

SITE PLAN & ARCHITECTURAL
COMMISSION
AGENDA
MARCH 20, 2020



MEDFORD
OREGON

Commission Members

Jeff Bender, Chair

Bill Chmelir, Vice Chair

Jim Catt

David Culbertson

Bob Neathamer

Marcy Pierce

Jim Quinn

Milo Smith

Rick Whitlock

Regular Commission meetings are held on
the first and third Fridays of every month

Beginning at 12:00 Noon

City of Medford

Council Chambers,

Third Floor, City Hall

411 W. 8th Street

Medford, OR 97501

(541) 774-2380

SITE PLAN & ARCHITECTURAL COMMISSION AGENDA



MEDFORD
OREGON

March 20, 2020

12:00 P.M.

Medford City Hall, Council Chambers
411 West 8th Street, Medford, Oregon

10. Roll Call

20. Consent Calendar / Written Communications

20.1 **AC-19-064** Final Order for a proposal for the construction of two multi-family apartment buildings: a two-story, 4,419 square foot 12-plex, and a two-story, 1,697 square foot 4-plex. The property consists of two contiguous parcels totaling 1.57 acres, and is located at the southwest corner of Stewart Avenue and S. Columbus Avenue (1317 Stewart Avenue) in the MFR-15 (Multiple Family Residential, fifteen dwelling units per gross acre) zoning district (372W36BC TL 100 & 200). Applicant, Columbia Care Services, Inc.; Agent, Richard Stevens & Associates, Inc.; Planner, Dustin Severs.

20.2 **AC-20-007** Final Order for a proposal for the construction of a 10,125 square foot metal industrial building on a single 0.96-acre parcel located at 3558 Table Rock Road in the I-L (Light Industrial) zoning district (372W12A TL 800). Applicant, Alvarez Real Estate LLC; Agent, CSA Planning; Planner, Dustin Severs.

30. Approval or Correction of the Minutes.

30.1 Consideration for approval of minutes from the March 6, 2020, meeting.

40. Oral Requests and Communications from the Audience

COMMENTS WILL BE LIMITED TO 3 MINUTES PER INDIVIDUAL OR 5 MINUTES IF REPRESENTING A GROUP OR ORGANIZATION. **PLEASE SIGN IN.**

50. Public Hearings

COMMENTS ARE LIMITED TO A TOTAL OF 10 MINUTES FOR APPLICANTS AND/OR THEIR REPRESENTATIVES. YOU MAY REQUEST A 5-MINUTE REBUTTAL TIME. ALL OTHERS WILL BE LIMITED TO 3 MINUTES PER INDIVIDUAL OR 5 MINUTES IF REPRESENTING A GROUP OR ORGANIZATION. **PLEASE SIGN IN.**

New Business.

50.1 **AC-19-063** Consideration of the construction of an approximately 13,600 square-foot repair shop and office building located at 4866 Helo Drive in the I-H (Heavy Industrial) zoning

Meeting locations are generally accessible to persons with disabilities. To request interpreters for hearing impaired or other accommodations for persons with disabilities, please contact the ADA Coordinator at (541) 774-2074 or ada@cityofmedford.org at least three business days prior to the meeting to ensure availability. For TTY, dial 711 or (800) 735-1232.

district (371W06AB302). Applicant, Vilas Truck & Trailer Services; Agent, Douglas Day; Planner, Steffen Roennfeldt.

50.2 **AC-20-012** Consideration of a proposal for a gas station and convenience store, consisting of the construction of a 3,867 square foot convenience store and a 3,755 square foot gas canopy, to be located on a 0.89-acre portion—designated as Pad D—of the South Medford Center, an existing commercial and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 5000 / 371W32C TL 2401); Applicant, DAR USA; Agent, Studio 3 Architecture, Inc.; Planner, Dustin Severs.

60. Written Communications None.

70. Unfinished Business None.

80. New Business None.

90. Report from the Planning Department

100. Messages and Papers from the Chair

110. Propositions and Remarks from the Commission

120. Adjournment



COMMISSION REPORT

for a Type-III quasi-judicial decision: Site Plan & Architectural Review

Project Columbia Care
Applicant: Columbia Care Services, Inc.
Agent: Richard Stevens & Associates

File no. AC-19-064

Date March 6, 2020

BACKGROUND

Proposal

Consideration of a proposal for the construction of two multi-family apartment buildings: a two-story, 4,419 square foot 12-plex, and a two-story, 1,697 square foot 4-plex. The property consists of two contiguous parcels totaling 1.57 acres, and is located at the southwest corner of Stewart Avenue and S. Columbus Avenue (1317 Stewart Avenue) in the MFR-15 (Multiple Family Residential, fifteen dwelling units per gross acre) zoning district (372W36BC TL 100 & 200).

Vicinity Map



10.717 Multiple-Family Dwellings, Special Development Standards

A. Building Orientation and Entrances.

- (1) Buildings shall be oriented to public streets and public street intersections.
- (2) Buildings located at intersections shall incorporate a corner building entrance.
- (3) For buildings located within 30 feet of a street, the main entrance(s) of ground floor units must face the street frontage. Main entrances may provide access to individual units, clusters of units, courtyard dwellings, or common lobbies. Deviations from this standard are allowed as follows:
 - (a) On corner lots the main building entrance(s) may face either of the streets or be oriented to the corner.
 - (b) For buildings with more than one entrance serving multiple units, only one entrance must meet this standard.
 - (c) For buildings proposed to be perpendicular to public streets due to access requirements and/or dimensional constraints not created by the applicant, main entries may face up to 90 degrees away from the street provided both of the following apply:
 - i. They are visible from the street.
 - ii. The building side facing the street shall contain windows occupying a minimum of 15% of the overall facade length.

B. Building Mass and Facade.

- (1) Outside of the Central Business Overlay District, residential buildings located within 30 feet of a street shall be limited in length to 150 feet, and any other residential buildings on the site shall be limited in length to 200 feet. There is no maximum building length within the Central Business Overlay District.
- (2) On buildings greater than three stories in height, all facades shall be divided into three elements (base, middle, and top) and visibly articulated to define each element.
 - (a) The building base consists of the lowermost floor or two floors. The building top consists of the uppermost floor or two floors. The building middle consists of the remainder of the facade between the base and the top.
 - (b) The building base, middle, and top shall each be differentiated through horizontal articulation and/or a discernible change in materials.
- (3) Street-facing facades shall contain windows covering a minimum of 15% of the facade length on each floor level.

C. Building Articulation.

- (1) In order to preclude long expanses of uninterrupted wall surfaces, exterior elevations of buildings shall incorporate design features such as off-sets, projections, balconies, bays, windows, entries, porches, porticos, or similar elements. Rear and/or side elevations that are only visible from the interior of the site are not subject to these articulation requirements.

- (a) Horizontal surface: at least two of the design features outlined above shall be incorporated along the horizontal face of the building, to be repeated at intervals of no more than 40 feet.
 - (b) Vertical surface: at least two of the design features outlined above shall be incorporated along the vertical face of the building, to be repeated at intervals of no more than 30 feet.
- (2) When off-sets and projections are used to fulfill articulation requirements, they shall vary from other wall surfaces by a minimum of 2 feet, and such changes in plane shall have a minimum width of 6 feet.
- (3) Individual and common entries shall be articulated by roofs, awnings, or porticos that are a minimum of 6 feet wide and 4 feet deep.
- (4) Windows shall be inset a minimum of 1.5 inches from the adjacent wall plane, or fully surrounded by trim in order to create the necessary minimum inset depth of 1.5 inches.

D. Building Materials.

- (1) The following primary building materials shall be utilized on a minimum of 65% of the street-facing facade:
- (a) Brick;
 - (b) Stone
 - (c) Stucco;
 - (d) Flat metal composite panels;
 - (e) Wood siding and wood simulation materials;
 - (f) Fiber reinforced cement siding or panels;
 - (g) Ceramic tile; and
 - (h) Transparent glass.
- (2) The following building materials shall not be allowed on more than 35% of each individual facade:
- (a) Corrugated metal;
 - (b) Plain or split-faced concrete block;
 - (c) Plain concrete; and
 - (d) Spandrel glass.
- (3) Vertical changes in wall cladding materials shall take place on inside corners. Horizontal changes in wall cladding materials shall take place at cornices, belt courses, and other such horizontal elements.
- (4) The following building materials are prohibited:
- (a) Vinyl siding; and
 - (b) Plywood siding (e.g. T1-11).
- (5) Fencing materials shall be durable, maintainable, and attractive. The following fencing materials are prohibited:
- (a) Plastic or vinyl fencing; and
 - (b) Chain link fencing.

E. Roof Forms.

- (1) All sloped roofs shall have a minimum 4:12 pitch.
- (2) All sloped roofs shall have eaves projecting a minimum of 12 inches from the building wall.
- (3) All roofs with a slope of less than 4:12 pitch shall be articulated by a parapet wall projecting a minimum of 12 inches above the roof line, or be architecturally treated such as with a decorative cornice.

F. Vehicle Circulation and Parking.

- (1) In order to strengthen the presence of buildings on the street, no parking spaces shall be located within any required front yard area, and no automobile circulation or parking areas shall be located between buildings and the street. Any proposed deviation from this standard shall be subject to a request for an Exception as outlined in Section 10.186.

Approval Authority

This is a Type III land use decision. The Site Plan & Architectural Commission is the approving authority under MLDC 10.108(1).

ISSUES AND ANALYSIS

Background

History

The subject site currently contains nine dwelling units—seven single-family units and one duplex. In the spring of 2019, the property's zoning and GLUP designations were changed to allow for multi-family residential uses.



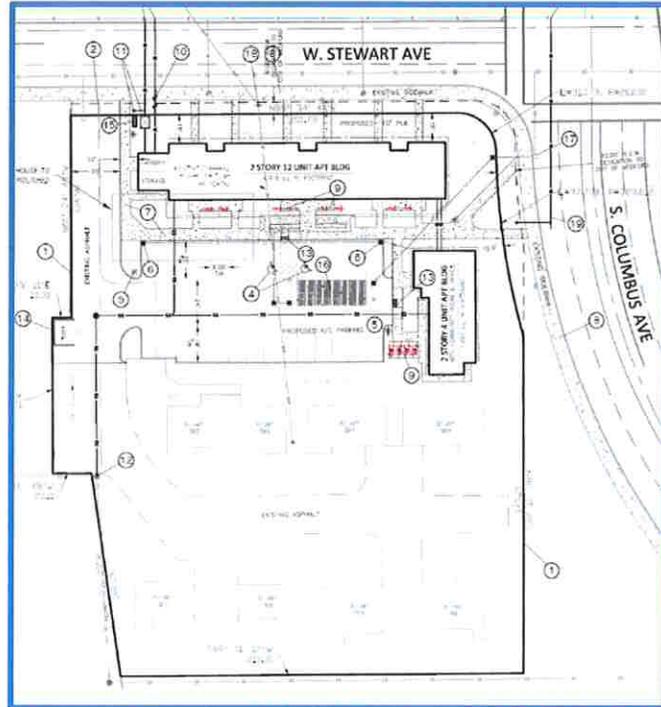
Current proposal

The applicant is now proposing to develop the northerly half of the property with two multi-family apartment buildings: a two-story, 4,419 square foot 12-plex (Building 1); and a two-story, 1,697 square foot 4-plex (Building 2). One single-family home (1319 Stewart Ave.) is proposed to be removed to accommodate the proposed development.

Access to the subject site will continue to be provided by the existing driveway off of Stewart Avenue.

The development is intended for transitional housing for veterans. As identified on the site plan, Building 2 will include an office for an on-site manager, who will also live in the building.

The applicant intends to redevelop the southerly half of the site in the future.



Density Standards

Density Table

MFR-15 Minimum /Maximum Density	Allowed	Shown
10.0 to 15.0 dwelling units per gross acre	20 min. – 30 max.	24 units

As shown on the Density Table above, based on 1.99 gross acres of land, the proposal of 24 dwelling units (16 new and 8 existing), falls within the minimum/maximum range permitted for the MFR-15 zoning district, as per MLDC 10.713.

Development Standards

Multi-Family Residential Site Development Table

MFR-15	Allowed/Required	Proposed
Height	35 feet	28 feet
Lot Coverage	50%	19.2%
Setback (front)	15 feet	15 feet
Setback (street side yard)	10 feet	15 feet
Setback (rear and side yards)	10.5 feet	25 ft. / 160 ft.

As shown in the Site Development Table above, it can be found that the two proposed structures identified on the submitted site plan meet the bulk standards for the MFR-15 zoning district as found in Article V of the Medford Land Development Code.

Parking

Parking Table (MLDC 10.743-751)

	Required	Shown
Vehicle Spaces	24 min. (no max.)	27
Handicap Spaces	2	2
Bicycle Spaces	16	16

The submitted site plan shows a total of 27 parking stalls, meeting the minimum required as per MLDC 10.743(1). The site plan also shows the requisite number of handicap spaces and bicycle spaces, as per MLDC 10.746(8)(a) and 10.748, respectively.

Landscaping

Frontage Landscaping (MLDC 10.797)

Stewart Ave.	Required	Shown
Trees	8	8
Shrubs	53	66

Columbus Ave.	Required	Shown
Trees	4	4
Shrubs	28	30

Parking Lot Landscaping (MLDC 10.746[3])

	Required	Shown
Area (square feet)	500 square foot min.	515 square feet
Trees	3	3
Shrubs	6	35

The applicant's submitted landscape plan (Exhibit G) shows landscaping along both street frontages, meeting the minimum required number of trees and shrubs as per MLDC 10.797. The landscape plan also shows interior landscaping, meeting the required number of trees, shrubs, and total landscaping within the site's parking lot as per MLDC 10.746(3).

Pedestrian Access (MLDC 10.772-776)

The site plan shows pedestrian walkways connecting the proposed buildings to each other and to the public sidewalks running along both street frontages, consistent with the Pedestrian connectivity standards found in MLDC 10.772-776.

Concealments

Trash Enclosure (MLDC 10.781)

The applicant's site plan identifies a "new CMU screened trash enclosure" located along its westerly boundary, and the submitted elevation plan (Exhibit F) shows the proposed trash enclosure constructed with materials consistent with the requirements outlined in MLDC 10.781.

Bufferyards (MLDC 10.790)

Per MLDC 10.790, bufferyards are utilized in order to minimize potential conflicts caused by types and intensity of uses on adjacent properties. The subject site abuts the SFR-00 zone along its southeasterly lot line, and abuts the SFR-6 zone along the entire length of its southerly boundary, as well as the southern portion of its westerly boundary. Per MLDC 10.790, a Type-A bufferyard—consisting of a six-foot concrete or masonry wall and ten feet of landscaping—is required along all applicable boundaries.



In their findings, the applicant states that the subject development is limited to the northern half of the site, which does not abut SFR zones, and therefore will not adversely impact the adjacent residences. The applicant's findings further states that the redevelopment of the site will be completed in two phases, and that the bufferyards will be addressed at the time the southern portion of the site—those areas which do not abut SFR zones—is redeveloped in the future.

Block Length (MLDC 10.426)

MLDC 10.426, titled *Street Circulation Design and Connectivity*, establishes maximum block and perimeter length. In order to assure that developments will ultimately result in complete blocks bound by a network of public streets, and/or private streets constructed to City standards, new developments contained within City blocks may be required to dedicate/construct public streets within the development in order to comply with block length standards.

The subject site exceeds both block and perimeter length as required for developments within residential zones; however, MLDC 10.426(2), shown below, provides built-in relief for developments that exceed the maximum block and/or perimeter standards, contingent on the applicant effectively demonstrating in their submitted findings that certain constraints and/or conditions exist in which the approving authority may find acceptable.

MLDC 10.426(2)

2. The approving authority may find that proposed blocks that exceed the maximum block and/or perimeter standards are acceptable when it is demonstrated by the findings that one or more of the constraints, conditions or uses listed below exists on, or adjacent to the site:
- a. Topographic constraints, including presence of slopes of 10% or more located within the boundary of a block area that would be required by subsection 10.426 C.1.,
 - b. Environmental constraints including the presence of a wetland or other body of water,
 - c. The area needed for a proposed Large Industrial Site, as identified and defined in the Medford Comprehensive Plan Economic Element, requires a block larger than provided by section 10.426 C.1.e. above. In such circumstances, the maximum block length for such a Large Industrial Site shall not exceed 1,150 feet, or a maximum perimeter block length of 4,600 feet,
 - d. Proximity to state highways, interstate freeways, railroads, airports, significant unbuildable areas or similar barriers that make street extensions in one or more directions impractical,
 - e. The subject site is in SFR-2 zoning district,
 - f. Future development on adjoining property or reserve acreage can feasibly satisfy the block or perimeter standards,
 - g. The proposed use is a public or private school, college or other large institution,
 - h. The proposed use is a public or private convention center, community center or arena,
 - i. The proposed use is a public community service facility, essential public utility, a public or private park, or other outdoor recreational facility.
 - j. When strict compliance with other provisions of the Medford Land Development Code produce conflict with provisions in this section.

Accessways

An accessway is required to be constructed in lieu of a public street, and are reserved for situations where street connections are infeasible or inappropriate, pursuant to the granting of relief as per MLDC 10.426(2). Per MLDC 10.464, the purpose of an accessway is to provide safe and convenient pedestrian and bicycle access within developments, and requires a 12-foot wide right-of-way and an 8-foot wide paved surface. MLDC 10.464(1)(b), however, allows relief from this requirement if the approving authority determines that the construction of as separate accessway is infeasible or inappropriate.

The applicant has formally requested relief from both constructing a public street and a public accessway. In their findings, the applicant cites the impracticality of constructing either public connection given the existing street layout of the surrounding area, combined with the nature of the abutting development.

Staff is supportive of the applicant's request for relief from both the construction of a public street and a public accessway. Pursuant to MLDC 10.464(1)(d) above, it is staff's view that the layout of the existing residential developments contained within the subject City block makes a street connection both impractical and undesirable. It is additionally staff's view that the nature of the abutting existing development also makes the construction of an accessway both infeasible and inappropriate.

Architecture

MLDC 10.717-719 establishes a series of clear and objective standards for multiple-family dwellings, applicable to all new multiple-family developments proposing three or more attached dwelling units.

The applicant's findings provided a thorough analysis addressing each of the special development standards for multi-family developments. It is staff's view that the applicant's submitted findings effectively demonstrate that the two proposed apartment buildings comply with all the special development standards for multiple-family dwellings, as outlined in MLDC 10.717-719.



Other Agency Comments

RVSS (Exhibit L)

The subject property is within RVSS service area. In their submitted report, RVSS requires that future sewer improvements be designed and constructed in accordance with RVSS standards, that the sewer system must be accepted by RVSS prior to construction, and the applicant must pay sewer system development charges to RVSS.

As a condition of approval, the applicant will be required to comply with the conditions of RVSS.

Committee Comments

No comments were received from committees such as BPAC.

No other issues were identified by staff.

REVISION

At the public hearing held on February 21, 2020, Mr. Chris Durham—father of Brooks Durham, a neighbor of the proposed development—submitted a letter to the Commission summarizing his concerns with the proposal (Exhibit M). Included in the

letter was a request that the hearing be continued. As required per Oregon Revised Statutes (ORS), the Commission voted to approve the continuance request.

At the hearing, Mr. Durham also provided oral testimony in which he further expressed his concerns. Mr. Durham questioned whether or not the proposed development should be considered strictly a residential development, expressing concerns that the development was a “mental health care facility,” as the applicant’s findings state the development will provide housing for transitional veterans. Mr. Durham asserted that such a development would pose potential safety concerns with the surrounding neighborhood, particularly given its close proximity to local schools. The applicant’s agent, Clark Stevens of Richard Stevens & Associates, responded to Mr. Durham’s concerns at the hearing, stating that the proposed development is intended to provide housing only, and will not include mental health services to the residents.

On February 23, 2020, Mr. Durham submitted to staff a second letter (Exhibit N), which included a list of questions for the applicant in regard to the operations of the proposed development. Staff received a letter from the applicant on February 28, 2020 (Exhibit O), responding to Mr. Durham’s questions and stating again that the development being proposed is not a mental health treatment facility.

Staff continues to recommend approval of the subject request. Pursuant to MLDC 10.314, a multi-family development is a permitted use in the MFR-15 zoning district. Further, the authority of the Site Plan & Architectural Commission (SPAC)—as outlined in MLDC 10.110(I) and 10.200(A)—is limited to providing for the review of the functional and aesthetic adequacy of proposed developments. The Code does require Special Use standards or Conditional Use Permits in residential zones when a development includes onsite treatment and/or training for their residents in conjunction with housing (e.g., Residential Facilities with 16 or more residents, and Residential Drug and Alcohol Treatment Facilities with 16 or more residents); however, the applicant has affirmed—through both their submitted findings and oral testimony provided at the public hearing—that the development will not include training and/or treatment for the residents, nor any other activity or use not permitted by-right in the underlying zone. Therefore, in accordance with the Fair Housing Act, the City is obliged to process the subject application without regard to the status of the future residents of the development, and to limit the review of the subject request to those duties specifically outlined in the MLDC.

Also included in this revised report is a memorandum from the City Attorney’s Office responding to comments received from Mr. Durham, as well as providing information concerning the federal and state Fair Housing Acts, and how they apply to the subject application (Exhibit P).

DECISION

At the public hearing held on February 28, 2020, the Commission voted unanimously to approve the request. During the hearing, Brooks Durham—the neighbor of the subject development who requested the continuance—submitted a letter which was added into the record as Exhibit Q. That letter is included with this Commission report.

FINDINGS OF FACT

The Site Plan and Architectural Commission shall approve a site plan and architectural review application for a residential development if the proposed development complies with the applicable provisions of all city ordinances, or if the Site Plan and Architectural Commission has approved either of the following:

- (a) *Any Exceptions, as provided for in MLDC Section 10.186, which resolve(s) any instances of non-compliance with those provisions.*

The standards set forth in MLDC 10.186 do not apply to this application.

- (b) *Any Adjustments or Exceptions from the Special Development Standards for Multiple Family Dwellings, as provided for in MLDC 10.715A through 10.717*

The standards set forth in MLDC 10.715A through 10.717 do not apply to this application.

As demonstrated by staff in the report above, the Commission can find that that the proposed development complies with the applicable provisions of all city ordinances.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit H) and recommends the Commission adopt the findings as recommended by staff.

ACTION TAKEN

Adopted the findings as recommended by staff and directed staff to prepare the final order for approval of AC-19-064 per the Commission Report dated March 6, 2020, including:

- Exhibits A through Q.
- Approval of the applicant's request for relief from complying with the strict standards of the Code for both block length and for the construction of a

public accessway in lieu of a public street, pursuant to MLDC 10.426(2) and 10.464(1).

EXHIBITS

- A Conditions of Approval, drafted February 14, 2020.
- B Site Plan, received February 11, 2020.
- C Drainage & Utility Plan, received December 11, 2019.
- D Floor Plans (2 of 2), August 15, 2019.
- E Building elevation Plans (2 of 2), February 11, 2020.
- F Trash enclosure elevation plan, February 11, 2020
- G Landscape Plan (3 of 3), received December 11, 2019.
- H Applicant's Narrative, Questionnaire, and Findings of Fact, received December 11, 2019.
- I Public Works staff report, received January 22, 2020.
- J Medford Water Commission report & map, received January 22, 2020.
- K Medford Fire Department report, received January 22, 2020.
- L Rogue Valley Sewer Service (RVSS) report, received January 14, 2020.
- M Letter submitted by Brooks Durham at public hearing, received February 21, 2020.
- N Second letter submitted by Brooks Durham, received February 23, 2020.
- O Letter submitted by applicant, received February 28, 2020.
- P Memo from City Attorney's Office, received February 28, 2020.
- Q Third letter submitted by Brooks Durham, received March 6, 2020 at the hearing.
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION:

JEFF BENDER, CHAIR

SPAC AGENDA

FEBRUARY 21, 2020
MARCH 6, 2020
MARCH 20, 2020

RECEIVED

MAR 06 2020

PLANNING DEPT.

