORM DRAINAGE:

- Provide a comprehensive grading and drainage plan.
- Provide water quality and detention facilities, calculations and O&M Manual.
- Provide Engineers certification of stormwater facility construction.
- Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

- = City Code Requirement
- = Discretionary recommendations/comments

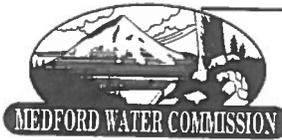
The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.

P:\Staff Reports\AC\2017\AC-17-110 1219 Stowe Ave (TL 5000) - Comm Bldg Addition\AC-17-110 Staff Report - LD.docx Page 5

PUBLIC WORKS DEPARTMENT
ENGINEERING & DEVELOPMENT DIVISION

200 S. IVY STREET
MEDFORD, OREGON 97501
www.ci.medford.or.us

TELEPHONE (541) 774-2100
FAX (541) 774-2552



BOARD OF WATER COMMISSIONERS

Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: AC-17-110

PARCEL ID: 371W30AC TL 2500

PROJECT: Consideration of a proposal for the construction of 3,468 square foot of additional storage area on one parcel totaling 0.64 acres, located on the west side of Stowe Avenue approximately 650 feet south of Rossanley Drive in the Light Industrial (I-L) zoning district (372W23A TL 5100); Applicant, Buzz Thielemann; Agent, Scott Slack, Jefferson State Construction; Planner, Steffen Roennfeldt.

DATE: November 22, 2017

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

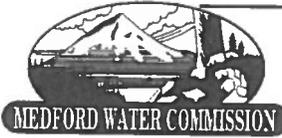
CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. The existing water meter located in the existing sidewalk approximately mid-lot shall be protected in place. This water service can be extended to serve the proposed new storage building. Applicant shall verify if adequate water service capacity is available with Medford Building Department on total water meter fixture count for all tenant spaces.
4. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35>.
5. Static water pressure is expected to be 98 psi. Installation of Pressure Reducing Valves (PRV) is required per Uniform Plumbing Code. See attached document from the City of Medford Building Department on "Policy on Installation of Pressure Reducing Valves".

COMMENTS

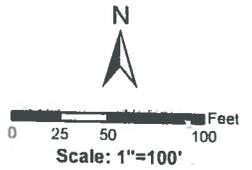
1. Off-site water line installation is not required.

Continued to Next Page



Continued from Previous Page

2. On-site water facility construction is not required.
3. MWC-metered water service does exist to this property. A 1-inch water service currently serves domestic water to the existing building on site. (See Condition 3 above)
4. Access to MWC water lines is available. There is an existing 8-inch water line on the east side of Stowe Avenue.



**Water Facility Map
for
(AC-17-110)**

Legend

- Air Valve
- Sample Station
- Fire Service
- Hydrant
- Reducer
- Blow Off
- Plugs-Caps

Water Meters:

- Active Meter
- On Well
- Unknown
- Vacant

Water Valves:

- Butterfly Valve
- Gate Valve
- Tapping Valve

Water Mains:

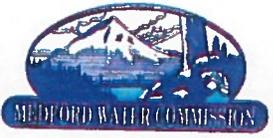
- Active Main
- Abandoned Main
- Reservoir Drain Pipe
- Pressure Zone Line

Boundaries:

- Urban Growth Boundary
- City Limits
- Tax Lots

MWC Facilities:

- Control Station
- Pump Station
- Reservoir



This map is based on a GIS data set prepared by Medford Water Commission. It is not a legal document. Medford Water Commission cannot be held responsible for any errors or omissions. There are no warranties, expressed or implied.



ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 7502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

November 16, 2017

City of Medford Planning Department
200 S. Ivy Street
Medford, Oregon 97501

Re: AC-17-110, Buzz Theilemann Storage (Map 372W23B, Tax Lot 5100)

ATTN: Steffen,

The subject property is within the Rogue Valley Sewer Services service area. There is an 8 inch sewer along Stowe Way with a 4 inch lateral extended to tax lot 5100. The existing building is currently connected to this lateral.

Service for the proposed building can be had by connecting to the existing lateral. The sewer connection permit will be issued by the City of Medford. However, there will be system development charges owed to Rogue Valley Sewer Services.

Rogue Valley Sewer Services requests that approval of this application be subject to the following conditions:

1. The applicant must provide RVSS with a plumbing fixture plan for the determination of system development charges.
2. The applicant must pay sewer system development charges to Rogue Valley Sewer Service prior to issuance of a building permit.

Sincerely,

Nicholas R. Bakke

Nicholas R. Bakke, P.E.
District Engineer



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
E-mail www.fire@ci.medford.or.us

LAND DEVELOPMENT REPORT - PLANNING

To: Steffen Roennfeldt

LD Meeting Date: 11/22/2017

From: Fire Marshal Kleinberg

Report Prepared: 11/13/2017

File #: AC - 17 - 110

Site Name/Description:

Consideration of a proposal for the construction of 3,468 square foot of additional storage area on one parcel totaling 0.64 acres, located on the west side of Stowe Avenue approximately 650 feet south of Rossanley Drive in the Light Industrial (I-L) zoning district (372W23A TL 5100); Applicant, Buzz Thielemann; Agent, Scott Slack, Jefferson State Construction; Planner, Steffen Roennfeldt.

DESCRIPTION OF CORRECTIONS

REFERENCE

Approved as Submitted

Meets Requirement: No Additional Requirements

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.



JACKSON COUNTY

Roads

**Roads
Engineering**

Kevin Christiansen
Construction Manager

200 Antelope Road
White City, OR 97503
Phone (541) 774-6255
Fax (541) 774-6295
christike@jacksoncounty.org

www.jacksoncounty.org

November 16, 2017

Attention: Steffen Roennfeldt
Planning Department
City of Medford
200 South Ivy Street, Lausmann Annex, Room 240
Medford, OR 97501

RE: Consideration of a request to construct 3,468 additional square foot storage area on Stowe Avenue – a city maintained road.
Planning File: AC-17-110

Dear Steffen:

Thank you for the opportunity to comment on the proposal for construction of 3,468 square foot of additional storage area on one parcel totaling 0.64 acres, located on the west side of Stowe Avenue approximately 650 feet south of Rossanley Drive in the Light Industrial zoning district (37-2W-23A TL 5100). Jackson County Roads has no comments.

If you have any questions or need further information feel free to call me at 774-6255.

Sincerely,

Kevin Christiansen
Construction Manager

CITY OF MEDFORD
EXHIBIT # L
File # AC-17-110



City of Medford

Planning Department

Working with the community to shape a vibrant and exceptional city

MEMORANDUM

Subject Legal Description
 File no. AC-17-110
 To Jon Proud, Engineering
 From Steffen Roennfeldt, Planning Department
 Date November 8, 2017

Please verify the attached legal description covering the below subject at your earliest convenience. See attached map.

1. AC-17-110 (Buzz Thielmann, Applicant) Scott Slack, Agent

Steffen, description describes 12x lot in question.

J

11/15/17

cp

Attachments:

Vicinity Map, Legal description

01 02580
93512ss

RECEIVED

SEP 19 2017

PLANNING DEPT

EXHIBIT A

Parcel No. One (1) of Partition Plat recorded September 11, 2000, as Partition Plat No. P-51 2000 of "Record of Partition Plats" in Jackson County, Oregon, and filed as Survey No. 16631 in the Office of the County Surveyor.

(Code 49-01, Portion Account #1 67283 4, Map #372W2JDA, Portion Tax Lot #126)

SUBJECT TO:

1. Right(s) of way for the transmission and distribution of electricity, and for other purposes, granted to PacifiCorp, an Oregon corporation, or its predecessor in interest, by instrument(s) recorded in Volume 226, page 411 and Volume 213 page 183, of the Deed Records of Jackson County, Oregon.
2. Right(s) of way for the transmission and distribution of electricity, and for other purposes, granted to PacifiCorp, an Oregon corporation, or its predecessor in interest, by instrument(s) recorded October 9, 1974 as No. 74-13245 of the Official Records of Jackson County, Oregon.
3. Public utility easement, 15 feet in width, affecting the east 15 feet and the west 15 feet, as shown on the plat and dedication of Northwest Medford Light Industrial Park, Unit No. 1.
4. Declaration of Conditions, Covenants, Restrictions and set backs and master sign standards as set out in instrument recorded November 26, 1980 as No. 80-24401 of the Official Records of Jackson County, Oregon. Amendment thereto recorded September 12, 1988 as No. 88 18931 said Official Records.
5. Building Site Improvement Agreement, subject to the terms and provisions thereof, with the City of Medford, recorded May 11, 1999 as No. 99-25588 and re-recorded May 12, 1999 as No. 99-26067, of the Official Records of Jackson County, Oregon.
6. Vehicular Cross Access Easement affecting a portion of the south 12 feet of Parcel 1 and the north 12 feet of Parcel 2 as shown on the partition recorded September 11, 2000 as Partition Plat No. P-51-2000, in "Record of Partition Plats" in Jackson County, Oregon, and filed as Survey No. 16631 in the Office of the Jackson County Surveyor.
7. Access restrictions to Stowe Avenue imposed by the declaration of the partition recorded September 11, 2000 as Partition Plat No. P-51-2000, in "Record of Partition Plats" in Jackson County, Oregon, and filed as Survey No. 16631 in the Office of the Jackson County Surveyor. (Limits access to the vehicular cross access strip shown on said plat)

M
JW

Jackson County, Oregon
- Recorded
OFFICIAL RECORDS

JAN 23 2001

8:30 AM

[Signature]
COUNTY CLERK

2

8



City of Medford

Planning Department

Vicinity
Map

File Number:

AC-17-110



Project Name:

Buzz Thielemann Storage

Map/Taxlot:

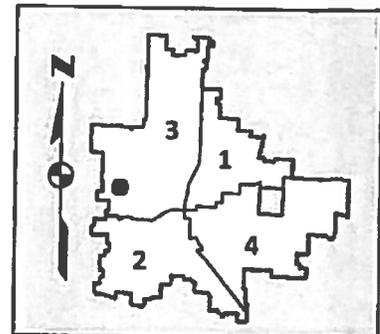
372W23A TL 5000



09/26/2017

Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots



STAFF REPORT

File No.: PUD-80-10

Applicant: Medford Posse Grounds, Inc.

Location: Southwest corner of Rossanley Dr. and Sage Rd.

Project Description:

The project site contains an approximate fifty-two (52) acres which over a period of time has been rezoned from county designated RR-2.5 (Rural Residential 2.5 acre minimum lot size) and LI (Light Industrial) to city designated M-2 (Limited Light Industrial) and M-3 (Light Industrial). The following zone change files represent the incremental past zoning actions and status of the fifty-two (52) acre project site.

| File No. | Zoning | Acres | Action | Date |
|-----------|-----------|-------|-----------------|----------|
| ZC-77-195 | M-3 | 13 | Res.#3256 (PUD) | 2/16/78* |
| ZC-78-214 | M-2 & M-3 | 21 | Res.#3371 (TP) | 5/18/78* |
| ZC-79-258 | M-2 & M-3 | 18 | Ord.#3850 (PUD) | 9/20/79 |

*One year extension granted by City Council for Res. #3256 and 9 months for Res. #3371 thereby having the expiration date of each fall on 3/18/80.

Sequentially, the present project began with thirteen (13) acres which as a result of Res. #3256 was rezoned subject to a planned unit development, to which the applicant added an additional twenty-one (21) acres by Res. No. 3371, which as a condition thereof the city required the processing and approval of a tentative plat for the twenty-one (21) acres. Prior to compliance with conditions of either of the above resolutions the applicant obtained a one year and a nine month extension respectively and added an additional eighteen (18) acres to the project as a result of Ord. #3850 a contractual rezoning to M-2, M-3 PUD, thereby increasing the total project acreage from its original thirteen (13) acres to its present fifty-two (52) acres.

In late 1979 the applicant submitted a tentative plat request for the total fifty-two (52) acre industrial project and on January 10, 1980 received tentative plat approval for an industrial subdivision of fifty-two (52) acres. However, in the process of reviewing the tentative plat staff noticed that thirty-one (31) of the fifty-two (52) acres required a planned unit development for which no application had yet been received. Because by law the tentative/final plat process is land division oriented and once granted is, within a given time period, irrevocable, staff was reluctant to review or recommend approval of a tentative plat prior to action on the more discriminatory and design oriented thirty-one (31) acre planned unit development. The applicant was advised of this situation and it was his request that the tentative plat as submitted be agendized before the Planning Commission. This was done; however, as a condition of tentative plat approval staff recommended that the entire fifty-two (52) acre project be subject to a planned unit development prior to final plat approval and that the tentative plat would be subject to all conditions resulting from review and conditioning of the proposed PUD. The applicant was made aware of this situation and, as noted, on January 10, 1980 the Planning Commission adopted the final order approving the Northwest Medford Light Industrial Park tentative plat subject to conditions as set forth in the staff report.

CITY OF MEDFORD

EXHIBIT # N

File # AC-17-110

The applicant's planned unit development proposal consolidates the entire fifty-two (52) acres into one project to be developed in two phases as per Exhibit "E". The second phase will require removal of the Medford Speed Way, the timing of which is unknown at this time. It will be required of the applicant, upon final plat approval, to bond for and complete all public improvements as required of the tentative plat. However, the actual construction of buildings and landscaping will be incremental, on a lot by lot basis, with a rather broad spectrum of architectural and landscaping possibilities as set forth in the project's deed restrictions. The regulation, monitoring and implementation of the actual design and development of each individual lot within the project falls upon the City of Medford and the Architectural Commission as per the deed restrictions. This process is typical of a planned unit development excepting that a higher degree of objectivity is provided to the City by the developer for those areas of design which are visually common and necessary for a unified and integrated planned unit development. The project as proposed is very specific as to required public improvements such as streets, utilities, etc. However, and in consideration of the reviewing agency, the project does not have an overall common identifying design characteristic separating the purpose of a planned unit development from that of a typical subdivision. More importantly, the burden of providing coordination in the common design unification of the total project falls upon city staff and the Architectural Commission in a long term, reactionary and incremental capacity. As a process this is counter-productive to the intent of a planned unit development and as such, staff has conditioned the project to provide for common and objective design standards and criteria which the city can effectively and reasonably implement on a lot by lot comparative basis.

Impacts resulting from project implementation are negligible being that lands to the north, south and east are developed or identified as developable as industrial. However, immediately adjacent to the western border of the project the present and future land use designation is urban residential as per the comprehensive plan. The site plan for the project provides for the effective segregation of industrial traffic from residential traffic to the extent that once industrial traffic enters either Rossanley Drive or Sage Road the applicant has no further control of the routes said traffic assumes. The most significant impacts upon the residential area will be visual and noise related. The noise impact can be most effectively mitigated through the use of a sound attenuation wall along the projects western border and the proper orientation of the loading docks. The visual impact can be mitigated through landscaping, setback ratios, and prohibition of outdoor storage. Each of these mitigation factors has been incorporated in the recommendation action.

Zone change file ZC-77-195, a resolution of intent subject to PUD approval has expired as of March 18, 1980 rendering ZC-77-195 null and void as a zoning action. Consequently it is required that the applicant apply for and obtain said rezoning prior to implementation of the planned unit development for the fifty-two (52) acres. This can most effectively be assured by requiring City Council approval of the zone change prior to final plat approval of phase I. This action is consistent with the comprehensive plan's goals, policies and land use designation for the subject property.

Recommended Action:

Approve PUD-80-10 as per the Staff Report dated June 5, 1980 and Exhibits "A", "B", "C", "D", and "E" and subject to the following conditions:

- I. All lots adjacent to lands designated as urban residential on the Comprehensive Plan shall be required to install a minimum seven (7) foot high concrete block fence or such other fence that provide equivalent sound attenuation and visual obstruction as approved by the city. Said fence shall be subject to review and approval by the Architectural Commission prior to issuance of any building permits. Additionally, it shall be noted in the deed restrictions and on Exhibits "A-1" and "B-1" that said fence shall be the responsibility of the developer of each affected lot and construction of the fence completed prior to the issuance of a certificate of completion for each lot.
- II. Prior to issuance of any building permits a complete master landscape plan for all lands contained within the public street frontage setbacks and other setbacks as setforth in condition III B (1 through 3) shall be reviewed and approved by the Architectural Commission. Implementation of the landscape plan as approved shall be the responsibility of the developer of each lot and shall be completed as per the above master landscape plan prior to the issuance of a certificate of completion for each lot. To assure completion of the landscaping as designed, the master landscape plan, hereinafter referred to as The Master Landscape Plan for Northwest Medford Light Industrial Park, Exhibit "B-1", shall be referred to and the obligation to comply therewith by each lot owner identified and setforth in the deed restrictions of Northwest Medford Light Industrial Park. On the final subdivision plat for phase one a note to the effect that building permits will not be issued by the City of Medford until Exhibit "B-1", The Master Landscape Plan for Northwest Medford Light Industrial Park is approved by the City of Medford and recorded.
- III. Prior to issuance of any building permits a final site plan shall be submitted to the Planning Department, hereinafter referred to as The Development Plan for Northwest Medford Light Industrial Park - Exhibit "A-1". On the final subdivision plat for phase one a note to the effect that no building permits will be issued by the City of Medford until Exhibit "B-1", the Development Plan for Northwest Medford Light Industrial Park is approved by the City and recorded. Said site plan shall identify thereon the following:
 - A. Sound attenuation walls as required in condition I.
 - B. Building envelopes for each lot based upon the following standards:
 1. Alternating by lot thirty (30) and fifty (50) foot frontage setbacks along Rossanley Drive and Sage Road.
 2. Alternating by lot twenty (20) and fifteen (15) foot frontage setbacks along all interior public streets.
 3. Where adjacent to lands designated as urban residential on the comprehensive plan a minimum twenty (20) foot setback.
 4. A fifty (50) foot interior or side yard setback on one side between buildings on separate lots. This setback may be used as ingress/egress, parking and/or loading.
 - C. Landscaped areas as per condition II.
 - D. Phase line as per Exhibit "E".

- E. Common driveways for ingress/egress as per the tentative plat staff report dated December 13, 1979 for File No. SUBD-79-37.
- F. All lot lines and easements as per the final subdivision plat.
- G. The following notes shall be incorporated into The Development Plan for Northwest Medford Light Industrial Park - Exhibit "A-1" and keyed to affected areas:
 1. Prior to issuance of any building permits on any lot, site and architectural plans shall be submitted to and approved by the Architectural Commission of the City of Medford. Said plans shall include and be consistent with The Development Plan for Northwest Medford Light Industrial Park - Exhibit "A-1". Said site and architectural plans shall include the following:
 - a. Location of outside storage and loading areas and method of screening said areas from public view.
 - b. Location of exterior mechanical equipment and method of screening said equipment from public view.
 - c. Location and materials used in all fences and walls.
 - d. A complete landscaping plan for all areas of the lot not required for building use, park, loading, walkways and areas not included in the Master Landscape Plan, Exhibit "B-1".
 - e. Location, height and area of coverage of security lights or other outdoor lighting. Outdoor lighting located in such a manner as to cause a nuisance or hazard on any adjacent property will not be approved.
 - f. Colors and materials used for the exterior of all buildings. All colors used shall be earth tones and the usage of acceptable accent tones where appropriate and compatible with the general development character of the Northwest Medford Light Industrial Park.
 - g. Location and design of sign consistent with the Northwest Medford Light Industrial Park Master Sign Standards Exhibit "C-1".
 2. All buildings and parking areas shall be alternately set back a minimum of fifty (50) and thirty (30) feet from the front and/or street side property lines for all lots along Rossanley Drive and Sage Road and alternating twenty (20) and fifteen (15) foot setbacks along all other public streets. Rear and interior side yard setbacks from property line shall be a minimum of ten (10) feet.
 3. All parking lots shall be paved to the City of Medford Department of Public Works standards.
 4. The maximum lot coverage by all structures shall not exceed 50% of the lot area.
 5. All loading docks and/or loading doors shall not front onto any public streets.

6. Loading docks and/or loading doors are prohibited on the west side of buildings for those lots adjacent to residential properties on North Ross Lane.
7. All utility services shall be installed underground.
- H. Prior to the issuance of any building permits design standards and criteria for the objective development of a master signing program shall be developed and approved by the Architectural Commission on the final subdivision plat for phase one a note to the effect that no building permits will be issued by the City of Medford until Exhibit "C-1" The Master Sign Standards for Northwest Medford Light Industrial Park be approved by the City and recorded. Said program shall be identified as The Master Sign Standards for Northwest Medford Light Industrial Park, Exhibit "C-1" and shall elaborate upon, define and incorporate the following criteria:
 1. All free standing identification signs shall be of a uniform size and height. The maximum height shall not exceed three (3) feet, or other-standard as otherwise determined by the Architectural Commission.
 2. All other signs shall be of standard design as setforth in Exhibit "C-1".
 3. All directional signs shall be of standard design as setforth in Exhibit "C-1".
- I. Prior to final plat approval deed restrictions for the project shall be submitted and approved by the City Attorney. Said deed restrictions shall identify Exhibits "A-1", "B-1" and "C-1" and the responsibility of each lot owner for compliance therewith. Said deed restrictions shall also set forth the responsibility of each lot owner to maintain landscaping, fencing and buildings in good repair and condition. The deed restrictions shall define the City's position relative to review, approval and enforcement of Exhibits "A-1", "B-1", and "C-1".
- J. The final plat of each phase as recorded shall contain a reference to the deed restrictions and Exhibits "A-1", "B-1" and "C-1".
- K. Prior to final plat approval of phase I the applicant shall apply for a zone change to M-3 for those lands as contained in ZC-77-195.


Don R. Burt, Senior Planner

Approved by: 
James M. Eisenhard, Planning Director

Planning Commission Agenda: June 12, 1980

City of Medford

September 18, 1998

SITE PLAN AND ARCHITECTURAL COMMISSION REPORT

File No.: AC-98-103

Applicant: Rich Voigtman (Daniel R. Horton, agent)

Request: Consideration of plans for two buildings totaling 18,960 square feet containing industrial warehouse and office spaces, on a 1.19 acre parcel located on the west side of Stowe Avenue, approximately 750 feet south of Rossanley Drive, within an I-L/PD (Light Industrial/Planned Development overlay) zoning district.

This project is subject to the development requirements of the Land Development Code and all ordinances of the City of Medford and has been found, subject to all applicable conditions, to be consistent with all requirements and criteria in Section 10.290. If approved, the project shall comply with the development requirements of the Land Development Code as well as the discretionary conditions of this report.

Background:

The proposed project is within and, therefore, must be found to be consistent with the Northwest Medford Light Industrial Park Planned Unit Development (PUD). In that regard, the applicant has incorporated frontage landscaping, and the fence and berm along the west project boundary as specified in the PUD master plan.

The project site is currently identified as Tax Lot 126 on Assessor's map 37 2W 23DA.

SITE PLAN COMMENTS/RECOMMENDATIONS

Vehicular Access

A single driveway onto Stowe Avenue will provide access to both buildings as well as the shared storage yard at the west end of the site.

Jackson County Roads & Parks

Jackson County Roads & Parks has again requested that the applicant be required to prepare a traffic study to assess the need for a turn refuge at the intersection of Parsons Drive and Sage Road. If needed, it is recommended that the applicant be required to pay a fair share of the construction cost or withdraw the application until a turn lane is constructed. It is questionable whether findings could be made to demonstrate a rough proportionality between the burden of such a requirement and the impacts of the proposed development on the street facility. Such a study should be undertaken as

AC-98-103

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a component of the facilities adequacy finding for future zone changes. In the context of fair share contributions, prior to obtaining permits, developers are required to pay system development charges for improving and increasing the capacity of arterial and collector streets which will be completed at some future time. No condition has been included in the report for the preparation of a traffic study or to pay a fair share cost as recommended by the County.

Parking

A total of 46 parking spaces are proposed which is determined to be sufficient for the industrial square footage plus 41 employees. It would also satisfy minimums for the office square footage plus 3 employees each in the 4 industrial tenant spaces. The Commission may wish to confirm what the anticipated employee count will be, if known by the applicant at this time.

Pedestrian Access

Walkways are shown with a connection to the public sidewalk on Stowe Avenue from the southerly building. A condition has been included to extend a crossing to the northerly building as well.

All parking spaces shall have wheel stops installed as they adjoin walkways less than 7 feet in width. This specification is correctly identified on the plans.

Bicycle Parking

Based upon the 46 proposed new vehicle parking spaces, bicycle parking for a minimum of 9 bicycles is required per the standard for industrial uses (20 percent). When applying the office standard (10 percent) to the 8,880 square feet of offices, 3 spaces are required. Adding 3 spaces for the parking associated with the remaining industrial use brings the total requirement to 6 spaces. As a 2-space facility is proposed adjacent to each of the building entrances (4 spaces total), an additional 2 spaces are required. A condition to expand each of the two locations to accommodate 3 bicycles each has been included.

Landscaping

As mentioned above, the landscaping must be consistent with the master plan for the PUD. Staff has determined that the plan is, in fact, consistent with the PUD and that it includes specifications consistent with the Commission's design guidelines.

Utilities

As there is an existing 15-foot Public Utility Easement (PUE) along the street frontage and the rear property line, no additional PUE dedication is required.

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Exterior Lighting

Exterior light fixtures are proposed at various locations on the building walls including in the rear storage area. As there are residential properties to the west, the plans shall include specifications for those lights to assure compliance with Section 10.764 relating to glare standards.

Fire Marshal

Due to the length of the buildings and the depth of the site, a Fire Department turnaround must be provided which could be designed into the parking lot. A configuration that is acceptable to the Fire Marshal (per Exhibit "H") shall be shown on the construction plans as well as specifications for an acceptable lock on the gate to the rear storage area. At the public hearing, the applicant's agent stated that a hammer-head turn-around will be constructed extending behind the trash enclosures.

Due to the spacing of existing fire hydrants, combined with the depth of the site, it will be necessary to install one fire hydrant on Stowe Avenue.

STRUCTURE COMMENTS/RECOMMENDATIONS

Staff makes no recommendations in regard to the building design. The Building Safety Department has indicated that 1-hour fire wall construction will be required due to the proximity to property lines of the buildings. The Commission may wish to confirm what, if any, change to the building elevations may result. The Commission included a condition that any exterior elevation change be brought back to the Commission in order to be determined whether it was a minor alteration to the approval.

CONSISTENCE WITH COMMISSION GUIDELINES

In addition to proposed through-the-wall units, new exterior mechanical equipment (heat pumps) are proposed to be located in the planters adjoining the front of the buildings with screening to be provided by the proposed English Laurel. A condition has been included to construct a solid screen for these units, consistent with the Commission's design guidelines. The plans shall be revised to reflect same. At the public hearing, the applicant's agent stipulated and the Commission included as a condition that no exterior mechanical equipment would be installed, other than at the front (east) sides of the building and those would be structurally screened.

Trash collection facilities are identified to the rear of each building with a "slatted chain link" enclosure proposed. The Commission could find that this location and design will conceal the contents of the enclosures from public view. If not, the Commission may wish to require that the entire enclosure be constructed of solid wood, masonry, or metal. A condition has been included to provide solid wood or metal gates on the proposed facilities. At the public hearing, the applicant's agent stated that the trash enclosures will be constructed of solid concrete blocks and have solid wooden gates.

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Given the above discussions relating to landscaping and screening, the Commission can find this proposal to be consistent with the Architectural Guidelines.

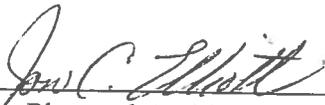
Action Taken:

Direct staff to prepare a final order for the next meeting for approval of AC-98-103 as per Commission Report dated September 18, 1998, including Exhibit "A" - Site Plan; Exhibit "B" - Elevations; Exhibit "C" - Landscape Plan; Exhibit "D" - Applicant's Questionnaire (Findings); Exhibit "E" - Special Report from the City Engineer dated August 12, 1998; Exhibit "F" - Memorandum from Medford Water Commission dated August 14, 1998; Exhibit "G" - Memorandum from Parks and Recreation dated August 17, 1998; Exhibit "H" - Memorandum from the Bureau of Fire Prevention dated August 19, 1998; Exhibit "I" - Letter from the Bear Creek Valley Sanitary Authority dated August 17, 1998; Exhibit "J" - Letter from Jackson County Roads & Parks dated August 12, 1998; and subject to the following discretionary conditions:

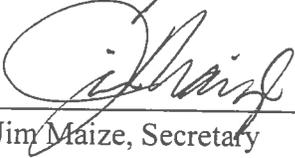
1. All mechanical equipment, and trash/recyclables, or receptacle for same, shall be concealed from public view. Prior to issuance of the first building permit, the site plan shall be revised to include:
 - a. Design specifications for solid wood or metal gates on the trash enclosures.
 - b. Design specifications for a solid fence or structural screen for the heat pump units in front of each building.
2. Prior to issuance of the first building permit, the property owner shall sign and record with the Jackson County Clerk's office a Building Site Improvement Agreement, with the original returned to the Planning Department, specifying that the following items will be completed within six (6) months of the date of the agreement:
 - a. Construct concealment for mechanical equipment and trash/recyclables, or receptacle for same, per the approved plans.
 - b. Install landscaping and irrigation per the approved plans.
3. No exterior mechanical equipment shall be installed, other than at the front (east) sides of the building, and those would be structurally screened.

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September 18, 1998



Jon Elliott, Site Plan and Architectural Commission Chair



Jim Maize, Secretary

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA: SEPTEMBER 18, 1998

AC-98-103

September 18, 1998

LAND DEVELOPMENT CODE REQUIREMENTS
FOR THIS PROJECT

This is a list of Land Development Code requirements that apply to this project which have been developed from an administrative review of the proposal. The Site Plan and Architectural Commission cannot modify, or delete the requirements.

The following changes will be necessary to bring the project into compliance with the requirements of the Land Development Code.

1. At the time of submittal of building plans, a revised site plan shall be included showing:
 - a. Specifications for bicycle parking facilities to be installed (minimum of 6 spaces) in accordance with the General Provisions and General Design Requirements for Bicycle Parking, Sections 10.747 and 10.750 of the Land Development Code.
 - b. Specifications for an additional driveway crossing between the walkways in front of the buildings consistent with Section 10.775 of the Land Development Code.
 - c. Specifications for Fire Department vehicle turnaround and lock on gate, subject to approval of the Fire Marshal.
 - d. Specifications for exterior lighting at the west end of the buildings consistent with Section 10.764 of the Land Development Code.
2. Prior to issuance of the first building permit, a fire hydrant to serve this building and functioning to City of Medford Fire Department and Water Commission specifications shall be provided on Stowe Avenue.
3. At the time of submittal of building plans to the Building Safety Department, a drainage plan for the entire project site, designed by a Professional Engineer (P.E.), shall be included. Said drainage plan shall have a maximum runoff rate of 0.25 CFS (Cubic Feet per Second).
4. Prior to issuance of the first building permit, the property owner shall sign and record with the Jackson County Clerk's office a Building Site Improvement Agreement, with the original returned to the Planning Department, specifying that the following items will be completed within six (6) months of the date of the agreement:
 - a. Pave all parking and vehicle maneuvering areas, including extruded curb around perimeter, to City of Medford specifications. An "as constructed" plan shall be submitted to the Engineering Division, by the design engineer, upon completion of the project.

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September 18, 1998

- b. Install bicycle parking per the approved plans.
- c. Install frontage landscaping and irrigation per the approved plan.
- d. Install pedestrian walkways per the approved plans.
- e. Install wheel stops per the approved plans
- f. Construct a 5-foot sidewalk along Stowe Avenue.

ADDITIONAL INFORMATION FOR THE APPLICANT:

All landscaped areas and plants required by this code shall be maintained in good health and shall not be reduced in area or number. The 2-inch minimum tree caliper size shall be measured at a point 12 inches above ground level.

The applicant shall contact Division of State Lands for the approval or clearance of said property with regard to wetlands and/or waterways, if they are present on the subject land.

Concrete or block walls are considered to be permanent structures and will not be allowed to be built within a Public Utility Easement (PUE), sanitary sewer, or storm drain easement. Walls will require a separate permit from the Building Safety Department and may require a professional engineer's stamp.

Any grade change will necessitate adjustment to all manholes to finished grade at developer's expense.

LEGEND:

- = Fd. 5/8" iron pin w/ plastic cap mtd. RBATH LS1869 per NMLIPJ.
 - ⦿ = Fd. 5/8" iron pin w/ plastic cap mtd. MCMHW PL51913 (Survey in progress.)
 - = Set 5/8" x 30" iron pin with plastic cap mtd. L.J. FRIAR & ASSOC.
- P.U.E. = Public Utility Easement.
 F.S. = Field Survey &
 J.C.R. = Jackson County Deed Records.
 O.R.L.C.D. = Official Records of Jackson County, Oregon.
 NMLIPJ = Northwest Medford Light Industrial Park, Unit No. 1.
 () = Plat record date per NMLIPJ.

BASIS OF BEARINGS: Northwest Medford Light Industrial Park, Unit No. 1.
 DATE: July 23, 2000 UNIT OF MEASUREMENT: Feet SCALE: 1" = 30'

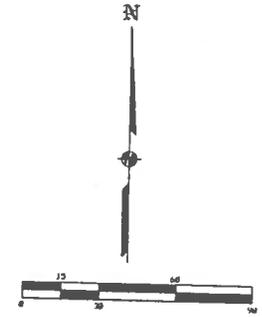
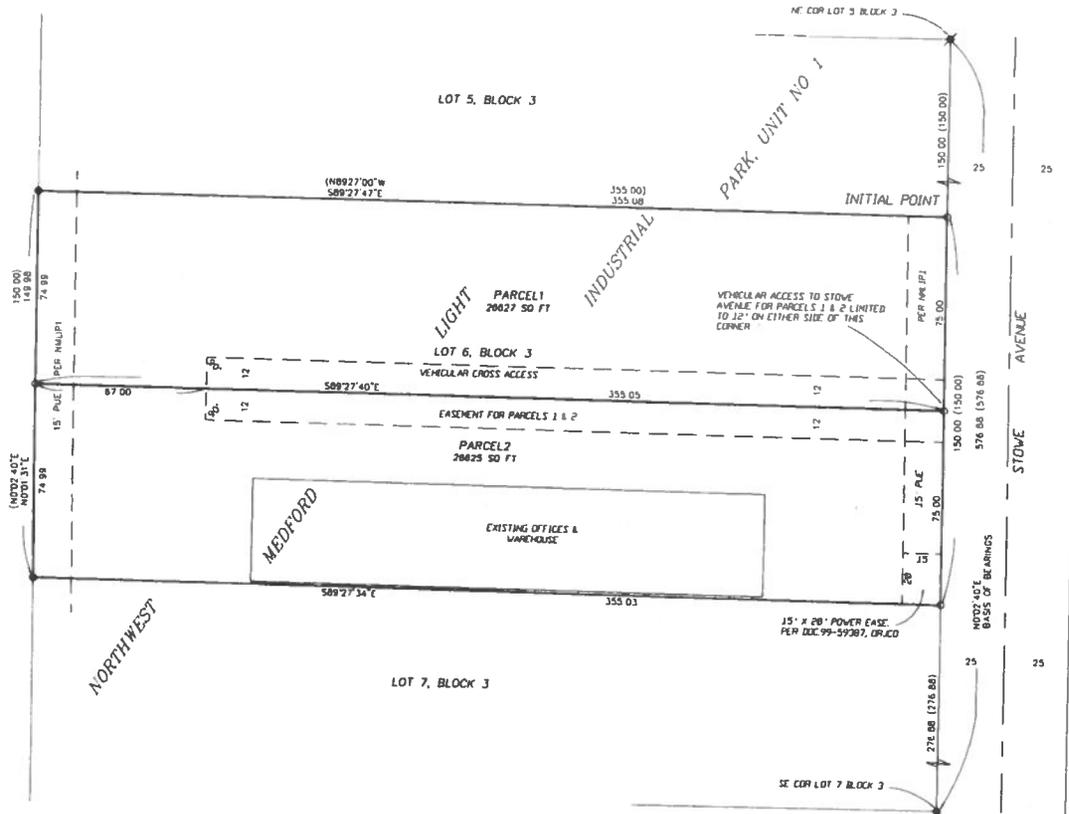
PARTITION PLAT NO. P-51-2000
Lot 6, Block 3 of NORTHWEST MEDFORD LIGHT INDUSTRIAL PARK,
UNIT NO. 1, & in the S.E. 1/4 of Sec. 23, T.37S., R.2W., W.M.
City of Medford Jackson County, Oregon
 (File LDP-00-46)

SURVEY FOR:
 TONY NIETO
 34 S. FOOTHILL ROAD
 MEDFORD, OR 97504

SURVEY BY:
 L.J. Friar & Associates, P.C.
 Consulting Land Surveyors
 816 West Eighth Street
 Medford, Oregon 97501
 Phone: (541) 772-2782

EASEMENTS PER SUBDIVISION GUARANTEE

1) EASEMENT FOR ELECTRICITY PER V.206, P.413 & V.233 P.183 CANNOT BE DEPICTED HEREON BUT MAY AFFECT SUBJECT PROPERTY.
 2) EASEMENT FOR ELECTRICITY PER DOC 74-13246, O.R.L.C.D. DOES NOT LIE ON THE SUBJECT TRACT.
 3) PROPERTY SUBJECT TO DEED RESTRICTIONS PER DOC 80-24481, O.R.L.C.D. AND AS AMENDED BY DOC. 80-18931, O.R.L.C.D.



REGISTERED
 PROFESSIONAL
 LAND SURVEYOR
 JAMES C. NIETO
 2001
 RENEWAL DATE 6-30-03

"RECEIVED"
 DATE: SEPT 14 2000 BY: CDP
 This survey consists of
2 sheets of Map
0 pages of Narrative
 JACKSON COUNTY
 SURVEYOR

I HEREBY DECLARE THAT THIS IS AN
 EXACT COPY OF THE ORIGINAL PLAT
 James C. Nieto
 SURVEYOR

Page 50

File # AC-11-10
 EXHIBIT # P
 CITY OF MEDFORD

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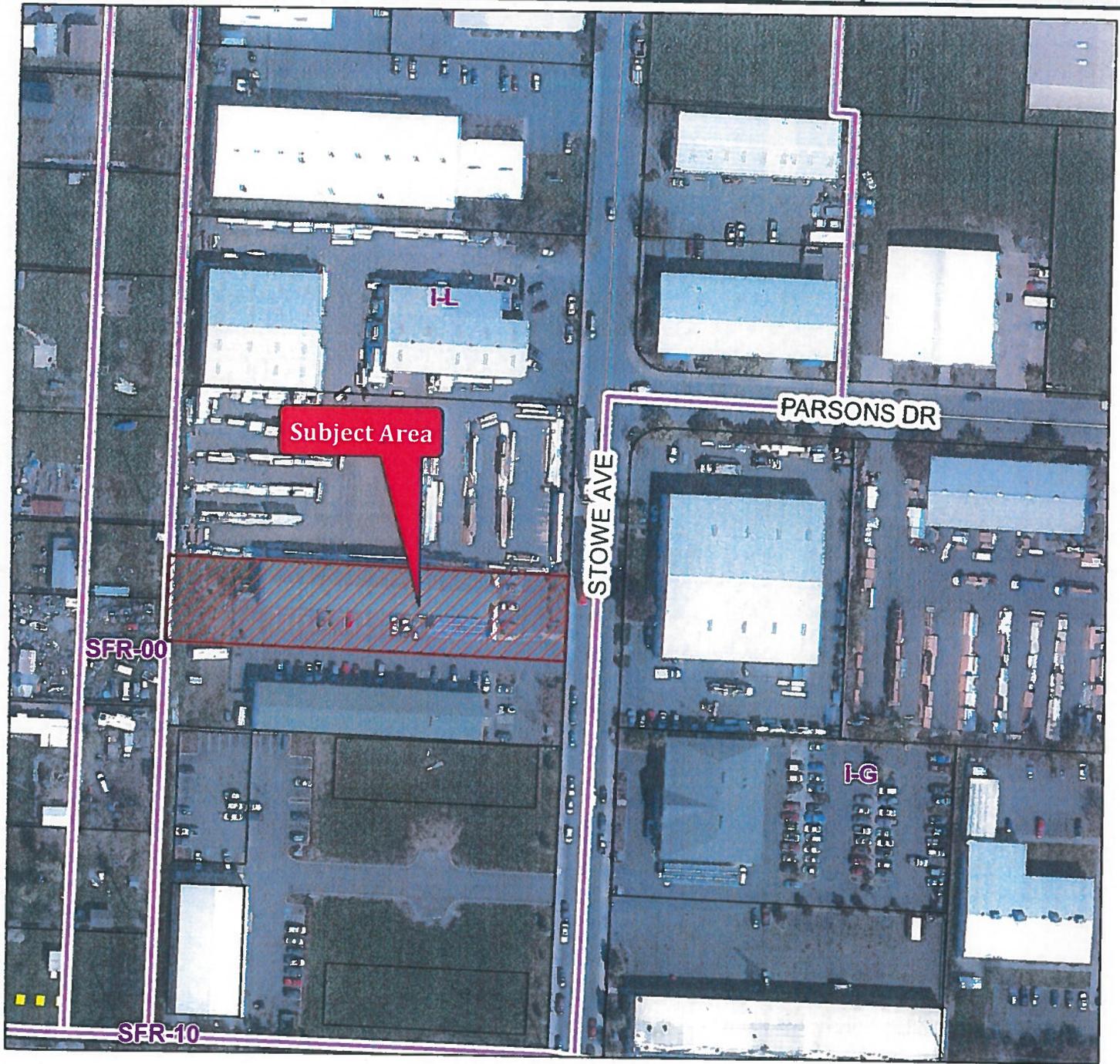
City of Medford

Planning Department

Vicinity
Map

File Number:

AC-17-110



Project Name:

Buzz Thielemann Storage

Map/Taxlot:

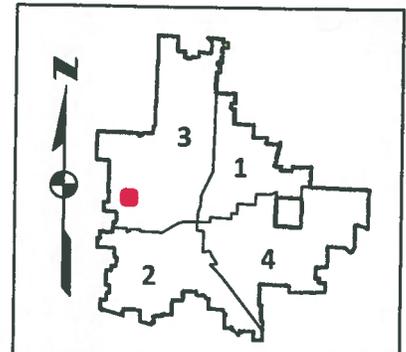
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09/26/2017

Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots





City of Medford

Planning Department

Working with the community to shape a vibrant and exceptional city

STAFF REPORT

for a Type-C quasi-judicial decision: **Site Plan and Architectural Review**

PROJECT Options for Southern Oregon
Applicant: Options for Southern Oregon
Agent: Richard Ward Associates

FILE NO. AC-17-129/E-17-146

TO Site Plan and Architectural Review Commission *for December 15, 2017 hearing*

FROM Dustin Severs, Planner III

REVIEWER Kelly Akin, Assistant Planning Director

DATE December 8, 2017

BACKGROUND

Proposal

Consideration of a proposal for the development of a single 2.49-acre lot, consisting of the construction of a 30,800 square foot building (11,990 footprint), to be used as commercial offices for Options of Southern Oregon, along with an Exception request to exceed the maximum block length standards as required per MLDC 10.426-1. The property is located at 700 N. Central Avenue in the Heavy Commercial (C-H) zoning district (372W24DD TL 9900).

Vicinity Map



Subject Site Characteristics

Zoning: C-H
GLUP: CM (Commercial)
Overlay(s): AC (Airport Area of Concern)

Surrounding Site Characteristics

| | | |
|--------------|---------|--|
| <i>North</i> | Zone: | MFR-20 (Multiple-Family Residential, 20 dwelling units/acre) |
| | Use(s): | Single-family and multi-family residential |
| <i>South</i> | Zone: | C-C (Community Commercial) |
| | Use(s): | Les Schwab Tire Center, auto dealership |
| <i>East</i> | Zone: | MFR-20 |
| | Use(s): | Residential |
| <i>West</i> | Zone: | C-H |
| | Use(s): | Rogue Automotive |

Related Projects

PA-17-64

Applicable Criteria

MLDC Section: 10.290 – Site Plan & Architectural Review Criteria

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) The proposed development is compatible with uses and developments that exist on adjacent land; and*
- (2) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

MLDC Section: 10.253 - Criteria for an Exception.

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority having jurisdiction over the plan authorization unless it finds that all of the following criteria and standards are satisfied. The power to authorize an exception from the terms of this code shall be sparingly exercised. Findings must indicate that:

- (1) The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the*

exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The approving authority shall have the authority to impose conditions to assure that this criterion is met.

(2) The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.

(3) There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.

(4) The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.

ISSUES AND ANALYSIS

Project Summary

Project History

The subject site consists of a vacant 2.49-acre lot located in the Liberty Park neighborhood. The subject lot was previously the location of Lithia Motor's Honda auto dealership (relocated to Crater Lake Highway), which was demolished earlier this year.

The applicant submitted a Pre-application for the subject site on May 17, 2017, for the review of a proposed development consisting of two 20,000 square foot buildings used for therapy and administrative offices to be developed over two phases. The applicant has since revised their site plan, and is now proposing a single 11,990 square foot building to be developed in a single phase as part of the subject application.

Current Proposal

The applicant is now proposing the construction of a single three-story building with a base footprint of 11,990 square feet (30,800 square feet of total floor space), to be used as commercial office space for Options of Southern Oregon.

Options for Southern Oregon is a regional provider of behavioral health services based in Grants Pass, Oregon. Options for Southern Oregon is non-profit, and provides transitional housing for mental illness treatment as well as treatment centers, with locations in Jackson and Josephine Counties, including three centers located in the City of Medford. There is no residential housing associated with the subject development; the building will be used as office

space for therapists, case managers, skill trainers, and other medical personnel, and will house approximately 160 employees.

Site Development Standards

SITE DEVELOPMENT TABLE

| | Allowed | Proposed |
|-----------------------------------|----------------|------------------|
| Height | 35 feet Max. | 34.5 feet |
| Lot Coverage | 60% Max. | 12.1% |
| Setback (front) | 10 Foot Min. | 10 feet |
| Setback (street side yard) | 10 foot Min. | 75 feet/150 feet |
| Setback (rear) | 7 foot Min. | 135 feet |

As shown in the Site Development Table above, it can be found that the proposed building identified on the submitted site plan meets the bulk standards for the C-H zoning district as found in Article V of the Medford Land Development Code.

Parking

PARKING TABLE (10.743-751)

| | Required | Provided |
|--------------------------|-----------------|-----------------|
| Total Spaces | 143/192 | 188 |
| Accessible Spaces | 8 | 8 |
| Bicycle Spaces | 19 | 20 |

The submitted site plan identifies a total of 188 vehicular spaces provided for the development, including the requisite location and dimensions of accessible parking spaces and bicycle spaces, consistent with the parking requirements per MLDC 10.743-751.

Landscaping

LANDSCAPE TABLE - Frontage Landscaping (10.797)

| Niantic Street | Required | Shown |
|-----------------------|-----------------|--------------|
| Trees | 13 | 13 |
| Shrubs | 81 | 89 |

| Maple Street | Required | Shown |
|--------------|----------|-------|
| Trees | 7 | 7 |
| Shrubs | 44 | 85 |

| N. Central Ave. | Required | Shown |
|-----------------|----------|-------|
| Trees | 7 | 7 |
| Shrubs | 46 | 85 |

| Beatty Street | Required | Shown |
|---------------|----------|-------|
| Trees | 12 | 12 |
| Shrubs | 75 | 96 |

LANDSCAPE TABLE – Parking Area Planters (10.746(3))

| | Required | Shown |
|---------------|-------------------|---------------------|
| Trees | 24 | 25 |
| Shrubs | 48 | 48+ |
| Coverage area | 4,000 square feet | 4,000 + square feet |

It can be found that the submitted Landscape Plan (Exhibit C) meets and/or exceeds both the frontage landscaping requirements along the site’s four frontages, and the parking area planter requirements for interior landscaping within the proposed parking area.

Access

Vehicular Access

Of the site’s four street frontages, the submitted site plan shows a total of three accesses to the subject site: a single driveway off of Niantic Street on the site’s easterly frontage, a single driveway off of Beatty Street on the site’s westerly frontage, and a single driveway off of Maple Street on the site’s southeasterly frontage. As per the Public Works Report (Exhibit I), the driveway construction will be required to comply with driveway access standards found in MLDC 10.550.

Pedestrian Access

The submitted site plan shows pedestrian walkways connecting the building’s entrance with the public sidewalks along all four of the site’s frontages, consistent with Pedestrian Walkway provisions found in MLDC 10.772-776.

Concealments

Trash Enclosure

The submitted site plan identifies a proposed trash receptacle located at the northeast corner of the site, and the submitted trash enclosure elevation plan (Exhibit F) shows the trash receptacle enclosed and concealed with a concrete masonry wall consistent with the requirements of MLDC 10.781.

Architecture

The applicant's submitted narrative (Exhibit G) describes the building's proposed architecture and exterior treatments, and how they fit with and complement adjacent buildings and development, as the following:

Building shapes reflect multiple breaks and shadow lines bringing out a combination of textures and earth tone colors.....In mass it is compatible to the big box neighbors of New Stage Collision and Les Schwab Tires. But the project's attention to design and landscape makes it an appropriate buffer to a mixed-use are in transition.

Bufferyard

Bufferyards are utilized in order to provide aesthetic separation between incompatible uses, and to minimize potential conflicts between the adjacent properties. The subject property is zoned C-H, and abuts property zoned MFR-20 along its northerly border. Per MLDC 10.790(D), a Type A bufferyard consisting of a 6 foot concrete or masonry wall and 10 feet of landscaping composed of a variety of trees and shrubs sufficient to provide effective visual screening between the adjacent properties with dissimilar land uses, is required of the subject development along its northerly lot line.

The submitted Site Plan (Exhibit B) identifies a 6 foot high masonry wall, and the submitted Landscape Plan (Exhibit C) identifies a 10-foot wide bufferyard containing trees and shrubs, consistent with MLDC 10.790(D).