3/6/20

Good afternoon,

My name is Brooks Durham, an owner of one of the 10 townhomes in Yorktown Homeowner's Association. I live at 1208 Yorktown.

I'm not against mental health, veteran's services and veteran's Housing. Unfortunately, transparency has not been given.

Yorktown Homeowner's Association is a group of 10 town homes that border this proposed project, Columbia Care Apartments. I am here representing Yorktown Homeowner's Association which has approximately 30 people living here.

We at Yorktown Homeowner's Association ask to be informed of the specific details of what is being proposed. What type of housing is this? What services are provided? What are the job titles, job descriptions of employees and contractors for this proposed project? ColumbiaCare did not respond to our questions.

Transparency is crucial to build trust and develop a healthy relationship within our neighborhood & this proposed project.

Yorktown Homeowner's Association does not know the specifics on this project other than this development is intended for transitional housing as testified at the first hearing on 2/21/20.

ColumbiaCare has now described their project as both **Transitional Housing** and **Permanent, Supportive Housing?**

Staff report lists this as Transitional Housing.

They can't be both, as those programs are much different in scope. Which is it?

ColumbiaCare services has this on their website.

• **" ColumbiaCare will provide truthful information about its facilities, service programs and resident selection process when introducing a new residential project to the neighborhood".**

ColumbiaCare has not been transparent to myself and Yorktown Homeowner's Association.

1) Notice of public hearing dated 1/31/20 states project name is **Columbia Care Apartments**. Dustin Severs confirmed that was the name of the apartments on 2/18/20 to me in person. (See attachment Exhibit A). Address: 1319 W. Stewart Avenue

CITY OF MEDFORD
EXHIBIT # Q
File # Ac-19-064

2). 1st Staff report dated 2/14/20 states planned use is transitional housing for veterans.

3). Public Hearing testimony on 2/21/20:

Mr. Whitney, of ColumbiaCare Services testified the following:

- *"this housing project is specifically for veterans that are in transition."*

- Mr. Stevens, agent of ColumbiaCare, testified the following at the public hearing on 2/21/20:

- *" this would not be a treatment center but a transitional housing project."*

Mr. Stevens also testified the following on 2/21/20:

"they (ColumbiaCare) had made a full disclosure of what this type of development would be used for so everybody would know exactly what was happening on the site."

4) 2nd staff report agenda 3/6/20 project states use is for transitional housing for veterans

5) ColumbiaCare submitted a document to City Planning Department (reference exhibit O in staff report agenda 3/6/20. STEWART APARTMENTS: NEW PROJECT FACT SHEET/FAQ

A) Program name: **Stewart Apartments**

* Note - Program name has changed

B). Location: **1303-1319 Stewart Ave Medford, OR / Jackson County**

* Note - Program address has changed

C). **Project Description/Staffing:** Stewart Apartments will be a brand new, 16-unit, affordable, permanent, supportive housing.

* Note - Program use has changed

We at Yorktown Association appeared to have been misled about the intended use, name & address.

Given this confusing information we ask the commissioners to delay approval of the application by ColumbiaCare until full disclosure has been provided.

Respectfully,
Brooks Durham



STEWART APARTMENTS: NEW PROJECT FACT SHEET/FAQ

(New Project Fact Sheets are works in progress just as new projects are, and will be modified periodically to accurately reflect changes in the details and progress of any particular development. In an effort to provide progress reports as our projects unfold, we need to note that all information found here should be considered preliminary in nature and subject to change unless otherwise specified.)

Program Name: Stewart Apartments

Owned/Operated By: ColumbiaCare Services, Inc. (www.columbiacare.org)

Funded/Sponsored By:

City of Medford (Grant Funds)

Oregon Housing and Community Services (Grant Funds)

Washington Mutual (Commercial Loan)

Letters of Support:

Jackson County Continuum of Care

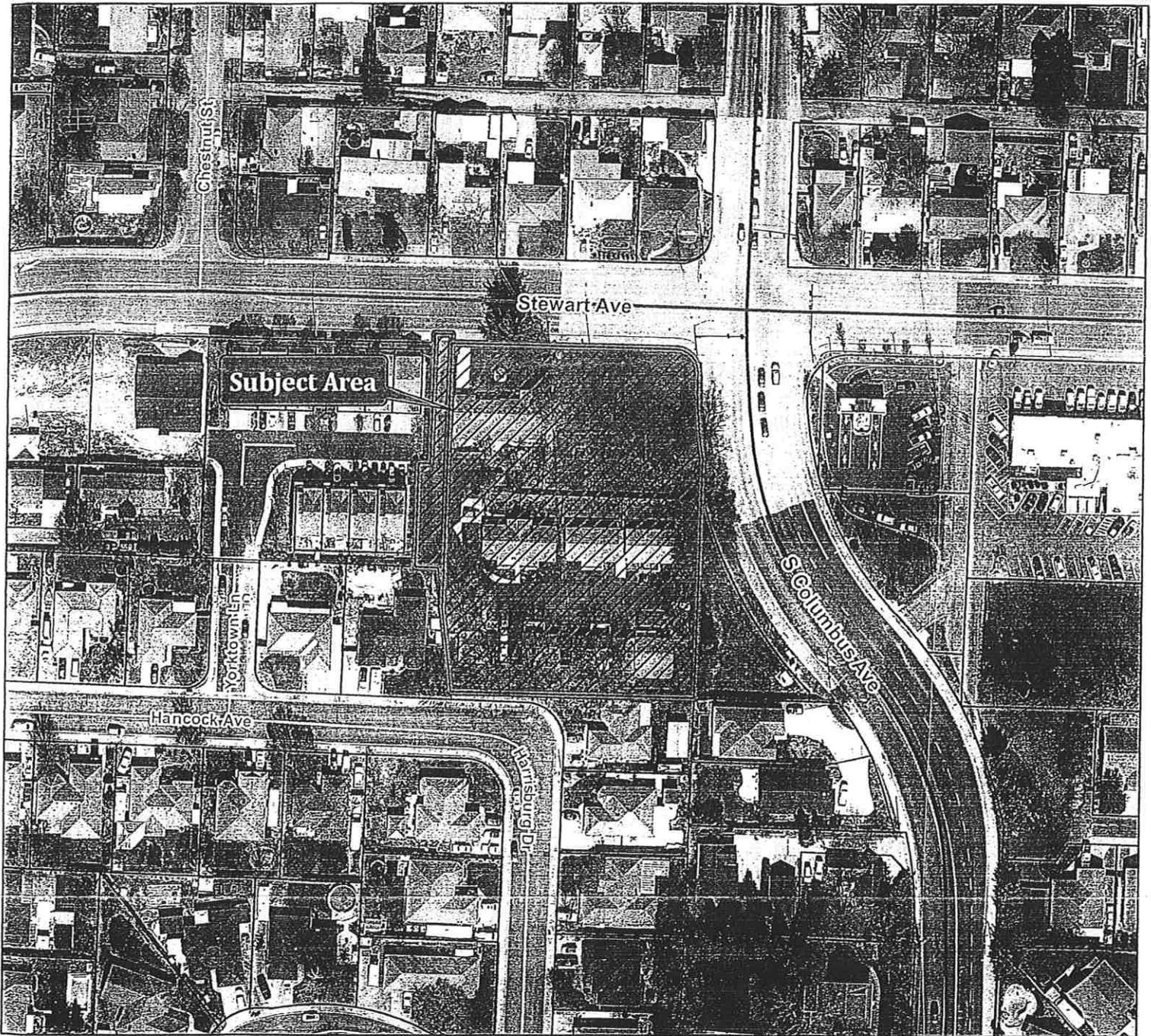
Location: 1303-1319 Stewart Avenue Medford, OR/Jackson County

Anticipated Open Date: TBD

Project Description/Staffing:

Stewart Apartments will be a brand new, 16-unit, affordable, permanent, supportive housing complex for those local Veteran citizens who committed themselves to serve and protect our country, and who are underhoused/at risk of homelessness, or currently experiencing homelessness.

Clarification: *There is no pre-designed time limit on residency within Stewart Apartments. Stewart Apartments is not necessarily "transitional" by definition, in that ColumbiaCare believes that Veterans may not choose to stay at this housing location forever, but may want to move on to regular market housing that is not designated as Veteran-specific, and this may be a great step towards independent living.*



Project Name:

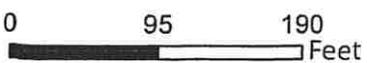
**Colombia Care Apartments
1319 W Stewart Avenue**

Map/Taxlot:

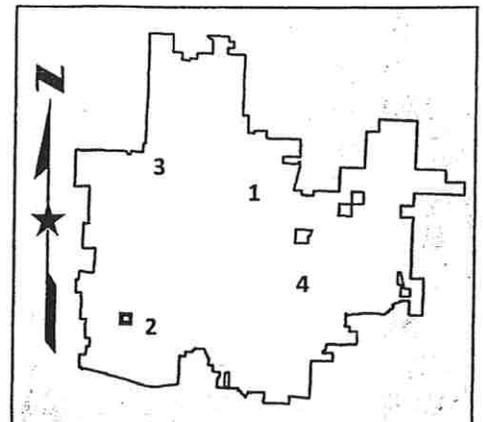
372W36BC TL 100 & 200

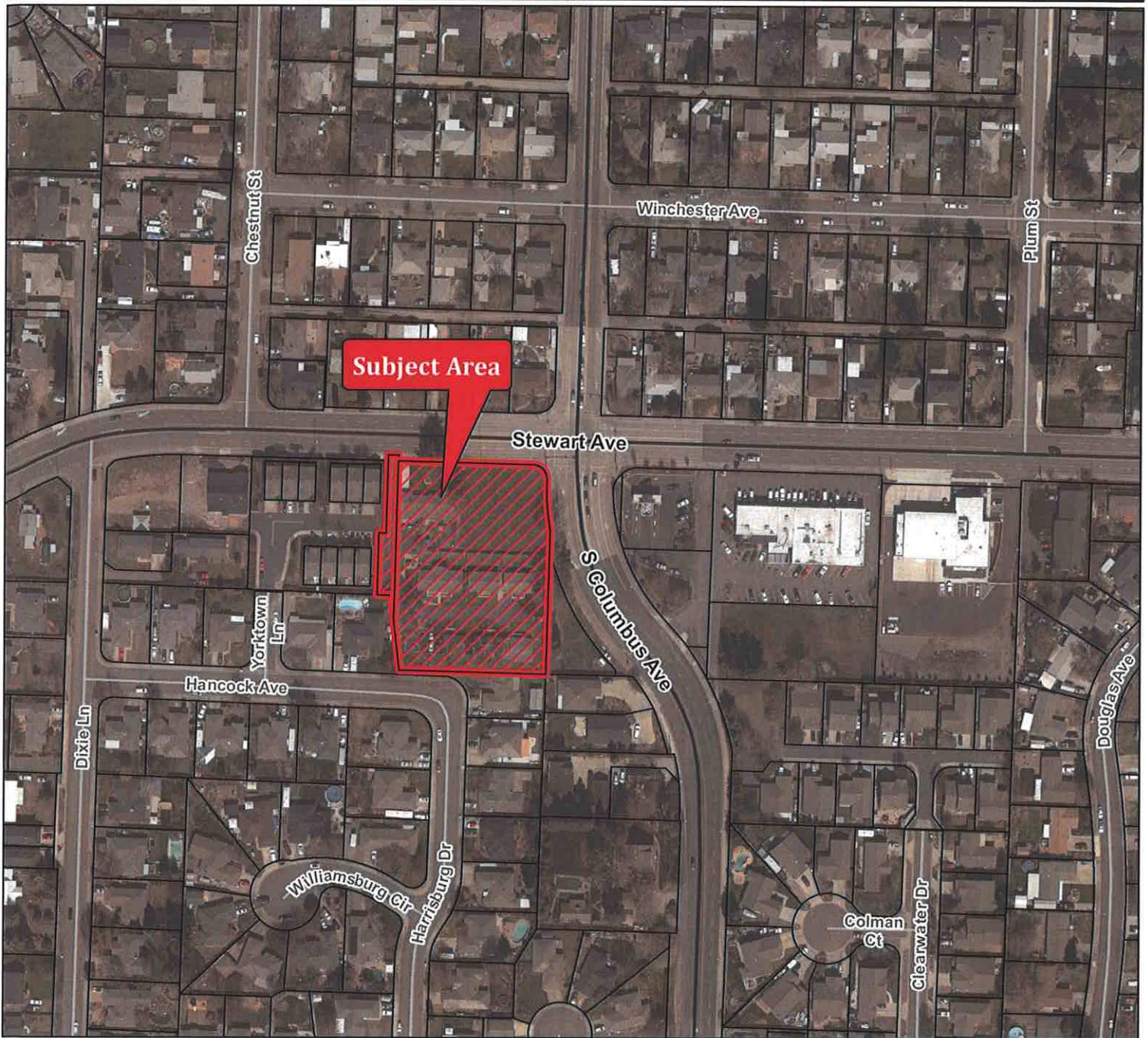
Legend

-  Subject Area
-  Tax Lots



12/16/2019
Exhibit A
22





Project Name:

**Columbia Care Apartments
1319 W Stewart Avenue**

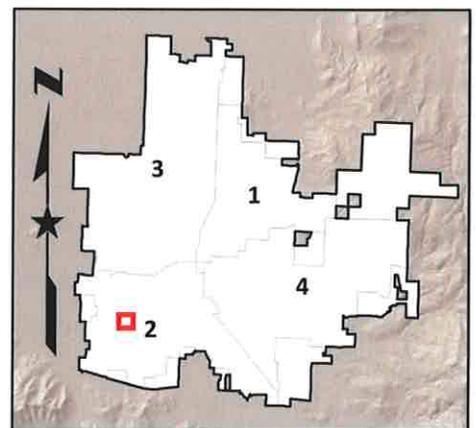
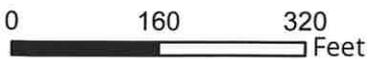
Map/Taxlot:

372W36BC TL 100 & 200

Legend

-  Subject Area
-  Tax Lots

2/28/2020



**BEFORE THE MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION
STATE OF OREGON, CITY OF MEDFORD**

IN THE MATTER OF SITE PLAN AND ARCHITECTURAL COMMISSION)
FILE AC-20-007 APPLICATION FOR PROJECT REVIEW SUBMITTED) **ORDER**
BY ALVAREZ REAL ESTATE LLC.)

ORDER granting approval of a request of File No. AC-20-007, as follows:

Consideration of a proposal for the construction of a 10,125 square foot metal industrial building on a single 0.96-acre parcel located at 3558 Table Rock Road in the I-L (Light Industrial) zoning district (372W12A TL 800).

WHEREAS:

1. The Site Plan and Architectural Commission has duly accepted the application filed in accordance with the Land Development Code, Section 10.200.
2. The Site Plan and Architectural Commission has duly held a public hearing on the matter described above, with a public hearing a matter of record of the Site Plan and Architectural Commission on March 6, 2020.
3. At the public hearing on said application, evidence and recommendations were received and presented by the developer and Planning Department staff; and
4. At the conclusion of said public hearing, after consideration and discussion, the Site Plan and Architectural Commission, upon a motion duly seconded, granted approval and directed staff to prepare a final order with all conditions and findings set forth for the granting of approval.

THEREFORE LET IT BE HEREBY ORDERED that the application of Columbia Care Services Inc., stands approved subject to compliance with the conditions stated in the Commission Report dated March 6, 2020.

AND LET IT FURTHER BE OF RECORD that the action of the Site Plan and Architectural Commission approving this application is hereafter supported by the findings referenced in the Commission Report dated March 6, 2020.

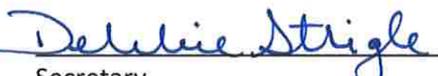
BASED UPON THE ABOVE, it is the finding of the Medford Site Plan and Architectural Commission that the project is in compliance with the criteria of Section 10.200(E) of the Land Development Code.

Accepted and approved this 20th day of March, 2020.

MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

Site Plan and Architectural Commission Chair

ATTEST:


Secretary



COMMISSION REPORT

for a Type-III quasi-judicial decision: Site Plan & Architectural Review

Project Alvarez Real Estate
Applicant: Alvarez Real Estate LLC.
Agent: CSA Planning

File no. AC-20-007

Date March 6, 2020

BACKGROUND

Proposal

Consideration of a proposal for the construction of a 10,125 square foot metal industrial building on a single 0.96-acre parcel located at 3558 Table Rock Road in the I-L (Light Industrial) zoning district (372W12A TL 800).

Vicinity Map



Approval Authority

This is a Type III land use decision. The Site Plan & Architectural Commission is the approving authority under MLDC 10.108(1).

ISSUES AND ANALYSIS

Background

History

The subject property currently contains one single-family residence and a detached garage. The single-family house is proposed to be repurposed as office space for the business with the subject development (no exterior changes are proposed), while the garage is proposed to be demolished.

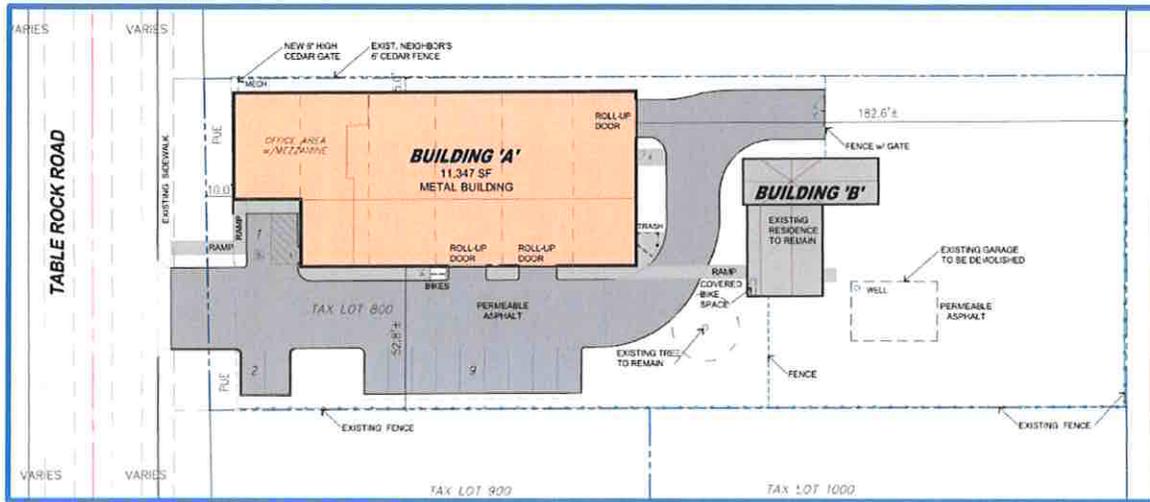


On November 21, 2019, the site was approved by City Council to be annexed into the City and designated with the SFR-00 zoning classification. On December 5, 2019, the Planning Commission approved the property to be rezoned from SFR-00 to I-L.

It should be noted that an annexation is not official until acknowledged by the Secretary of State and the city zoning designation cannot be applied outside the City's corporate boundary. At the time of this writing, the subject property is still awaiting approval by the Secretary of State. Accordingly, all land use approvals—including zoning and site plan approvals—will not become effective until the property has been officially brought into the City's corporate boundary.

Staff has included a condition of approval stating that the approval of the subject request will become effective upon the property's official date of annexation.

Current proposal



The applicant is proposing to develop the site with a 10,125 square foot industrial metal building with a 12-car parking lot. The existing 1,640 square foot residence—approved by Jackson County—will be adapted as office space, while the existing garage will be removed. Access to the subject site will be provided via the existing driveway, and the parking area and all driving and maneuvering areas will be paved.

Development Standards

Site Development Table

I-L	Allowed/Required	Proposed
Height	85 feet	24'-2"
Lot Coverage	50%	27.9%
Setback (front)	10 feet	10 feet
Setback (rear and side yards)	4 feet	5 ft. (north) 52.8 ft. (south) 182.6 (rear)

As shown in the Site Development Table above, it can be found that the proposed building identified on the submitted site plan, meets the bulk standards for the I-L zoning district as found in Article V of the Medford Land Development Code.

Parking

Parking Table (MLDC 10.743-751)

	Required	Shown
Vehicle Spaces	11	12
Handicap Spaces	1	1
Bicycle Spaces	2	3

The submitted site plan shows a total of 12 parking stalls, meeting the minimum required as per MLDC 10.743(1). The site plan also shows the requisite number of handicap spaces and bicycle spaces, as per MLDC 10.746(8)(a) and 10.748, respectively.

Landscaping

Frontage Landscaping (MLDC 10.797)

Table Rock Road	Required	Shown
Trees	4	4
Shrubs	25	25+

The applicant's submitted landscape plan (Exhibit F) shows landscaping along the site's frontage with Table Rock Road, meeting the minimum required number of trees and shrubs as per MLDC 10.797.

Pedestrian Access (MLDC 10.772-776)

The site plan shows pedestrian walkways connecting the proposed buildings to each other and to the public sidewalk running along Table Rock Road, consistent with the Pedestrian connectivity standards found in MLDC 10.772-776.

Concealments

Trash Enclosure (MLDC 10.781)

The applicant's site plan shows a trash enclosure located at the southeast corner of Building A, and the submitted findings state that a cedar fence trash enclosure with a cedar fence door is proposed to screen trash cans. No trash dumpster is proposed.

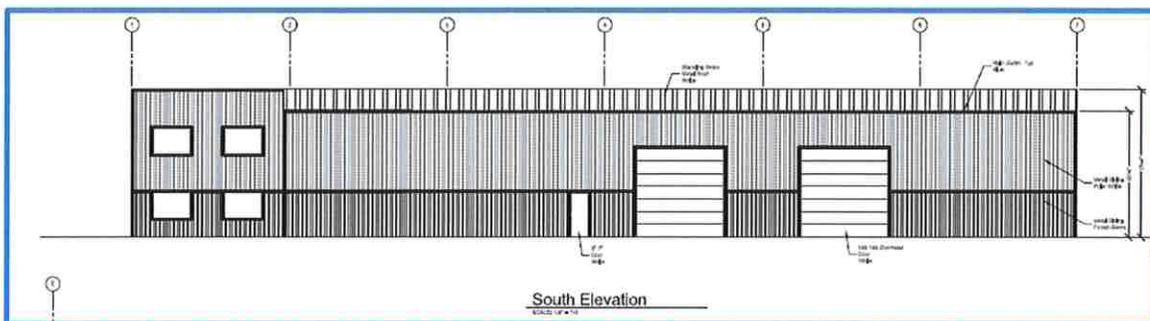
Proposal meets Code requirements, as per MLDC 10.781.

HVAC Equipment (MLDC 10.782)

The applicant's findings state that the HVAC equipment for Building A will be located in the side yard adjacent to the building and screened by a 6-foot high cedar gate, while the equipment for Building B is existing and not visible.

Proposal meets Code requirements, as per MLDC 10.782.

Architecture



The applicant's findings state that the proposed building will be a pre-engineered metal building with office, shop and storage areas. The building will include a 1,000 square foot mezzanine located in the western bay of the building.

The exterior wall panels are proposed to be 36-inch wide prefinished standing seam panels in two colors: Burnished Slate on the bottom and Fox Gray on the top. Roofing is to be 36-inch wide prefinished standing seam panels with Burnished Slate coloring.

Other Agency Comments

RVSS (Exhibit R)

The subject property is within RVSS service area. There is an existing 8-inch sewer main along Table Rock Road and a 4-inch service stubbed to the subject property.

As a condition of approval, the applicant will be required to comply with the conditions of RVSS.

Jackson County (Exhibit S)

The segment of Table Rock Road fronting the subject site is under the jurisdiction of Jackson County, and is not within City limits.

As a condition of approval, the applicant will be required to comply all requirements of Jackson County Roads.

Avista (Exhibit T)

Per the email received by staff, the existing residence has a natural gas service, and the proposed building will require the line to be relocated.

As a condition of approval, the applicant will be required to relocate the existing gas line prior to the issuance of a building permit.

Rogue Valley International – Medford Airport (Exhibit U)

Rogue Valley International Airport requests an Avigation, Noise and Hazard Easement to be required as part of the permit process. In the 2010 LUBA decision on Michelle Barnes vs. City of Hillsboro and the Port of Portland, Nollan/Dolan findings are required to support the request (LUBA No. 2010-011). None were provided; therefore, a condition requiring compliance with the airport's request for an Avigation, Noise and Hazard Easement has not been included.

Committee Comments

No comments were received from committees such as BPAC.

No other issues were identified by staff.

DECISION

At the public hearing held on March 6, 2020, the Commission voted unanimously to approve the request, while adding the following condition of approval:

The applicant shall engage the services of a professional land surveyor licensed in the state of Oregon to perform a boundary survey and prepare a map for submittal to the City Surveyor for review and approval demonstrating compliance with setback requirements.

The above-cited condition has been included as condition of #6 to the revised conditions of approval (Exhibit A-1).

During the presentation, staff also added a revised site plan (Exhibit C-1) and a revised Landscape Plan (Exhibit F-1) into the record. These revised plans are included in this Commission report.

FINDINGS OF FACT

1. *The proposed development is compatible with uses and development that exist on adjacent land;*

The Commission can find that there is sufficient evidence contained in the applicant's findings and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

2. *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A. This criterion is satisfied.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit M) and recommends the Commission adopt the findings as recommended by staff.

ACTION TAKEN

Adopted the findings as recommended by staff and directed staff to prepare the final order for approval of AC-20-007 per the Commission report dated March 6, 2020, including:

- Exhibits A-1 through U.

EXHIBITS

- A-1 Conditions of Approval (Revised), drafted March 6, 2020.**
- B Cover Sheet, received February 25, 2020.
- C-1 Site Plan (Revised), received March 2, 2020.**
- D Civil Plan, received February 25, 2020.
- E Utility & Grading/Drainage Plans (2 of 2), received February 25, 2020.
- F-1 Landscape Plan (Revised), received March 2, 2020.**
- G Detail Sheets (2 of 2), received February 25, 2020.
- H Building elevations, received February 25, 2020.
- I Floor Plan, received February 25, 2020.
- J Roof Plan, received February 25, 2020.
- K Building Colors (3 of 3), received January 9, 2020.
- L Applicant's site photos, received January 9, 2020.
- M Applicant's Findings of Fact & Conclusions of law, received January 9, 2020.
- N Applicant's demonstration of compliance with development standards, received January 9, 2020.

- O Public Works report, received February 12, 2020.
- P Medford Water Commission report, received February 12, 2020.
- Q Medford Fire Department, received February 12, 2020.
- R RVSS report, received January 31, 2020.
- S Jackson County Roads report, received February 4, 2020.
- T Avista email, received January 30, 2020.
- U Jackson County-Medford Airport email, received January 31, 2020.
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION:

JEFF BENDER, CHAIR

SPAC AGENDA

**MARCH 6, 2020
MARCH 20, 2020**

EXHIBIT A-1

Alvarez Real Estate
AC-20-007
Conditions of Approval
March 6, 2020

CODE REQUIRED CONDITIONS

Approval of the subject application shall become effective upon the property's official date of annexation.

Prior to the issuance of a building permit for vertical construction, the applicant shall:

1. Comply with all conditions stipulated by the Public Works Department (Exhibit O).
2. Comply with all conditions stipulated by the Medford Water Commission (Exhibit P).
3. Comply with all requirements of the Medford Fire Department (Exhibit Q).
4. Comply with all requirements of the Rogue Valley Sewer Services (RVSS) (Exhibit R).
5. Comply with all applicable requirements of Jackson County Roads (Exhibit S).
6. The applicant shall engage the services of a professional land surveyor licensed in the state of Oregon to perform a boundary survey and prepare a map for submittal to the City Surveyor for review and approval demonstrating compliance with setback requirements.

Prior to the issuance of the first building permit, the applicant shall:

7. Comply with all requirements of Avista (Exhibit T).

CITY OF MEDFORD
EXHIBIT # A-1
File # AC-20-007

35

TABLE ROCK ROAD

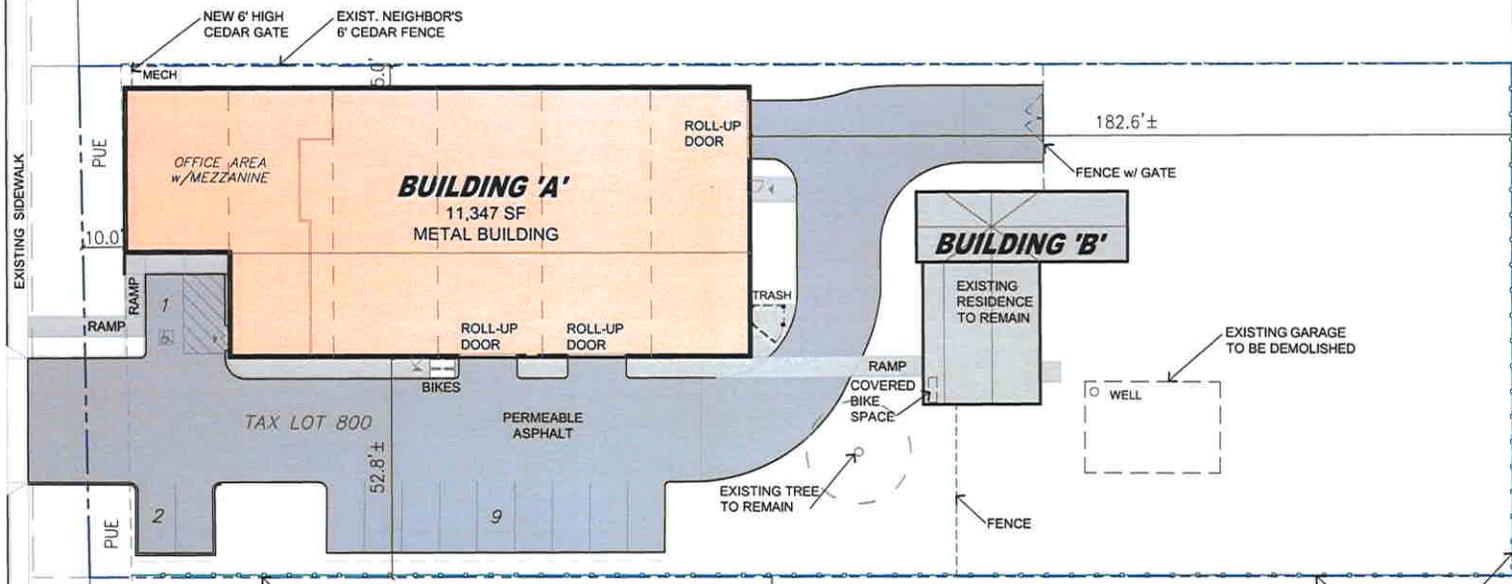
VARIES

NEW INDUSTRIAL BUILDING
3558 TABLE ROCK ROAD MEDFORD, OR

Owner: **Alvarez Real Estate, LLC**

TAX LOT 700

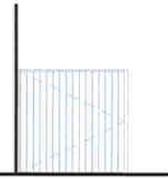
VARIES



VARIES

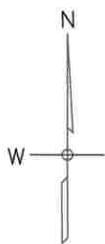
TAX LOT 900

TAX LOT 1000



CEDAR TRASH ENCL
w/ CEDAR DOOR
TRASH ENCLOSURE

TAX LOT 1101



SITE PLAN

SCALE: 1:30
DATE: 2/10/20

MAP: 37 2W 12A
TAX LOT: 800



CSA Planning, Ltd.
4497 Brownridge Terrace
Medford, OR 97504
541.779.0569
CSAplanning.net



Project Name:

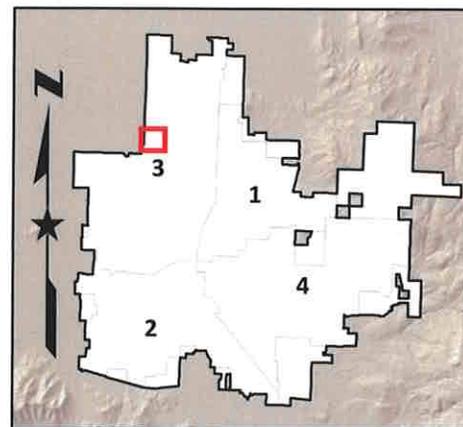
**3558 Table Rock Road
Industrial Warehouse**

Map/Taxlot:

372W12A800

Legend

-  Subject Area
-  Tax Lots



0 255 510
Feet

1/10/2020

SITE PLAN & ARCHITECTURAL COMMISSION MINUTES



MEDFORD
OREGON

March 6, 2020

12:00 P.M.

Medford City Hall, Council Chambers

411 West 8th Street, Medford, Oregon

The regular meeting of the Site Plan and Architectural Commission was called to order at noon in the Council Chambers on the above date with the following members and staff in attendance:

Commissioners Present

Jeff Bender, Chair
Bill Chmelir, Vice Chair
Jim Catt
Bob Neathamer
Marcy Pierce
Jim Quinn
Rick Whitlock

Staff Present

Kelly Evans, Assistant Planning Director
Madison Simmons, Senior Assistant City Attorney
Doug Burroughs, Public Works/Eng. Develop Svs. Mgr.
Dustin Severs, Planner III
Debbie Strigle, Recording Secretary

Commissioners Absent

David Culbertson, excused
Milo Smith, excused

10. **Roll Call**

20. **Consent Calendar / Written Communications (voice vote)** None.

30. **Approval or Correction of the Minutes**

30.1 There being no additions or corrections, the minutes for the February 21, 2020, meeting were approved as submitted.

40. **Oral Requests and Communications from the Audience.** None.

50. **Public Hearings**

Madison Simmons, Senior Assistant City Attorney, read the rules governing the public hearings.

Chair Bender indicated that a request had been made that the new business item be heard before the old business item. There were no objections from the commission.

New Business.

50.2 **AC-20-007** Consideration of a proposal for the construction of a 10,125 square foot metal industrial building on a single 0.96-acre parcel located at 3558 Table Rock Road in the I-L (Light Industrial) zoning district (372W12A TL 800). Applicant, Alvarez Real Estate LLC; Agent, CSA Planning; Planner, Dustin Severs.

Chair Bender asked for any potential conflicts of interest, ex-parte communications, or site visits. There were none.

Dustin Severs, Planner III, gave a PowerPoint presentation of the February 28, 2020, Staff Report. Staff recommended approval.

Commissioner Whitlock asked if legal counsel had any concerns about the 120 day statutory limit with the approval being effective upon the official date of annexation. Ms. Simmons answered she had reviewed this when it had come before the Land Development Committee and it had not raised any red flags at that time. Mr. Severs added that in staff's view there would not be any conflict with the 120 day rule. Commissioner Whitlock stated it was a conflict with him because the language of the order is that it's not final and effective until the annexation is approved by the state and therefore the final order is not going to be final within the 120 days in all likelihood.

Commissioner Whitlock wanted to know how many offices would be created in the repurposed residence. Mr. Severs deferred the question to the applicant's agent.

Commissioner Whitlock asked if staff had any concerns about whether a bufferyard was necessary because of the different uses nearby. Mr. Severs said that since the other parcels are located outside city limits the bufferyard segment of city code would not apply.

Commissioner Whitlock wanted to know if the applicant's findings of "The driveway and parking lot will be paved and the remaining equipment storage, overflow parking and associated drive aisles will have a lignin-treated gravel surface" complied with city requirements. Mr. Severs replied that it does not. All driving and maneuvering areas are required to be paved. This commission would have to approve the request to have the lignin-treated gravel surfaces.

Commissioner Whitlock was curious as to who verifies the location of structures when construction begins. He also said he hadn't seen the typical lot dimensions or indication that a survey had ever been done. Mr. Severs explained that would be done through the Building Department.

Commissioner Whitlock asked if a surveyor had been used to locate the property lines and/or would be required to be involved regarding where the footings are placed. Mr. Severs answered that the Building Department would not require a survey. Commissioner Whitlock stated he did have concerns with the property not having had a survey done.

The public hearing was opened and the following testimony was given:

a) Mike Savage, CSA Planning, agent for the applicant, 4497 Brownridge Terrace Suite 101, Medford, stated they agreed with the staff report and accepted all the conditions of approval as identified in the staff report. Mr. Savage said in regards to the number of offices in the existing residence he did not know the answer to that as he is not the lead person on this project. With regard to the 120 day rule, he stated the applicant would more than willing to write a letter granting an extension should it become necessary.

In regards to the bufferyard, Mr. Savage agreed with staff that it is not required. On their landscape plan they did put in some vegetation along the south side near the residence because of the fact that there will be some interim industrial use on that property.

Mr. Savage said the paving and maneuvering areas were a result of changes that occurred through the process after they had filed the application. It initially called for storage of equipment in the easterly portion of the property. They have since revised that request and it was not fully updated in their records. They are now proposing not to store equipment on the east side but fence it off and gate that

area and leave as-is. It is Mr. Savage's understanding is that there will be no unpaved areas used for parking and/or maneuvering of equipment or vehicles or over-flow parking at this point.

Mr. Savage said as far as the tight dimensions of the lot he said they had worked out the driveway location with Jackson County Roads which pushed it farther to the north which made it even tighter. He added they have a surveyor on board who works very close with the engineer to make sure they have exact locations. They will incorporate the surveyor's information when they do the final engineering plan.

Mr. Savage requested the commission's approval.

Commissioner Whitlock wanted to know if the number of offices in the repurposed residence might impact the parking standards or requirements. Mr. Savage deferred the question to staff but said he knew the original idea was to use building B primarily for offices and building A for storage however as things progressed the westerly portion of the proposed building will have a significant number of offices therefore reducing the office space in the existing structure.

Mr. Savage requested time for rebuttal.

The public hearing was closed.

Motion: Adopt the findings as recommended by staff and direct staff to prepare the final order for approval of AC-20-007 per the Staff Report dated February 28, 2020, including Exhibits A through U and adding the following condition:

- The applicant shall comply with the general design requirement for parking and maneuvering under MLDC Section 10.746.

Moved by: Commissioner Whitlock Seconded by: Commissioner Chmelir

Voice Vote: Motion passed, 7-0

Friendly Amendment: Add to the original motion the following condition:

- The applicant shall engage the services of a professional land surveyor licensed in the state of Oregon to perform a boundary survey and prepare a map for submittal to the City Surveyor for review and approval demonstrating compliance with setback requirements.

Moved by: Commissioner Neathamer Accepted by: Commissioner Whitlock

Voice Vote: Motion passed, 7-0

Commissioner Whitlock still had the question regarding the number of offices in the repurposed residence and how that might impact the parking requirements.

Kelly Evans, Assistant Planning Director, explained that parking requirements are based on gross floor area and not the number of offices.

Commissioner Whitlock noted that he made the motion because the applicant agreed to waive the 120 day rule up to the maximum allowed under the State statute should the approval from the State on the annexation not become effective before the 120 days has lapsed.

Commissioner Neathamer stated the reason for his amendment was because it's not clear if there's a boundary survey.

Old Business

50.1 **AC-19-064** Consideration of a proposal for the construction of two multi-family apartment buildings: a two-story, 4,419 square foot 12-plex, and a two-story, 1,697 square foot 4-plex. The property consists of two contiguous parcels totaling 1.57 acres, and is located at the southwest corner of Stewart Avenue and S. Columbus Avenue (1317 Stewart Avenue) in the MFR-15 (Multiple Family Residential, fifteen dwelling units per gross acre) zoning district (372W36BC TL 100 & 200). Applicant, Columbia Care Services, Inc.; Agent, Richard Stevens & Associates, Inc.; Planner, Dustin Severs.

Chair Bender asked for any potential conflicts of interest, ex-parte communications, or site visits. Commissioner Neathamer disclosed that he had read the articles in the newspaper and did not think it would influence his decision one way or another. Commissioner Whitlock declared he had been aware of the newspaper articles and had seen the headlines but had not read or reviewed the contents.

Dustin Severs, Planner III, gave a PowerPoint presentation of the February 28, 2020, Revised Staff Report. He pointed out that a letter had been submitted by Mr. Brooks Durham just prior to this meeting. This letter is dated March 6, 2020, and will be submitted into the record as Exhibit Q. Staff recommended approval.

Commissioner Whitlock asked if this commission needed to act in any way on the bufferyard issue. Mr. Severs answered that staff believes it is not a discretionary matter and that they do comply with city code.

The public hearing had been left open from the February 21, 2020, meeting, and the following additional testimony was given:

a) Clark Stevens, Richard Stevens & Associates, agent for the applicant, 100 E. Main Street, stated this application is in compliance with all the approval criteria without any exceptions. He gave a description of the project stressing that this is strictly a housing complex for veterans transitioning from vehicles, tents, and streets into a permanent housing environment. This project is not a treatment, counseling, or mental health service facility.

In regards to Mr. Brooks Durham's letter dated February 19, 2020, that had been submitted at the last hearing on February 21, 2020, Mr. Stevens stated Columbia Care had responded to that letter and it was labeled as Exhibit O in the Revised Staff Report.

Mr. Stevens stated they are in agreement with all the conditions of approval as listed in the Revised Staff Report.

Commissioner Whitlock asked Mr. Stevens if he had any further comments regarding the letter Mr. Durham had submitted prior to this meeting. Mr. Stevens said he had read Mr. Durham's letter and said he did not have any further response.

Mr. Stevens requested time for rebuttal.

Ms. Simmons stated that in her memo she had erroneously referred to this project as a "group home" and that the term had been used as an example from federal law but she wanted it to be very clear to everyone that this project is not a group home under Oregon law and code definition.

Ms. Simmons said she had primarily addressed the Federal Fair Housing Act in her memo however there is also a State Fair Housing Act that offers slightly more protection. She noted it was important to keep in mind that this State Fair Housing Act does protect income levels as a protected class. It is one additional protection on top of the Federal Fair Housing Act.

b) Brooks Durham, 1208 Yorktown, Medford, spoke in opposition to this project.

c) Chris Durham, 1009 McPhearson Lane, Medford, spoke in opposition to this project.

Mr. Stevens objected to both Brooks and Chris Durham's claims of non-transparency by saying they could have submitted this project without having to mention veterans as the intended users for this site. He reiterated that this project is specifically for homeless veterans who are transitioning to a permanent housing situation. Mr. Stevens again pointed out Columbia Care's appropriate response to the Durham's questions and concerns which was submitted as Exhibit O into the record.

In regards to the changing of the name of the project, Mr. Stevens stated that is not unusual in projects and is not an approval criterion. He said the address will also probably change with this project as it has a range of addresses for each individual housing unit currently on the site. The map and tax lot numbers do not change and identifies specific properties.

Mr. Stevens stated they concur with staff's recommendation for approval.

The public hearing was closed.

Motion: Adopt the findings as recommended by staff and direct staff to prepare the final order for approval of AC-19-064 per the Revised Staff Report dated February 28, 2020, including Exhibits A through Q and the following:

- Approval of the applicant's request for relief from complying with the strict standards of the Code for both block length and for the construction of a public accessway in lieu of a public street, pursuant to MLDC 10.426(2) and 10.464(1).
- The imposition of all the conditions in Exhibit A

Moved by: Commissioner Whitlock Seconded by: Commissioner Quinn

Commissioner Whitlock said he understood the concerns expressed but pointed out there are already existing homes that are serving that population in the immediate area to the south of the proposed project. In addition, this new housing complex will have somebody on-site to assist those veterans with problems they may have and identify any problems that may arise, if any. Commissioner Whitlock indicated that the Durhams had acknowledged that this project is not a mental health facility. He added that it's clear that there are no mental health counseling services ongoing at this site. Per the Federal Fair Housing Act and Oregon law this commission cannot consider the characteristics of the tenants or deny this application because there are concerns about some of the characteristics of these tenants or for how long they may actually live there. This is going to be an apartment complex just like any other except there will be an on-site person ready to assist those veterans as they may encounter concerns or challenges going forward. Commissioner Whitlock pointed out that there are likely veterans among the community elsewhere who have served their country and may have issues similar to the ones who will be living at this site. All the residents at this housing complex will have passed through some counseling standards. This project is intended as a "hand up" to those veterans to transition from homelessness to a much more stable environment to hopefully improve their lives.

Site Plan & Architectural Commission Minutes
March 6, 2020

Commissioner Whitlock said he agreed with the applicant that the name of this project and the address are just not material to whether the application should or should not be approved. He said he believed that this record that's been created fully supports approval of this project and that all the criteria have been satisfied and therefore, this commission is obligated under city code to approve it.

Voice Vote: Motion passed, 7-0

60. Written Communications None.

70. Unfinished Business None.

80. New Business None.

90. Report from the Planning Department

90.1 Ms. Evans stated there is business scheduled for the next three meetings on March 20, April 3, and April 17, 2020.

90.2 Ms. Evans reported that City Council had approved the condition of approval vacating easements for the McDonald's project on Barnett Road. At the next City Council meeting they will consider transportation facility plans for the improvement of Foothill Road from Delta Waters Road down to the ramps.

90.3 Ms. Evans said the Planning staff is starting to work on some downtown design standards.

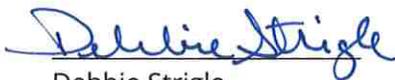
100. Messages and Papers from the Chair None.

110. Propositions and Remarks from the Commission None.

120. Adjournment

120.1 The meeting was adjourned at approximately 1:15 p.m. The proceedings of this meeting were digitally recorded and are filed in the City Recorder's office.

Submitted by:



Debbie Strigle
Recording Secretary

Jeff Bender
Site Plan and Architectural Commission Chair

Approved: March 20, 2020



STAFF REPORT

for a Type-III quasi-judicial decision: **Site Plan and Architectural Review**

Project Vilas Truck & Trailer SLS
Applicant: Vilas Truck & Trailer Sales; Agent: Douglas Day

File no. AC-19-063

To Site Plan and Architectural Review Commission *for 03/20/2020 hearing*

From Steffen Roennfeldt, Planner III

Reviewer Kelly Evans, Assistant Planning Director

Date March 13, 2020

BACKGROUND

Proposal

Consideration of the construction of an approximately 13,600 square-foot repair shop and office building located at 4866 Helo Drive in the I-H (Heavy Industrial) zoning district (371W06AB302).