Exception Analysis

Block length

MLDC 10.426, titled *Street Circulation Design and Connectivity*, establishes maximum block and perimeter length. In order to assure that developments will ultimately result in complete blocks bound by a network of public streets, and/or private streets constructed to City Standards, new developments contained within City blocks may be required to dedicate/construct public streets within the development in order to comply with block length standards.

MLDC Table 10.426-1, shown below, lists the applicable block length standards for each zoning district.

| MAXIMUM BLOCK LENGTH AND PERIMETER LENGTH Table 10.426-1 | | |
|--|--------------|------------------------|
| Zone or District | Block Length | Block Perimeter Length |
| a. Residential Zones | 660' | 2,100' |
| b. Central Business Overlay District | 600' | 1,800' |
| c. Transit Oriented Districts (Except SE Plan Area) | 600' | 1,800' |
| d. Neighborhood, Community, and Heavy Commercial Zones; and Service Commercial-Professional Office Zones | 720' | 2,880' |
| e. Regional Commercial and Industrial Zones | 940' | 3,760' |

While the subject site meets the perimeter length requirements for its Heavy Commercial zoning, it does not meet the block length minimum. MLDC 10.426(2) does provide built-in relief for developments that exceed the maximum block and/or perimeter standards, contingent on the applicant effectively demonstrating in their submitted findings that certain constraints and/or conditions exist of which the approving authority may find are acceptable. However, none of the constraints and/or conditions was found to apply to the subject site.

MLDC 10.251 also empowers the approving authority to vary or adapt the strict application of the public improvement and site development standards as contained in Article IV, which include the standards for block length. At the advisement of staff, the applicant formally submitted an Exception application on November 7, 2017. The applicant's findings (Exhibit H) state the following:

A couple of unique factors exist in this proposal and site. First, as noted above, the block and area are fully developed with mature traffic patterns. The impact to this site of creating a through street would eliminate the site's potential to meet the needs of a user for both building and parking requirements. This is additionally impacted by the amount Right-of-Way the city is taking from the site in this process. This new ROW area will enable the city to make any necessary improvements to the traffic and pedestrian network that may arise long term.

Staff concurs with the applicant's findings. The substantial amount of right-of-way dedication required of the development severely limits the amount of developable land on the site needed for the applicant to meet the parking needs of the proposed use, constituting a unique or unusual circumstance which applies to this particular site that would not typically apply to other sites in the City to this degree. It is further staff's view that, given the substantial amount of public street dedications required of the site, requiring an additional dedication for the provision of a public street connection through the property would likewise constitute a peculiar, exceptional, and undue hardship on the owner – potentially rendering the proposed development infeasible. Finally, given the fact that the existing block is located in a core area of the City, which is completely developed and already bound by a network of public streets, it can be found that street connectivity for this City block is already adequately provided for. Therefore, the Exception request can be granted in keeping with the purpose and intent of

MLDC 10.426 in assuring that developments will ultimately result in complete blocks bound by a network of public streets.

Accessway

Per MLDC 10.464, the purpose of accessways is to provide safe and convenient pedestrian and bicycle access within developments, and are reserved for situations where street connections are infeasible or inappropriate. Accessway designs, per MLDC 10.466, require a 12-foot wide right-of-way and an 8-foot wide paved surface. Relief can be granted by the approving authority if it is determined that the construction of a separate accessway is infeasible or inappropriate, but it is the responsible of the applicant to submit findings which effectively demonstrate that such circumstances apply to their development. MLDC 10.464(1) reads as follows:

(1) Accessways shall be provided for cul-de-sacs, long blocks or dead-end streets except when the approving authority determines based on evidence in the record, that construction of a separate accessway is infeasible or inappropriate. Such evidence may consist of the following:

(a) when other federal, state or local requirements prevent construction of an accessway.

(b) when the nature of abutting existing development makes construction of an accessway impractical.

(c) when the accessway would cross a natural area with significant natural habitat and construction would be incompatible with protection of natural values.

(d) when the accessway would cross land designated for flood control or flood hazard and the accessway is incompatible with the designated use.

(e) when the accessway would cross topography where slopes exceed 30% or where path grade would exceed 12% slope except when construction of a crossing structure is found to be feasible; or

(f) when a cul-de-sac or dead-end street abuts rural resource land in farm use at an urban growth boundary, except where the adjoining land is designated as an urban reserve area.

[Added. Section 10. Ord. No. 7629. May 5, 1994.]

In addressing MLDC 10.464(1) above, the applicant's submitted findings state the following:

As pointed out above the mature nature of this transportation grid already creates a well-connected street network. The intention of the Accessway is to provide access where none naturally exists. For example, an accessway at the end of a cul-de-sac provides the ability for a pedestrian or cyclist to have connection to a more efficient route to their neighborhood or commercial destination. In this case the existing network serves the area and the proposed development provides no barrier for pedestrian or bike traffic. As you will note on our plan we have provided a pedestrian way through our development on the North side of the building from Beatty Street to Niantic Street.

The accessway as defined in 10.466 is impractical in this development. This development is already providing a zone buffer on the North side of the property. The addition of another 12 feet for a accessway creates a 22-foot-wide area at the North end of the property that burdens with no benefit to the owner. Additionally, this space would reduce at least 22 parking spaces from the development. With the taking of additional ROW and the zone buffer the site has been impacted on all sides

This development will house approximately 160 employees. We have worked diligently to provide adequate parking for the staff and clients of this facility so we are not having our parking needs spilling out on to the surrounding streets. The loss of 22 spaces would significantly change this plan.

Staff concurs with the applicant's findings. The proposed development will house approximately 160 employees, requiring a substantial amount of area to meet parking demands. It is the view of staff that, as the applicant has stipulated to reserving a 10-foot wide public pedestrian easement across the site in the interest of providing connectivity, the granting of relief from the strict standards of the Code, in regards to accessway requirements, can be made in keeping with the intent and purpose of the Code; therefore, the requirement of a 12-foot wide right-of-way across the development, per the strict application of the Code, is unnecessary, and would place an undue hardship on the owner.

Facility Adequacy

Per the agency comments submitted to staff (Exhibits I-K), it can be found that there are adequate facilities to serve the proposed development.

Other Agency Comments

Medford Fire Department

Per the staff report (Exhibit K), fire apparatus access roads are required to have a minimum unobstructed width of 26 feet in the immediate vicinity of any building or portion of a building more than 30 feet in height. The applicant's submitted elevation plan (Exhibit K) shows the height of the proposed building at 34.5 feet, and the adjacent drive aisle is shown at a width of 24 feet. This was explained to the applicant's agent at the Land Development meeting, and the applicant's agent agreed to modify the plan by adding two additional feet to the drive aisle shown on the plan in order to meet this Fire Code requirement.

As a condition of approval, the applicant will be required to submit a revised site plan showing a 26 foot wide fire apparatus access road consistent with the requirements of the Medford Fire Department, prior to issuance of a building permit for vertical construction.

Committee Comments

No comments were received from committees such as BPAC.

FINDINGS OF FACT

MLDC 10.290

1. *The proposed development is compatible with uses and development that exist on adjacent land;*

The Commission can find that there is sufficient evidence contained in the Applicant's Questionnaire and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

2. *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A. This criterion is satisfied.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibits G and H) and recommends the Commission adopt the findings as recommended by staff.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare the Final Order for approval of AC-17-129/E-17-146 per the staff report dated December 8, 2017, including Exhibits A through K.

EXHIBITS

- A Conditions of Approval, drafted December 8, 2017.
- B Conceptual Grading, Drainage, and Utility Plan, received November 3, 2017.
- C Landscape Plan, received November 3, 2017.
- D Floor Plan (3 of 3), received October 9, 2017.
- E Elevation Plan, received October 9, 2017.
- F Trash Enclosure elevation, received October 9, 2017.
- G Applicant's Narrative, Questionnaire, and Findings of Fact, received October 9, 2017
- H Applicant's Findings of Fact (Exception request), received December 5, 2017.
- I Public Works staff report, received November 29, 2017.
- J Medford Water Commission memorandum & map, received November 29, 2017.
- K Medford Fire Department report, received November 29, 2017.
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA

EXHIBIT A

Options for Southern Oregon
AC-17-129 / E-17-146
Conditions of Approval
December 8, 2017

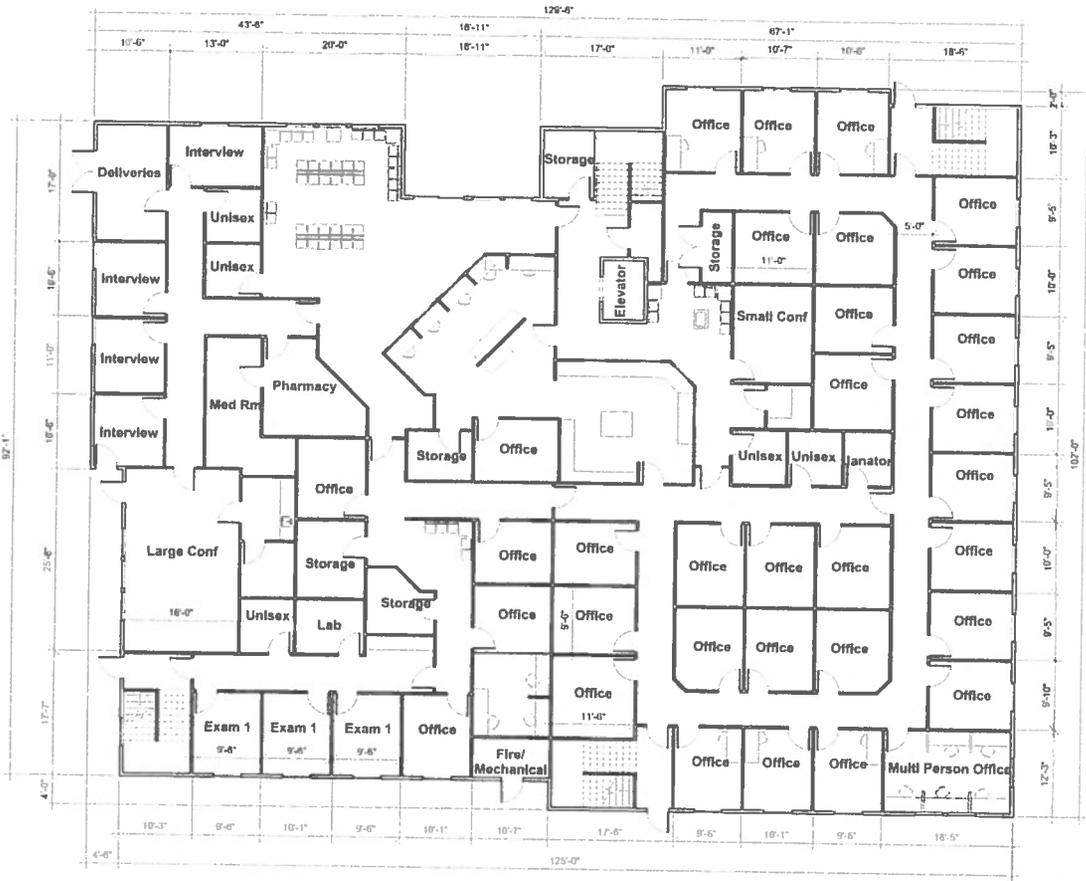
CODE REQUIRED CONDITIONS

Prior to the issuance of a building permit for vertical construction, the applicant shall:

1. Comply with all conditions stipulated by the Public Works Department (Exhibit I).
2. Comply with all conditions stipulated by the Medford Water Commission (Exhibit J).
3. Submit a revised site plan showing a 26-foot wide fire apparatus access road consistent with the requirements of the Medford Fire Department (Exhibit K).

DISCRETIONARY CONDITIONS

4. Provide documentation to staff of a 10-foot wide pedestrian walkway easement across the property as shown on the site plan, provided for public use in perpetuity, and recorded on deeds.



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

General Notes

Shane Earp, P.E.
Structural Integrity, LLC
724 Main St., Suite 214
Klamath Falls, OR 97601
(541) 884-1081 (office)

| No. | Revision/Issue | Date |
|-----|----------------|------|
| | | |

Richard Ward Associates
1312 FOSTER WAY
GRANTS PASS, OR
541-476-7218

Options Central
700 N CENTRAL
MEDFORD, OR

| | |
|---------|---------|
| Project | |
| Date | |
| Scale | 1" = 1' |

PLANNING DEPT

OCT 09 2017

RECEIVED



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

General Notes

Shane Earp, P.E.
Structural Integrity, LLC
724 Main St., Suite 214
Klamath Falls, OR 97601
(541) 884-1081 (office)

| No. | Revision/Issue | Date |
|-----|----------------|------|
| | | |

Preparer and Address

RICHARD WARD
ASSOCIATES
1312 FOSTER WAY
GRANTS PASS, OR
541-476-7218

Project Name and Address

OPTIONS CENTRAL
700 N CENTRAL
MEDFORD, OR

Project: _____
Date: _____
Scale: 1/8" = 1'

PLANNING DEPT

DEC 09 2017

RECEIVED

General notes

Shane Earp, P.E.
Structural Integrity, LLC
724 Main St., Suite 214
Klamath Falls, OR 97601
(541) 884-1081 (office)

| No. | Revision/Issue | Date |
|-----|----------------|------|
| | | |

Architect Name and Address
RICHARD WARD
ASSOCIATES
1312 FOSTER WAY
GRANTS PASS, OR
541-476-7218

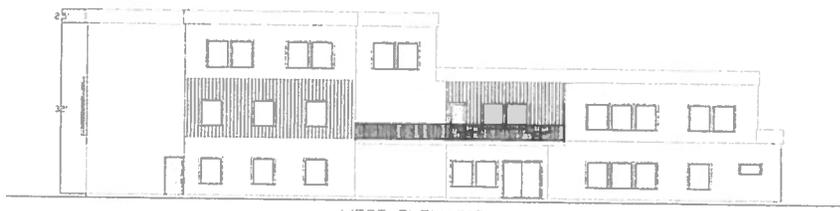
Project Name and Address
OPTIONS CENTRAL
700 N CENTRAL
MEDFORD, OR

| Author | Check |
|--------|-------|
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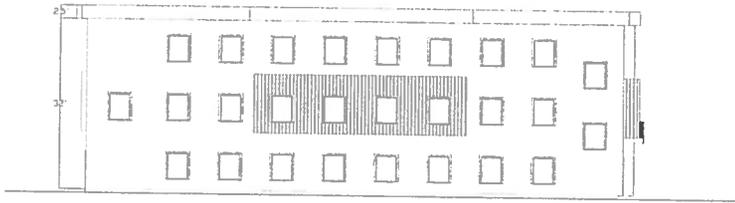
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OCT 09 2017

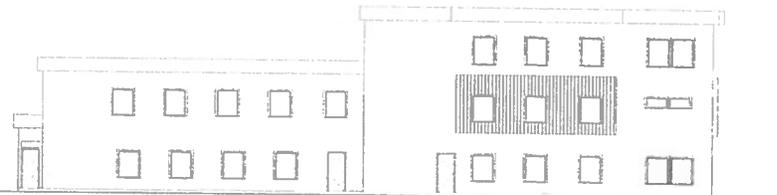
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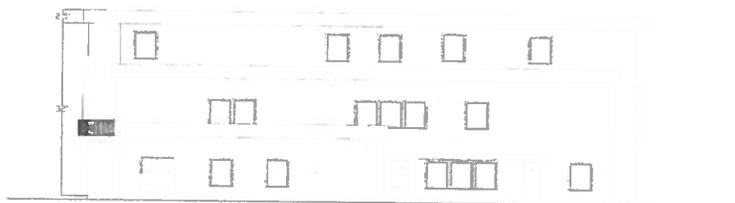
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

1 1/2" DIA. X 18" LONG CANE BOLT
PROVIDE STL ANGLE BACKING

2" X 1/8" MTL SUPPORT
STRAP, PAINT TO MATCH CMU

4" x 6" x 1/4" TS
CAPPED AT
TOP-PAINT
(TYP)

CONC. FOOTINGS

3/4" PIPE SET INTO
12" SQ X 12" DEEP
CONC. FOOTING

CORRUG
GALV. M
18 GA.

8" SPLI
CMU WA

+6'-0"
T.O.M.

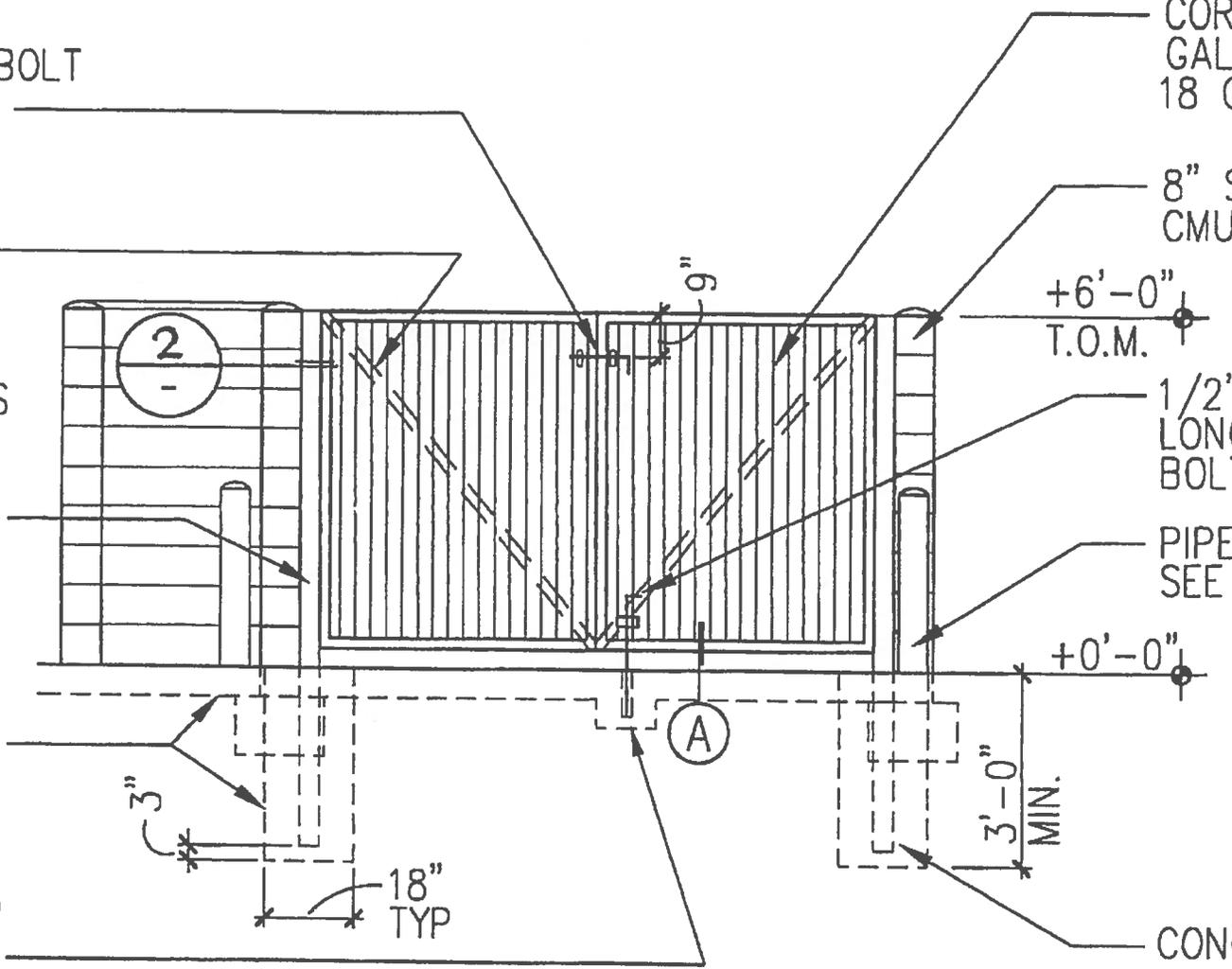
1/2" DIA
LONG C/
BOLT

PIPE BO
SEE 20,

+0'-0"

3'-0"
MIN.

CONC. F



ASH ENCLOSURE ELEVATION

Narrative

Section 1:

Options for Southern Oregon is a regional provider of behavioral health service for both adults and children. This facility will be the hub for Jackson County services. The staff is comprised of therapist, case managers, skill trainers and other medical personal.

Section 2 A/C:

The site was selected for its accessibility and visibility in the core of Medford. The project needs to be easily definable. The design goal is to provide an exterior that is inviting and relaxed, while not pretentious. Those being served need to view the building not as another institutional barrier in their lives. Building shapes reflect multiple breaks and shadow lines bringing out a combinations of textures and earth tone colors.

B: The previous use of this property was an auto dealership. The proposal softens the impact to the remaining residential properties through a greater commitment to landscaping and the building placement is more centrally placed.

D: The clients of Options are largely dependent on public transportation. The site was selected for its proximity to a bus stop. We are providing walk ways for both our clients and the immediate neighborhood to easily move about.

E: Options has learned from other facilities that there needs to be a balance between being inviting and creating the opportunity for loitering. The landscape plan does not have grass areas and the benches that will be provided are designed to discourage napping. It is important to provide a pleasant place to wait for a ride. We will have several bench locations to disperse people from unwanted interactions.

F: The site is bordered by city streets on three sides with ingress and egress from three locations. The interior circulation is inter-connected to all access points.

G: The landscape plan notes the existence of several street trees that are small and were not well cared for and are not of any significance.

H: Underwater detention is being met by bio-swales. The landscape plan has fully planted these areas with appropriate plants. (See plan)

I: The landscape plan seeks to buffer and soften the appearance of the project, but more importantly for this client population it needs to be an exterior articulation to put the client at ease.

J: Parking lot lighting is of great importance to both the safety of the client as well as the staff. Using some of the existing lighting poles along with new interior locations we will provide adequate coverage using directional LED lighting.

K: There will be a monument sign on the corner of Central and Maple. This sign will be addressed by separate permit.

L: Planning has requested a six foot CMU wall be constructed along the west property line as a buffer to remaining residential. This is the only proposed fencing.

M: This project produces minimal noise. It is an office building with daytime and some evening hours.

N: We are pleased to bring this project to this location. In mass it is compatible to the Big Box neighbors of New Stage Collision and Les Schwab Tires. But the projects attention to design and landscape makes it an appropriate buffer to a mixed use area in transition.

O/P: The project is addressing a pedestrian walkway between Niantic and Beatty Streets, as well as, a six foot ??wall. The Applicant is also dedicating additional right of way for the widening of Maple Street to the east. We would request that the landscape needed on the west side be either eliminated or reduced to maximize needed parking.

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

1. The proposed development is compatible with uses and development that exist on adjacent land, and
2. The proposed development complies with the applicable provisions of all city ordinances, or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in Section 10.253.

The proposed development is compatible with the area. The project is bordered on most of three sides by other commercial uses. The North border of the project is residential. We have a residential buffer along that line with a fence and extra landscaping. Additionally, this site has historically been a commercial site. The new development through architecture, parking, and landscaping will greatly improve the aesthetic appearance of this site.

Summary

The access and circulation patterns around this development are mature and provide adequately for the needs of the area. The proposed development enhances this by providing visibility and access from Beatty to Niantic. The intent of the requirement to create a formal accessway is to provide access to pedestrians and cyclists where none naturally exists, or the road network inhibits their ability to move efficiently. This development as proposed will improve the accessibility, visibility, and appearance of the area for the residents and business in the surrounding neighborhood.

Criteria 1:

The intent and purpose of the block length ordinance is to ensure that new developments will ultimately result in complete blocks bound by a network of public streets (10.426), and this proposed development is in a city block which is already completely developed and built out. The proposed development will improve the traffic and pedestrian flow.

Criteria 2:

The use proposed is congruent with the code and is not changed by this exception.

Criteria 3:

A couple of unique factors exist in this proposal and site. First, as noted above, the block and area are fully developed with mature traffic patterns. The impact to this site of creating a through street would eliminate the sites potential to meet the needs of a user for both building and parking requirements. This is additionally impacted by the amount Right-of-Way the city is taking from the site in this process. This new ROW area will enable the city to make any necessary improvements to the traffic and pedestrian network that may arise long term.

Within the proposed development we are providing a pedestrian walkway across the site to enhance connectivity. Additionally, this development is a single structure with great ability to move and see through the site. Unlike a development that could have multiple structures this plan provides a clean site with a clear visual corridor between streets that will be a long-term asset in this community.

Criteria 4:

The need for this exception is not the result of an illegal act. The impact though of the ROW dedication, the zone buffer, and the block length requirements are unduly restrictive to one site. The loss of parking spaces that would result in having to construct a new road connection or formal Accessway would be detrimental. The proposed plan includes the following impacts already.

- 10-foot Zone Buffer North property line.
- 26.5 feet of additional ROW on South property line along Maple St.
- 11.5 feet of additional ROW on East property line along Niantic St.
- 1.5 feet of additional ROW on West property line along Beatty St.

Accessway

This development does exceed the block length, but not the block perimeter requirements. The code in 10.464 Accessways states *the purpose of an accessway is to provide safe and convenient pedestrian and bicycle access within and from new subdivisions, planned unit developments, shopping centers and industrial parks to nearby residential areas, transit stops and neighborhood activity centers such as schools, parks and shopping. A well connected street network is the primary means of providing this access. Accessways are reserved for situations where street connections are*

infeasible or inappropriate.

As pointed out above the mature nature of this transportation grid already creates a well-connected street network. The intention of the Accessway is to provide access where none naturally exists. For example, an accessway at the end of a cul-de-sac provides the ability for a pedestrian or cyclist to have connection to a more efficient route to their neighborhood or commercial destination. In this case the existing network serves the area and the proposed development provides no barrier for pedestrian or bike traffic. As you will note on our plan we have provided a pedestrian way through our development on the North side of the building from Beatty Street to Niantic Street.

(1) Accessways shall be provided for cul-de-sacs, long blocks or dead-end streets except when the approving authority determines based on evidence in the record, that construction of a separate accessway is infeasible or inappropriate. Such evidence may consist of the following:

(b) when the nature of abutting existing development makes construction of an accessway impractical.

The accessway as defined in 10.466 is impractical in this development. This development is already providing a zone buffer on the North side of the property. The addition of another 12 feet for a accessway creates a 22-foot-wide area at the North end of the property that burdens with no benefit to the owner. Additionally, this space would reduce at least 22 parking spaces from the development. With the taking of additional ROW and the zone buffer the site has been impacted on all sides

This development will house approximately 160 employees. We have worked diligently to provide adequate parking for the staff and clients of this facility so we are not having our parking needs spilling out on to the surrounding streets. The loss of 22 spaces would significantly change this plan.



Medford – A fantastic place to live, work and play

CITY OF MEDFORD

LD Date: 11/29/2017

File Number: AC-17-129/E-17-146

PUBLIC WORKS DEPARTMENT STAFF REPORT

700 N Central Avenue
Options for Southern Oregon

Project: Consideration of a proposal for the development of a single 2.49-acre lot, consisting of the construction of an 11,990 square foot building to be used as commercial offices for Options of Southern Oregon, along with an Exception request to exceed the maximum block length standards as required per MLDC 10.426-1

Location: The property is located at 700 N. Central Avenue in the Heavy Commercial (C-H) zoning district (372W24DD TL 9900).

Applicant: Applicant, Options for Southern Oregon; Agent, Richard Ward Associates; Planner, Dustin Severs.

NOTE: The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention.
- Completion of all public improvements, if required. The applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements will need to be approved by the Public Works Engineering Division prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas.
- Certification by the design engineer that the stormwater quality and detention system was constructed per the approved plan.
- Completion of all public improvements, if applicable.

P:\Staff Reports\AC\2017\AC-17-129_E-17-146 700 N Central Ave (Options for Southern Oregon)\AC-17-129_E-17-146 Staff Report-LD.docx

Page 1

PUBLIC WORKS DEPARTMENT
ENGINEERING & DEVELOPMENT DIVISION

200 S. IVY STREET
MEDFORD, OREGON 97501
www.ci.medford.or.us

TELEPHONE (541) 774-2100
FAX (541) 774-2552

CITY OF MEDFORD

EXHIBIT # I

File # AC-17-129/E-17-146

A. STREETS

1. Dedications

North Central Avenue classified as a Major Arterial Street within the Medford Land Development Code (MLDC) Section 10.428. **No additional right-of-way is required.**

Beatty Street, Maple Street and Niantic Street are classified as Commercial streets within the MLDC, Section 10.429. The developer shall dedicate for public right-of-way, sufficient width of land along the entire frontage of this development to comply with the half width of right-of-way, which is 31.5-feet. **The Developer's surveyor shall verify the amount of additional right-of-way required.** The right-of-way dedication for Maple Street shall be in alignment with the centerline of the right-of-way to the east of the site.

In accordance with MLDC 10.471, **the property owner shall dedicate a 10-foot wide public utility easement (PUE)** adjacent to the right-of-way along this Developments respective frontages.

The easement dedication shall be submitted directly to the Engineering Division of the Public Works Department. The submittal shall include: the easement dedication, including an exhibit map; a copy of a current Lot Book Report, Preliminary Title Report, or Title Policy; a mathematical closure report (if applicable), and the Planning Department File Number; for review and City Engineer acceptance signature prior to recordation by the applicant. Releases of interest shall be obtained by holders of trust deeds or mortgages on the PUE area.

2. Public Improvements

a. Public Streets

North Central Avenue – All street section improvements, with the exception of a planter strip, have been completed in close conformance with current standards, including pavement, curb and gutter, street lights, and sidewalks. **No additional public improvements are required.**

Beatty Street, Maple Street & Niantic Street – All street section improvements (with the exception of a planter strip along Maple Street and Niantic Street), have been completed in close conformance with current standards, including pavement, curb and gutter, and sidewalks. **No additional improvements are required.**

NOTE: All projects subject to Site Plan and Architectural Review shall be required per MLDC 10.501 (6), as a condition of approval, to repair all frontage sidewalks as determined by the Engineering Division. When attached as a condition of approval of a Site Plan and Architectural Review application the sidewalk maintenance procedures set forth in Chapter 3, Section 3.025, Notice on Hearing of City Repair of Sidewalks, through 3.035, Notice of Sidewalk Repair, are hereby superseded.

b. Street Lights and Signing

No additional street lights or signs are required.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer's contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided by Medford Public Works Department and paid for by Developer.

c. Pavement Moratoriums

There is a pavement cutting moratorium currently in effect along this frontage to North Central Avenue, which is set to expire July 15th, 2020. No other pavement moratoriums are in effect along the other respective frontages.

d. Access and Circulation

All driveway accesses shall be designed in accordance with MLDC 10.550.

North Central Avenue is classified as a Major Arterial Street. In accordance with MLDC 10.550, there shall be no access onto North Central Avenue. The existing driveway cut shall be removed and replaced with full height curb and sidewalk.

Regarding the Exception request:

- The existing block length on Niantic Street, between Maple Street and Edwards Street, is approximately 960-ft which exceeds the maximum of 720-ft for Heavy Commercial zones.
- The existing block perimeter on Niantic Street, Edwards Street, Beatty Street, North Central Avenue, and Maple Street is approximately 2,680-ft, which is less than the maximum of 2,880-ft for Heavy Commercial zones.
- MLDC 10.426 requires a public street or an interior access road open to public use somewhere on the northern portion of the site.
- If the commission approves the exception request, public works recommends that the application be conditioned to provide a public accessway in conformance with Section 10.464 through 10.466.
- The public pedestrian easement shown on the submitted site plan does not meet the public accessway requirements of 10.464 through 10.466.

3. Section 10.668 Analysis

To support a condition of development that an Applicant dedicates land for public use or provide a public improvement, the Medford Code requires a nexus and rough proportionality analysis which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

10.668 Limitation of Exactions

Notwithstanding any other provisions of this Chapter 10, an applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless:

(1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose and that there is a rough proportionality between the burden of the exaction on the developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or

(2) a mechanism exists and funds are available to fairly compensate the applicant for the excess burden of the exaction to the extent that it would be a taking.

1. Nexus to a legitimate government purpose

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, emergency services and pedestrians. Further, these rights-of-way are used to provide essential services such as sanitary sewer, domestic water and storm drains to serve the developed parcels. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

2. Rough proportionality between the dedications and improvements, and the impacts of development.

No mathematical formula is required to support the rough proportionality analysis. Furthermore, benefits to the development resulting from the dedication and improvements when determining “rough proportionality” have been considered, including but not limited to: increased property values, intensification of use, as well as connections to municipal services and the transportation network.

As set forth below, the dedication recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development.

Beatty Street, Maple Street & Niantic Street

Local street right-of-way dedication and construction requirements identified by the Public Works Department and required by the City are the minimum required to protect the public interest and are necessary for additional or densification of development in the City without detracting from the common good enjoyed by existing properties.

Dedication of the PUE will benefit development by providing public utility services, which are out of the roadway and more readily available to each lot or building being served. The additional traffic of all modes of travel generated by this proposed development supports the dedication and improvements for all modes of travel and utilities. The area required to be

dedicated for this development is necessary and roughly proportional to that required in similar developments to provide a transportation system that meets the needs for urban level services.

B. SANITARY SEWERS

The proposed development is situated within the Medford sewer service area. The Developer shall provide one separate individual service lateral to the site or ensure that the site is served by an individual service lateral. All unused laterals adjacent and stubbed to the development shall be capped at the main.

C. STORM DRAINAGE

1. Drainage Plan

A comprehensive drainage plan showing the entire project site with sufficient spot elevations to determine direction of runoff to the proposed drainage system, and also showing elevations on the proposed drainage system, shall be submitted with the first building permit application for approval.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

All private storm drain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729.

4. Certification

Upon completion of the project, and prior to certificate of occupancy of the building, the Developer's design engineer shall certify that the construction of the stormwater quality and detention system was constructed per plan. Certification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

5. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

D. GENERAL CONDITIONS

1. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans. Pre-qualification is required of all contractors prior to application for any permit to work in the public right-of-way.

Contractors proposing to do work on public streets, sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit from the County.

For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and stormdrain mains be inspected by video camera prior to acceptance of these systems by the City.

Where applicable, the developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

2. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of Certificate of Occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

3. System Development Charges (SDC)

Buildings in this development are subject to street, sanitary sewer collection and treatment SDCs. All SDC fees shall be paid at the time individual building permits are issued.

Prepared by: Doug Burroughs

SUMMARY CONDITIONS OF APPROVAL

700 N Central Avenue

Options for Southern Oregon

AC-17-129/E-17-146

A. Streets

1. Street Dedications to the Public:

- **N. Central Avenue** – No additional right-of-way required.
- **Beatty Street, Maple Street & Niantic Street** – Dedicate additional right-of-way.
- Dedicate 10-foot Public Utility Easement (PUE) along all respective frontages.

2. Improvements:

Public Streets

- **N. Central Avenue** improvements have been completed, aside from 10-foot planter strip.
- **Beatty Street, Maple Street & Niantic Street** – No additional improvements are required.

Lighting and Signing

- No additional street lights are required.

Access and Circulation

- All driveway accesses shall be designed in accordance with MLDC 10.550.
- No direct access onto N. Central Avenue. The existing driveway cut shall be removed and replaced with full height curb and sidewalk.
- An Exception has been requested to block length (MLDC 10.426), see Traffic Department comments outlined in the report under “2. d. Access and Circulation”.

Other

- There is a pavement cutting moratorium currently in effect on N Central Avenue, which is set to expire July 15th, 2020.

B. Sanitary Sewer:

- Ensure or construct separate individual sanitary sewer connection.
- Cap remaining unused laterals at the main.

C. Storm Drainage:

- Provide a comprehensive grading and drainage plan.
- Provide water quality and detention facilities, calculations and O&M Manual.
- Provide Engineers certification of stormwater facility construction.
- Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

- = City Code Requirement
- = Discretionary recommendations/comments

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.

P:\Staff Reports\AC\2017\AC-17-129_E-17-146 700 N Central Ave (Options for Southern Oregon)\AC-17-129_E-17-146 Staff Report-LD.docx

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PUBLIC WORKS DEPARTMENT
ENGINEERING & DEVELOPMENT DIVISION

200 S. IVY STREET
MEDFORD, OREGON 97501
www.ci.medford.or.us

TELEPHONE (541) 774-2100
FAX (541) 774-2552



BOARD OF WATER COMMISSIONERS

Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: AC-17-129 & E-17-146

PARCEL ID: 372W24DD TL 9900

PROJECT: Consideration of a proposal for the development of a single 2.49-acre lot, consisting of the construction of an 11,990 square foot building to be used as commercial offices for Options of Southern Oregon, along with an Exception request to exceed the maximum block length standards as required per MLDC 10.426-1. The property is located at 700 N. Central Avenue in the Heavy Commercial (C-H) zoning district (372W24DD TL 9900); Applicant, Options for Southern Oregon; Agent, Richard Ward Associates; Planner, Dustin Severs.

DATE: November 29, 2017

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. The existing 1-1/2-inch water meter located along Niantic Street is required to be abandoned.
4. The existing 4-inch Fire Service and Vault located along Niantic Street are required to be abandoned.
5. Installation of proposed 2-inch water meter, fire service, and fire hydrant along the west side of Niantic Street is required. Applicant's civil engineer shall coordinate with MWC engineering department for water facility layout and separation requirements of water facilities.
6. Installation of Pressure Reducing Valve is required to be installed behind water meter to building. See attached document from the City of Medford Building Department "Policy on Installation of Pressure Reducing Valves".
7. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35>.

Continued to next page



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8. Dedication of a 10 foot wide (minimum) access and maintenance easement to MWC over all water facilities located outside of public right-of-way is required. Easement shall be submitted to MWC for review and recordation prior to construction.

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is not required.
3. Static water pressure is approximately 98 psi. (See Condition 6 above)
4. MWC-metered water service does exist to this property. There is an existing 1-1/2-inch water meter along the west side of Niantic Street that served the previous Lithia Honda Dealership. (See Condition 3 above)
5. Access to MWC water lines is available. There is an 8-inch water line located in N Central Avenue, a 10-inch water line in Niantic Street, and a 6-inch water line in Beatty Street.



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Dustin Severs

LD Meeting Date: 11/29/2017

From: Greg Kleinberg

Report Prepared: 11/28/2017

Applicant: Applicant, Options for Southern Oregon; Agent, Richard Ward Associates

File #: AC - 17 - 129

Associated File #'s: E - 17 - 146

Site Name/Description: Options of Southern Oregon

Consideration of a proposal for the development of a single 2.49-acre lot, consisting of the construction of an 11,990 square foot building to be used as commercial offices for Options of Southern Oregon, along with an Exception request to exceed the maximum block length standards as required per MLDC 10.426-1. The property is located at 700 N. Central Avenue in the Heavy Commercial (C-H) zoning district (372W24DD TL 9900); Applicant, Options for Southern Oregon; Agent, Richard Ward Associates; Planner, Dustin Severs.

DESCRIPTION OF CORRECTIONS

REFERENCE

Requirement FIRE HYDRANTS

OFC

508.5

Fire hydrants with reflectors will be required for this project.

Fire hydrant locations shall be as follows: Approved as submitted on plans.

The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Requirement FD APPARATUS ACCESS ROAD DESIGN

OFC

503.2.1

Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches. The required width of a fire apparatus access road shall not be obstructed in any manner, including parking of vehicles. Minimum required widths and clearances established under section 503.2.1, shall be maintained at all times. The fire apparatus access road shall be constructed as asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 60,000 pounds.

(See also OFC 503.4; D102.1)

The turning radius on fire department access roads shall meet Medford Fire Department requirements (OFC 503.2.4).

Requirement AERIAL APPARATUS ACCESS

OFC

D105

It appears the plans do not meet the following requirement.

SECTION D105-AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 Where required. Buildings or portions of buildings or facilities exceeding 30 feet (9144 mm) in height above

CITY OF MEDFORD

EXHIBIT # K

File # AC-17-129/E-17-146



Medford Fire Department

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LAND DEVELOPMENT REPORT - PLANNING

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Report Prepared: 11/28/2017

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File #: AC - 17 - 129

Associated File #'s: E - 17 - 146

Site Name/Description: Options of Southern Oregon

the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway.

D105.2 Width. Fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm) in the immediate vicinity of any building or portion of building more than 30 feet (9144 mm) in height.

D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building.

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.



City of Medford

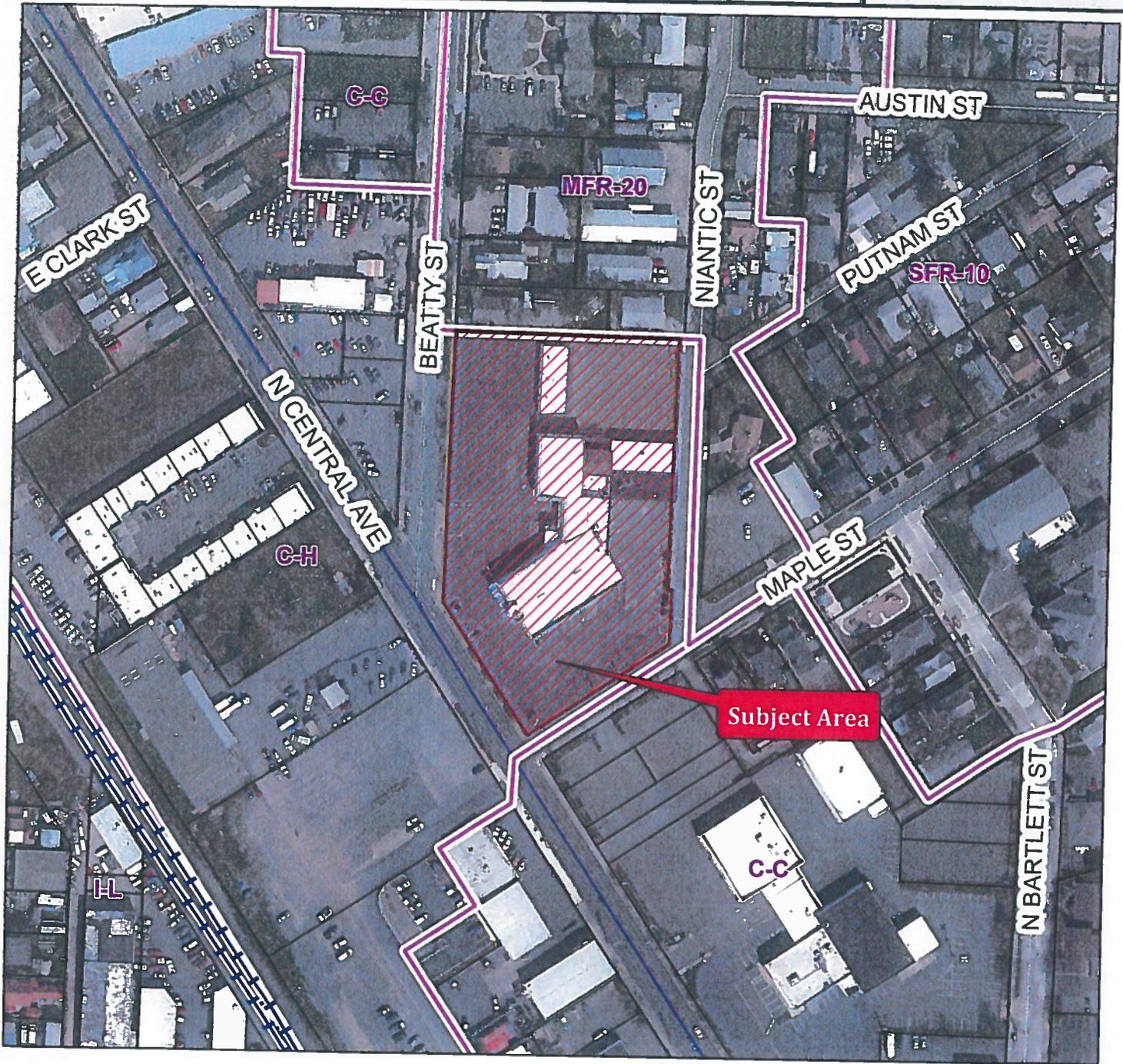
Planning Department

Vicinity
Map

File Number:

AC-17-129

E-17-146



Project Name:

Options for Southern Oregon

Map/Taxlot:

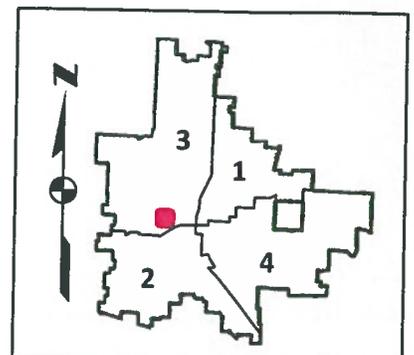
372W24DD TL 9900



11/14/2017

Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots





STAFF REPORT

for a Type-C quasi-judicial decision: Site Plan and Architectural Review

PROJECT South Medford Center – Building B
 Applicant: Galpin Gang LLC; Agent: Ron Grimes Architects

FILE NO. AC-17-135

TO Site Plan and Architectural Review Commission for December 15, 2017 hearing

FROM Dustin Severs, Planner III

REVIEWER Kelly Akin, Assistant Planning Director

DATE December 8, 2017

BACKGROUND

Proposal

Consideration of a proposal for the construction of a 7,200 square foot multi-tenant commercial building to be located within Phase I of the South Medford Center, a commercial and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 3604, 4708, 4802).

Vicinity Map



Subject Site Characteristics

Zoning: Regional Commercial (C-R)
GLUP: Commercial (CM)
Overlay(s): Freeway
Use: Vacant

Surrounding Site Characteristics

North Zone: SFR-4 (Single-Family Residential - four dwelling units per gross acre)
Use(s): I-5 and residential developments

South Zone: SFR-00 (Single-Family Residential – 1 dwelling unit per existing lot)
Use(s): vacant land

East Zone: SFR-00
Use(s): vacant land

West Zone: (C-R)
Use(s): Marriot Hotel, Walmart, Rogue Credit Union, multi-tenant commercial.

Related Projects

ZC-16-77 Zone Change
AC-16-138 Site Plan Approval
LDP-17-131 Partition

Applicable Criteria

Medford Land Development Code Section 10.290 – Site Plan & Architectural Review Criteria

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) The proposed development is compatible with uses and developments that exist on adjacent land; and*
- (2) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

ISSUES AND ANALYSIS

Background

History

The subject site consists of three contiguous tax lots totaling 6.6 gross acres located off of the South Medford I-5 interchange at the intersection of Garfield Street and Center Drive, and is currently vacant. The applicant applied for a rezoning of the property from SFR-00 to its current C-R (Regional Commercial) zoning classification, receiving approval on September 22, 2016 (ZC-16-77).

Once the property obtained the necessary zoning for the proposed commercial use, a site plan and architectural review application was submitted for the development of the site as the future location of Southside Center, a commercial and retail center. Phase I consists of two buildings: a 9,113 square foot *Cracker Barrel* restaurant, and an 8,880 square foot multi-tenant commercial building (AC-16-138). The site plan for Phase I (Exhibit S) identified three additional future buildings: a 7,200 square foot building identified as Pad B, a 6,660 square foot building identified as Pad D, and an area located along the frontage of Center Drive identified as Pad C, proposed as a future fast food restaurant with a drive thru. Southside Center – Phase I was approved by the Commission on January 20, 2017.

While the future buildings were included in the applicant's parking calculations, their review by the Site Plan and Architectural Commission (SPAC) were not a part of the application. The applicant was required to submit separate applications for the future buildings, including the submittal of full architectural plans, allowing SPAC to review the compatibility criterion for the future buildings.

During the SPAC review of the project, it was determined that tax lots 4802 and 4708 of subject site were not legally created. Both lots are remnant parts that were broken off from larger parcels which were eventually abandoned by the previous owners. In order to incorporate the two tax lots into the proposed development, the applicant was required to consolidate the three subject lots, effectively bringing the lots into legal conformity. Consolidating the lots will also be necessary in order to meet building setback requirements. Therefore, as a condition of approval, the applicant was required to be granted approval for a Property Line Adjustment - consolidating the three subject lots into a single parcel - prior to the issuance of a building permit for vertical construction. A determination was later made by City staff that a partition plat would need to be created as part of the process of consolidating the lots. The applicant submitted an application for a partition plat on October 16, 2017, which is currently under review.

PROJECT HISTORY SUMMARY TABLE

| FILE # | DATE | DESCRIPTION |
|---------------|----------------|--|
| ZC-16-77 | September 2016 | Zone Change from SFR-00 to C-R |
| AC-16-138 | January 2016 | SPAC approval for Southside Center Phase I |
| BP-17-1842 | December 2017 | Building permit for Cracker Barrel |
| LDP-17-131 | October 2017 | Proposed Partition Plat |

Project Update

The applicant has submitted a building permit for the construction of the 9,113 square foot (Building E) commercial building, which was approved as part of Phase I. The building will be a *Cracker Barrel* restaurant, and the approval process for its building permit was recently completed.

Current Proposal

As required with the SPAC approval of Phase I, the applicant is now requesting approval for the construction of Building B. The subject request involves a single 7,200 square foot multi-tenant commercial building. The submitted floor plan (Exhibit H) shows the building composed of three individual units. At the time of this writing, prospective tenants have not been confirmed by the applicant.

The general site plan for the overall development has already been approved by SPAC, with the subject application required simply in order to review the architecture of Building B; however, the applicant has also included a few slight modifications to the overall development with this application from what was previously approved. The changes include the following:

- Modified parking lot layout; reduced number of parking spaces.
- Relocation of trash enclosure.
- Addition of 5-foot CMU wall to rear of buildings A and B to conceal electrical meters.
- 6,500 square foot future building identified for Pad C (driveway no longer shown).
- Modified landscaping.

Parking

PARKING TABLE

| | Required Min/Max | Approved | Proposed |
|--------------------------|-----------------------------|-----------------|-----------------|
| Total Spaces | 281/339 | 355 | 326 |
| Accessible Spaces | 8 | 14 | 12 |
| Bicycle Spaces | 36/33 | 36 | 36 |

The applicant proposes to reduce both the number of total parking spaces and accessible parking spaces for the development, while maintaining the number of proposed bicycle spaces.