Vicinity Map



Subject Site Characteristics

GLUP	HI	Heavy Industrial
Zoning	I-H	Heavy Industrial
Overlay	AR, A-C	Airport Radar, Airport Area of Concern
Use		Truck & Trailer Sales

Surrounding Site Characteristics

<i>North</i>	Zone:	County Zoning LI
	Use:	Medford Gun Club
<i>South</i>	Zone:	I-H
	Use:	Warehousing
<i>East</i>	Zone:	I-G (General Industrial)
	Use:	Truck Maintenance
<i>West</i>	Zone:	I-H
	Use:	Vacant & Mini-Storage

Related Projects

E-17-138 Exception for Phase 1 of Truck & Trailer Storage/Sales

Applicable Criteria

Medford Municipal Code §10.200, Site Plan and Architectural Review

(E) Site Plan and Architectural Review Approval Criteria.

(1) The Site Plan and Architectural Commission shall approve a site plan and architectural review application for a commercial or industrial development, if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

(a) The proposed development is compatible with uses and development that exist on adjacent land, and

(b) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in Section 10.186.

Approval Authority

This is a Type III land use decision. The Commission is the approving authority under MLDC 10.110(H).

Corporate Names

Richard Stark is the Registered Agent for Vilas Truck & Trailer Sales LLC according to the Oregon Secretary of State Business Registry. Michael Hilton and Gary Whitehead are listed as Members.

ISSUES AND ANALYSIS

Background

On January 19, 2018, the Commission approved an Exception request (E-17-138) to the General Design Requirements for Parking, specifically the requirement that all parking, loading, and vehicle maneuvering areas shall be paved and improved for the adjoining two tax lots to the north. In conjunction with the Exception application, a Building Permit was submitted for a 528 square foot modular building to serve as the temporary office building associated with the sales lot. The small square footage of the office building did not trigger Site Plan and Architectural Commission (SPAC) review.

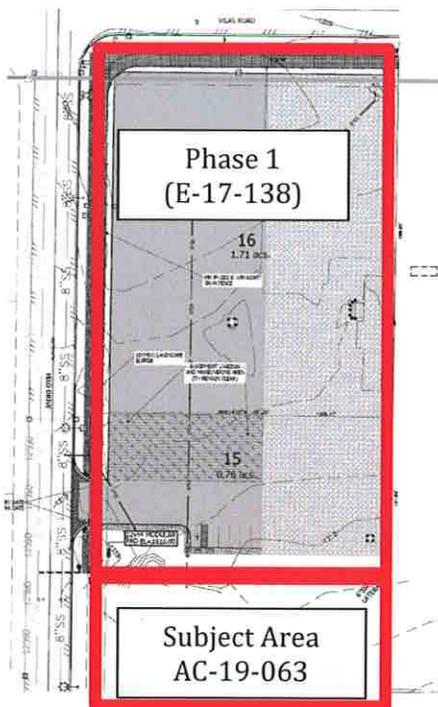


Figure 1 - Site Plan Phase 1



Figure 2 - Aerial

As part of Phase 2, the applicant is now proposing to construct a 80 feet by 170 feet (13,600 square feet), prefab building that will house the repair shop (12,200 square feet) and office (900 square feet) with storage on the second floor. The structure will replace the temporary office building that was constructed with Phase 1.

Development Standards

Commercial - Industrial Site Development Table (MLDC 10.721)

H-I Zone	Allowed/Required	Proposed
Height	85 feet (35 feet if located within 150 feet of a residential zone)	24 feet
Lot Coverage	90%	41%
Setback (front)	10 feet	25 feet
Setback (street side yard)	n/a	n/a
Setback (rear and side yards)	2 feet	25 feet (side) 5 feet (rear)

As shown in the Site Development Table above, it can be found that the proposed structure identified on the submitted site plan below does meet the bulk standards for the H-I zoning district as found in Article V of the Medford Land Development Code.

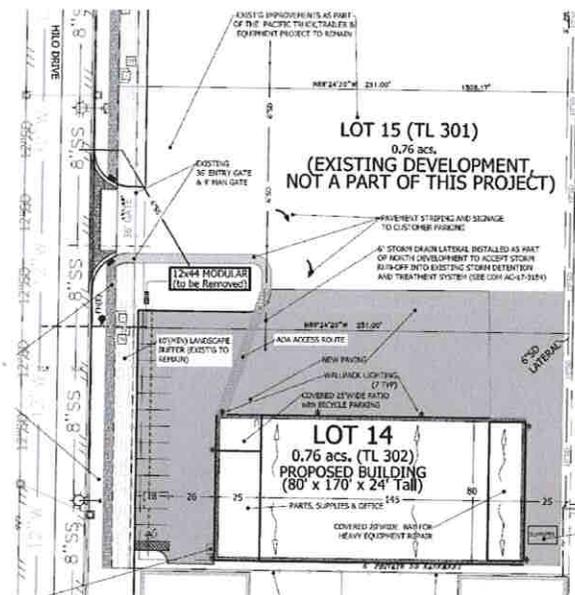


Figure 3 - Proposed Site Plan

Parking

Parking Table (MLDC 10.743-751)

	Required	Shown
Vehicle Spaces	Min. 10/ Max. 13	13
Accessible Spaces	1	1
Bicycle Spaces	Min. 3	2

The submitted site plan shows a total of 14 parking stalls for the development, including one accessible space, meeting the minimum/maximum range per MLDC 10.743-751. The applicant's findings state that the bicycle parking is to be installed under the covered patio at the northwest corner of the building. A total of three bike parking spaces will be required per MLDC 10.748.

Landscaping

All required landscaping was installed as part of Phase 1. No additional landscaping is required as part of this application.

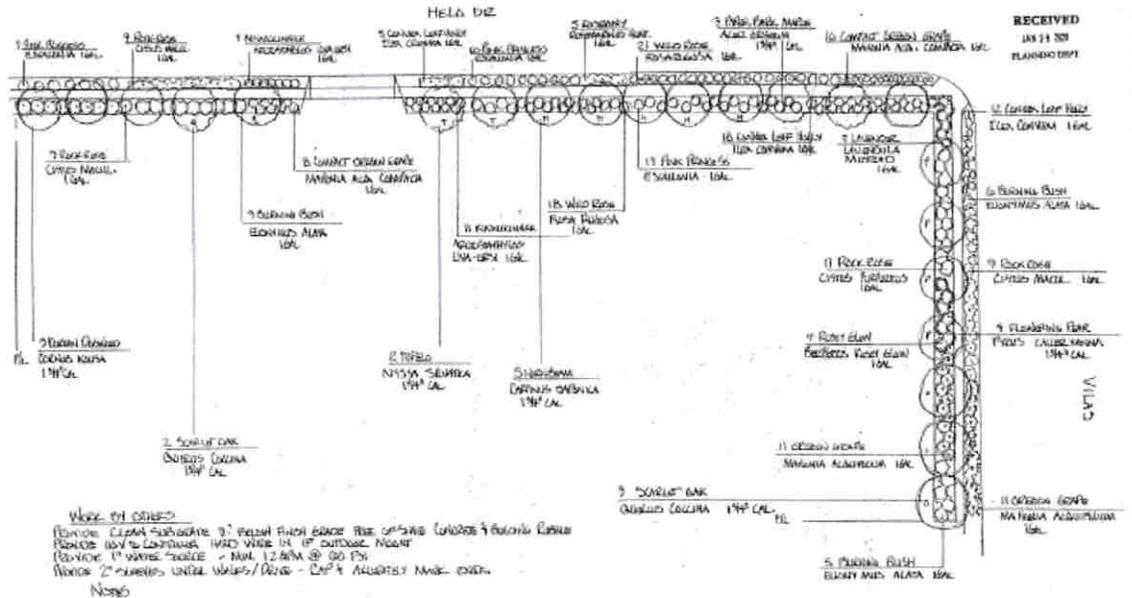


Figure 4 - Existing Landscaping

Pedestrian Access

The site plan shows a pedestrian walkway from the northwest corner of the proposed structure to the existing entry gate. Large areas of the development are not intended

to be used by pedestrians, therefore, only one pedestrian walkway connection to the public right-of-way will be required.

Staff could not determine whether the proposed walkway meets the required design standards of MLDC 10.775 which state that *walkways shall be separated from parking area by grade, different paving materials, speed bumps or landscaping*. A condition of approval was included.

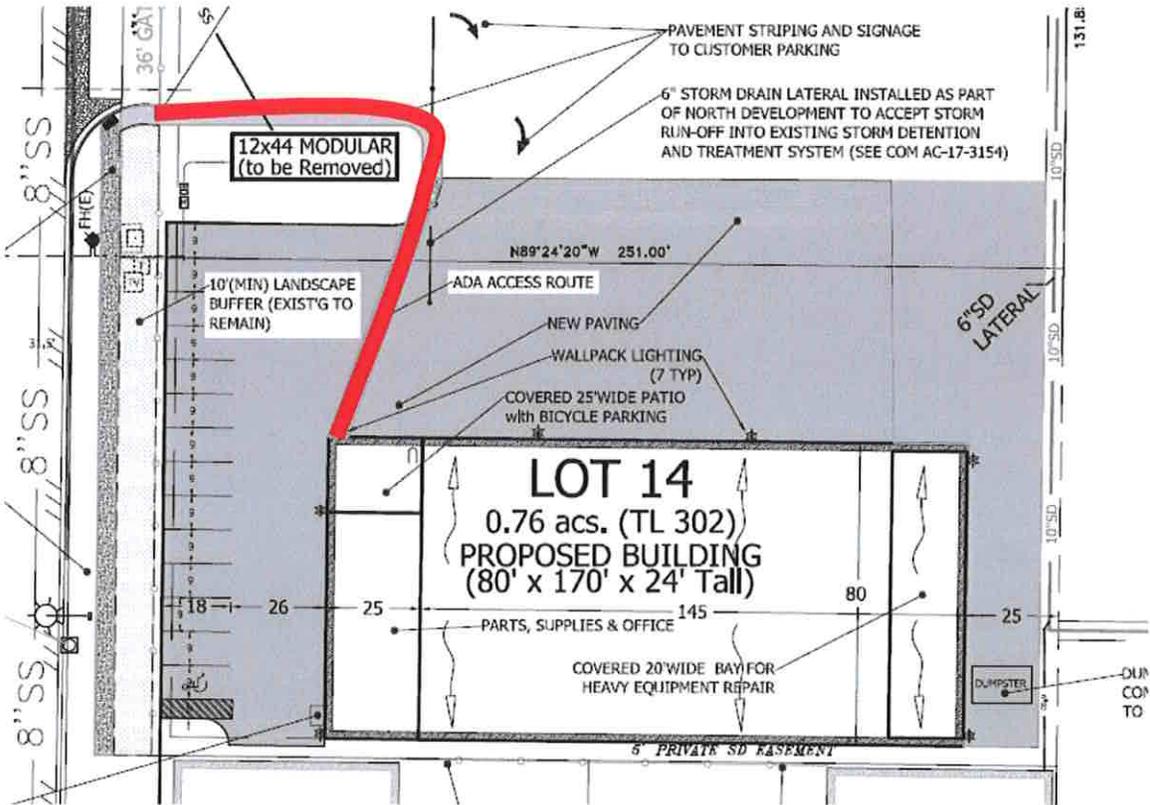


Figure 5 - Proposed pedestrian walkway connection

Architecture

The applicant's submitted narrative describes the building's proposed architecture and how it fits with and complements adjacent buildings, as the following:

The proposed building will have a positive impact on the 3 vacant lots to the west across Helo Drive and filling out this Industrial Subdivision. (...) The block CMU wall will be black, the metal walls to be tan, the roof to be galvanized, the metal doors will be dark gray, and the gutters will be gray; all consistent with the coloring scheme of the industrial buildings to the south and other buildings located in Hover Heights Subdivision.

Existing Conditions of Approval

As part of the approved Exception application (E-17-138), The Commission added a condition of approval to ensure that at no time shall wheeled vehicles and/or trailers be allowed to park within the unpaved area. As can be seen on the aerial above and the submitted onsite pictures, this condition was and is currently not being followed by the applicant. In addition, the westerly half of the sales lot was shown on the site plan to be paved, but remained unimproved, as well. This is in violation of MLDC 10.746 which requires all parking, loading, and vehicle maneuvering areas to be paved.

A condition of approval has been included which requires the applicant to pave the entire site (Phase 1 and 2) per the Medford Land Development Code standards.

Other Agency Comments

Rogue Valley International – Medford Airport (Exhibit P)

Rogue Valley International Airport requests an Avigation, Noise and Hazard Easement to be required as part of the permit process. In the 2010 LUBA decision on Michelle Barnes vs. City of Hillsboro and the Port of Portland, Nollan/Dolan findings are required to support the request (LUBA No. 2010-011). None were provided; therefore, a condition requiring compliance with the airport's request for an Avigation, Noise and Hazard Easement has not been included.

Committee Comments

No comments were received from committees such as BPAC.

No other issues were identified by staff.

FINDINGS OF FACT

1. *The proposed development is compatible with uses and development that exist on adjacent land;*

The Commission can find that there is sufficient evidence contained in the applicant's findings and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

2. *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A. This criterion is satisfied.

Findings and Conclusions

Staff has reviewed the applicant's findings and conclusions (Exhibit H) and recommends the Commission adopt the findings as recommended by staff.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare the final order for approval of AC-19-063 per the staff report dated March 13, 2020, including Exhibits A through R.

EXHIBITS

- A Conditions of Approval, dated March 13, 2020
- B Site Plan, received January 29, 2020
- C Storm Drain Management Plan, received January 29, 2020
- D Landscape Plan, received January 29, 2020
- E Rendering, received November 6, 2019
- F Assessor Map, received November 6, 2019
- G Site Images, received November 6, 2019
- H Findings of Fact, received January 29, 2020
- I Code Compliance: Criterion No. 2, received January 29, 2020
- J Additional Findings of Fact, received January 29, 2020
- K Public Works Department Staff Report, dated February 19, 2020
- L Medford Fire-Rescue Land Development Report, dated February 13, 2020
- M Medford Building Department Memo, dated February 19, 2020
- N Medford Water Commission Memo, dated February 19, 2020
- O Rogue Valley Sewer Services Letter, dated February 7, 2020
- P Jackson County Roads Letter, dated February 7, 2020
- Q Rogue Valley Airport E-Mail, dated February 13, 2020
- R Contract for Deed, received November 6, 2020
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA: MARCH 20, 2020

EXHIBIT A

Vilas Truck & Trailer Sales

AC-19-063

Conditions of Approval

March 13, 2020

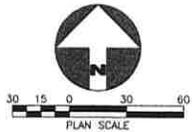
CODE REQUIRED CONDITIONS

Prior to the issuance of a building permit for vertical construction, the applicant shall:

1. Submit a revised site plan
 - a. Showing the required minimum amount of bike parking stalls per MLDC 10.748
 - b. Meeting all pedestrian walkway requirements per MLDC 10.775
2. Comply with all conditions stipulated by the Public Works Department (Exhibit K).
3. Comply with all conditions stipulated by the Medford Water Commission (Exhibit N).
4. Comply with all requirements of the Medford Fire Department (Exhibit L).
5. Comply with all requirements of the Rogue Valley Sewer Services (RVSS) (Exhibit O).

Prior to the issuance of the Certificate of Occupancy, the applicant shall:

6. Comply with all requirements of MLDC 10.746, specifically the requirement that all parking, loading, driveway, and vehicle maneuvering areas, including but not limited to, wheeled-vehicle sales lots, truck trailer parking areas (...) shall be paved and improved pursuant to the minimum design requirements. This condition applies to both Phases of the development.



STORM DRAIN MANAGEMENT SUMMARY

NOTE: DETENTION AND TREATMENT INSTALLED FOR THIS DEVELOPMENT IS FOR LOTS 14, 15, AND 16 OF HOVER HEIGHTS INDUSTRIAL PARK. LOT 14 IS NOT BEING DEVELOPED AT THIS TIME BUT FUTURE DEVELOPMENT WILL GENERATE STORM DRAINAGE THAT WILL BE ACCEPTED INTO THIS SYSTEM.

DETENTION FOR THIS DEVELOPMENT IS BEING OBTAINED BY THE ABOVE GROUND PONDS AS SHOWN. POND BOTTOMS = 1305.0. MAX WATER SURFACE ELEVATION = 1306.0 AND IS CONTROLLED BY THE WEIR PLAT IN THE CONTROL MANHOLE.

POND AREA CALCULATED AS FOLLOWS

DEPTH OF POND_s = 1' (MAX)
 POND A (ROCK AREA), LENGTH = 95' (EAST TO WEST)
 WIDTH = 125' (NORTH TO SOUTH)
 MAX DEPTH = 1.0'
 AREA = 11,950 S.F.
 Volume = (AREA x Depth)/3 Volume = 3,980 C.F.

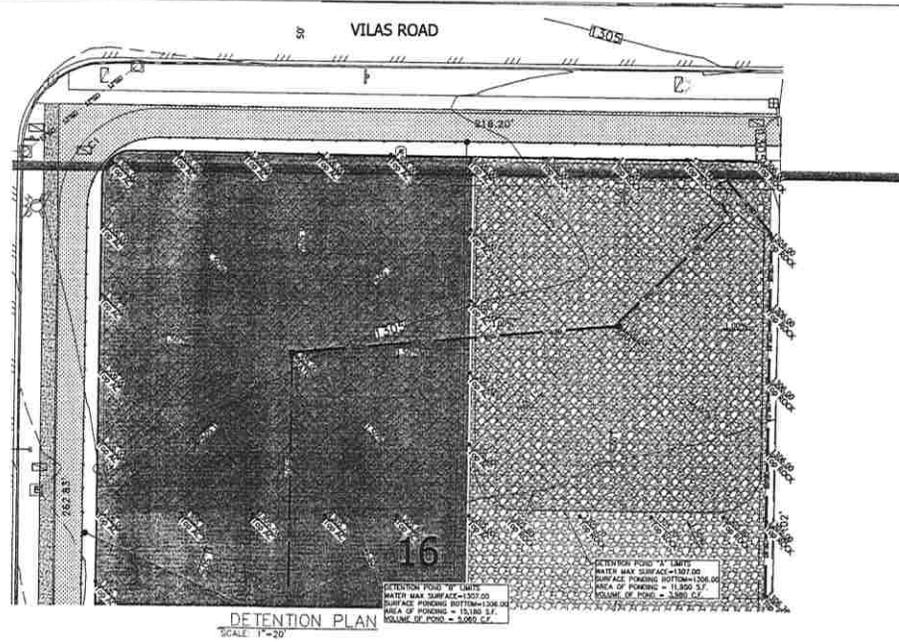
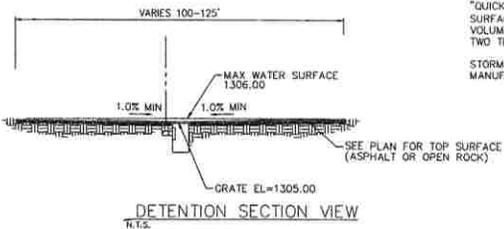
POND B (ASPHALT AREA), LENGTH = 125' (EAST TO WEST)
 WIDTH = 125' (NORTH TO SOUTH)
 MAX DEPTH = 1.0'
 AREA = 15,180 S.F.
 Volume = (AREA x Depth)/3 Volume = 5,060 C.F.

TOTAL POND VOLUME = 9,040 CF

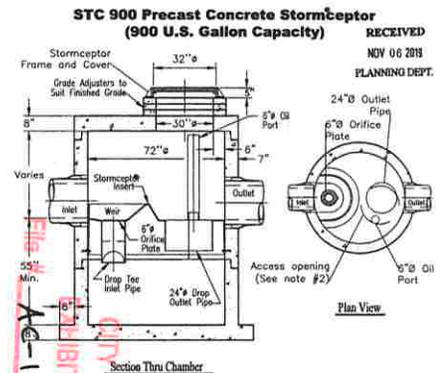
NOTE: ADDITIONAL VOLUME WOULD BE OBTAINED IN THE STORM DRAIN PIPES THAT ARE BELOW 1307.0 IN A SURCHARGED STATE.

VOLUME REQUIRED WAS CALCULATED @ 6,343 c.f. & VERIFIED BY THE CGM "QUICK-CALC" OF 1,600CF OF STORAGE PER ACRE OF IMPERVIOUS SURFACE. 3.23 ACRES @ 1,800CF/ACRE = 5,168 CF. THE TOTAL OBTAINED VOLUME OF 9,040 CF IS GREATER THAN THE REQUIRED VOLUMES BY THE TWO TECHNIQS @ 6,343 and 5,168.

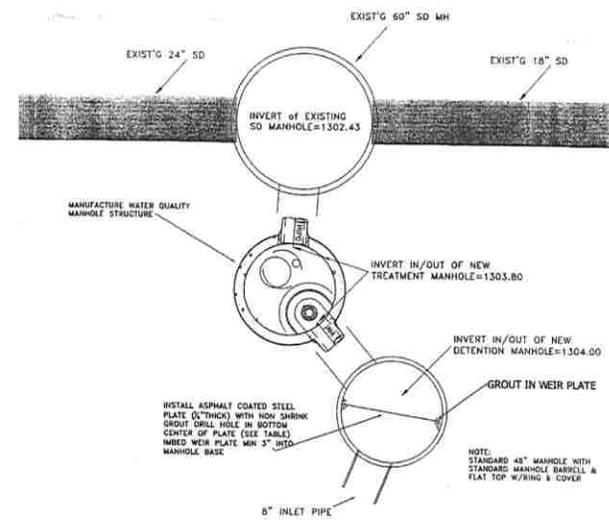
STORM TREATMENT WILL BE OBTAINED BY A STORMCEPTER TYPE MANUFACTURED TREATMENT STRUCTURE.



Rinker Concrete Pipe Division



- Notes:
- The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 - The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
 - The Stormceptor System is patented by one or more of the following U.S. Patents: #4985144, #5486311, #5225766, #5753115, #5846181, #6068765, #6271696.
 - Contact a Concrete Pipe Division representative for further details not listed on this drawing.



DETAIL SD MH#1 - DETENTION OUTFLOW DEVISE N.T.S.

MH #	MH SIZE	PLATE HEIGHT	PLATE WIDTH	ORIFICE SIZE	ORIFICE INVERT ELEVATION	WATER SURFACE ELEVATION	MH RIM ELEVATION (MN)	OD ALL PIPE SIZE
1	48"	39"	48"	4.0"	04.0	06.00	07.50	10"

NOTE: ALL UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXACT LOCATIONS WITH UTILITY COMPANIES PRIOR TO TRENCHING.