The submitted site plan identifies a total of 326 proposed parking spaces, meeting the minimum required spaces for the entire site, per Medford Land Development Code (MLDC) Section 10.741. Additionally, the site plan includes the requisite number, location, and dimensions of accessible parking spaces and bicycle parking spaces as outlined in the Code.

As not all of the prospective tenants within the development have been confirmed, the parking calculations for the development were based on projections made by the applicant for the likely uses and sizes of the buildings and their individual leasing units. However, the future tenants will be required to obtain business licenses, at which point the Planning Department staff will determine compliance with the parking requirements.

Landscaping

LANDSCAPE TABLE - Frontage Landscaping (10.797)

| Garfield Street | Required | Shown |
|------------------------|-----------------|--------------|
| Trees | 29 | 31 |
| Shrubs | 182 | 191 |

| Center Drive | Required | Shown |
|---------------------|-----------------|--------------|
| Trees | 12 | 13 |
| Shrubs | 75 | 81 |

LANDSCAPE TABLE – Parking Area Planters (10.746(3))

| | Required | Shown |
|----------------------|-------------------|---------------------|
| Trees | 38 | 39 |
| Shrubs | 75 | 81 |
| Coverage area | 6,791 square feet | 6,791 square feet + |

It can be found that the submitted Landscape Plan (Exhibit C) meets and/or exceeds the frontage landscaping and parking lot planter requirements per MLDC 10.797 and 10.746(3).

The subject Landscape Plan shows landscaping in different locations from the Landscape Plan that was previously approved with the Southside Center – Phase I application. The changes are slight, and meet all minimum standards per the Code.

Architecture

The applicant's submitted narrative (Exhibit M) describes the building's proposed architecture and exterior treatments, and how they fit with and complement adjacent buildings and development, as the following:

We are proposing a building built with a material palette very similar to the previously approved Building A, including Cement Plaster, Cultured Stone Veneer, Metal Siding and structural steel detailing with a powder coat finish. Aluminum storefront glazing systems will be used throughout.

Although these are not large buildings (all less than 10ksf), facades are broken up by the use of offsets and changes in plane. Finish materials with different textures and colors are used to accentuate changes in plane, create shadow lines and visual interest, especially where also appropriate for functional reasons such as defining entries, store limits and outdoor areas, and creating signage opportunities.

Concealments

Trash Enclosure

The submitted site plan (Exhibit B) includes a proposed trash enclosure elevation plan showing the trash receptacle concealed behind a concrete masonry wall, consistent with the requirements of MLDC 10.781.

HVAC

The submitted roof plan (Exhibit K) shows the HVAC and mechanical units for the buildings located on the building roofs, and the submitted elevation plan (Exhibit I) shows the use of a parapet style low slope roof construction to conceal the rooftop mounted equipment, consistent with the requirements of MLDC 10.782.

Public Improvements

Per the agency comments submitted to staff (Exhibits N-Q), including the Rogue Valley Sewer Service (RVSS) report (Exhibit Q), it can be found that there are adequate facilities to serve the proposed development.

Other Agency Comments

Oregon Department of Transportation (ODOT)

Per the email received by staff (Exhibit R), the applicant will be required to obtain permits from ODOT for any landscaping or utilities proposed to be located within the ODOT right-of-way.

As a condition of approval, the applicant will be required to comply with all requirements of the Oregon Department Transportation, prior to the issuance of a building permit for vertical construction.

Committee Comments

No comments were received from committees such as BPAC.

FINDINGS OF FACT

MLDC 10.290

1. *The proposed development is compatible with uses and development that exist on adjacent land;*

The Commission can find that there is sufficient evidence contained in the Applicant's Questionnaire and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

2. *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A. This criterion is satisfied.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit M) and recommends the Commission adopt the findings as submitted.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare the Final Order of AC-17-135 per the staff report dated December 8, 2017, including Exhibits A through S.

EXHIBITS

- A Conditions of Approval drafted December 8, 2017.
- B Site Plan received October 25, 2017.
- C Landscape Plan received October 25, 2017.
- D Irrigation Plan received October 25, 2017.
- E Conceptual Grading and Drainage Plan received October 25, 2017.
- F Utility Plan received October 25, 2017.
- G Stormwater Facility Plan received October 25, 2017.
- H Floor Plan received October 25, 2017.
- I Elevation Plan received October 25, 2017.
- J Elevation drawings (2 of 2) received October 25, 2017.
- K Roof Plan received October 25, 2017.
- L Tentative Partition Plat received October 25, 2017.

- M Applicant’s Narrative, Questionnaire, and Findings of Fact received October 25, 2017.
- N Public Works staff report received November 29, 2017.
- O Medford Water Commission and Facility Map received November 29, 2017.
- P Medford Fire Department report received November 29, 2017.
- Q Rogue Valley Sewer Services (RVSS) report received November 16, 2017.
- R Oregon Department of Transportation email received December 6, 2017.
- S Approved Site Plan for Southside Center Phase I (AC-16-138), approved January 20, 2017.
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:

December 15, 2017

EXHIBIT A

South Medford Center – Building B
AC-17-135
Conditions of Approval
December 8, 2017

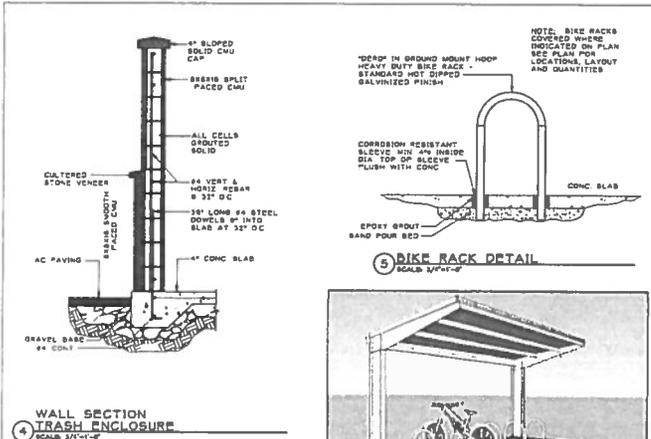
CODE REQUIRED CONDITIONS

Prior to the issuance of the first building permit for vertical construction, the applicant shall:

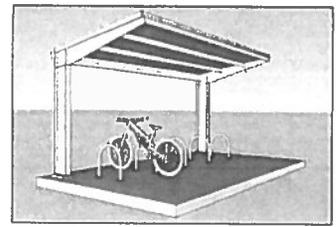
1. Comply with all conditions stipulated by the Medford Water Commission (Exhibit O).
2. Comply with all requirements of the Medford Fire Department (Exhibit P).
3. Comply with all conditions stipulated by the Rogue Valley Sewer Services (Exhibit Q).

DISCRETIONARY CONDITONS

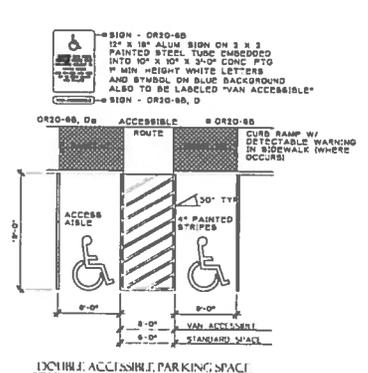
4. Comply with all requirements of the Oregon Department of Transportation (Exhibit R).



4 WALL SECTION TRASH ENCLOSURE
SCALE: 3/8"=1'-0"

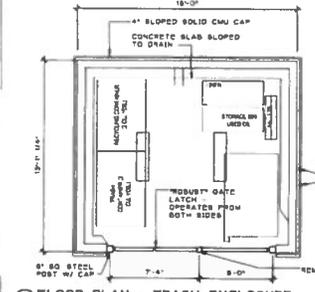


7 ISOMETRIC VIEW COVERED BICYCLE PARKING SPACE
SCALE: N.T.S.

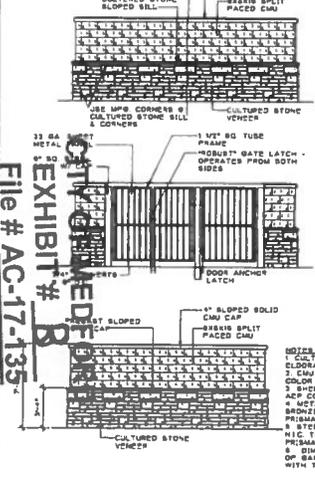


8 DOUBLE ACCESSIBLE PARKING SPACE
SCALE: N.T.S.

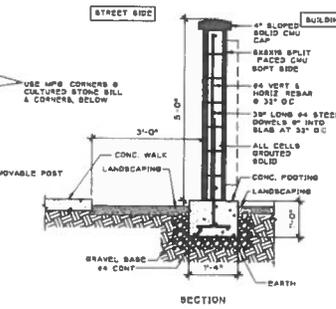
6 HC PARKING DETAIL
SCALE: N.T.S.



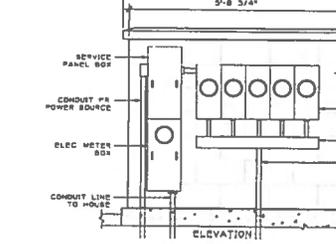
5 FLOOR PLAN - TRASH ENCLOSURE
SCALE: 1/4"=1'-0"



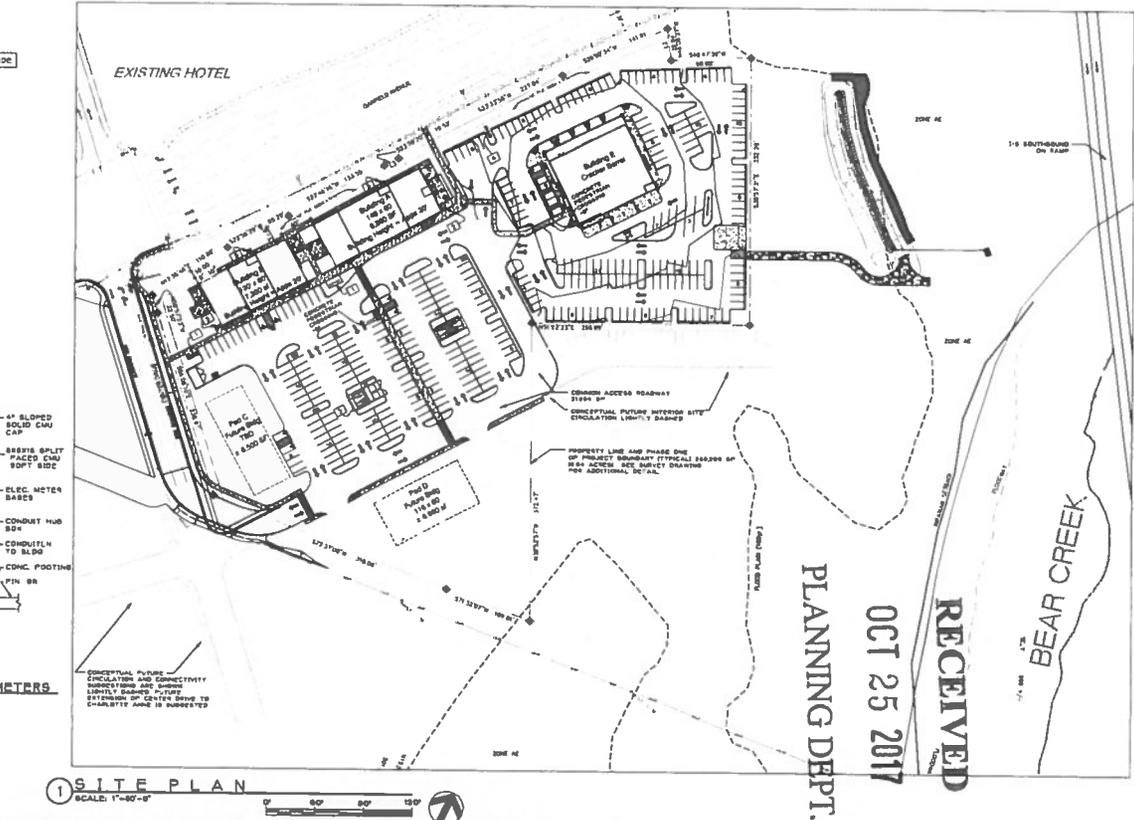
2 ELEVATION - TRASH ENCLOSURE
SCALE: 1/4"=1'-0"



SECTION



ELEVATION



1 SITE PLAN
SCALE: 1"=80'-0"

PHASE ONE LAND AREA
PL ADJUSTED TL 3804 288 208 SF (8.84 ACRES)

PARKING SUMMARY

| | | | |
|-------------------------|---|-----------------------------|-------------|
| BLDG A: | MULTI-TENANT COMMERCIAL BUILDING (8,880 SF) | BUILDING AREA (Commercial): | 3,200 SF |
| | | PARKING REQUIRED: | 15 16 MAX |
| | | BUILDING AREA (RR): | 2,820 SF |
| | | PARKING REQUIRED: | 24 29 MAX |
| | | BUILDING AREA (RR): | 3,000 SF |
| | | PARKING REQUIRED: | 27 33 MAX |
| PAD B: | MULTI-TENANT COMMERCIAL BUILDING (7,200 SF) | BUILDING AREA (Commercial): | 2,172 SF |
| | | PARKING REQUIRED: | 10 12 MAX |
| | | BUILDING AREA (RR): | 4,862 SF |
| | | PARKING REQUIRED: | 44 54 MAX |
| PAD C: | FUTURE RR (6.9ac) | LAND AREA: | 47,563 SF |
| | | PARKING REQUIRED: | 55 72 MAX |
| PAD D: | MULTI-TENANT COMMERCIAL BUILDING (9,900 SF) | BUILDING AREA (Commercial): | 9,913 SF |
| | | PARKING REQUIRED: | 32 38 MAX |
| BUILDING E: | RESTAURANT (CRACKER BARREL) | BUILDING AREA: | 8,113 SF |
| | | PARKING REQUIRED: | 81 100 MAX |
| TOTAL PARKING REQUIRED: | | | 289 356 MAX |
| TOTAL PARKING PROVIDED: | | | 328 |

HANDICAPPED PARKING REQUIRED: 12
HANDICAPPED PARKING PROVIDED: 12

BICYCLE PARKING REQUIRED: (10%) 38 (50% COVERED)
BICYCLE PARKING PROVIDED: 38 (50% COVERED)

NOTE: TWENTY (20) COVERED PARKING SPACES ARE PROVIDED WHERE SHOWN IN ADDITION TO UNCOVERED UNCOVERED BICYCLE PARKING RACKS TWO (2) AT THE END OF BUILDING A, (2) AT THE WEST END OF BUILDING B, AND ONE (1) AT EACH END OF FUTURE BUILDINGS C and D.

DRAWING INDEX:

| | |
|--------|--------------------------------|
| AS-1.0 | Site Plan and Details |
| R-1.0 | Building Renderings |
| R-1.1 | Building Renderings |
| A-1.0 | Building Floor Plan |
| A-2.0 | Building Roof Plan |
| A-3.0 | Building Elevations |
| LA-1.0 | Landscape + Planting Plan |
| C1r | Site Grading and Drainage Plan |
| C2r | Site Sewer and Water Plan |
| S1 | Pyton Sign |

- KEYED NOTES:**
- 1 BICYCLE RACKS - 3 COVERED - 10 BICYCLE PARKING (SEE 11A8-11B)
 - 2 BICYCLE RACKS - 2 NOT COVERED - 4 BICYCLE PARKING
 - 3 TRASH ENCLOSURE SEE 3A8-11B
 - 4 SHOPPING CENTER FLOOR SIGN, 30" TALL, 180" BY 180" PER AC 18'-10"
 - 5 8" HIGH CMU WALL FOR ELECTRICAL METERS (SEE DETAIL 6A8-11B)



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SOUTH SIDE CENTER
GARFIELD AT CENTER DRIVE
MEDFORD OREGON

REVISIONS

| NO. | BY | DATE |
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| | | |

FILE 1311 - SITE PLAN
DATE: 10-18-17
SCALE: AS SHOWN
DRAWN: BW/PC
JOB #: 1311
SHEET AS-1.0

RECEIVED
OCT 25 2017
PLANNING DEPT.

EXISTING HOTEL

GARFIELD AVENUE

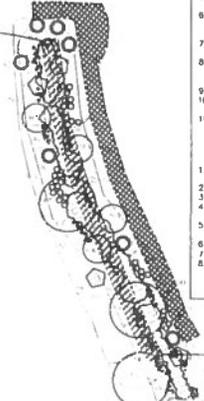
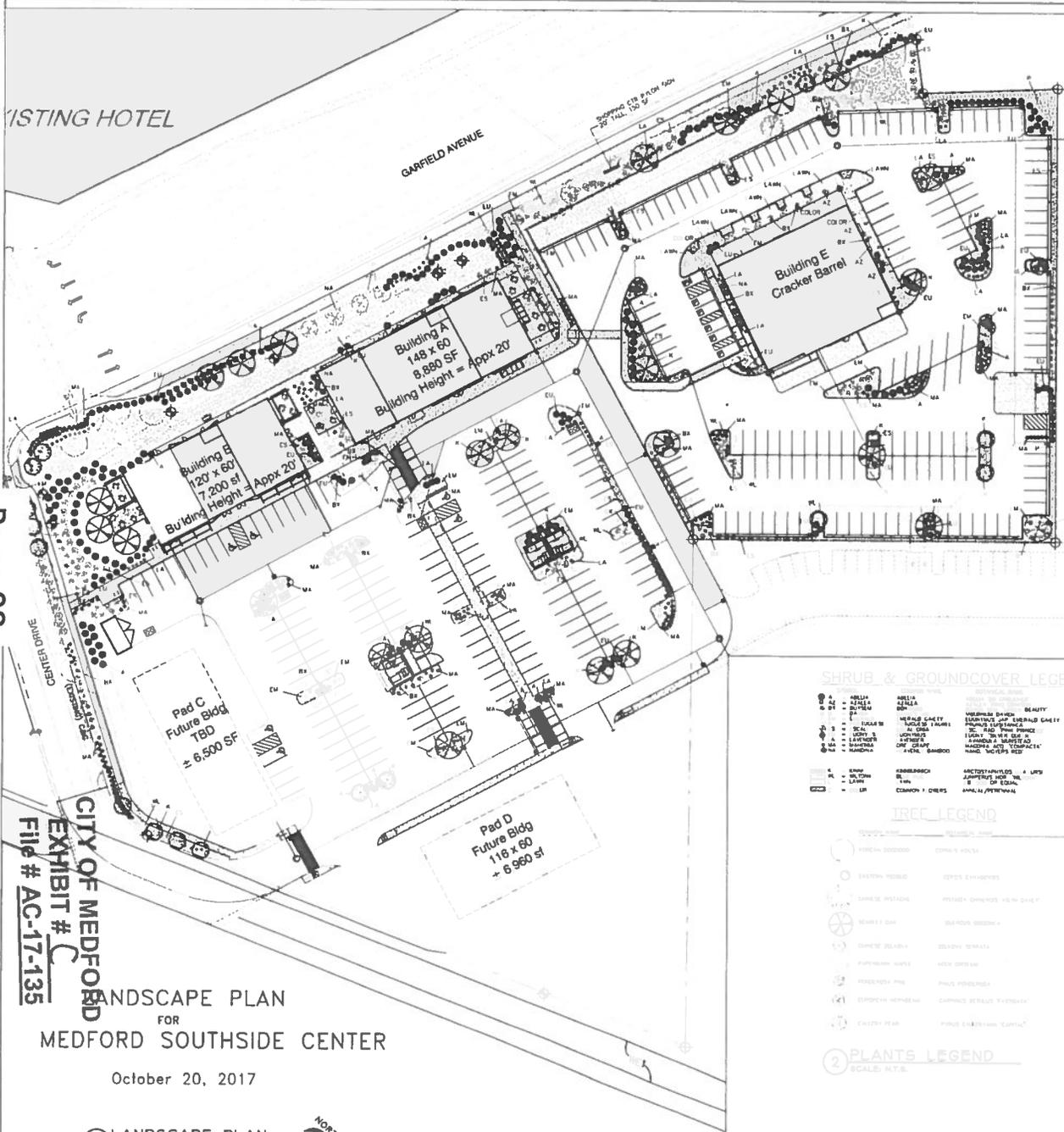
Page 98

CITY OF MEDFORD
EXHIBIT # C
FILE # AC-17-135

LANDSCAPE PLAN FOR MEDFORD SOUTHSIDE CENTER

October 20, 2017

1 LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



- LANDSCAPE NOTES:**
- 0" 70/30 BLEND TOPSOIL/COMPOST IN SHRUB BEDS
 - 4" BARK MULCH IN ALL SHRUB BEDS
 - 8" 70/30 BLEND TOPSOIL/COMPOST IN ALL LAWN AREAS
 - DRIP IRRIGATION IN ALL PARKING LOT AND BUILDING PLANTERS NOT IRRIGATED WITH SPRAY ZONES
 - 1-1/2 GPH EMITTER PER SHRUB 2-1/2 GPH EMITTERS PER TREE
 - LATERAL LINE SIZE SHALL BE SUCH THAT VELOCITIES SHALL NOT EXCEED 5 FT/SEC AT ANY TIME
 - DRIP ZONE "RANDOM XZ 075 DRP ZONE" WITH MEDIUM FLOW REGULATOR & FILTER
 - USE DEEP ROOT (12" - 2' ROOT BARRIERS OR EQUAL ON ALL ISLES WITHIN 3'-0" OF HANDSCAP
 - ALL DECIDUOUS TREES ARE 1 3/4" CALIPER
 - STRUCTURAL SOIL SHALL BE UTILIZED WHERE NECESSARY TO MEET SECTION 10.760 G TO SOILS SPECIFIED EXCEED SOIL PREP REQUIRED - SECTION 10.760 G 9 6

- WORK BY OTHERS**
- PROVIDE SUBGRADE FREE OF SHALE, CONCRETE, ASPHALT, REBARING PURLIN, ETC.
 - IRRIGATION SOURCE SHALL BE 80 PSI MINIMUM
 - PROVIDE 110 V. TO CONTROL/IR-RIG HANDS IN
 - PROVIDE SLEEVES WITH IN HAND "MINI ACLS 12-IN" DEEP, CAP ON TAPE ENDS
 - ENDS OF ALL SLEEVES FOR LANDSCAPE CONTRACTOR
 - 2" SLEEVES FOR LOT AND BUILDINGS
 - SLEEVES 1 IN DIA. AND 50M MARKS
 - STRUCTURAL SOIL SHALL BE PER CITY OF MEDFORD REQUIREMENT OF TWO CUBIC FEET OF SOIL VOLUME PER EACH SQUARE FOOT OF THE CANOPY AT VARIETY-CANOPY HOLD ON PLAN MAXIMUM DEPTH OF THREE FEET

LANDSCAPE SQUARE FOOTAGE

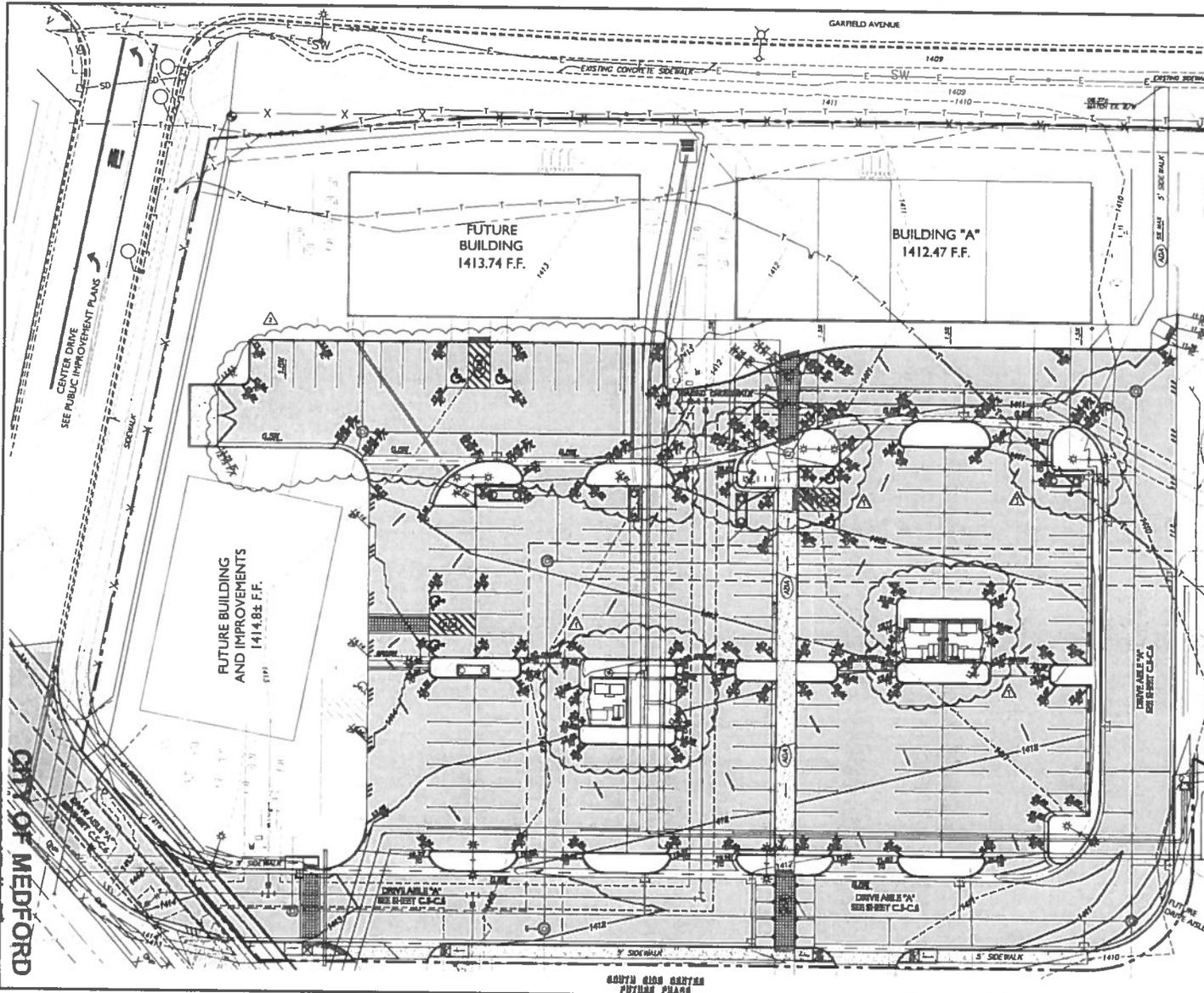
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|-------------------------|-----------------|
| PARKING LOT ISLANDS | 5,580 SF |
| STREET FRONTAGE LS | 20,853 SF |
| ALONG GARFIELD ST | LENGTH = 729 LF |
| STREET FRONTAGE LS | 2,280 SF |
| ALONG CENTER DR | LENGTH = 285 LF |
| TOTAL LANDSCAPE AREA | 45,468 SF |
| TOTAL HIGH WATER USE LS | 4,318 SF |
| PERCENTAGE 4,318/45,468 | 10.67 % |

SHRUB & GROUND COVER LEGEND

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| TR93 | TR93 | TR93 | TR93 | TR93 | TR93 |
| TR94 | TR94 | TR94 | TR94 | TR94 | TR94 |
| TR95 | TR95 | TR95 | TR95 | TR95 | TR95 |
| TR96 | TR96 | TR96 | TR9 | | |



EMBANKMENT CONSTRUCTION NOTES:

1. PRIOR TO THE CONSTRUCTION OF EMBANKMENTS, THE CONTRACTOR SHALL EXCAVATE UNDESIRABLE FOUNDATION MATERIAL, BASEMENTS, BRICKS, AND HOLES EXCEPT WHERE NEARBY EMBANKMENT LIMITS SHALL BE FILLED WITH APPROVED MATERIAL. PRIOR TO BACKFILLING THE CONTRACTOR SHALL BREAK UP AND REMOVE THE EXISTING SURFACE EXCEPT WHERE EMBANKMENT MATERIAL IS PLACED. THE NATURAL GROUND UNDERLYING EMBANKMENTS SHALL BE COMPACTED TO THE DENSITY SPECIFIED FOR THE EMBANKMENT MATERIAL TO BE PLACED.
2. EMBANKMENT CONSTRUCTION SHALL INCLUDE PREPARATION OF THE AREAS UPON WHICH EMBANKMENTS ARE PLACED. THE PREPARATION AND CONSTRUCTION OF APPROVED EMBANKMENT MATERIAL AND FILLING OF HOLES, PITS, AND OTHER DEPRESSIONS WITHIN THE SUBSECTION.
3. THE CONTRACTOR SHALL PLACE EMBANKMENTS AND FILLS IN HORIZONTAL LAYERS AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
4. EMBANKMENTS SHALL NOT BE CONSTRUCTED WHEN THE EMBANKMENT MATERIAL OR THE FOUNDATION ON WHICH THE EMBANKMENT WOULD BE PLACED IS FROZEN.
5. IMMEDIATELY PRIOR TO COMPLETION OF THE EMBANKMENT, THE CONTRACTOR SHALL CLEAN THE ENTIRE WORK AREA OF DEBRIS AND FOREIGN MATTER.
6. THE MAXIMUM DENSITY OF COMPACTED MATERIALS SHALL BE DETERMINED BY ASTM D 1556.
7. THE CONTRACTOR SHALL COMPACT ALL EMBANKMENTS, FILLS, AND BACKFILLS TO A MINIMUM IN PLACE DENSITY THAT IS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
8. THE CONTRACTOR SHALL WATER THE MATERIALS TO PROVIDE OPTIMUM MOISTURE FOR COMPACTING OF EMBANKMENTS AND BACKFILLS. EMBANKMENT OF BACKFILL MATERIALS SHALL NOT BE PLACED IN FINAL POSITION UNLESS MOISTURE IN EXCESS OF OPTIMUM MOISTURE HAS BEEN REMOVED.
9. IF THE SPECIFIED CONTRACTOR IS NOT OBTAINED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. THE CONTRACTOR MAY BE REQUIRED TO USE A DIFFERENT COMPACTOR PROCEDURE OR APPLY ADDITIONAL COMPACTING EFFORT TO THE REQUIRED DENSITY REGARDLESS OF COMPACTING EFFORT OR, IF NECESSARY, THE GEOTECHNICAL ENGINEER MAY REDUCE THE REQUIRED DENSITY OR DIRECT THAT ALTERNATE MATERIALS BE USED. IN NO CASE SHALL EXCESSIVE OPERATING PRESSURES BE USED. THE CONTRACTOR IS OBLIGATED TO COMPACT THE MATERIAL TO THE SATISFACTION OF THE ENGINEER.
10. ALL EMBANKMENT CONSTRUCTION SHALL CONFORM TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

GEOTECHNICAL NOTES:

1. THE SITE MAY CONTAIN AREAS OF EXISTING UNCOMPACTED FILLS. EXISTING FILLS ARE TO BE REMOVED, SORTED, AND IF SUITABLE, BE PLACED AS ENGINEERED FILLS FOLLOWING THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. SEE GEOTECHNICAL REPORT FOR SPECIFIC RECOMMENDATIONS.
2. ALL EARTHWORK OPERATIONS SHOULD BE OBSERVED BY THE PROJECT GEOTECHNICAL ENGINEER.
3. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE LATEST GEOTECHNICAL REPORT PREPARED BY AGEC AND FOLLOW THE RECOMMENDATIONS CONTAINED WITHIN THE REPORT.

LEGEND:

- CONTOUR INTERVAL = 1'
- INDEX INTERVAL = 5'
- EXISTING GROUND
- PROPOSED GROUND
- DRAINAGE DIRECTION
- INDICATES PROPOSED FINISHED GRADING ELEVATION
- TRANSITION CURB EXPOSURE FROM 6" TO 0"

CONSTRUCTION NOTES:

NOTE (ADA): ALL FLAT WORK, SIDEWALKS AND RAMPS ARE DESIGNED WITH A CROSS SLOPE OF 1:50. THE CONTRACTOR IS RESPONSIBLE TO NOT EXCEED A CROSS SLOPE OF 2:100. ALL ACCESSIBLE PATHS, PARKING SPACES, ETC. SHALL ADHERE TO THE CURRENT ADA STANDARDS FOR ACCESSIBILITY.



| NO. | REVISION | DATE | BY |
|-----|---|----------|--------|
| 1 | REVISED BASH ENCLOSURE LOCATIONS & AFFECTED WALLS | 02/27/17 | D.R.E. |
| 2 | REVISED CURB ELEVATIONS FOR PROPER SLOPES | 02/28/17 | D.R.E. |

CONSTRUCTION ENGINEERING CONSULTANTS, INC.
 SOUTH SIDE CENTER
 ONSITE IMPROVEMENTS
 CIVIL IMPROVEMENTS
 GRADING PLAN

PROJECT NO. 16-19
 DRAWING NO. GRD-01/17



CONSTRUCTION ENGINEERING CONSULTANTS, INC.
 P.O. BOX 1774 • MEDFORD, OREGON 97541
 TEL: (503) 799-8888 • FAX: (503) 799-3130

| DATE | BY | DATE | BY |
|-------|------|-------|------|
| 02/27 | NAME | 02/27 | NAME |
| | DATE | | DATE |
| | DATE | | DATE |
| | DATE | | DATE |



VERIFY SCALES!!!
 1 inch = 50 feet

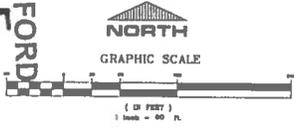
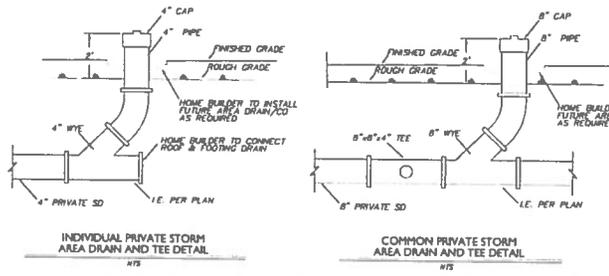
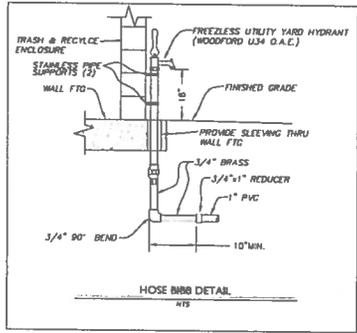
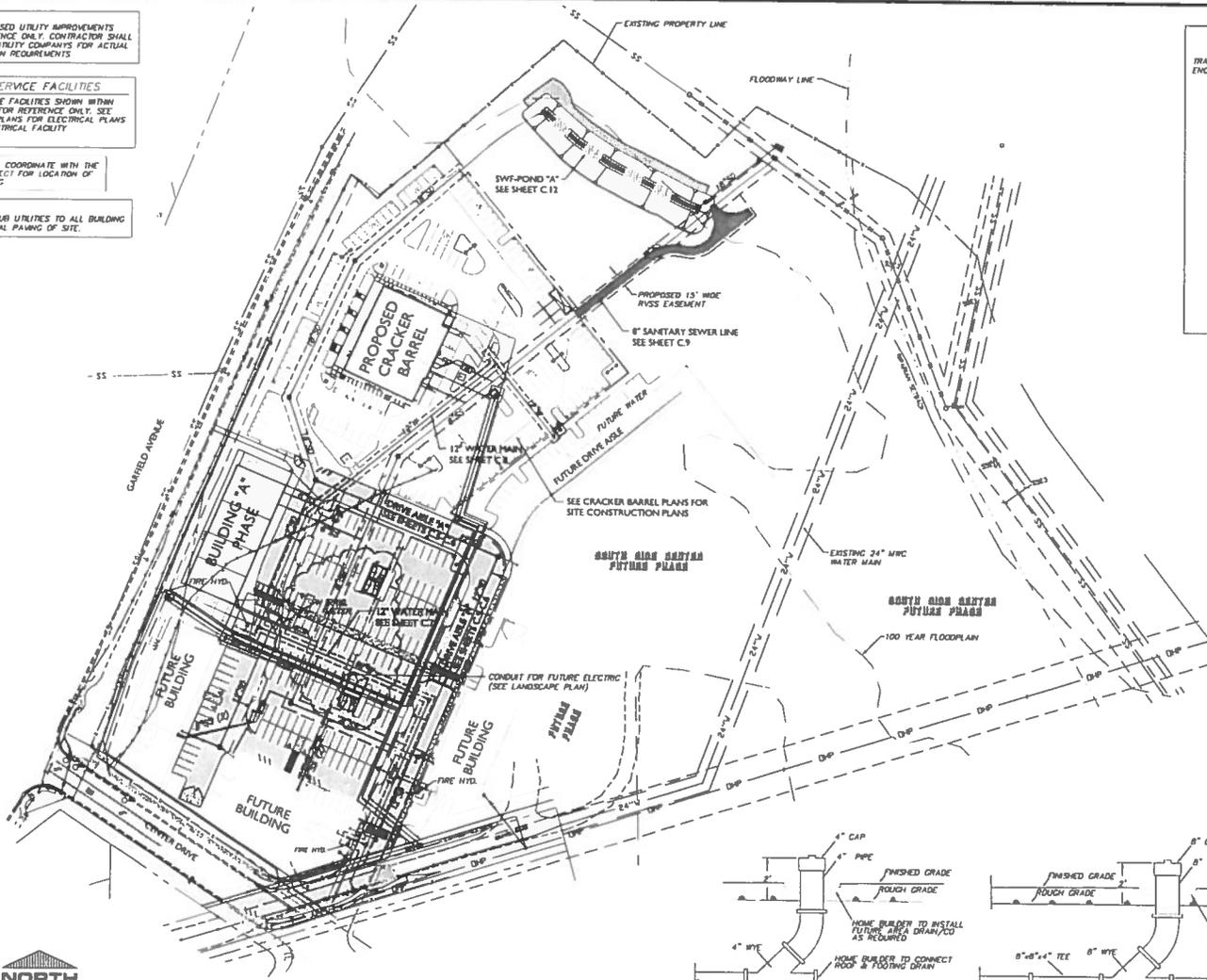
RECEIVED
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NOTE: PROPOSED FRANCHISED UTILITY IMPROVEMENTS SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR ACTUAL UTILITY INSTALLATION REQUIREMENTS.

ELECTRICAL SERVICE FACILITIES
ELECTRICAL SERVICE FACILITIES SHOWN WITHIN THIS PLAN SET IS FOR REFERENCE ONLY. SEE UTILITY COMPANY PLANS FOR ELECTRICAL PLANS AND SPECIFIC ELECTRICAL FACILITY REQUIREMENTS.

CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT FOR LOCATION OF IRRIGATION SLEEVING.

NOTE: CONTRACTOR TO STUB UTILITIES TO ALL BUILDING PADS PRIOR TO FINAL PAVING OF SITE.



NOTE: ALL PRIVATE STORM SYSTEM PIPES SHALL HAVE A MINIMUM SLOPE OF 1/8" AND 2" ANNUAL COVER, UNLESS NOTED OTHERWISE.



| | |
|-------|-------|
| DATE: | 02/17 |
| DATE: | 02/17 |
| DATE: | |
| DATE: | |
| DATE: | |
| DATE: | |

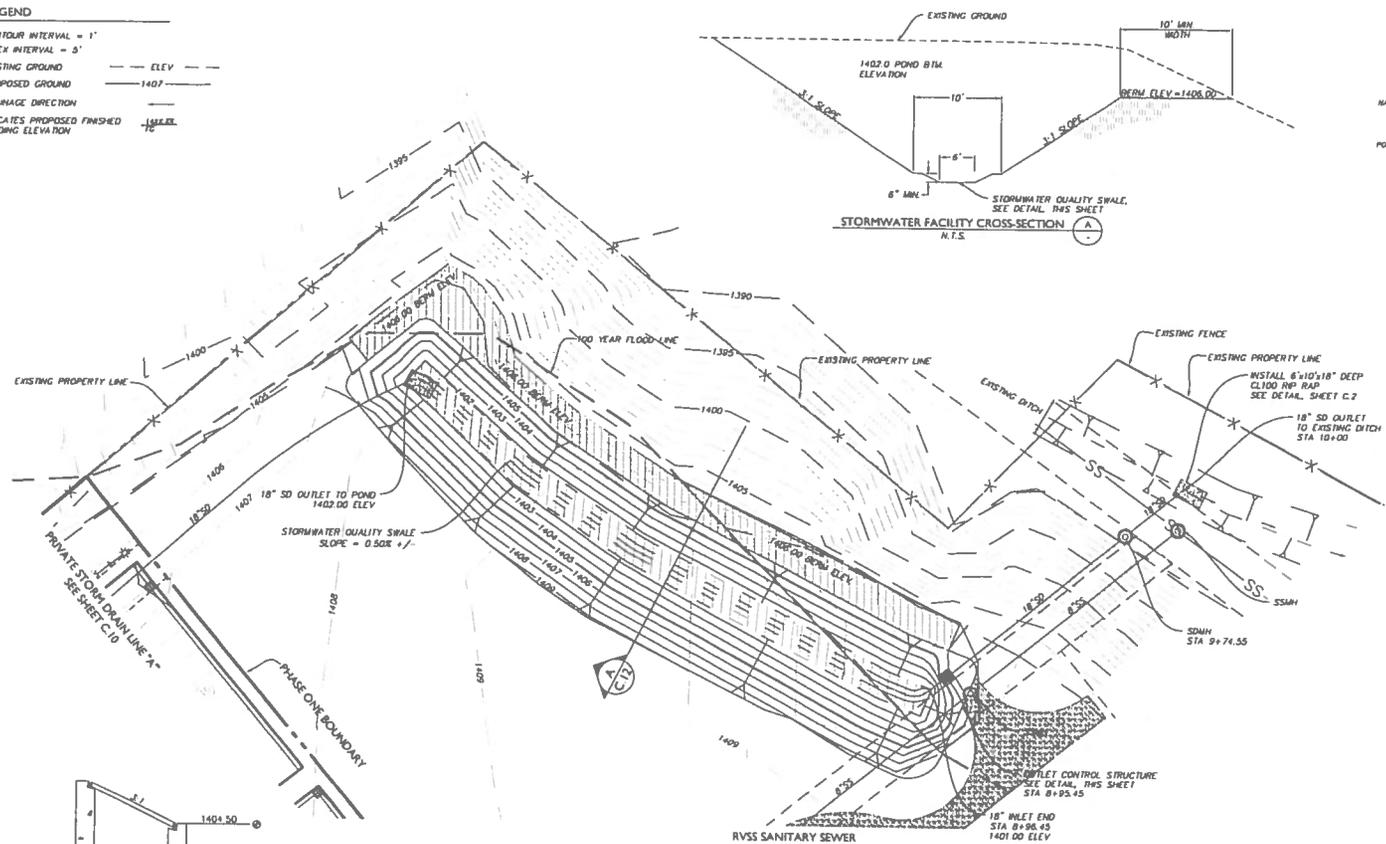


| | | |
|---|-------|-----|
| NO. REVISED | DATE | BY |
| 1 | 02/17 | ELC |
| REMOVED TRASH ENCLOSURE LOCATIONS & AFFECTED UTILITIES | | |
| CONSTRUCTION ENGINEERING CONSULTANTS, INC. | | |
| SOUTH SIDE CENTER ONSITE IMPROVEMENTS CIVIL IMPROVEMENTS OVERALL UTILITY PLAN | | |
| DATE: | 16-19 | |
| DATE: | 02/17 | |
| DATE: | | |
| DATE: | | |

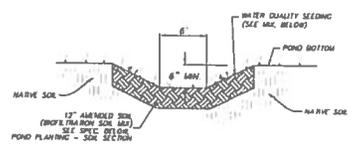
PLANNING DEPT.
001 25 2017

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LEGEND
 CONTOUR INTERVAL = 1'
 INDEX INTERVAL = 5'
 EXISTING GROUND --- ELEV
 PROPOSED GROUND --- 1407
 DRAINAGE DIRECTION ---
 INDICATES PROPOSED FINISHED GRADING ELEVATION ---



STORMWATER FACILITY CROSS-SECTION
N.T.S.



TYPICAL BIO-SWALE SECTION
N.T.S.

BIOTRASH SOIL MIX
N.T.S.

| MEDIA | DESCRIPTION | PERCENTAGE |
|----------|---|--------------------------------|
| SAND | COARSE GRADE WITH AN EFFECTIVE PARTICLE SIZE RANGE OF 0.075-2.00, UNIFORMITY COEFFICIENT OF LESS THAN 4 | 40% |
| POSSIBLE | MANURE, LOAM OR LOAMY SAND, CLAY CONTENT < 5% | 50% IF LOAM, 40% IF LOAMY SAND |
| COMPOST | COARSE COMPOST CONFORMING TO CDOOT SPECIFICATION (DING 104) | 50% IF LOAM, 40% IF LOAMY SAND |

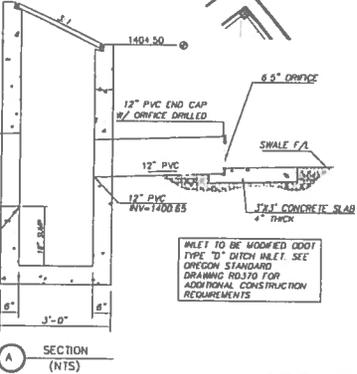
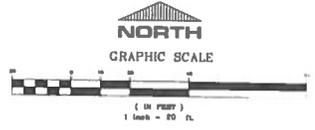
NOTE: AMENDED BIOTRASH SOIL TO HAVE A MINIMUM INFILTRATION RATE OF 8 INCHES PER HOUR

AMENDED SOIL BIOFILTRATION MIX
N.T.S.

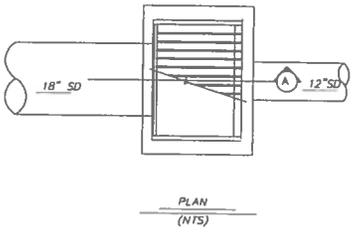
BIOTRASH QUALITY SEED MIX

| BOTANICAL NAME (COMMON NAME) | PLS (%/CALIBRE) |
|---|-----------------|
| BRASSICA CARINATA (CALIFORNIA BROCCOLI) | 15 |
| FESTUCA RUBRA (RED FESCUE) | 25 |
| ELIMIS CLAVATA (BLUE WHEAT) | 25 |
| ANDRIS ELEGANS (SPRUE GRASS) | 20 |
| CE NEIRA ODORENTIALIS (YANNA GRASS) | 15 |

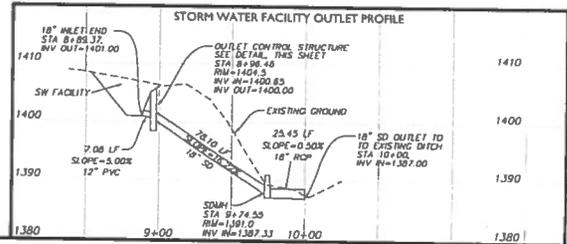
TYPICAL POND / SWALE PLANTING SEED MIX
N.T.S.



OUTLET CONTROL STRUCTURE
N.T.S.



PLAN
(NTS)



| NO | REVISION | DATE | BY |
|----|----------|------|----|
| | | | |
| | | | |

CONSTRUCTION ENGINEERING CONSULTANTS, INC.

SOUTH SIDE CENTER
ONSITE IMPROVEMENTS
CIVIL IMPROVEMENTS

PROJECT NO: 16-19
DRAWING NO: 102-25-102-01
DATE: OCT 25 2017



DATE: 02/17
 DATE: 02/17
 DATE: 02/17
 DATE: 02/17
 DATE: 02/17

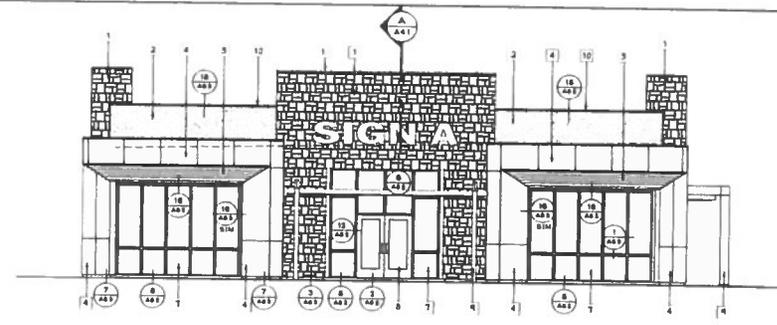
DRAWN BY: MKK
 CHECKED BY: MKK, AMB
 APPROVED: MKK
 APPROVED: AMB
 APPROVED: MKK



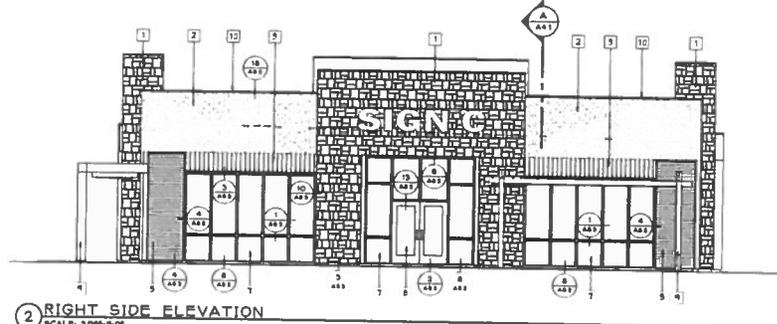
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PLANNING DEPT.