CALL 2 BUSINESS DAYS BEFORE YOU DIG: 811

APPROVED
J.A.C. P&C
 JENSEN & ASSOCIATES CONSULTING ENGINEERS
 MEDFORD OR & SEASIDE WA
 JEPF-0091 303.767.1600 JAPW-0417 774-4332
 JAW-0001 303.767.1600 JAW-0001 303.767.1600
 Email: JENSEN@JENSENENR.COM
 JENSEN@JENSENENR.COM
 License No. 200
 License No. 200

1877 - 2017
40
 YEARS OF
 QUALITY & VALUE
 Jensen & Associates
 Consulting Engineers

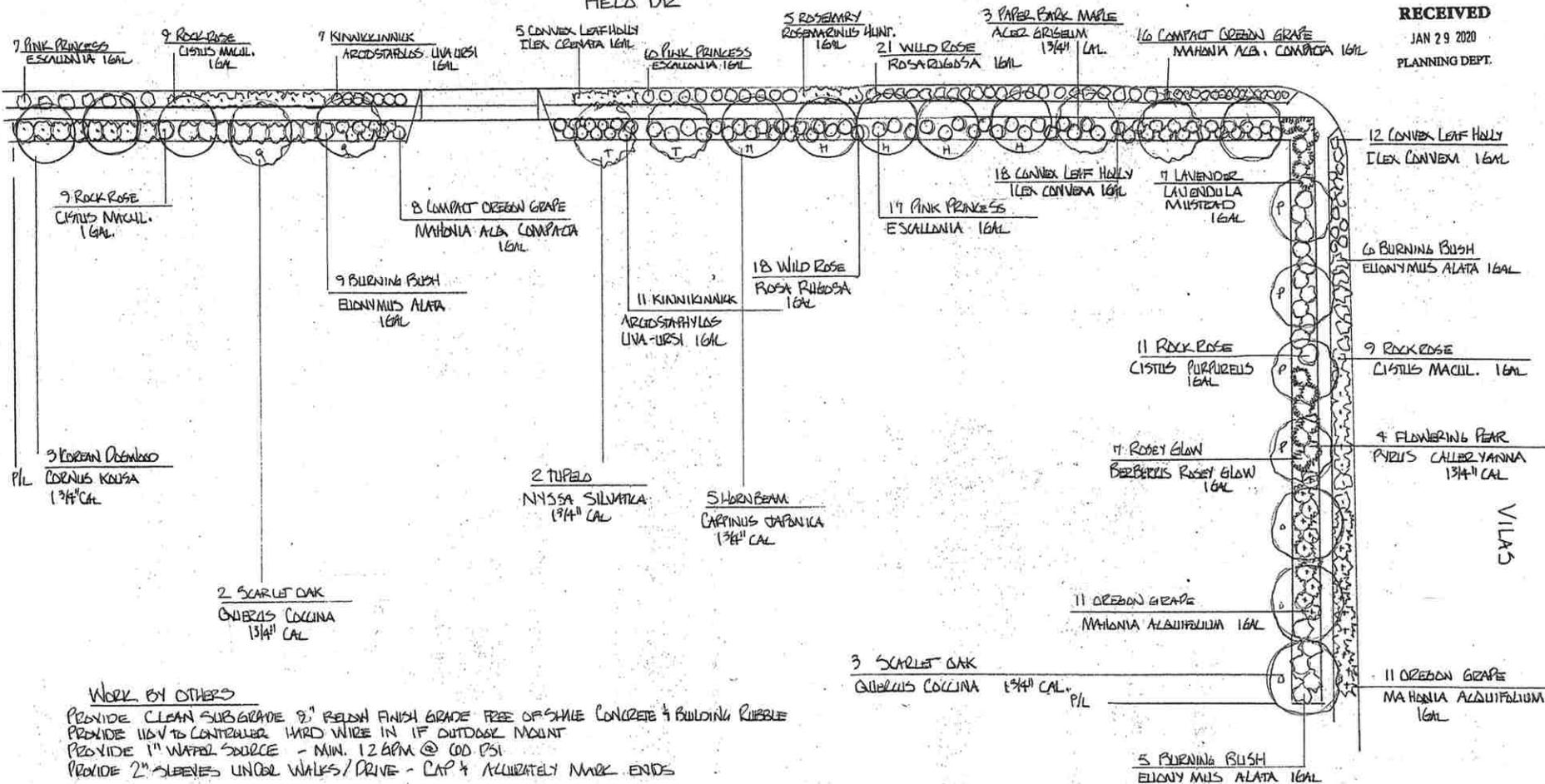
PACIFIC TRUCK, TRAILER & EQUIPMENT
 STORM DRAIN MANAGEMENT
 PLAN & DETAILS
 JM AND JOEL SALYER
 PO BOX 5420
 SEASIDE, WA 98138
 (509) 426-1100

REVISIONS AS CONSTRUCTED BY
 CITY OF MEDFORD - ENGINEERING DEPT.
 PACIFIC TRUCK, TRAILER & EQUIPMENT
 STORM DRAIN MANAGEMENT
 PLAN, NOTES AND DETAILS
 DATE: 11/15/2017
 PROJECT NO: C-03
 SHEET NO: C4 OF 4

CITY OF MEDFORD
 GRABED:
 PLAN: AC-17-063

RECEIVED
 JAN 29 2020
 PLANNING DEPT.

HELD DR



WORK BY OTHERS

PROVIDE CLEAN SUBGRADE 8" BELOW FINISH GRADE FREE OF SHALE CONCRETE & BUILDING RUBBLE
 PROVIDE 110V TO CONTROLLER HARD WIRE IN IF OUTDOOR MOUNT
 PROVIDE 1" WATER SOURCE - MIN. 12 GPM @ 60 PSI
 PROVIDE 2" SLEEVES UNDER WALKS/DRIVE - CAP & ACCURATELY MARK ENDS

NOTES

6" 50/50 SOIL MIX. IN ALL LANDSCAPE AREAS, 3" BARK MULCH

LANDSCAPE SOIL PREPARATION SHALL MEET SECTION 10.780 (6) (9) (B) MEDFORD CITY CODE

9-19-17

PLANS BY MICHAEL STARR, ALL PLANTS LCB 10060

SHEET L-1

File # AC19-083
 EXHIBIT #
 CITY OF MEDFORD

SCALE 1"=30'-0"

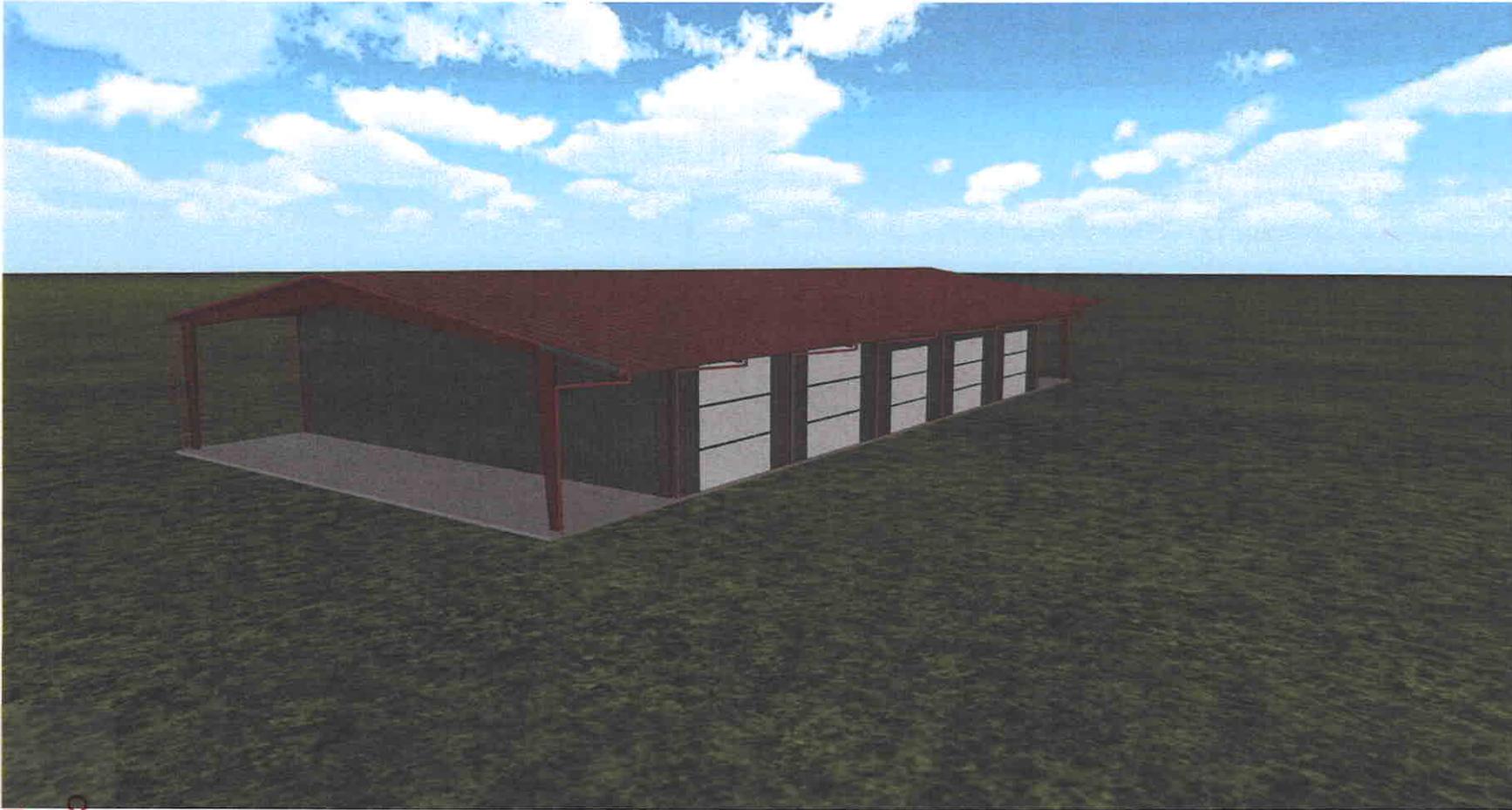
PACIFIC TRUCK & TRAILER
 48666 HELD DR. MEDFORD, ORE

NATURAL SYSTEMS

779-2965

MEDFORD, OREGON





CITY OF MEDFORD
 EXHIBIT # E
 FILE # AC-19-06

NOTE: Colors will match the narrative

LOOKING SOUTHWESTERLY TOWARDS NEW BUILDING FROM THE NE CORNER OF TL 302.
 5 TRUCK AND TRAILER BAYS AND ONE HEAVY EQUIPMENT BAY

<https://equotecfloorbuildingsystems.com/BuildingInformation/GirtOffsetAndSpacing.aspx?projectId=666430&buildingId=1145830#>

RECEIVED
 NOV 06 2019
 PLANNING DEPT.

56

14

LOOKING NORTH FROM SW CORNER OF TL 302



58

FILE # AC-19-063

QTY OF ORD

RECEIVED

11

LOOKING EAST FROM HELO DR



LOOKING SOUTH FROM TL 301



LOOKING SW FROM TL 301



RECEIVED

JAN 29 2020

PLANNING DEPT.

Douglas W Day Company
AC-19-063
Vilas Truck & Trailer Sales, LLC
January 29, 2020

Section II – Compatibility: Criterion No. 1

Please refer to the Red markings on the narrative dated November 5, 2019 REVISED for items A, B, F, G, H, I, J, and L.

- C. As a truck and heavy equipment repair facility located in a Heavy Industrial Zone and due to the nature of business activities, there are very few options in providing a relief to the building mass. Having said that, the applicant has located the building away from the street to reduce the optics of the size of the building.
- D. The applicant has made provisions for pedestrian traffic from the street as shown on the site plan but expects that pedestrian traffic from the street to be utilized very little because of the heavy industrial zoning and has provided ample parking on site.
- E. Not applicable in Heavy Industrial zoning.
- K. No additional signs are requested with this application.
- M. Applicant is exempt from 10.752 as per H(2) and H(8)

CITY OF MEDFORD
EXHIBIT # H
FILE # AC-19-063

November 5, 2019. **REVISED**

Applicant: Vilas Truck & Trailer Sales, LLC
Agent: Douglas W Day
Property location: 4866 Helo Drive, Central Point, Oregon 97502
Legal: 37-1W-06AB TL 302
Size of Project: .76 acres
Sq. footage of proposed building: 13,100 sq. ft. (PHASE 2, PA-17-090)
Zoned: I-H
Use: Repair shop and office

The proposed building is located in Hover Heights Subdivision. This is the second and final phase. Phase 1 was on Tax lot 300 and 301 which is completed as per PA-17-090 and is utilizing a commercial mobile office.

NOTE: Pacific Truck, Trailer, and Equipment changed their name to Vilas Truck & Trailer Sales, LLC. (same owners)

Upon the completion of the new shop and office, the existing mobile office will be removed from the site.

Construction activities in Phase 2:

24 'tall, 170' by 80' prefab building on concrete slab and a 3-foot concrete block wall. Customer and employee parking. This building will house the repair shop (12,200 sq. ft.) and office (900 sq. ft.) with storage on the second floor.

Engineered storm-drainage. Parking & drive area as per plans. ADA requirements. Pedestrian walkway. Bicycle parking.

A. Below is a description of uses and development adjacent to this project site:

NORTH: East Vilas Road – Medford Gun Club Shooting Range is across from Phase 1 (Equipment and truck yard) and is in Jackson County- Zoned LI

EAST: Tec Equipment Mack and Volvo Commercial Truck Sales & Service- Zoned I-G.
And Vacant HI land.

SOUTH: Leonard Industrial Warehouses – Zoned I-H

WEST: Helo Drive, office for Vilas Storage, and one vacant heavy industrial lot- Zoned I-H

The proposed development for an office and repair facilities for commercial truck, trailer, and construction equipment sales on this I-H zoned parcel complies with the City of Medford Land Development Code 10.337 as a permitted use. The existing site is bare land with little vegetation.

F. This project will utilize the commercial entrance (as permitted and constructed in Phase 1) off of Helo Drive. All customer and employee parking will be on the west side of the property with parking facing toward Helo drive; 13 spaces and one ADA space.

G, I, and L All required park strip landscaping and 10-foot buffer landscaping have been completed as a Part of Phase 1. The approved attractive 6-foot wrought iron perimeter fence along the east and west side of lot was completed as a part of Phase 1 except about 50 feet to be installed along the east border.

The required sidewalk along Helo Drive was constructed as part of Phase 1.

The storm drain will connect to the existing engineered storm drainage system to the north on Ph. 1.

Bicycle parking to be under the covered patio at northwest corner of building.

The proposed building will have a positive impact on the 3 vacant lots to the west across Helo Drive and filling out this Industrial Subdivision. The proposed repair shop and office will be compatible with any I-H business that would locate near there. The building will utilize on site utilities and will not require any new public service. All utilities needed for the building site are already in place and available to all lots along Helo Drive including water, sewer, storm drainage, electricity, gas, phone, and internet.

B. The block CMU wall will be black, the metal walls to be tan, the roof to be galvanized, the metal doors will be dark gray, and the gutters will be gray; all consistent with the coloring scheme of the industrial buildings to the south and other buildings located in Hover Heights Subdivision.

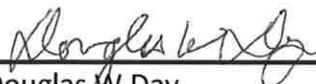
F. The proposed development will connect to the existing pedestrian sidewalk from Phase 1 in a south westerly direction towards the office entrance as indicated on the site plan.

J. The proposed building will have 7 wallpack lighting as shown on the site plan.

J. The project is located in the Airport Radar Overlay zone and applicant will agree to secure approval from the Federal Aviation Administration when this application is approved.

H. The stormwater detention facilities were constructed as part of Phase 1 as approved by The City of Medford Public Works.

All proposed improvements with this application are consistent with our original file PA-17-090 With some minor revisions.


Douglas W Day

Agent for Vilas Truck & Trailer Sales, LLC

1/29/2020

DATE

Section II – Code Compliance: Criterion No. 2

PROJECT SITE		
	PROPOSED	REQUIRED
• Zoning District	I - H	
• Overlay District(s)	Airport Radar	
• Proposed Use	Truck, heavy equip Repair	
• Project Site Acreage	.76 Acres	
• Site Acreage (+ right-of-way)	.76	
• Proposed Density (10.708)	N/A	
• # Dwelling Units	N/A	
• # Employees	3	

STRUCTURES		
	EXISTING	PROPOSED
• # Structures	N/A	1
• Structure Square Footage (10.710-10.721)	N/A	13,600 sq ft

SITE DESIGN STANDARDS		
	PROPOSED	REQUIRED
• Front Yard Setback (10.710-721)	44'	10'
• Side Yard Setback (10.710-721)	70'	2'
• Side Yard Setback (10.710-721)	5'	2'
• Rear Yard Setback (10.710-721)	25'	2'
• Lot Coverage (10.710-721)	13,600 sq ft	29,750 sq ft

PARKING		
	PROPOSED	REQUIRED
• Regular Vehicular Spaces (10.743)	12	10
• Disable Person Vehicular Spaces (10.746[8])	1	1
• Carpool/Vanpool Spaces (10.809)	1	1
• Total Spaces (10.743)	14	12
• Bicycle Spaces (10.748)	2	2
• Loading Berths (10.742)	- 0 -	included w/ Ph 1
	Provided in PA-17-090	

LANDSCAPING

	PROPOSED	REQUIRED
● Total Landscape Area (square feet)	Provided in PA-17-090	
● Total Landscape Area in High Water Use Landscaping (square feet)		
● Total Landscape Area in High Water Use Landscaping (percentage)		
● Total % Landscape Coverage		
● Required Organic Content (cu.yd.)		
● Frontage Landscaping (10.797)		
● Street:		
● Feet:		
● # Trees:		
● # Shrubs:		
● Street:		
● Feet:		
● # Trees:		
● # Shrubs:		
● Bufferyard Landscaping (10.790)		
● Type:		
● Distance (ft):		
● # Canopy Trees:		
● # Shrubs:		
● Fence/Wall:		
● Parking Area Planter Bays (10.746)		
● Type:		
● # Bays:		
● Area:		
● # Trees:		
● # Shrubs:		

STRUCTURE

PROPOSED

- Materials CMU, metal 26 GA, Galvanized,
- Colors Black, TAN, DARK grey

Please remember that the information you provide in response to the questionnaire must be included with your SPAR application submittal. Remember to sign and date your written response.

Douglas W Day 1/29/2020

RECEIVED

JAN 29 2020

PLANNING DEPT.

January 29, 2020

Douglas W Day Company
572 Parsons Drive, Suite 102
Medford, OR. 97501

Steffen Roennfeldt
City of Medford Planning Department
Medford, Oregon

RE: Vilas Truck & Trailer Sales, LLC
File No. AC-19-063

Dear Mr. Roennfeldt,

Here are the remaining plans and submittals required for the above-mentioned application in response to your November 20, 2019 letter with the following comments:

Conceptual Stormwater Drainage and Quality/Detention Facility Plans have been approved by The Public Works Department as per your email to me dated 12/11/2019. Consequently, I am not including any of those plans at this time.

I am enclosing the approved Landscape Plan along with the approved irrigation plan. These plans were for both Phase 1 and Phase 2.

I have enclosed the checklist provided by David Searcy noted as "compliant" dated 12/21/2017. The existing landscaping as constructed complied with these plans and irrigation requirements.

I have attached the Section II Compatibility: Criterion No. 1 & Code Compliance: Criterion No.2. The narrative that I provided dated 11/5/2019 addressed many of these items so I revised my narrative to label which items were being addressed(A,B,F,G,H,I,J,L) along with an added sheet to address C,D,E,K, and M.

I am also submitting 3 copies of the revised Site Plan(Large) folded, and two reduced copies: one 11' by 17" and one 8.5" by 11".

Please let me know if there is anything else you need or if you have any questions.

I can be reached at 541-245-5151- office, 541-261-0377 cell – or email at dougwday2@gmail.com.

Sincerely,



Douglas W Day

CITY OF MEDFORD
EXHIBIT # 7
FILE # AC-19-063



PUBLIC WORKS DEPARTMENT STAFF REPORT

4858 Helo Drive (TL 302) – Shop & Office Building Vilas Truck & Trailer Sales, LLC

- Project:** Consideration of the construction of an approximately 13,600 square-foot repair shop and office building.
- Location:** Located at 4866 Helo Drive in the I-H (Heavy Industrial) zoning district (371W06AB302).
- Applicant:** Applicant, Vilas Truck & Trailer Services; Agent, Douglas Day; Planner, Steffen Roennfeldt.

NOTE: The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention, if applicable.
- Completion of all public improvements, if required. The Applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements shall be approved by the Public Works Engineering Division prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas
- Verification by the design Engineer that the stormwater quality and detention system was constructed per the approved plan, if applicable.
- Completion of all public improvements, if applicable.

A. STREETS

1. Dedications

Helo Drive is classified as a Commercial Street, and in accordance with MLDC Section 10.429, requires a total right-of-way width of 63-feet. **No additional right-of-way is required.**

There is currently a 15-foot PUE along the frontage of East Vilas Road and Helo Drive that was originally dedicated with the final plat for Hover Heights (Survey #19461).

2. Public Improvements

a. Public Streets

Helo Drive – Standard street section improvements have been completed including pavement, curb and gutter, street lights and sidewalk as part of Hover Heights (P1435D) improvements. **Therefore, no additional street improvements are required.**

NOTE: All projects subject to Site Plan and Architectural Review shall be required per MLDC 10.501 (6), as a condition of approval, to repair all frontage sidewalks as determined by the Engineering Division. When attached as a condition of approval of a Site Plan and Architectural. Review application the sidewalk maintenance procedures set forth in Chapter 3, Section 3.025, Notice on Hearing of City Repair of Sidewalks, through 3.035, Notice of Sidewalk Repair, are hereby superseded.

b. Street Lights and Signing

No additional street lights or signs are required.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer's contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided by Medford Public Works Department and paid for by Developer.

c. Pavement Moratoriums

There is no pavement cutting moratorium currently in effect along this frontage.

d. Access to Public Street System

Driveway access to the proposed development site shall comply with MLDC 10.550.

B. SANITARY SEWERS

This site lies within the Rogue Valley Sewer Service (RVSS) area. The Developer shall contact RVSS for conditions of connection to the sanitary sewer collection system.

C. STORM DRAINAGE

1. Drainage Plan

A comprehensive drainage plan showing the entire project site with sufficient spot elevations to determine direction of runoff to the proposed drainage system, and also showing elevations on the proposed drainage system, shall be submitted with the first building permit application for approval.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

A Site/Utility Plan shall be submitted with the building permit application to show the location of existing or proposed stormdrain lateral/s for the site.

All private storm drain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729.

4. Verification

Upon completion of the project, and prior to certificate of occupancy of the building, the

Developer's design Engineer shall verify that the construction of the stormwater quality and detention system was constructed per plan. Verification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

5. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

D. GENERAL CONDITIONS

1. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way.

Contractors proposing to do work on public streets (including street lights), sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work.

2. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development, including tax lots 300, 301 & 302 (reference E-17-138), shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

3. System Development Charges (SDC)

Buildings in this development are subject to system development charges (SDCs). All SDC fees shall be paid at the time individual building permits are issued.

Prepared by: Jodi K Cope

Reviewed by: Doug Burroughs

SUMMARY CONDITIONS OF APPROVAL
4858 Helo Drive (TL 302) – Shop & Office Building
Vilas Truck & Trailer Sales, LLC

AC-19-063

A. Streets

1. Street Dedications to the Public:

- Helo Drive – No street dedications are required for this development.
- 15-foot Public Utility Easement has been dedicated.

2. Improvements:

Public Streets

- Helo Drive – No improvements are required.

Lighting and Signing

- No additional street lights are required.

Access to Public Street System

- Driveways shall comply with MLDC 10.550.

Other

- There is no pavement moratorium currently in effect along the frontage to Parsons Drive.

B. Sanitary Sewer:

- The site is situated within the RVSS area.

C. Storm Drainage:

- Provide a comprehensive grading and drainage plan.
- Provide water quality and detention facilities, calculations and O&M Manual.
- Provide engineers verification of stormwater facility construction.
- Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

D. General Conditions:

- Pave all on-site parking and vehicle maneuvering areas related to this development.

- = City Code Requirement
- = Discretionary recommendations/comments

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.

Medford Fire-Rescue Land Development Report

Review/Project Information

Reviewed By: Kleinberg, Greg

Review Date: 2/13/2020

Meeting Date: 2/19/2020

LD File #: AC19063

Planner: Steffen Roennfeldt

Applicant: Vilas Truck & Trailer Services

Site Name: n/a

Project Location: 4866 Helo Drive

Project Description: Consideration of the construction of an approximately 13,600 square-foot repair shop and office building located at 4866 Helo Drive in the I-H (Heavy Industrial) zoning district (371W06AB302).

Specific Development Requirements for Access & Water Supply

Reference	Comments	<u>Conditions</u> Description
OFC 903	<p>A fire sprinkler system is required for Group S-1 repair garages where the fire area exceeds 10,000 sq. ft. (Two or more stories).</p> <p>A fire sprinkler system is required for Group S-1 repair garages used for the repair of commercial motor vehicles where the fire area exceeds 5,000 sq. ft. (OFC/OSSC 903.2.9)</p>	<p>Fire sprinkler system requirement information.</p> <p>Where a fire sprinkler system is required, it shall meet the requirements of the Oregon Fire Code and the applicable National Fire Protection Association (NFPA) Standard.</p> <p>Consult the Medford Water Commission for proper water meter sizing for fire sprinkler systems.</p>
OFC 503	Electric gate requirements.	<p>Access control devices must be approved by Medford Fire Department. All gates shall have approved locking devices. Manual gates shall have a lock connected to a long length of chain. Automatic gates shall be equipped with an approved emergency services activated opening device (radio frequency microphone click from fire engines opens gate). OFC 503.1; 503.4; 503.5; 503.6</p>

Construction General Information/Requirements

Development shall comply with access and water supply requirements in accordance with the Oregon Fire Code in affect at the time of development submittal. Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (fire hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on information provided only.

Design and installation shall meet the Oregon requirements of the International Fire, Building, Mechanical Codes and applicable NFPA Standards.

Medford Fire-Rescue, 200 S Ivy St. Rm 180, Medford OR 97501 541-774-2300

www.medfordfirerescue.org

CITY OF MEDFORD

File # AC-19-063



MEDFORD

BUILDING SAFETY

MEMORANDUM

To: Steffen Roennfeldt, Planning Department
From: Chad Wiltrout, Building Department (541) 774-2363
CC: Vilas Truck & Trailer Services, Applicant; Douglas Day, Agent
Date: February 19, 2020
Subject: AC-19-063_ Repair Shop and Office Building

Please Note:

This is not a plan review. Unless noted specifically as Conditions of Approval, general comments are provided below based on the general information provided; these comments are based on the 2019 Oregon Structural Specialty Code (OSSC) unless noted otherwise. Plans need to be submitted and will be reviewed by a commercial plans examiner, and there may be additional comments.

Fees are based on valuation. Please contact Building Department front counter for estimated fees at (541) 774-2350 or building@cityofmedford.org.

For questions related to the Conditions or Comments, please contact me, Chad Wiltrout, directly at (541) 774-2363 or chad.wiltrout@cityofmedford.org.

General Comments:

1. For list of applicable Building Codes, please visit the City of Medford website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Design Criteria" on left side of screen and select the appropriate design criteria.
2. All plans are to be submitted electronically. Information on the website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Electronic Plan Review (ePlans)" for information.
3. A site excavation and grading permit will be required if more than 50 cubic yards is disturbed.



MEDFORD

BUILDING SAFETY

4. A separate demolition permit will be required for demolition of any structures not shown on the plot plan.

Comments:

1. The building and building appurtenances shall be designed by an Oregon licensed design professional in accordance with 107.1 and 107.3.4 OSSC.
2. The building does not meet prescriptive design. Per Section 2308.1.1 When portions of a building of otherwise conventional light-frame construction exceed the limits of Section 2308.2, those portions and the supporting load path shall be designed in accordance with accepted engineering practices and the provisions of this code.
3. Occupancy classification is F-1 or S-1 Motor vehicle repair garages complying with the maximum allowable quantities of hazardous materials listed in Table 307.1(1) (see Section 406.8)
4. ADA parking spaces shall be required in accordance with code section 1106 of the Oregon Structural Specialty Code.
5. A geotechnical engineer shall provide a design for soils at building locations pursuant to 1803 of the Oregon Structural Specialty Code.
6. A code analysis providing means of egress plan, type of construction, type of occupancies, occupant load, notation of sprinkled or non-sprinkled, separated or non-separated use, fuel loading etc... will be required.
7. The building design will require com-check forms through ASHRAE and the 2019 OZERCC for exterior envelope, mechanical equipment and lighting to show how you will comply with the energy code.



BOARD OF WATER COMMISSIONERS
Staff Memo

TO: Planning Department, City of Medford
FROM: Rodney Grehn P.E., Water Commission Staff Engineer
SUBJECT: AC-19-063
PARCEL ID: 371W06AB TL 302
PROJECT: Consideration of the construction of an approximately 13,600 square-foot repair shop and office building located at 4866 Helo Drive in the I-H (Heavy Industrial) zoning district (371W06AB302). Applicant, Vilas Truck & Trailer Services; Agent, Douglas Day; Planner, Steffen Roennfeldt.
DATE: February 19, 2020

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. Taxlot 302 (Lot 14) is required a new water service installed. The water meter and box shall be located off the existing "on-site" 8-inch waterline at the northwest corner of this parcel. Water meter shall not be installed in the existing or proposed driveway.
4. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following weblink: <http://www.medfordwater.org/Page.asp?NavID=35> .
5. Applicant and/or their civil engineer shall coordinate with MWC engineering staff for available water pressure, and fire hydrant flow testing for design use in the proposed fire sprinkler system.

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is not required.
3. The existing 1-inch water meter located in the existing park strip at the northwest property corner serves the existing business located at 4866 Helo Way.

Continued to Next Page

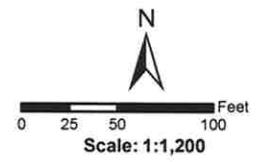


BOARD OF WATER COMMISSIONERS

Staff Memo

Continued from Previous Page

4. Access to water lines is available. There is an existing 12-inch water line on the west side of Helo Drive. There is also an existing 8-inch water line that extends across Helo Drive from the existgin 12-inch water line.



Water Facility Map
City of Medford
Planning Application:
AC-19-063
(371W06AB302)
Feb 19, 2020

Legend

- Air Valve
- Sample Station
- Fire Service
- ⊕ Hydrant
- ▲ Reducer
- Blow Off
- ⊕ Plugs-Caps

Water Meters:

- Active Meter
- On Well
- Unknown
- Vacant

Water Valves:

- Butterfly Valve
- Gate Valve
- Tapping Valve

Water Mains:

- Active Main
- - - Abandoned Main
- Reservoir Drain Pipe
- Pressure Zone Line

Boundaries:

- ▭ Urban Growth Boundary
- ▭ City Limits
- ▭ Tax Lots

MWC Facilities:

- C** Control Station
- P** Pump Station
- R** Reservoir



This map is based on a digital database compiled by Medford Water Commission from a variety of sources. Medford Water Commission cannot accept responsibility for errors, omissions, or positional inaccuracies. There are no warranties, expressed or implied.



ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 97502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

February 7, 2020

City of Medford Planning Department
200 S. Ivy Street
Medford, Oregon 97501

Re: AC-19-063, Vilas Truck & Trailer (371W06A 302)

ATTN: Steffen,

The subject property is within the Rogue Valley Sewer Services (RVSS) service area. The 8 inch sewer main along Helo Drive was constructed with the Hover Heights & Cessna Business Park development. The original as-built survey shows a sewer service extended to the subject property. However, after reviewing the TV footage of the existing 8 inch main it appears the sewer service for this tax lot was not installed with the development. That said, sewer service for proposed building will require a new tap connection to the 8 inch main. The sewer tap permit will be issued by RVSS and the sewer connection permit will be issued by the City of Medford.

Rogue Valley Sewer Services requests that approval of this application be subject to the following conditions:

1. All sewer constructions must be performed in accordance with RVSS standards.
2. The applicant must obtain a sewer tap permit from RVSS prior to construction.
3. The applicant must provide RVSS with a plumbing fixture plan for the determination of system development charges prior to connecting to RVSS facilities.
4. The applicant must pay sewer system development charges to RVSS prior to issuance of a building permit.

Please feel free contact me with any questions.

Sincerely,

Nicholas R. Bakke, P.E.
District Engineer

K:\DATA\AGENCIES\MEDFORD\PLANNING\ARCH COMM\2019\AC-19-063_VILAS TRUCK & TRAILER.DOC

CITY OF MEDFORD
EXHIBIT # 0
File # AC 19.063
31



JACKSON COUNTY

Roads

Roads
Engineering

Chuck DeJanvier
Construction Engineer

200 Antelope Road
White City, OR 97503
Phone: (541) 774-6255
Fax: (541) 774-6295
dejanvca@jacksoncounty.org

www.jacksoncounty.org

February 7, 2020

Attention: Steffen Roennfeldt
Planning Department
City of Medford
200 South Ivy Street, Lausmann Annex, Room 240
Medford, OR 97501

RE: Construction of a repair shop and office off
Helo Drive - a city-maintained road
Planning File: AC-19-063

Dear Steffen:

Thank you for the opportunity to comment on consideration of the construction of an approximately 13,600 square-foot repair shop and office building located at 4866 Helo Drive in the I-H, Heavy Industrial zoning district (37-1W-06AB TL 302). Jackson County Roads has no comment.

If you have any questions or need further information feel free to call me at 774-6255.

Sincerely,

Chuck DeJanvier, PE
Construction Engineer

Steffen K. Roennfeldt

From: Amber Judd <JuddAJ@jacksoncounty.org>
Sent: Thursday, February 13, 2020 5:06 PM
To: Steffen K. Roennfeldt
Subject: File No. AC-19-063 Project Name: 4866 Helo Drive- Vilas Truck & Trailer Center Sales, LLC

<EXTERNAL EMAIL **Be cautious with links and attachments**>

Steffen,

The Airport requests an Avigation, Noise and Hazard Easement be a requirement of this project. In addition, due to the proximity to the Airport, the applicant needs to contact the FAA regarding filing a 7460-1 Notice of Proposed Construction or Alteration. The FAA contact is: Paul Holmquist, phone (206) 231-2990.

I have inserted some information below from the FAA's website:

The requirements for filing with the Federal Aviation Administration for proposed structures vary based on a number of factors: height, proximity to an airport, location, and frequencies emitted from the structure, etc. For more details, please reference CFR Title 14 Part 77.9.

You must file with the FAA at least 45 days prior to construction if:

- Your structure will exceed 200 ft above ground level
- Your structure will be in proximity to an airport and will exceed the slope ratio
- Your structure involves construction of a traverseway (i.e. highway, railroad, waterway, etc...) and once adjusted upward with the appropriate vertical distance would exceed a standard of 77.9(a) or (b)
- Your structure will emit frequencies, and does not meet the conditions of the FAA Co-location Policy
- Your structure will be in an instrument approach area and might exceed part 77 Subpart C
- Your proposed structure will be in proximity to a navigation facility and may impact the assurance of navigation signal reception
- Your structure will be on an airport or heliport
- Filing has been requested by the FAA

If you require additional information regarding the filing requirements for your structure, please identify and contact the appropriate FAA representative using the Air Traffic Areas of Responsibility map for Off Airport construction, or contact the FAA Airport Region/District Office for On Airport construction.

Results

You exceed the following Notice Criteria:

Your proposed structure is in proximity to a navigation facility and may impact the assurance of navigation signal reception. The FAA, in accordance with 77.9, requests that you file.

77.9(b) by 1 ft. The nearest airport is MFR, and the nearest runway is 14LF/32RF.

The FAA requests that you file.

Thank you,

CITY OF MEDFORD
EXHIBIT # R
File # AC-19-063

29

Amber Judd

Deputy Director-Administration
Rogue Valley International-Medford Airport (MFR)



1000 Terminal Loop Parkway, Suite 201
Medford, Oregon 97504
541-776-7222

THIS SPACE PROVIDED FOR RECORDER'S USE

Taxes no change



01840143201900000570080083

I, Christine Walker, County Clerk for Jackson County, Oregon, certify that the instrument identified herein was recorded in the Clerk records.

Christine Walker - County Clerk

RECEIVED

NOV 06 2019

PLANNING DEPT.

WHEN RECORDED RETURN TO:

Jodi Salyer
PO Box 5420
Central Point, Oregon, 97502

CONTRACT FOR DEED

This Contract ("Contract") is effective as of December 26, 2018 by and between

Jim Salyer and Jodi Salyer, Trustees, or Their Successors in Trust, Under The Salyer Living Trust Dated November 14, 2018 and any Amedments Thereto hereinafter referred to as "SELLER," whether one or more, and

- Mike Hilton and Dena Hilton, 4459 Old Stage Rd, Central Point, Or County, Oregon, 97502,

hereinafter referred to as "BUYER," whether one or more, on the terms and conditions and for the purposes hereinafter set forth.

PROPERTY. The property sold under this contract is located at 4876,4866,4858 Helo Drive, Medford, Oregon 97504 in Jackson County and is legally described in the attached Schedule A, hereinafter referred to as "the Property."

PURCHASE PRICE. The agreed upon sales price for the Property is \$677,604.00 with interest from January 01, 2019, on the unpaid principal at the rate of 6% per annum.

TERMS OF PAYMENT. Payments under this contract should be submitted to Jim Salyer at PO Box 5420, Central Point, Oregon 97502.

Unpaid principal after the Due Date shown below shall accrue interest at a rate of 6% annually

CITY OF MEDFORD
EXHIBIT # R
FILE # AC-19-063

8

until paid.

The unpaid principal and accrued interest shall be payable in monthly installments of \$5,718.01, beginning on January 1, 2019, and continuing until January 1, 2034 (the "Due Date"), at which time the remaining unpaid principal and interest shall be due in full.

All payments on this Contract shall be applied first in payment of accrued interest, if applicable, and any remainder in payment of principal.

If any payment obligation under this Contract is not paid when due, the remaining unpaid principal balance and any accrued interest, if applicable, shall become due immediately at the option of the Seller.

LATE PAYMENT CHARGE. The Buyer promises to pay a late charge of \$50.00 for each installment that remains unpaid more than 10 day(s) after its Due Date. This late charge shall be paid as liquidated damages in lieu of actual damages, and not as a penalty.

NON-SUFFICIENT FUNDS. The Buyer shall be charged the maximum amount allowable under applicable law for each check that is returned to Seller for lack of sufficient funds in addition to any late payment charges allowable under this Contract.

PREPAYMENT. The Buyer reserves the right to prepay this Contract (in whole or in part) prior to the Due Date with no prepayment penalty.

ENCUMBRANCES. The Seller guarantees the Property is not currently encumbered and further agrees to take no action causing the Property to become encumbered so long as this Contract is in effect.

MAINTENANCE AND IMPROVEMENTS. Buyer agrees that any and all buildings, permanent fixtures and improvements currently on or subsequently added to the land or Property may not be removed, but will remain on the Property until the contract is fully performed. In the event of default by the Buyer under this Contract, any and all permanent fixtures and improvements made on the Property will remain with the Property.

POSSESSION. Buyer will maintain possession of the Property upon execution of this Contract.

CONDITION OF PREMISES. The Buyer recognizes the Property is being sold as is and the Seller is under no obligation to make any improvements or repairs during the time of this Contract.

INSURANCE. Buyer agrees to maintain adequate property insurance on the Property equal to the assessed value of the Property from the date of signing this agreement. The Buyer shall immediately notify the Seller of any lapse in coverage. The Buyer is responsible for maintaining insurance on any personal property or other items the Buyer places inside or on the Property.

TAXES AND ASSESSMENTS. Seller agrees to pay all taxes including but not limited to

federal, state, and municipal, that arise as a result of this sale, excluding income taxes.

Buyer shall pay all real estate taxes and assessments that may be levied against the Property. Buyer shall be responsible for all personal taxes or assessments that result from the Buyer's use of the Property.

REMEDIES ON DEFAULT. In addition to any and all other rights available according to law, if either party defaults by failing to substantially perform any material provision, term or condition of this Contract (including without limitation the failure to make a monetary payment when due), the other party may elect to cancel this Contract if the default is not cured within 30 days after providing written notice to the defaulting party. The notice shall describe with sufficient detail the nature of the default. The Seller maintains the right and authority to reclaim the Property or to foreclose on the property if the default is not cured within 30 days.

DEED. Upon receipt of all payments required under this Contract, the Seller will furnish the Buyer with a Warranty Deed wherein the Seller conveys all of their interest in the Property to the Buyer. The Seller shall be responsible for cost of recording the deed.

ABSTRACT/TITLE POLICY. The Seller will provide the Buyer with an updated abstract evidencing clear title or other accepted title documents upon receipt of all payments under this Contract.

NOTICES. Any notice or communication required or permitted under this Contract shall be sufficiently given if delivered in person or by certified mail, return receipt requested, to the addresses listed above or to such other address as one party may have furnished to the other in writing. The notice shall be deemed received when delivered or signed for, or on the third day after mailing if not signed for.

ASSIGNMENT. Neither party may assign or transfer this Contract without prior written consent of the other party, which consent shall not be unreasonably withheld.

ATTORNEY FEES. If any payment obligation under this Contract is not paid when due, the Buyer promises to pay all costs of collection, including reasonable attorney fees, whether or not a lawsuit is commenced as part of the collection process.

ENTIRE CONTRACT/AMENDMENT. This Contract for Deed contains the entire agreement of the parties and there are no other promises, conditions, understandings or other agreements, whether oral or written, relating to the subject matter of this Contract for Deed. This Contract for Deed may be modified or amended in writing, so long as all parties obligated under this Contract sign the agreement.

SEVERABILITY. If any portion of this Contract for Deed shall be held to be invalid or unenforceable for any reason, the remaining provisions shall continue to be valid and enforceable. If a court finds that any provision of this Contract for Deed is invalid or unenforceable, but that by limiting such provision it would become valid and enforceable, then such provision shall be deemed

to be written, construed, and enforced as so limited.

INDEMNITY REGARDING USE OF PREMISES. To the extent permitted by law, Buyer agrees to indemnify, hold harmless, and defend Seller from and against any and all losses, claims, liabilities and expenses, including reasonable attorney fees, if any, which Buyer may suffer or incur in connection with Buyer's possession, use or misuse of the Property, except due to Seller's negligent acts or omissions.

GOVERNING LAW. This Contract for Deed shall be construed in accordance with the laws of the State of Oregon.

WAIVER. The failure of either party to enforce any provisions of this Contract shall not be construed as a waiver or limitation of that party's right to subsequently enforce and compel strict compliance with every provision of this Contract for Deed.

TAX EXEMPTION. Buyer will be entitled to claim the property for the Federal Homestead Property Tax Exemption and any other exemption, should the property be eligible for such an exemption.

RECORDING. This Contract will be recorded by the Buyer immediately upon execution by all parties. The Seller shall be responsible for the recording fees associated with recording the Contract.

Deed Drafted By:
Jodi Salyer
4609 Old Stage Rd/PO Box 5420
Central Point, Oregon, 97502
541-944-4777

**SCHEDULE A
LEGAL DESCRIPTION OF REAL PROPERTY**

**Hover Heights Subdivision
Lot # 16
4876 Helo Dr. Medford, Oregon 97504
Tax lot # 371W06AB 300**

**Hover Heights Subdivision
Lot # 15
4866 Helo Dr. Medford, Oregon 97504
Tax lot # 371W06AB 301**

**Hover Heights Subdivision
Lot #14
4858 Helo Dr. Medford, Oregon 97504
Tax lot # 371W06AB 302**

Oregon Disclosure Statement

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, AND SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, AND SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009.

SELLER: JIM SALYER AND JODI SALYER, TRUSTEE, OR THEIR SUCCESSORS IN TRUST, UNDER THE SALYER LIVING TRUST DATED NOVEMBER 14, 2018 AND ANY AMENDMENTS THERETO

DATED: 12/28/18

DATED: 12/28/18

Jim Salyer
Jim Salyer

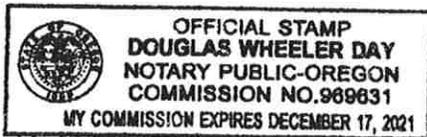
Jodi Salyer
Jodi Salyer

Jim Salyer and Jodi Salyer, Trustee, or their successors in trust, under the Salyer Living Trust Dated November 14, 2018 and any amendments thereto.

4609 Old Stage Rd/PO Box 5420
Central Point, Oregon, 97502

STATE OF OREGON, COUNTY OF JACKSON, ss:

This instrument was acknowledged before me on this 28th day of December, 2018 by Jim Salyer and Jodi Salyer.



Douglas Wheeler Day
Notary Public

Notary Public - Oregon
Title (and Rank)

My commission expires 12/17/2021

BUYER:

DATED: 12/31/18

DATED: 12/31/18

[Signature]

Dena Lynn Hilton

Mike Hilton

Dena Hilton

4459 Old Stage Rd
Central Point, Oregon, 97502

STATE OF OREGON, ss: COUNTY OF JACKSON, ss:

This instrument was acknowledged before me on this 31 day of December, 2018,
by Mike Hilton and Dena Hilton.



[Signature]
Notary Public

Notary Public
Title (and Rank)

My commission expires 11/13/2022



Project Name:

**4866 Helo Drive
Vilas Truck & Trailer Sales, LLC**

Map/Taxlot:

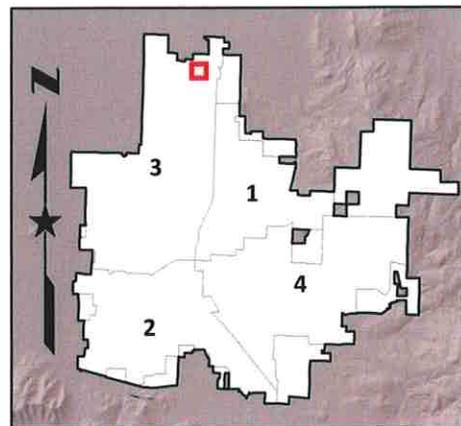
371W06AB TL 302



Legend

-  Subject Area
-  Tax Lots

11/12/2019





STAFF REPORT

for a Type-III quasi-judicial decision: Site Plan & Architectural Review

Project DAR USA – Family Mart
Applicant: DAR USA; Agent: Studio 3 Architecture, Inc.

File no. AC-20-012

To Site Plan and Architectural Commission *for 3/20/2020 hearing*

From Dustin Severs, Planner III

Reviewer Kelly Evans, Assistant Planning Director

Date March 13, 2020

BACKGROUND

Proposal

Consideration of a proposal for a gas station and convenience store, consisting of the construction of a 3,141 square foot convenience store and a 3,755 square foot gas canopy, to be located on a 0.89-acre portion of the South Medford Center, an existing commercial and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 3604).

Vicinity Map



Subject Site Characteristics

GLUP CM (Commercial)
Zoning C-R
Overlay R-Z (Restricted Zoning) (trip cap established per ZC-16-077)
Use Commercial shopping plaza

Surrounding Site Characteristics

North Zone: SFR-00 (Single-Family Residential – 1 dwelling unit per existing lot)
 Use(s): I-5, Bear Creek

South Zone: SFR-00
 Use(s): vacant land

East Zone: SFR-00 and C-R
 Use(s): vacant land

West Zone: C-R
 Use(s): Marriot Hotel, Walmart, Rogue Credit Union

Related Projects

ZC-16-77 Zone Change
AC-16-138 Site Plan approval
AC-17-135 Site Plan approval
LDP-17-131 Partition

Applicable Criteria

Medford Municipal Code §10. 200(E)(1) – Site Plan & Architectural Review Criteria

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (a) The proposed development is compatible with uses and developments that exist on adjacent land; and*
- (b) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.186.*

Approval Authority

This is a Type III land use decision. The Site Plan & Architectural Commission is the approving authority under MLDC 10.108(1).