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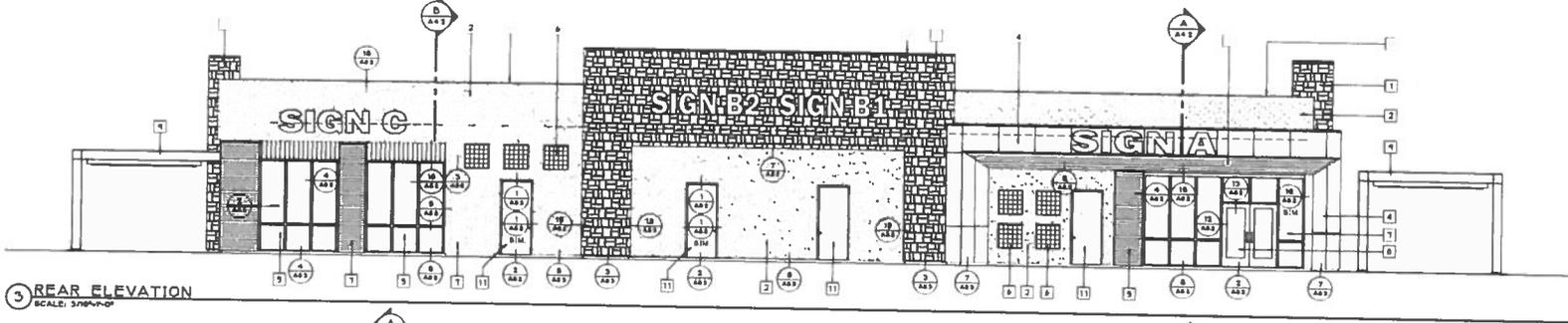
CITY OF MEDFORD
 EXHIBIT # I
 File # AC-17-135



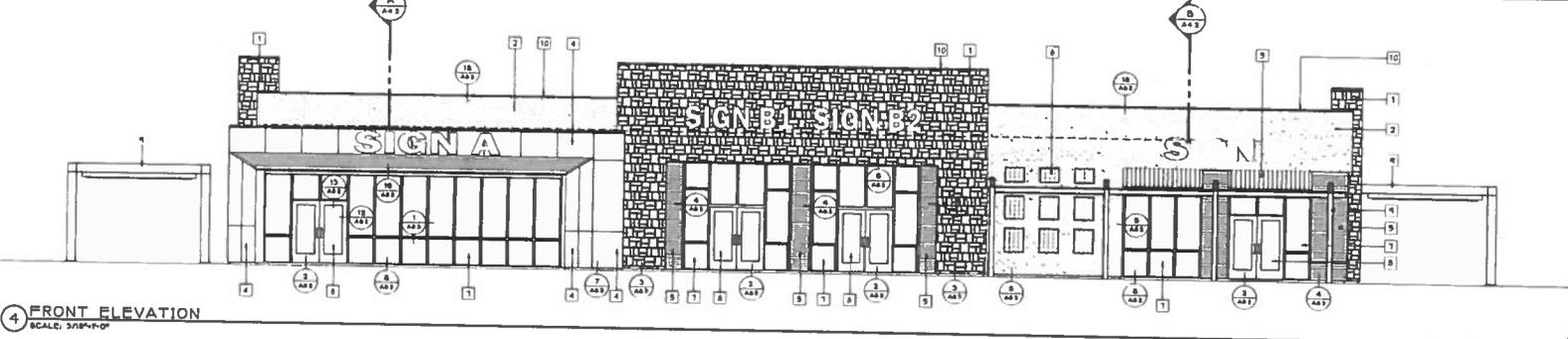
1 LEFT SIDE ELEVATION
 SCALE: 3/8"=1'-0"



2 RIGHT SIDE ELEVATION
 SCALE: 3/8"=1'-0"



3 REAR ELEVATION
 SCALE: 3/8"=1'-0"



4 FRONT ELEVATION
 SCALE: 3/8"=1'-0"

ELEVATION KEYED NOTES

- 1 WELLSFLETCHER GRANITE "BLAZER" BRUNO PAVED DIA VENEER SEAL WITH CLEAR RESINAC SEALANT CONTRACTOR SHALL SUBMIT SHEEN SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO APPLICATION
- 2 "ORIGA BRAND" WALL STUDS SYSTEM OR EQUIVALENT DYES TRAMP W/ 100% ACTIVE FINISH CONTRACTOR SHALL SUBMIT COLOR SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO APPLICATION
- 3 "LOWBOARD" ALUMINUM SHOWN & SPOFF SYSTEM BY V BROUKE WOOD GRAIN "OROGRA CERET" INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 4 CITAROL ENVELOPE 1000 W/ WALL PANELS COLOR #9948 "SILVERSHIP" INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 5 CENTRIA CONCRETE SERIES CONCEALED FASTENER PANELS MODEL# CR-004 PROVIDE COLOR SAMPLE TO ARCHITECT FOR APPROVAL INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 6 DECORATIVE GLASS BLOCK WINDOW
- 7 "KAMNEP" ALUMINUM STOREFRONT SYSTEM CHARCOAL PERMAPLUG ANODIZED WITH CLEAR LOW E GLAZING INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 8 "KAMNEP" ALUMINUM WIDE STEEL STOREFRONT DOOR CHARCOAL PERMAPLUG ANODIZED WITH CLEAR LOW E GLAZING INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 9 STEEL I BEAM CANOPY EXTRA DARK BAKED POWDER COATED FINISH CONTRACTOR SHALL SUBMIT COLOR SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO APPLICATION AND INSTALLATION
- 10 CONT PRE FINISHED ALUM PARAPET #LASHING, TYP
- 11 INSULATED STEEL SOLID PANEL DOOR PAINTED WHITE INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 12 ROOF OVERFLOW SCUPPER TYP

REGISTERED ARCHITECT
 STATE OF OREGON

ORGA

ORIGINA ARCHITECTURE, INC.
 1000 N. GARDNER STREET
 MEDFORD, OREGON 97504

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SOUTH SIDE CENTER - BLDG "B"

GARFIELD AT CENTER DRIVE
 MEDFORD OREGON

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PLANNING DEPT.

FILE: 031-A41 EXT. ELEV.
 DATE: 10-23-17
 SCALE: AS SHOWN
 DRAWN: JH/PC
 JOB #: 1311
 SHEET A-3.0



NORTH PERSPECTIVE



WEST PERSPECTIVE

REGISTERED ARCHITECT
 STATE OF OREGON
ORGA
 RICH ORNDORF ARCHITECTS, PC
 1000 N. GARDNER STREET
 MEDFORD, OREGON 97504
 PHONE: 531.772.1100
 FAX: 531.772.1101

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SOUTH SIDE CENTER - BUILDING B
 GARFIELD AT CENTER DRIVE
 MEDFORD OREGON

| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |

FILE:
 DATE: 08/08/17
 SCALE:
 DRAWN: JEH
 JOB #: 1311
 SHEET OF **R-1.1**

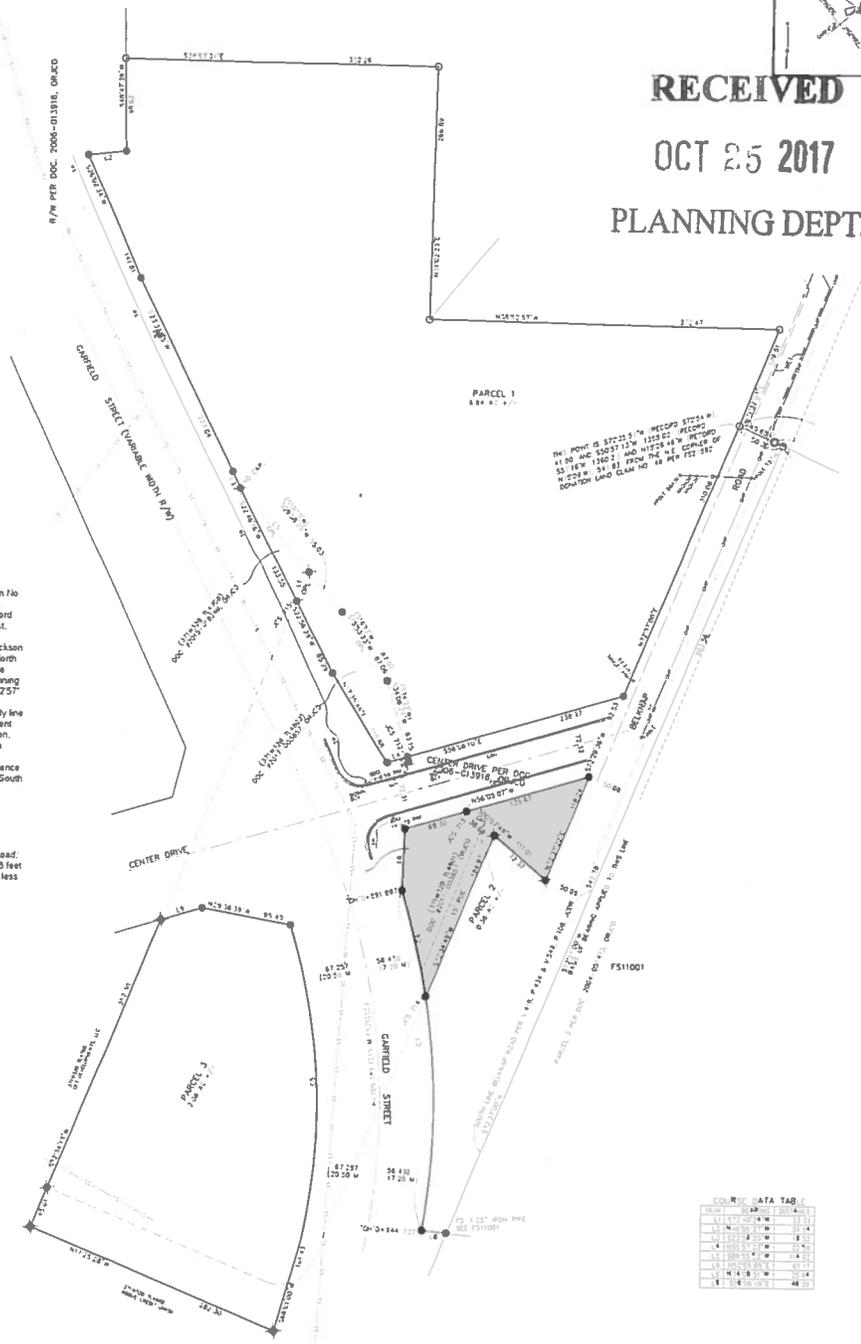
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 CT 25 2017
 PLANNING DEPT

CITY OF MEDFORD
 EXHIBIT # J (2 of 2)
 File # AC-17-135

TENTATIVE PARTITION PLAT
LAND PARTITION
 Located in the N.W. 1/4 & S.W. 1/4 of Sec. 32 T37S, R1W, N.M.
 & in the City of Medford Jackson County, Oregon

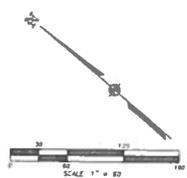


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PLANNING DEPT.



Legal Description.
 Commencing at the Northeast corner of Donation Land Claim No 46 Township 37 South Range 1 West, Willamette Meridian, Jackson County, Oregon, thence South 72°35'51" West (record South 72°54' West), 41.80 feet; thence South 50°57'12" West, 1358.02 feet (record South 51°18' West, 1360.0 feet) to the Southwest corner of Parcel 2 per Volume 305 Page 352, Jackson County Deed Records; thence along the West line thereof, North 15°28'48" West (record North 15°02' West), 541.83 feet to the Northeast corner of Belknap Road and the true point of beginning thence North 71°32'07" East, 109.81 feet; thence North 38°52'57" West, 372.47 feet; thence North 51°02'23" East, 268.88 feet; thence North 38°57'31" West, 332.28 feet to the Northwesterly line of that property divided for right of way purposes per Document No. 2006-013916, Official Records of Jackson County, Oregon; thence along the exterior of said right of way the following true courses: South 48°47'38" West, 98.02 feet to an angle point; thence North 48°02'27" West, 39.84 feet to an angle point; thence South 26°02'34" West, 141.81 feet to an angle point; thence South 23°33'55" West, 227.04 feet to an angle point; thence South 22°58'20" West, 19.52 feet to an angle point; thence South 22°48'18" West, 133.55 feet to an angle point; thence South 22°56'29" West, 85.29 feet to an angle point; thence South 17°35'48" West, 110.88 feet to an angle point; thence South 55°57'23" East, 23.20 feet to an angle point; thence South 58°06'17" East, 238.97 feet to the Northerly line of Belknap Road; thence along said Northerly line, North 72°37'00" East, 310.06 feet to the true point of beginning. Containing 8.64 acres, more or less (Adjusted 371W02B TL3604)

Basin of Bearings Survey No 21982



COURSE DATA TABLE

| LINE | BEARING | DISTANCE | CHORD |
|------|-----------------|----------|--------|
| 1 | S 48° 47' 38" W | 98.02 | 98.02 |
| 2 | N 48° 02' 27" W | 39.84 | 39.84 |
| 3 | S 26° 02' 34" W | 141.81 | 141.81 |
| 4 | S 23° 33' 55" W | 227.04 | 227.04 |
| 5 | S 22° 58' 20" W | 19.52 | 19.52 |
| 6 | S 22° 48' 18" W | 133.55 | 133.55 |
| 7 | S 22° 56' 29" W | 85.29 | 85.29 |
| 8 | S 17° 35' 48" W | 110.88 | 110.88 |
| 9 | S 55° 57' 23" E | 23.20 | 23.20 |
| 10 | S 58° 06' 17" E | 238.97 | 238.97 |
| 11 | N 72° 37' 00" E | 310.06 | 310.06 |

LEGEND

- ⊙ = FD ALLOY CAP MKD JACKSON C S PER 2012 COUNTY SURVEYOR RE-ESTAB'S
- = FD 1" IRON PIN PER FS705
- ⊙ = FD 5/8" IRON PIN & PLASTIC CAP MKD KAISER LS803 PER FS11001
- ⊙ = FD 5/8" IRON PIN & ALUM CAP MKD ODOT RIGHT OF WAY PER FS21255 OR AS NOTED
- ⊙ = FD 5/8" IRON PIN & ALUM CAP MKD AS NOTED PER FS21477
- ⊙ = FD 5/8" IRON PIN & PLASTIC CAP MKD HARDEY LS1990 PER FS12781 OR 13449
- ⊙ = FD 1 7/8" IRON BOLT PER FS540
- ⊙ = FD 5/8" IRON PIN & PLASTIC CAP MKD BOYDEN PLS281 PER FS19887
- ⊙ = FD 5/8" IRON PIN & PLASTIC CAP MKD HUCK LS2023 PER FS21419
- ⊙ = FD 5/8" IRON PIN & PLASTIC CAP MKD L J FRAR & ASSOC PER FS21892
- ⊙ = SET 5/8" x 24" IRON PIN & PLASTIC CAP MKD L J FRAR & ASSOC
- JCDR = JACKSON COUNTY DEED RECORDS
- ORJCDR = OFFICIAL RECORDS OF JACKSON COUNTY OREGON
- WC = WITNESS CORNER
- () = DEED RECORD DATA PER V.365, P.352, JCDR OR AS NOTED
- () = FIELD SURVEY
- F- = FENCE LINE
- < -F- > = RECORD DATA PER 2012 COUNTY RE-ESTAB NOTES
- M = METERS
- L1(C) = SET COURSE DATA TABLE
- PE1 = 50' WIDE POWER EASEMENT PER V.345, P.306, JCDR
- SSE1 = APPROX LOCATION OF 30' WIDE SEWER EASEMENT PER V.424, P.196, JCDR
- WE1 = APPROX LOCATION OF 30' WIDE WATER LINE EASEMENT PER V.531, P.43, JCDR
- SSE2 = APPROX LOCATION OF 30' WIDE SEWER EASEMENT PER DOC 75-02842 & 77-04534, ORJCDR
- SSE3 = APPROX LOCATION OF 30' WIDE SEWER EASEMENT PER DOC 75-03418, ORJCDR
- OP1 = OLD PROPERTY LINE ADJUSTMENT TO BE ELIMINATED
- APL = ADJUSTED PROPERTY LINE
- ATL = ADJUSTED TAX LOT
- SSE4 = RECORD DATA PER L201, P.562, JCDR
- SSE5 = APPROX LOCATION OF 20' WIDE SEWER EASEMENT PER DOC 75-03416, ORJCDR
- ERS = EL. RET. SUBMERSION

BASIS OF BEARINGS
 GEODETIC NORTH BASED ON C.P.S. MEASUREMENTS APPLIED TO THE SOUTH LINE OF BELKNAP ROAD AS SHOWN HEREON
 UNIT OF MEASUREMENT = FEET
 SCALE: 1" = 80'

CITY OF MEDFORD
EXHIBIT #

| | | |
|--|--|--|
| REGISTERED LAND SURVEYOR <i>James R. Frar</i> OREGON JULY 17 1988 JAMES R. FRAR MEDFORD, ORE 97504 | FILE TENTATIVE PARTITION PLAT PROPERTY OF J71W32B TL'S 3604,3605,4800,4801,4802,4708 PREPARED BY GALPIN GUNZ, LLC 744 CAROLLY, SUITE 100 MEDFORD, OR 97504 L J FRAR & ASSOCIATES P.C. PROFESSIONAL LAND SURVEYORS 100 BELKNAP ROAD, SUITE 100 MEDFORD, OREGON 97504 | DATE 12 OCT 2017 SCALE 1" = 80' DRAWN BY JCF CHECK BY JCF APPROVED BY JCF SHEET 1 OF 1 |
|--|--|--|

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OCT 25 2017

PLANNING DEPT.

Applicants Questionnaire

Galpin Gang LLC
Phase I Development at South Medford Center
Building B

Section I – Narrative

South Medford Center is a Commercial and Retail Center located off of the South Medford Exit of I-5 at the intersection of Garfield and Center Drive. This application is for Building B in Phase One, a 7,200 sf multitenant commercial building. A restaurant (9,113 sf Cracker Barrel) and an 8,800 sf multitenant commercial building along with a Pylon Shopping Center Sign and associated parking, landscaping and site improvements have already been approved (AC16-138). The Palette of Construction materials includes split face concrete block, stone and masonry veneer, plaster, powder coated structural metal detailing, fiber cement, and metal siding/roofing.

The Landscape is a low water usage design with a drip irrigation system. Very little turf grass is proposed.

Development of the project is planned to commence immediately upon approval of Building Permit(s).

Section II – Compatibility: Criterion No. 1

- A *List existing uses and development adjacent to your project site. Along with this list, describe the architecture (materials, colors etc.) age, and condition of adjacent buildings. (you may use photographs to supplement this information.*

The project is located on the old Nash homestead and is bounded on the east by Interstate 5 and Bear Creek, on the South by vacant land abutting 40 year old residences on Charlotte Anne Road, on the west by Center Drive and vacant land abutting decades old commercial development along Highway 99 South and on the North by the re-aligned Garfield Drive and 2-20 year old commercial development including hotels and other retail development. Nearby are major retailers and such as WalMart, Fred Meyer, Harbor Freight, Harry and David, and Planet Fitness, Food Service businesses such as Panda Express, Starbucks, Subway, Togo's, McGraths, Carl's Junior and Shari's as well as many assorted commercial businesses like Rogue Federal Credit Union, US Cellular, Northwest Community Credit Union, The Point Restaurant and Bar, (2) Marriot Brand hotels and many others.

- B *Describe the building architecture and exterior treatments in your proposal, and how they fit with and complement adjacent buildings and development.*

We are proposing a building built with a material palette very similar to the previously approved Building A, including Cement Plaster, Cultured Stone Veneer, Metal Siding and structural steel detailing with a powder coat finish. Aluminum storefront glazing systems will be used throughout.

Parapet style low slope roof construction is used to allow concealment of rooftop mounted equipment.

- C *Describe the proposed architecture and exterior treatments that break up large facades and give relief to the building mass. The Site Plan and Architectural Commission Design Guidelines are a helpful reference, and can be found on the City's website, and at the Planning Department.*

Although these are not large buildings (all less than 10ksf), facades are broken up by the use of offsets and changes in plane. Finish materials with different textures and colors are used to accentuate changes in plane, create shadow lines and visual interest, especially where also appropriate for functional reasons such as defining entries, store limits and outdoor areas, and creating signage opportunities.

- D *Describe how the placement and orientation of the proposed building(s) relate(s) to the street facilities, and how this orientation promotes a more pedestrian-friendly site design.*

The project is located at the end of Center Drive, and is accessed by vehicles from the signalized intersection with Garfield. The buildings are arranged around and within landscaped vehicular parking fields. A pedestrian friendly site design is promoted by use of landscaping buffers, wide (8' minimum) sidewalks in front of the buildings, which allow plenty of space for circulation, window shopping, and out swinging storefront doors. A clearly denoted pedestrian walkway is denoted by material and/or grade changes from the parking field to each building. Parking lot lighting fixtures are located near the pedestrian walkway so as to provide higher lighting levels near pedestrian elements of the site.

- a. *If the site lies within 600-feet of an existing or planned transit stop, as designated by the Transportation System Plan (TSP), describe compliance with the standards of MLDC 10.808, New Commercial and Institutional Development.*

No existing or planned transit stops are located within 600 feet. However, clearly defined pedestrian access is provided from the sidewalks along Garfield and Center Drives into and throughout the site, including 36 bicycle parking spaces at buildout, more than 50% of which are covered.

- E *Describe the pedestrian facilities and amenities on your site (useable outdoor space, benches, etc), and how they will function for pedestrians.*

Onsite pedestrian amenities include concrete sidewalks, most of which are raised above the level of asphalt vehicular surfaces so as to minimize the use of curb cuts. Other pedestrian amenities include covered entry structures and concrete patios. Many of these features are partially or fully shaded either by landscaping, the building or by the canopy structures.

- F *Describe vehicle and pedestrian access to the site and how it relates internally on the site, and to adjacent sites.*

Vehicular access and egress to and from the site is provided via a driveway off the end of Center Drive. Offsite pedestrian access is provided from the sidewalk extended from the intersection of Garfield and Center Drive, and from another sidewalk connecting to the sidewalk on the south side of Garfield between Buildings E and A.

- G *Describe if and how the proposed plan is sensitive to retaining any existing trees or significant native vegetation on the site. Should existing trees be preserved, a Tree Protection Plan shall also be included in this application.*

The site has already been cleared. There are no existing trees or significant native vegetation on the site.

- H *Describe storm water detention facilities on the site (underground storage, surface pond, etc). If these facilities will be landscaped areas, describe how the proposed landscaping will be integrated with other landscaping on the site.*

Storm Water detention facilities will be constructed near the northeast corner of the site where indicated on the Civil Drawings. They are designed, sized and located to serve the current and anticipated future phases of development. It consists of an engineered and landscaped detention pond with outfall structure.

- I *Describe how your proposed landscaping design will enhance the building and other functions on the site.*

The landscape concept has been designed to be a low maintenance, low water use installation, harmonizing with nearby and adjacent development along Garfield and Center Drives and enhancing the appearance and functionality of the buildings by providing shade for pedestrians and some aspects of the buildings, and a complementary and colorful setting for the buildings. The landscaping is also designed to enhance onsite water absorption and protect from erosion, unsightly weeds and unwanted pedestrian access to the site and building, thereby improving safety and security.

- J *Describe how your exterior lighting illuminates the site, and explain how the design of fixtures does not diminish a view of the night sky, or produce glare on adjacent properties, consistent with the standards of MLDC 10.764.*

Exterior lighting is provided from pole mounted LED light fixtures. The light fixtures are shrouded so they do not allow light to invade the night sky. Product data sheets with fixture photometrics are included with this application.

- K *Describe any proposed signage, and how it will identify the location of the occupant and serve as an attractive complement to the site.*

Signage will be placed on each building to identify the particular tenant. Signage will be internally lit per City of Medford sign regulations and each tenants specific requirements. Building mounted signage is intended to complement and enhance signage included throughout the project, and to

clearly identify the buildings to pedestrians and vehicles. A shopping center pylon sign was approved for this project as part of AC16-138. This sign is 20' tall with less than 150 sf of total signage area is shown on the site plan and included illustration. Signage will consist of internally illuminated panel signs.

- L *Describe any proposed fencing, including its purpose, and how you have incorporated it as a functional, attractive component of your development. (MLDC 10.731-10.733)*

No fencing is proposed with this project. Garbage enclosures and patio walls are identified on the plans and elevations. Both will be made of colored CMU block and 'stone' veneer.

- M *Explain any potential noise generated by future occupants will be mitigated on the proposed site, consistent with the standards of MLDC 10.752-10.761.*

The buildings will function as commercial, restaurant and office buildings. We expect that there will be no noise generated by the use of these buildings that will require mitigation to comply with MLDC 10.752-10-761.

- N *Explain anything else about your project that adds to the compatibility of the project with adjacent development and uses.*

The buildings are designed to attract attention from the street while blending with other nearby buildings and landscape and providing clear signage opportunities for each tenant. The buildings at Pads C/D will be built at a future date and a separate SPAC application will be prepared to allow review and approval of architectural features and style.

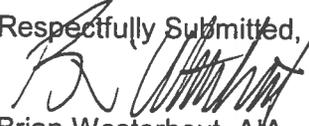
- O *List and explain any exceptions or modifications requested and provide reasons for such.*

We are not requesting any exceptions or modifications.