ISSUES AND ANALYSIS

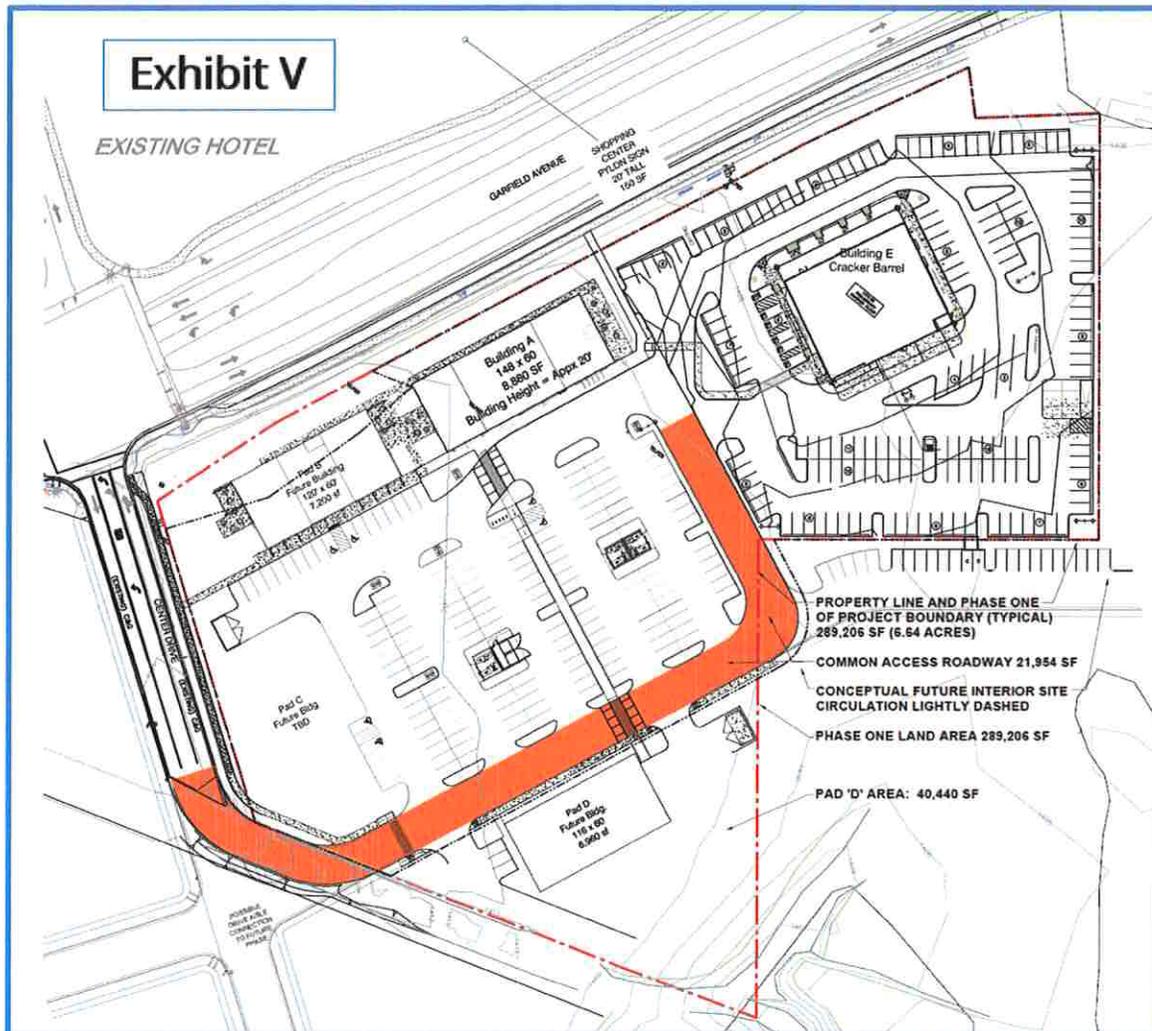
Background

History

FILE #	DATE	DESCRIPTION
ZC-16-77	September 2016	Zone Change from SFR-00 to C-R
AC-16-138	January 2017	SPAC approval for Southside Center Phase I
AC-17-135	January 2018	SPAC approval for South Medford Center – Building B
LDP-17-131	April 2019	South Center Partition (Final plat approved)

The subject site is located within the South Medford Center, an existing commercial shopping plaza originally approved as a phased development on January 2017. The first phase of the South Medford Center (AC-16-138), included the approval of two buildings: a 9,113 square foot Cracker Barrel restaurant, and an 8,880 square foot multi-tenant commercial building (currently containing a MOD Pizza, Asante Walk-in Care, Sports Clips, and a Chipotle). A second 7,200 square foot building—Building B—was approved in January 2018 (AC-17-135), and currently contains a Five Guys restaurant, and two vacant spaces.





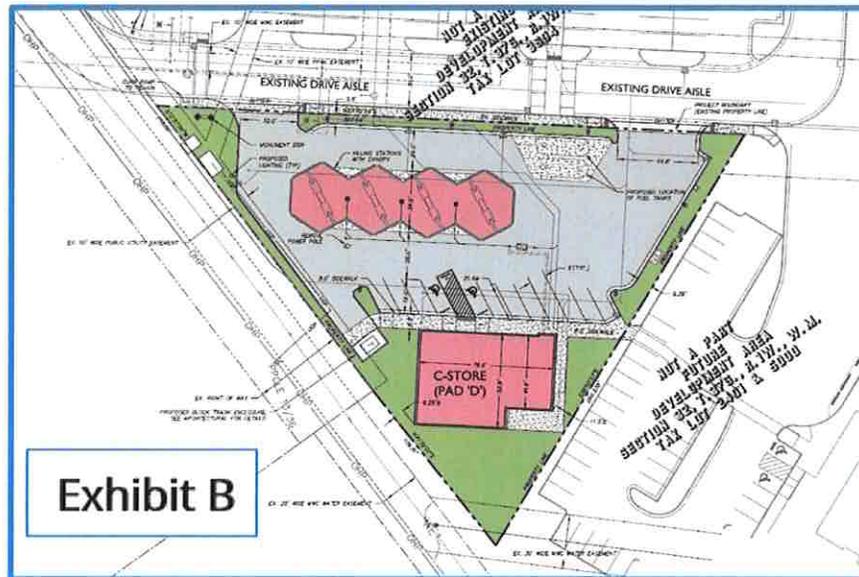
The site plan for the South Medford Center identified two additional, future developments: An area located along the frontage of Center Drive identified as Pad C, proposed as a future fast food restaurant with a drive thru, and a 6,660 square foot building identified as Pad D.

The subject request includes the portion of the South Medford Center previously identified as the Pad D area.

Current proposal

The applicant is now proposing to develop an approximate 38,495 square foot area located at the southeast corner of the South Medford Center—previously identified for Pad D—with a convenience store and a gas station. The convenience store will be a 3,141 square foot Family Mart, and the gas station will be a Shell Gas station, consisting of a proposed 3,755 canopy covering four fuel pumps.

Access to the subject site is proposed via two driveways off of the existing drive aisle, which currently serves the South Medford Center. The site abuts the unimproved right-of-way of Belknap Road—classified as a Commercial street. The applicant's original site plan showed this section of Belknap improved; however, Public Works staff explained to the applicant at the Land Development meeting that the improvement of Belknap was not required as long as they weren't proposing to take access off of the street. The applicant has since submitted a revised site plan removing the improvement of Belknap Road, along with the driveway access originally proposed to be constructed off of Belknap.



Development Standards

Commercial – Industrial Site Development Table (MLDC 10.721)

C-R Zone	Allowed/Required	Proposed/Shown
Height	85 feet (35 feet if located within 150 feet of a residential zone)	17' 6"
Lot Coverage	40%	20.1%
Setback (front)	10 feet	10+
Setback (rear and side yards)	none	6.29 feet

As shown in the Site Development Table above, it can be found that the two proposed structures—convenience store and fueling station canopy—identified on the

submitted site plan meet the bulk standards for the C-R zoning district as found in Article V of the Medford Land Development Code. The trash enclosure, located south of the convenience store; however, is shown encroaching within the 10-foot front yard setback, a required setback which also serves as a required Public Utility Easement (PUE).

As a condition of approval, the applicant will be required to submit a revised site plan showing the trash enclosure located outside of the required front yard setback.

Parking

Parking Table (MLDC 10.743-751)

	Required	Proposed/Shown
Vehicle Spaces	14 min. / 17 max.	20
Handicap Spaces	1	2
Bicycle Spaces	2	3

The submitted site plan shows a total of 20 parking stalls (12 designated spaces in front of the convenience store, plus 8 spaces at the fueling stations), including 2 handicap spaces, meeting the minimum, but exceeding the maximum permitted per MLDC 743-751. The applicant’s original site plan showed the convenience store at 3,867 square feet—requiring 17 min. / 21 max. The applicant later submitted a revised site plan reducing the building size to 3,141 square feet; however, the proposed off-street parking shown on the revised plan was not altered accordingly. At the time of this writing, the applicant has not requested relief to exceed the maximum allowed, pursuant MLDC 10.742(3).

As a condition of approval, the applicant will be required to submit a revised site plan showing the number of the site’s off-street parking meeting the requirements outlined in MLDC 10.743(1).

Landscaping

Frontage Landscaping (MLDC 10.797)

Belknap Road	Required	Shown
Trees	7	4
Shrubs	45	45+

The applicant's submitted landscape plan (Exhibit D) shows landscaping along the site's frontage abutting the unimproved right-of-way of Belknap Road, as required per MLDC 10.797. At the time of this writing, staff has not received an updated landscape plan showing the driveway off of Belknap Road removed.

As a condition of approval, the applicant will be required to submit an updated landscape plan showing the site's frontage along the right-of-way Belknap Road providing landscaping meeting the minimum requirements outlined in MLDC 10.797.

Pedestrian Access (MLDC 10.772-776)

The site plan shows pedestrian walkways connecting the proposed building to the abutting properties, consistent with the pedestrian connectivity standards found in MLDC 10.772-776.

Concealments

Trash Enclosure (MLDC 10.781)

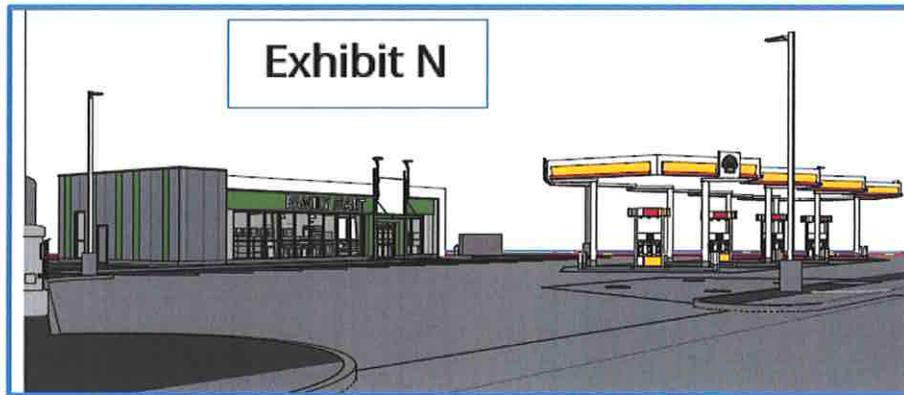
The applicant's site plan shows a trash enclosure located to the south of the proposed building, and the submitted elevation plan (Exhibit L) shows the proposed trash enclosure constructed with materials consistent with the requirements outlined in MLDC 10.781.

Roof Equipment (MLDC 10.782)

The applicant's roof plan (Exhibit H) shows mechanical equipment located on the rooftop of the building. All mechanical roof-mounted equipment is required to be concealed using the architectural elements of the building (i.e., roof forms, parapets, wing walls, alcoves, etc.). It is not clear from the applicant's elevation and roof plans if the roof mounted equipment will be adequately concealed.

As a condition of approval, the applicant will be required to submit additional elevation plans, demonstrating compliance with MLDC 10.782 prior to the issuance of building permits for vertical construction.

Architecture



The applicant's submitted narrative (Exhibit O) describes the building's proposed architecture and how it fits with and complements adjacent buildings, as the following:

The building will be pre-engineered steel building with insulated Kingspan panels on the exterior. The design and color scheme is consistent with the Family Mart brand. The Kingspan Panels are a high end metal panel with foam insulation between the panels. The exterior look will compliment adjacent buildings in the same shopping center in that it will add value to the property and the brand recognition of shell gas stations will help drive more traffic into the area.

Landscape buffering

Per MLDC 10.790, bufferyards are utilized in order to minimize potential conflicts caused by types and intensity of uses on adjacent properties. The subject site abuts the SFR-00 zoning district along an approximate 110 foot stretch of its southerly boundary. It should be noted that the site's entire boundary is encircled by the property with a Commercial (CM) GLUP designation, and the subject site and all abutting property is under common ownership.

Zoning Map

GLUP Map

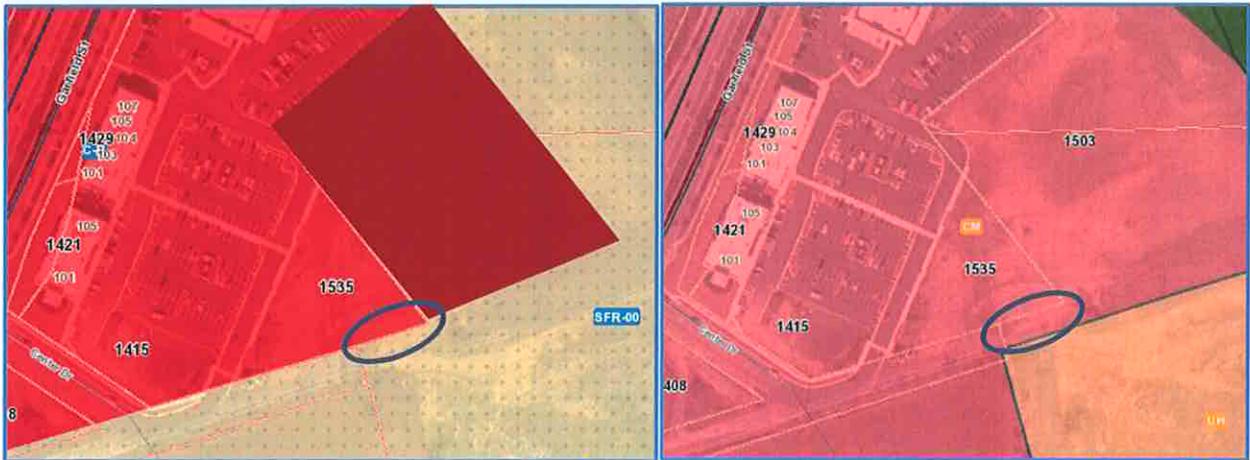


Table 10.790-3. Bufferyard Types

<u>Type</u>	<u>Width</u>	<u>Wall</u>
A	10 feet	Six (6) foot concrete or masonry wall.
B	20 feet	Eight (8) foot concrete or masonry wall

Per MLDC 10.790-1, a Type A bufferyard—consisting of a six-foot concrete or masonry wall and ten feet of landscaping—is required along the site’s boundary abutting the SFR-00 zoning district.

Adjustments to Bufferyards: 10.790(E)(6)

(6) Adjustments to bufferyards: The approving authority shall have the discretion to make adjustments to the bufferyard requirements if an unusual circumstance exists and a finding is made that adequate buffering will be provided to avoid significant adverse impacts to the livability or value of the adjoining properties. Adjustments shall not be made simply for the convenience of site design. Adjustments to the bufferyard requirements may include, but are not limited to, the following:

- (a) Where a building wall with no openings below eight (8) feet abuts the bufferyard, the building wall may be counted in place of a required wall or fence.
- (b) Where there is existing development on the site, such as paving or a building, which affects or precludes implementation of the bufferyard standard.
- (c) Where a proposed project abuts existing development, and the adjacent uses are the same (i.e., apartment parking lot adjacent to commercial parking lot) or are sufficiently compatible that the full buffering, otherwise required, is not necessary and the uses are not expected to change significantly over time.
- (d) Where a project abuts an irrigation canal, natural waterway, railroad right-of-way, or other such element.

Pursuant to MLDC 10.790(E)(6) cited above, the approving authority may approve adjustments to bufferyard requirements if it is determined that unusual circumstances exist.

It is staff's view that, pursuant to MLDC 10.790(E)(6), unusual circumstances exist with the subject development, warranting the granting of relief from the strict standards of the Code for bufferyards, and that adequate buffering will be provided to avoid significant adverse impacts to the adjoining properties, without the need for a Type A Bufferyard. The unusual circumstances are as follows:

- The abutting property along the subject 110-foot area has a Commercial (CM) GLUP designation, an area which will provide an approximate 40-foot buffer space between the subject development and any single-family residential development which may be constructed on the abutting property in the future.
- The subject area is located where the right-of-way of Belknap Road would be logically extended in the future.
- The applicant's Landscape Plan (Exhibit D) shows trees and shrubs located along subject area, providing a buffering element.
- The submitted Site Plans (Exhibit B) show the back of the proposed convenience store facing the residentially zoned property to the south, and located between the residential land to the south and the proposed fueling stations, serving as a buffer in place of a wall or fence.

Other agency comments

Oregon Department of Transportation (ODOT) (Exhibit U)

The section of Garfield Street fronting the subject parcel is under the jurisdiction of ODOT. As a condition of approval, the applicant will be required to comply with all requirements of ODOT prior to the issuance of building permits for vertical construction.

Rogue Valley International – Medford Airport (Exhibit T)

Rogue Valley International Airport requests an Avigation, Noise and Hazard Easement to be required as part of the permit process. In the 2010 LUBA decision on Michelle Barnes vs. City of Hillsboro and the Port of Portland, Nollan/Dolan findings are required to support the request (LUBA No. 2010-011). None were provided; therefore, a condition requiring compliance with the airport's request for an Avigation, Noise and Hazard Easement has not been included.

RVSS (Exhibit S)

The subject property is within RVSS service area. There is an existing 8-inch sewer stubbed to the subject property.

As a condition of approval, the applicant will be required to comply with the conditions of RVSS.

Committee Comments

No comments were received from committees such as BPAC.

No other issues were identified by staff.

FINDINGS OF FACT

1. *The proposed development is compatible with uses and development that exist on adjacent land;*

The Commission can find that there is sufficient evidence contained in the applicant's findings and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

2. *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A. This criterion is satisfied.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit O) and recommends the Commission adopt the findings as recommended by staff.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare the final order for approval of AC-20-012 per the staff report dated March 13, 2020, including:

- Exhibits A through V.
- The granting of relief from constructing a bufferyard along the approximate 110-foot stretch of the subject site's southerly property line.

EXHIBITS

- A Conditions of Approval, drafted March 13, 2020.
- B Site Plans (2 of 2), received March 12, 2020.
- C Utility and Grading Plan, received
- D Landscape Plan, received March 12, 2020.
- E Architectural Site Plan, received March 12, 2020.
- F Floor Plans for C–store (2 of 2), received January 15, 2020.
- G Floor Plans for canopy (2 of 2), received January 15, 2020.
- H Roof plan, received January 15, 2020.
- I Reflected Ceiling Plan, received January 15, 2020.
- J Elevation Plans for C–store (2 of 2), received January 15, 2020.
- K Elevation Plans for Canopy (2 of 2), received January 15, 2020.
- L Elevations for trash enclosure, received January 15, 2020.
- M Wall types, received January 15, 2020.
- N Perspective views, received January 15, 2020.
- O Applicant’s Narrative, Questionnaire, and Findings of Fact, January 15, 2019.
- P Public Works staff report, received February 19, 2020.
- Q Medford Water Commission report & map, received February 19, 2020.
- R Medford Fire Department report, received February 19, 2020.
- S RVSS report, received February 7, 2020.
- T Airport email, received February 13, 2020.
- U ODOT email, received February 13, 2020.
- V South Medford Center Site Plan (AC-17-135), received October 25, 2017.
Vicinity map

SPAC AGENDA

MARCH 20, 2020

EXHIBIT A

DAR USA – Family Mart
AC-20-012
Conditions of Approval
March 13, 2020

CODE REQUIRED CONDITIONS

Prior to the issuance of a building permit for vertical construction, the applicant shall:

1. Comply with all conditions stipulated by the Public Works Department (Exhibit P).
2. Comply with all conditions stipulated by the Medford Water Commission (Exhibit Q).
3. Comply with all requirements of the Medford Fire Department (Exhibit R).
4. Comply with all requirements of the Rogue Valley Sewer Services (RVSS) (Exhibit S).
5. Comply with all requirements of the Oregon Department of Transportation (Exhibit V).
6. Submit a revised site plan showing the site's trash enclosure meeting the minimum required front yard setback, as outlined in MLDC 10.721.
7. Submit a revised site plan showing the number of the site's off-street parking meeting the requirements outlined in MLDC 10.743(1).
8. Submit an updated landscape plan showing the site's frontage along the right-of-way of Belknap Road meeting the minimum landscaping requirements, as outlined in MLDC 10.797.