- P *Section 10.780©(2) – List any petition for relief of landscaping standards (i.e., request an increase in turf area at a facility for active recreation; eliminate requirement for root barriers when trees are planted in structural soils). Provide rationale for requested deviation from standard.*

We are not requesting any deviations.

Respectfully Submitted,


Brian Westerhout, AIA
Project Architect



Medford – A fantastic place to live, work and play

CITY OF MEDFORD

LD Date: 11/29/2017
File Numbers: AC-17-135
Reference: AC-16-138

PUBLIC WORKS DEPARTMENT STAFF REPORT **Southside Center** **Building B**

- Project:** Consideration of a proposal for the construction of a 7,200 square foot multi-tenant commercial building.
- Location:** To be located within Phase I of the South Medford Center, a commercial and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371 W32B TL 3604, 4708, 4802).
- Applicant:** Applicant, Galpin Gang, LLC; Agent, Ron Grimes Architects; Planner, Dustin Severs.

All Public Works conditions of approval for AC-16-138 (Southside Center – Phase 1) as noted in the Public Works Staff Report dated 12/29/2016 shall apply and are enforceable with this Application.



BOARD OF WATER COMMISSIONERS

Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: AC-17-135

PARCEL ID: 371W32B TL 3604

PROJECT: Consideration of a proposal for the construction of a 7,200 square foot multi-tenant commercial building to be located within Phase I of the South Medford Center, a commercial and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 3604, 4708, 4802); Applicant, Galpin Gang, LLC; Agent, Ron Grimes Architects; Planner, Dustin Severs.

DATE: November 29, 2017

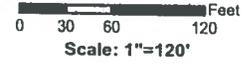
I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. The recently installed on-site water facilities (water mains, valves, meters, fire hydrants, water meters, etc.) are required to be protected in place during building construction activities.
4. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35> .

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is complete. (See Condition 3 above)
3. Static water pressure is approximately 77 psi.
4. Water Facility Easements have been submitted to MWC.
5. Access to MWC water lines is available. There is an existing 24-inch water transmission line located south of this parcel. There are also existing on-site 12-inch water lines that were recently installed to serve this development.



**Water Facility Map
for
AC-17-135**

Legend

- ⊙ Air Valve
- ⊙ Sample Station
- ⊙ Fire Service
- ⊙ Hydrant
- ▲ Reducer
- ⊙ Blow Off
- ⊙ Plugs-Caps

Water Meters:

- ⊙ Active Meter
- ⊙ On Well
- ⊙ Unknown
- ⊙ Vacant

Water Valves:

- ⊙ Butterfly Valve
- ⊙ Gate Valve
- ⊙ Tapping Valve

Water Mains:

- Active Main
- - Abandoned Main
- Reservoir Drain Pipe
- Pressure Zone Line

Boundaries:

- ▭ Urban Growth Boundary
- ▭ City Limits
- ▭ Tax Lots

MWC Facilities:

- ⊙ Control Station
- ⊙ Pump Station
- ⊙ Reservoir



This map is based on a digital map from 2011 by the Medford Water Commission from a variety of sources. Medford Water Commission cannot be held responsible for errors or omissions or for any consequences arising from the use of the information contained herein.



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Dustin Severs

LD Meeting Date: 11/29/2017

From: Greg Kleinberg

Report Prepared: 11/27/2017

Applicant: Applicant, Galpin Gang, LLC; Agent, Ron Grimes Architects

File #: AC - 17 - 135

Site Name/Description:

Consideration of a proposal for the construction of a 7,200 square foot multi-tenant commercial building to be located within Phase I of the South Medford Center, a commercial and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 3604, 4708, 4802); Applicant, Galpin Gang, LLC; Agent, Ron Grimes Architects; Planner, Dustin Severs

| DESCRIPTION OF CORRECTIONS | REFERENCE |
|----------------------------|-----------|
|----------------------------|-----------|

| | | |
|----------------------------------|------------|--------------|
| Requirement FIRE HYDRANTS | OFC | 508.5 |
|----------------------------------|------------|--------------|

Fire hydrants with reflectors will be required for this project.

Fire hydrant locations shall be as follows: Locations as approved in AC-16-138/CEC Civil Drawings

Additional hydrants may be required to comply with the requirement of proximity to fire department connections (for fire sprinkler and standpipe systems, the fire department connection shall be located at an approved location away from the building and within 75' of a fire hydrant. The fire department connection shall be located on the same side as the fire department access route.).

The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

| | | |
|---|------------|--------------|
| Requirement PRIVATE FIRE DEPARTMENT ACCESS PARKING RESTRICTION | OFC | 503.4 |
|---|------------|--------------|

Parking in fire lanes shall be posted as prohibited as required in AC-16-138.

Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).

Where parking is prohibited for fire department vehicle access purposes, NO PARKING-FIRE LANE signs shall be spaced at minimum 50' intervals along the fire lane (minimum 75' intervals in 1 & 2 family residential areas) and at fire department designated turn-around's. The signs shall have red letters on a white background stating "NO PARKING-FIRE LANE" (See handout).

For privately owned properties, posting/marketing of fire lanes may be accomplished by any of the following alternatives to the above requirement (consult with the Fire Department for the best option):



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Dustin Severs

LD Meeting Date: 11/29/2017

From: Greg Kleinberg

Report Prepared: 11/27/2017

Applicant: Applicant, Galpin Gang, LLC; Agent, Ron Grimes Architects

File #: AC - 17 - 135

Site Name/Description:

Alternative #1:

Curbs shall be painted red along the entire distance of the fire department access. Minimum 4" white letters stating "NO PARKING-FIRE LANE" shall be stenciled on the curb at 25-foot intervals.

Alternative #2:

Asphalt shall be striped yellow or red along the entire distance of the fire department access. The stripes shall be at least 6" wide, be a minimum 24" apart, be placed at a minimum 30-60 degree angle to the perimeter stripes, and run parallel to each other. Letters stating "NO PARKING-FIRE LANE" shall be stenciled on the asphalt at 25-foot intervals.

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths (20' wide) and clearances (13' 6" vertical) shall be maintained at all times (OFC 503.4; ORS 98.810-12).

This restriction shall be recorded on the property deed as a requirement for future construction.

A brochure is available on our website or you can pick up one at our headquarters.

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.



ROGUE VALLEY SEWER SERVICES

Location: 133 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 97502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

November 16, 2017

City of Medford Planning Department
200 S. Ivy Street
Medford, Oregon 97501

**Re: AC-17-135, South Medford Center Building B (Map 371W32B, Tax Lot 3604,
4708 & 4802)**
Ref: ZC-16-077, PA-16-013, AC-16-138

ATTN: Dustin,

The subject property is within the Rogue Valley Sewer Services service area. An 8 inch sewer main and 6 inch service to the subject building are currently being constructed for the South Medford Center development. Service for the proposed building can be had by connecting to the 6 inch service. The sewer connection permit will be issued by the City of Medford. However, there will be system development charges owed to Rogue Valley Sewer Services.

Rogue Valley Sewer Services requests that approval of this application be subject to the following conditions:

1. The applicant must provide RVSS with a plumbing fixture plan for the determination of system development charges.
2. The applicant must pay sewer system development charges to Rogue Valley Sewer Service prior to issuance of a building permit.

Sincerely,

Nicholas R. Bakke

Nicholas R. Bakke, P.E.
District Engineer

K:\DATA\AGENCIES\MEDFORD\PLANNING\ARCH COMM\2017\AC-17-135, SOUTH MEDFORD CENTER BLD'G B.DOC

Dustin J. Severs

From: MOREHOUSE Donald <Donald.MOREHOUSE@odot.state.or.us>
Sent: Thursday, December 07, 2017 3:48 PM
To: Dustin J. Severs
Cc: WANG Wei * Michael; SCRUGGS Julee Y; HARSHMAN Cathaleen A * Cathy
Subject: AC-17-135

Hi Dustin,

Thank you for sending agency notice of a consideration of a proposal for the construction of a 7,200 square foot multi-tenant commercial building to be located within Phase I of the South Medford Center, a commercial and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 3604, 4708, 4802). Our comments are:

- ODOT right of way cannot be used to meet City of Medford landscaping requirements.
- ODOT requires the planting of only low-growing shrubs within the site triangle of the Garfield Street/Center Drive intersection.
- The storm water calculations are currently being reviewed by Hydraulic Engineer, Delanie Cutsforth at 541-774-6326. I will send her comments on to you as soon as they are available.
- Please have the applicant contact Permit Specialist, Julee Scruggs at 541-864-8811 to obtain miscellaneous/utility permits that will be needed for construction within the ODOT right of way.

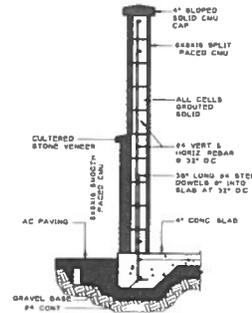
Don Morehouse
Senior Transportation Planner
ODOT Region 3, District 8 (Rogue Valley Tech Center)
Ph: (541) 774-6399
Fax: (541) 774-6349
Donald.Morehouse@odot.state.or.us

From: Dustin J. Severs [<mailto:Dustin.Severs@cityofmedford.org>]
Sent: Monday, December 04, 2017 4:35 PM
To: MOREHOUSE Donald
Subject: Southside Center

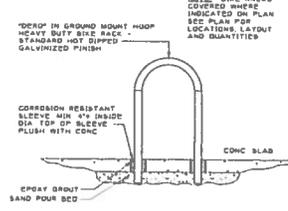
Hi Don,

Can you send me a report on the Southside center project from LD meeting from last week in the next couple of days? We print Friday morning, so if you could get it to me before then, it would be much appreciated. We'll add any conditions of approval that are necessary to ensure that they are in compliance with ODOT with their frontage landscaping before building permits are issued.

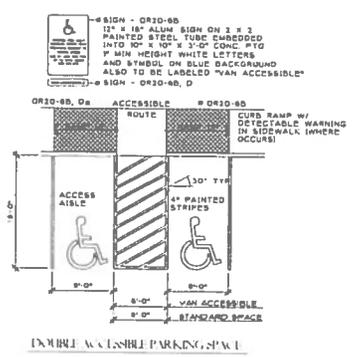
4 WALL SECTION TRASH ENCLOSURE
SCALE: 1/4"=1'-0"



5 BIKE RACK DETAIL
SCALE: 3/4"=1'-0"



6 HC PARKING DETAIL
SCALE: N.T.S.



PHASE ONE LAND AREA

| | |
|------------------------|--------------------------------|
| PL ADJUSTED TL 3604 | 279 714 SF |
| TL 4700 | +1,705 SF |
| TL 4807 | 7,787 SF |
| TOTAL PHASE ONE | 289,206 SF (8.64 ACRES) |

PARKING SUMMARY

| BLDG A | MULTI-TENANT COMMERCIAL BUILDING (8 860 SF) | BUILDING AREA (COMMERCIAL) | 3,260 SF |
|-------------------------------|--|----------------------------|----------------|
| | PARKING REQUIRED | 15 | 18 MAX |
| | BUILDING AREA (RR) | 24 | 29 MAX |
| | PARKING REQUIRED (BUILDING AREA (RR)) | 27 | 33 MAX |
| PAD B | FUTURE MULTI-TENANT COMMERCIAL BUILDING (7,200 SF) | BUILDING AREA (COMMERCIAL) | 4,200 SF |
| | PARKING REQUIRED | 19 | 23 MAX |
| | BUILDING AREA (RR) | 27 | 33 MAX |
| PAD C | FUTURE DRIVE (8 BAY) | LAND AREA - 47,563 SF | 67 MAX |
| | PARKING REQUIRED | 58 | |
| PAD D | MULTI-TENANT COMMERCIAL BUILDING (8 660 SF) | BUILDING AREA (COMMERCIAL) | 4,200 SF |
| | PARKING REQUIRED | 30 | 36 MAX |
| BUILDING E | RESTAURANT (CRACKER BARREL) | BUILDING AREA | 9,113 SF |
| | PARKING REQUIRED | 81 | 100 MAX |
| TOTAL PARKING REQUIRED | | 281 | 339 MAX |
| TOTAL PARKING PROVIDED | | 355 | |

WE REQUEST THAT THE PARKING IN EXCESS OF THE MAXIMUM ALLOWED BY CODE BE ALLOWED FOR THIS PROJECT SINCE IT WILL BUILT IN PHASES AND IS A REGIONAL SHOPPING DESTINATION. (MDC 10.743 (7))

| | |
|------------------------------|------------------|
| HANDICAPPED PARKING REQUIRED | 13 |
| HANDICAPPED PARKING PROVIDED | 14 |
| BICYCLE PARKING REQUIRED | 36 (50% COVERED) |
| BICYCLE PARKING PROVIDED | 36 (56% COVERED) |

NOTE: TWENTY (20) COVERED PARKING SPACES ARE PROVIDED WHERE SHOWN IN ADDITION TO ONE (1) INVERTED BICYCLE PARKING RACK PROVIDED AT EACH END OF BUILDINGS A, B, C, D.

DRAWING INDEX

- AS-1.0r Site Plan and Details
- R-1.0 Building A Renderings
- R-1.1 Building A Renderings
- A-1.0 Building A Floor Plan
- A-2.0 Building A Elevations
- A-2.1 Building A Elevations
- A-3.0 Building A Roof Plan
- R-4.0 Building D Renderings
- R-4.1 Building D Renderings
- A-4.0 Building D Floor Plan
- A-2.0 Building D Elevations
- A-2.1 Building D Elevations
- A-3.0 Building D Roof Plan
- R-1.0 Building E Renderings
- R-1.1 Building E Renderings
- A-1.0 Building E Floor Plan
- A-4.0 Building E Elevations
- A-4.1 Building E Elevations
- A-15 Building E Roof Plan
- D1 Building E Trash Enclosure
- LA-1.0r Landscape + Planting Plan
- C1r Site Grading and Drainage Plan
- C2r Site Sewer and Water Plan
- S1 Pylon Sign

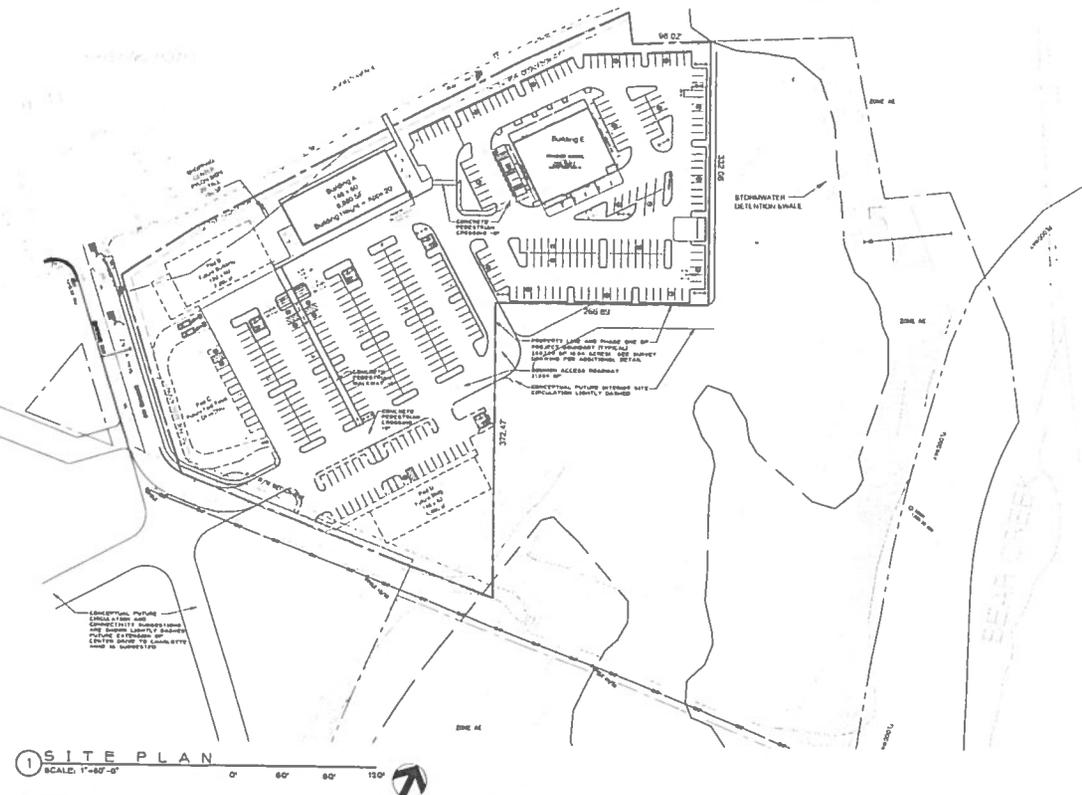


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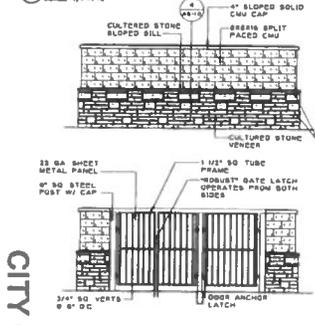
SOUTH SIDE CENTER
GARFIELD AT CENTER DRIVE
MEDFORD OREGON

| REVISIONS | BY |
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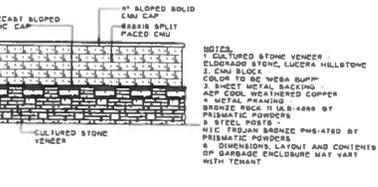
FILE: _____
DATE: 12-20-18
SCALE: 8/16"=1'-0"
DRAWN: 8/16"=1'-0"
JOB #: 131
SHEET AS-1.0r
OF _____



5 FLOOR PLAN - TRASH ENCLOSURE
SCALE: 1/4"=1'-0"



2 ELEVATION - TRASH ENCLOSURE
SCALE: 1/4"=1'-0"





City of Medford

Planning Department

Vicinity
Map

File Number:

AC-17-135



Project Name:

South Medford Center Building B

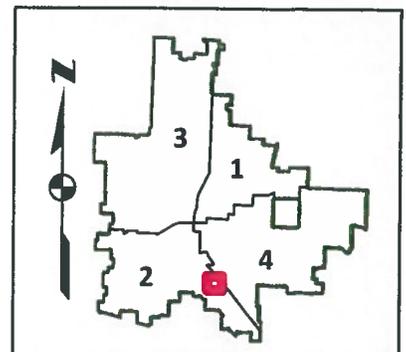
Map/Taxlot:

371W32B TL 3604



Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots



10/25/2017

The proposed phasing plan indicates three phases (Exhibit B). The first phase will include the easterly portion of the site. The center portion of the site will follow in Phase 2, with the third phase containing the westernmost annex. After discussing the request with the applicant's agent, staff understands that the applicant is working towards obtaining State approval of the construction plans.

The applicant's letter requesting the extension consents to modifying plans as needed to meet the requirement in MLDC 10.292(2) above. Based on this information, staff does not object to the request.

It should be noted that if approved, the new expiration date will be November 21, 2019. Additional extensions allowed under the Medford Land Development Code.

Recommended Action

Approve the request to allow the maximum five year approval period and set the expiration date for November 21, 2019, for AC-14-093 per the Staff Report dated December 8, 2017.

Exhibits

- A Phasing request received November 3, 2017
- B Proposed phasing plan
Vicinity Map



RECEIVED

NOV 03 2017

PLANNING DEPT.

3 November, 2017

Ms. Kelly Akin
City of Medford Planning Department
200 South Ivy Street
Medford, OR 97501

RE: AC-14-093
Fern Gardens Phase 3
US Redic Inc, Applicant

Dear Ms Akin:

Thank you for meeting with Brian and myself yesterday to discuss our options for maintaining the viability of our Site Plan and Architectural Commission approval for this project. The purpose of this letter is to request that a phasing element be added to the definition of the project in accordance with MLDC 10-292(2). The owners intent is to construct the building in phases as indicated on the attached drawing. We expect to pull all permits for this construction within 5 years of our original approval date (November 21, 2014). Accordingly, we anticipate pulling all permits for the approved work by November 21, 2019. Since all of this development will occur more than one year after the initial approval of the Site Plan and Architectural Commission we will modify plans as necessary to avoid conflicts with changes to the Comprehensive Plan or Chapter 10 of the MLDC.

As always, feel free to contact me with any further questions or concerns you may have.

Sincerely,

David Evans
President
Ron Grimes Architects pc

enclosures

CITY OF MEDFORD

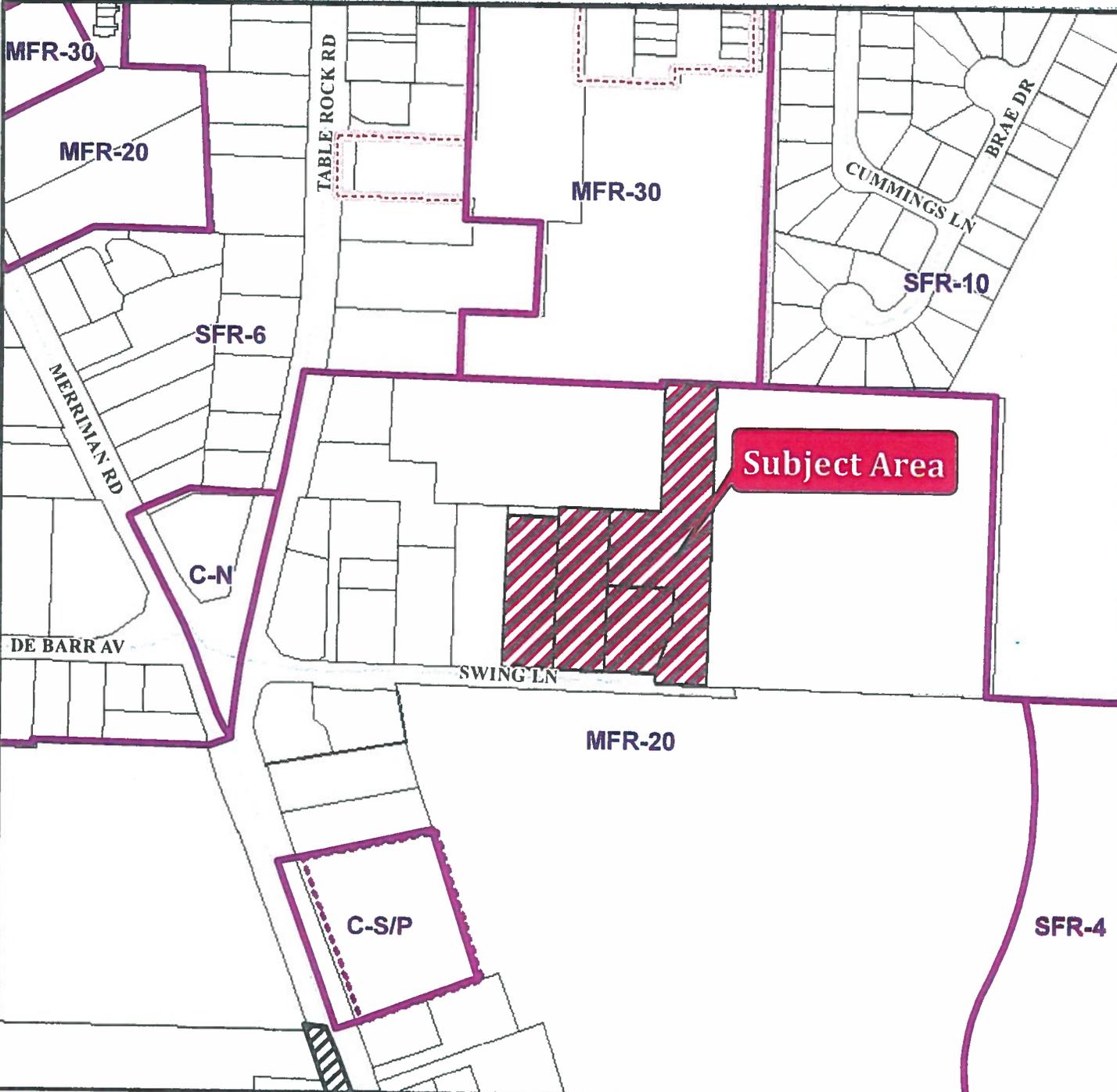
EXHIBIT A

File # AC-14-093

PHASING REQUEST



Vicinity Map



Application Name/Description:
Fern Garden's Phase 3

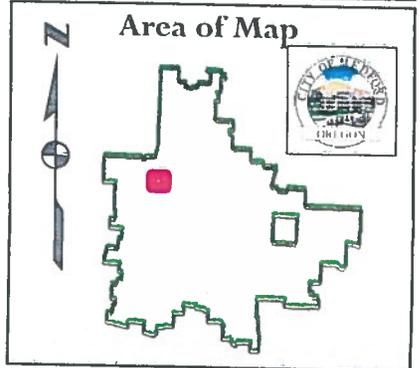
Proposal:
Memory Care Facility

File Numbers:
AC-14-093

Applicant:
US-Redic Inc

Map/Taxlot:
**372W13AC TL's 2100,
2200, 2300 & 2400**

-  Subject Area
-  Medford Zoning
-  UGB
-  Tax Lots
-  City Limits
-  PUD



10/14/2014