CITY OF MEDFORD
EXHIBIT # A
File # AC-20-12

CIVIL IMPROVEMENT PLANS
FOR
C STORE GAS STATION, PAD D
LOCATED IN
SECTION 32, T. 37 S., R. 1 W., W.M.
TAX LOT 3604
CITY OF MEDFORD
JACKSON COUNTY, OREGON



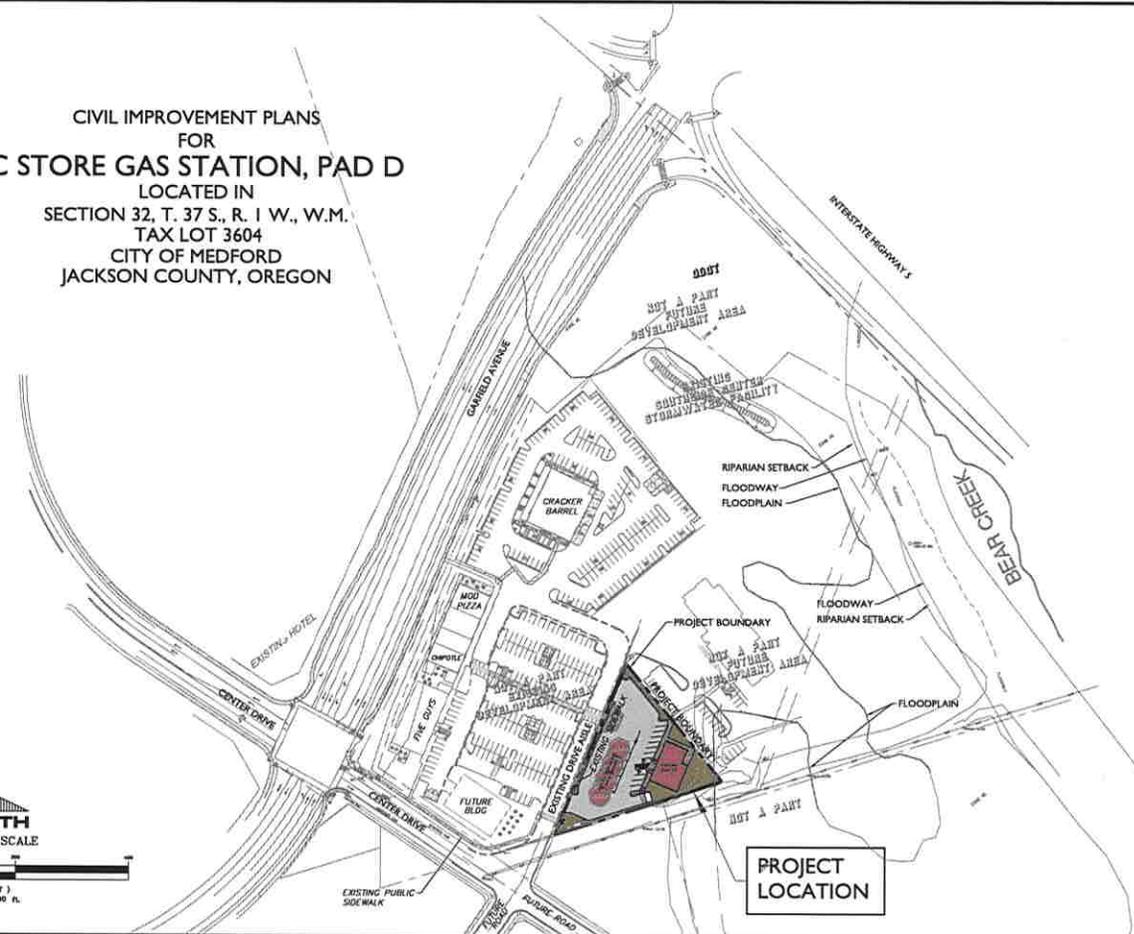
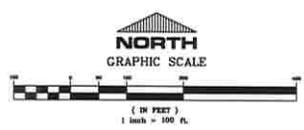
VICINITY MAP



DATE: 02/20	DATE: 01/20	DATE: 01/20	DATE: 01/20	DATE: 01/20
CHECKED BY: AMB, ESH	APPROVED:	APPROVED:	APPROVED:	APPROVED:



EXHIBIT "SP-1"



PROJECT LOCATION

CONTACT INFORMATION

OWNER:
WATSON BANK, P.C.
123 W. MAIN ST., SUITE 102
MEDFORD, OR 97501
(541) 779-3286

OWNER:
JAMES HIBBLE, PLS
L. J. FRANK AND ASSOCIATES
200 S. 17th Street, Suite B
Medford, OR 97504
(541) 779-3785

DESIGNER:
CITY OF MEDFORD
ENGINEERING DEPT.
ALEX GEORGIADIS, P.E.
411 W. 8th
MEDFORD, OR 97501
(541) 774-2100

DESIGNER:
FIVE COMPANY
FIVE COMPANY, P.E.
MEDFORD WATER CONAL
200 S. 17th Street, Suite C
Medford, OR 97501
(541) 774-2432

DESIGNER:
ELECTRIC COMPANY
FRANK WOOD
CENTURY POWER & LIGHT
325 S. GRAPE ST.
MEDFORD, OR 97501
(541) 856-3204

DESIGNER:
GAS COMPANY
ENR ENERGIES
MISTA UTILITIES
585 BUSINESS PARK DR
MEDFORD, OR 97504
(541) 225-4332

DESIGNER:
CABLE TELEVISION
TWC CHAS
CHARTER COMMUNICATIONS
1241 CENTER DR., SUITE C
MEDFORD, OR 97501
(541) 550-8992

DESIGNER:
TELEPHONE COMPANY
OLNEY BELL
CENTURY LINK
150 STEWART AVE
MEDFORD, OR 97501
(541) 776-8178

LEGEND

LINES		SYMBOLS	
PROPOSED PAVT	EX SS	SEWER MANHOLE	STORM MANHOLE
PROPOSED SIDEWALK	EX S	CLEAN-OUT	AREA DRAIN
PROPOSED STORM	EX W	SERVICE WYE	PIPE PLUG
PROPOSED SEWER	EX G	WATER SERVICE	CATCH/1 INCH BASIN
PROPOSED WATER	EX P	FIRE HYDRANT	UTILITY POLE/UTILITY WIRE
PROPERTY LINE	EX T	WATER VALVE	STREET LIGHT
CENTER LINE	EX C & G	EXISTING PAVT	TELEPHONE PEDESTAL
PUR	EX S & W	FITTING & T.B.	POWER TRANSFORMER
PROPOSED C & G	EX D	DRAINAGE FLOW	POWER SWITCHGEAR
PROPOSED DITCH	EX F	AIR VALVE	GAS VALVE
		CURB INLET	STORM SERVICE
		SEWER SERVICE	

SHEET INDEX

SPAC TITLE SHEET - OVERALL PLAN	SP-1
SITE PLAN	SP-2
SITE DRAINAGE AND UTILITY PLAN	SP-3

NO.	REVISION	DATE	BY

CONSTRUCTION ENGINEERING CONSULTANTS, INC.

SOUTH SIDE CENTER
C STORE - GAS STATION
SPAC TITLE SHEET
OVERALL PLAN

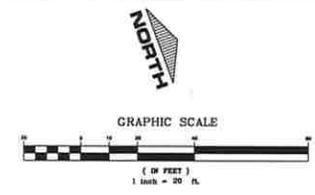
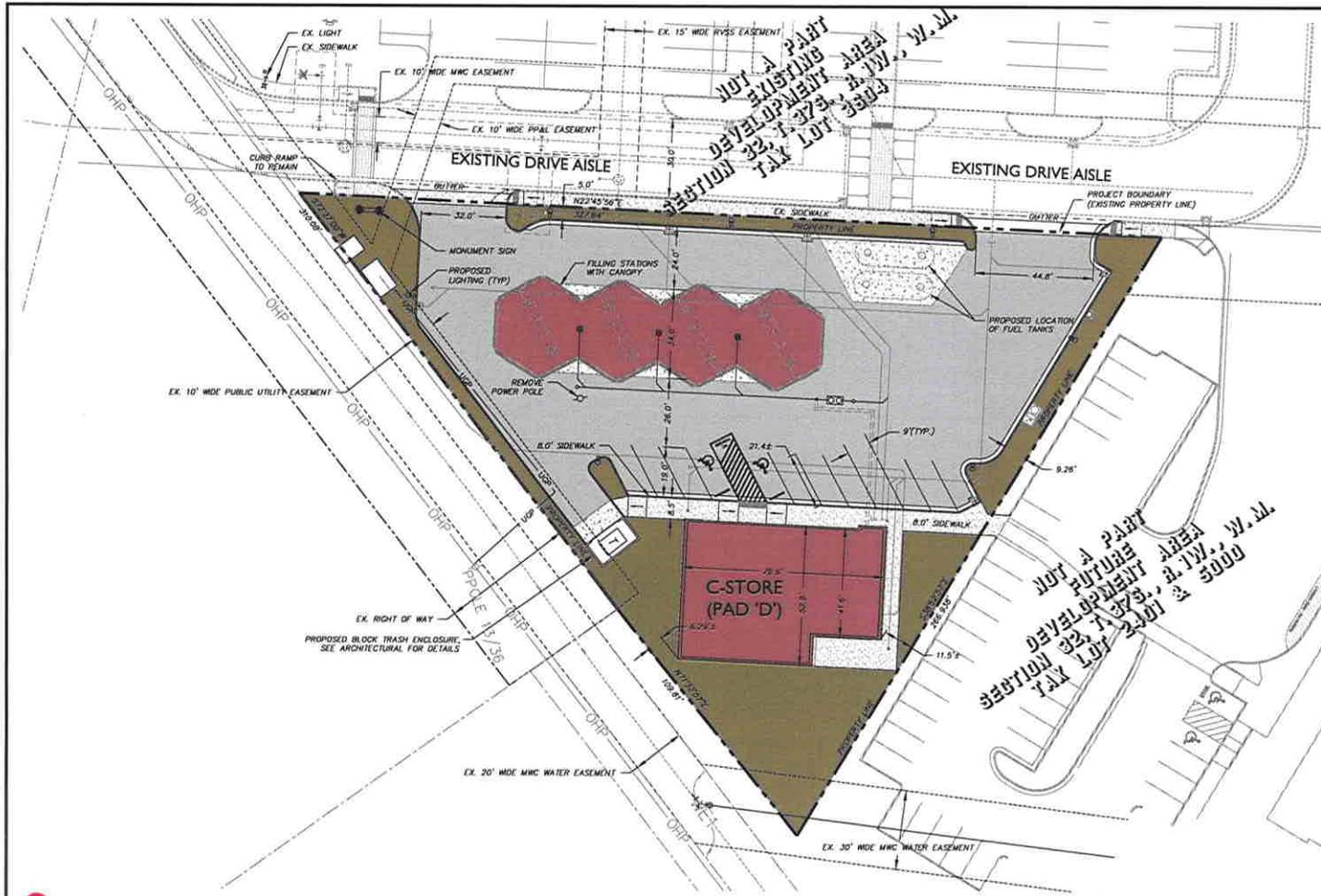
PROJECT NO.
DRAWING NO.
SP-1

NAME: SP-1.dwg PROJ: 19-89 PLOT DATE: 02/20/20

106

MEDFORD
 EXHIBIT # B (10/22)
 FILE # AC-20-012

107



PROJECT STATISTICS:	
BUILDING SIZE	3,777 SQUARE FEET
NUMBER OF ROOMS	10 ROOMS
PROJECT AREA (LEASE AREA)	38,495 SQUARE FEET

- LEGEND**
- INDICATES PROPOSED ASPHALT PAVING
 - INDICATES PROPOSED BUILDING
(SEE ARCHITECTURAL PLANS FOR PROPOSED SIZE, HEIGHT, ETC)
 - INDICATES PROPOSED LANDSCAPED AREAS
 - INDICATES PROPOSED SIDEWALKS & CONCRETE
 - INDICATES PROPOSED TRASH ENCLOSURE

UTILITIES
SEE SHEET SP-3 FOR LOCATIONS OF EXISTING AND PROPOSED UTILITIES

SITE LIGHTING
SEE ARCHITECTURAL EXHIBIT FOR PROPOSED LIGHT LOCATIONS AND DETAILS.

CITY OF WILMINGTON
EXHIBIT # B (2 of 2)
FILE # AC-20-012



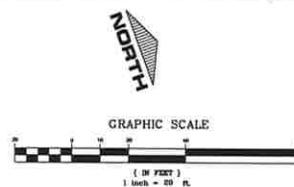
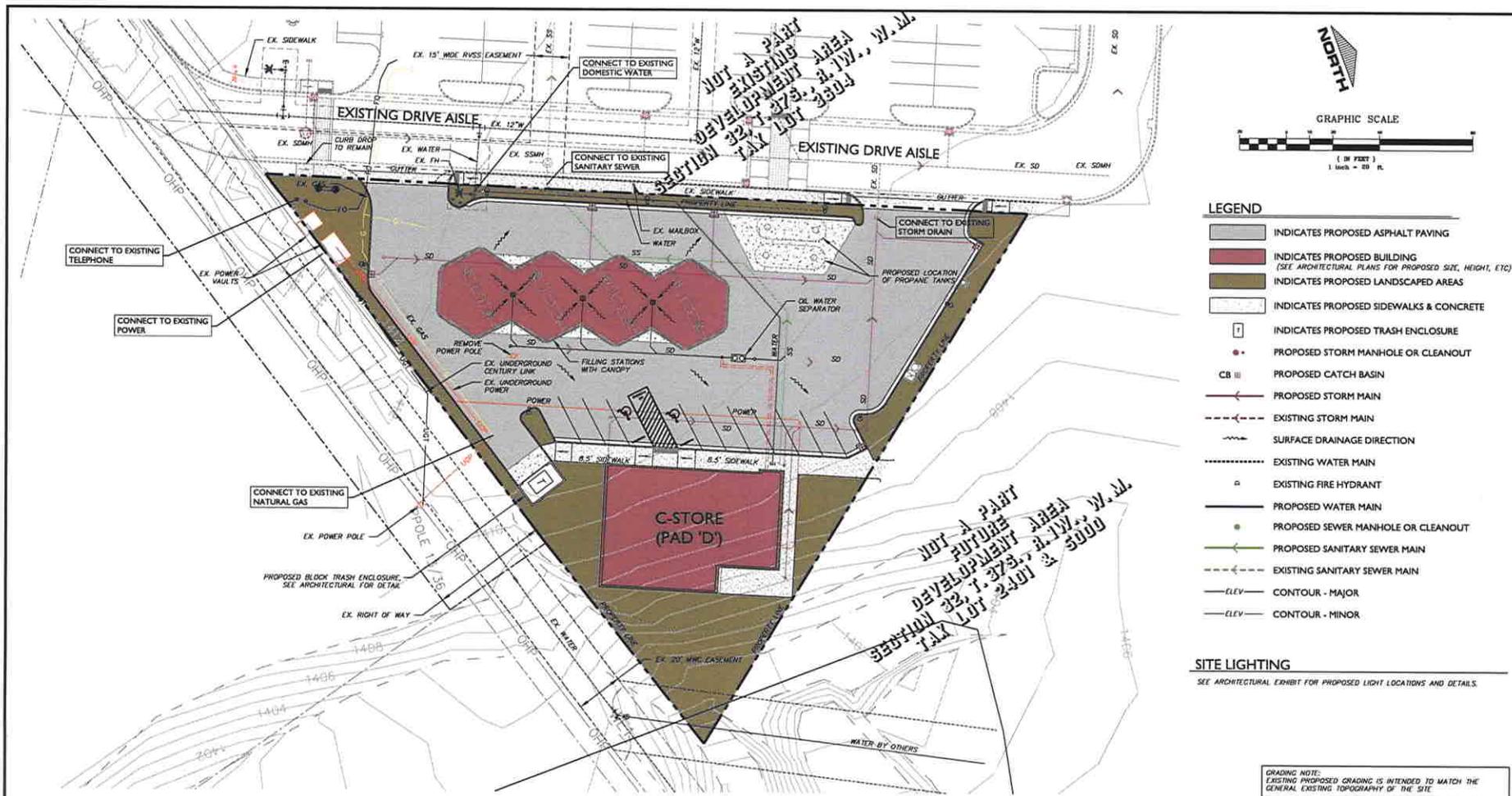
DRAWN BY: MJJ	DATE: 02/20
CHECKED BY: BSH/AMB	DATE: 01/20
APPROVED:	DATE:

NO.	REVISION	DATE	BY



EXHIBIT "SP-2"
CONSTRUCTION ENGINEERING CONSULTANTS, INC.
SOUTH SIDE CENTER
C-STORE - GAS STATION
SITE PLAN
PROJECT NO. _____
DRAWING NO. SP-2

NAME: SP-2.dwg PLOT: 19-08 PLOT DATE: 02/24/20



- LEGEND**
- INDICATES PROPOSED ASPHALT PAVING
 - INDICATES PROPOSED BUILDING (SEE ARCHITECTURAL PLANS FOR PROPOSED SIZE, HEIGHT, ETC)
 - INDICATES PROPOSED LANDSCAPED AREAS
 - INDICATES PROPOSED SIDEWALKS & CONCRETE
 - INDICATES PROPOSED TRASH ENCLOSURE
 - PROPOSED STORM MAN-HOLE OR CLEANOUT
 - PROPOSED CATCH BASIN
 - PROPOSED STORM MAIN
 - EXISTING STORM MAIN
 - SURFACE DRAINAGE DIRECTION
 - EXISTING WATER MAIN
 - EXISTING FIRE HYDRANT
 - PROPOSED WATER MAIN
 - PROPOSED SEWER MAN-HOLE OR CLEANOUT
 - PROPOSED SANITARY SEWER MAIN
 - EXISTING SANITARY SEWER MAIN
 - ELEV - CONTOUR - MAJOR
 - ELEV - CONTOUR - MINOR

SITE LIGHTING
SEE ARCHITECTURAL EXHIBIT FOR PROPOSED LIGHT LOCATIONS AND DETAILS.

GRADING NOTE:
EXISTING PROPOSED GRADING IS INTENDED TO MATCH THE GENERAL EXISTING TOPOGRAPHY OF THE SITE.

NOTE:
PROPOSED "PAD-D" TO DRAIN TO EXISTING SOUTHSIDE APPROVED STORM WATER FACILITY SIZED FOR OVERALL DEVELOPMENT.

EXHIBIT "SP-3"

CONSTRUCTION ENGINEERING CONSULTANTS, INC.

SOUTH SIDE CENTER
C STORE - GAS STATION

SITE DRAINAGE AND
UTILITY PLAN

PROJECT NO.
DRAWING NO.
SP-3



NO.	REVISION	DATE	BY

DRAWN BY: MJJ	DATE: 02/20
CHECKED BY: BSH/AMB	DATE: 01/20
APPROVED:	DATE:



CITY OF MARYLAND
 EXHIBIT #
 FILE # AC-20-012

Plant Legend

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	MATURE SIZE HEIGHT & WIDTH	TREE CANOPY
	5	Acer glabrum / Paperbark Maple	2" Cal. B&B	Medium	25 x 15	177 SF
	2	Acer rubrum 'Royalall' / Royalall Maple	2" Cal. B&B	Medium	40 x 15	177 SF
	3	Acer rubrum 'October Glory' / October Glory Red Maple	2" Cal. B&B	Medium	50 x 35	162 SF
	2	Parrotia persica / Persian Parrotia	2" Cal. B&B	Low	35 x 25	495 SF
	2	Tilia cordata 'Cormin' / Connecticut Littleleaf Linden	2" Cal. B&B	Medium	45 x 20'	314 SF

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	30	Eucymnus fortunei 'Emerald Queen' TM / Emerald Queen Eucymnus	1 Cal.	Medium
	39	Ilex cornuta 'Heleni' / Helen Japanese Holly	1 Cal.	Medium
	32	Nandina domestica 'Fire Power' / Firepower Nandina	1 Cal.	Low-Medium
	38	Prunus laurocerasus 'Otto Luyken' / Luyken Laurel	3 Cal.	Medium
	6	Spiraea japonica 'Anthony Waterer' / Japanese Spirea	1 Cal.	Medium
	16	Spiraea japonica 'Goldflame' / Spirea	1 Cal.	Medium
	49	Viburnum davidii / David Viburnum	1 Cal.	Medium

GRASSES/PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	22	Hemodactylis spp. / Daylily	1 Cal.	Low-Medium
	15	Miscanthus sinensis 'Little Kitten' / Little Kitten Calala Grass	1 Cal.	Low-Medium
	38	Pennisetum alopecuroides 'Hansels' / Hansels Fountain Grass	1 Cal.	Low-Medium

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	495 (1820 SF)	Achthophyllum ovatum 'Massachusetts' / Massachusetts Kalmuckia	4" Plt @ 24" O.C.	Low-Medium
	38 (1,000 SF)	Tanacetum sibirica 'Buffalo' / Buffalo Tanacetum	1 Gal. @ 28" O.C.	Low
	111 (1,025 SF)	Potentilla fruticosa 'Tangerine' / Tangerine Potentilla	1 Gal. @ 56" O.C.	Low

Landscape Planting Requirements

TOTAL LANDSCAPE AREA: 878 SQUARE FEET (SF)	
TOTAL HIGH WATER USE: 0 SF / 0%	
REQUIRED ORGANIC CONTENT: 3 CLINIC YARDS (CY) PER 1000 SF 2 CY x (8878 / 1000 SF) = 24.3 CY	PROPOSED ORGANIC CONTENT: 24.5 CY
TREE SOIL VOLUME REQUIREMENT: 2 CLINIC FEET (CF) PER 1 SF TREE CANOPY TOTAL TREE CANOPY = 573 SF 6.258 SF x 2 CF = 12.470 CF	PROPOSED SOIL VOLUME: AREA x MEET OR EXCEED REQUIREMENT
PARKING LANDSCAPE REQUIREMENTS: 3 TREES AND 6 SHRUBS PER 24 PARKING SPACES 500 SF PER 24 PARKING SPACES	PROPOSED PARKING LANDSCAPE: 3 TREES AND 27 SHRUBS 634 SF
TOTAL PARKING SPACES: 12 (NOT INCLUDING REFUELING SPACES BENEATH CANOPY)	

General Planting Notes:

1. THE LANDSCAPE CONTRACTOR IS TO THOROUGHLY REVIEW THE SITE. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLAN AND EXISTING CONDITIONS THE LANDSCAPE ARCHITECT IS TO BE IMMEDIATELY NOTIFIED.
2. IF THE LANDSCAPE CONTRACTOR STARTS WORK BEFORE SITE CONDITIONS ARE READY, THEY WILL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS RELATING TO THE CONDITION.
3. REFER TO MEDFORD MUNICIPAL CODE SECTION 10.78 FOR MORE INFORMATION.
4. TOPSOIL: ALL PLANTER BEDS SHALL HAVE A MINIMUM DEPTH OF 8" FOR ALL TOPSOIL. TOPSOIL SHALL BE OVER EDGE-FREE SURGRADE. TOPSOIL TO BE RIPPED AND FILLED INTO SURGRADE.
5. SOIL AMENDMENTS: ADD A MINIMUM OF 1" CLEAR, MATURE COMPOST TO TOPSOIL (SEE SOIL ORGANIC CONTENT FOR PROPOSED AMOUNT), TILL IN FOR ALL PLANTER BEDS.
6. PLANTING: VERIFY SOIL IS APPROPRIATELY DRY FOR DIGGING. SEE DETAILS THIS SHEET FOR HOLE DEPTH, WIDTH AND BACKFILL. DEEP WATER IMMEDIATELY AFTER PLANTING.
7. MOUND PLANTING BED AREAS 5" FOR POSITIVE DRAINAGE AND AESTHETICS.
8. BARK MULCH: SPREAD 3" MIN. DEPTH ACID DOLIC FIR MULCH IN ALL PLANTER BEDS AND OPEN LANDSCAPE AREAS. KEEP MULCH AWAY FROM PLANT BASE.
9. PLANT QUANTITIES SHOWN ARE INTENDED TO ASSIST THE CONTRACTOR IN EVALUATING THEIR OWN TAKE-OFFS. IF THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES AND TAKE-OFFS, THE CONTRACTOR SHALL USE THE LARGER OF THE TWO AMOUNTS. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES.

General Notes:

1. VERIFY ALL UTILITIES AND EASEMENTS. SEE CIVIL DRAWINGS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
2. SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN AND BUILDING DETAILS.
3. SEE CIVIL DRAWINGS FOR GRADING.
4. LANDSCAPE REQUIREMENTS SEE THIS SHEET.
5. PLANT LEGEND, PLANTING NOTES AND DETAILS SEE THIS SHEET.
6. IRRIGATION TO BE AN AUTOMATIC UNDERGROUND DRIP SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT PER MEDFORD MUNICIPAL CODE REQUIREMENTS SECTION 10.78.

Laurus Designs, LLC



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Silverton, Oregon
503.784.6494
laura@laurusdesigns.com

STUDIO

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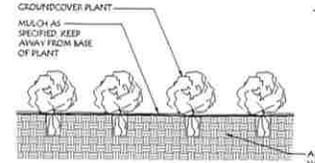
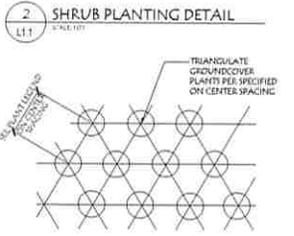
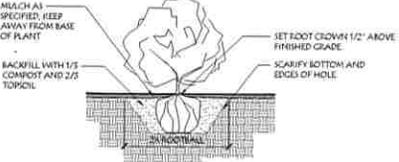
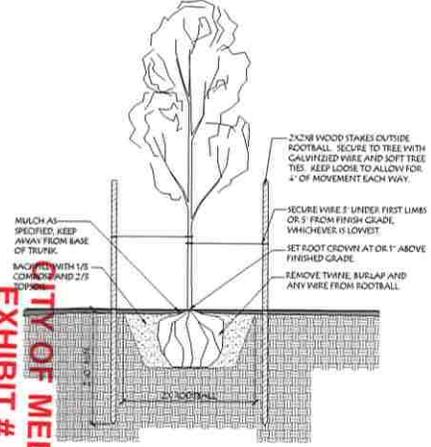
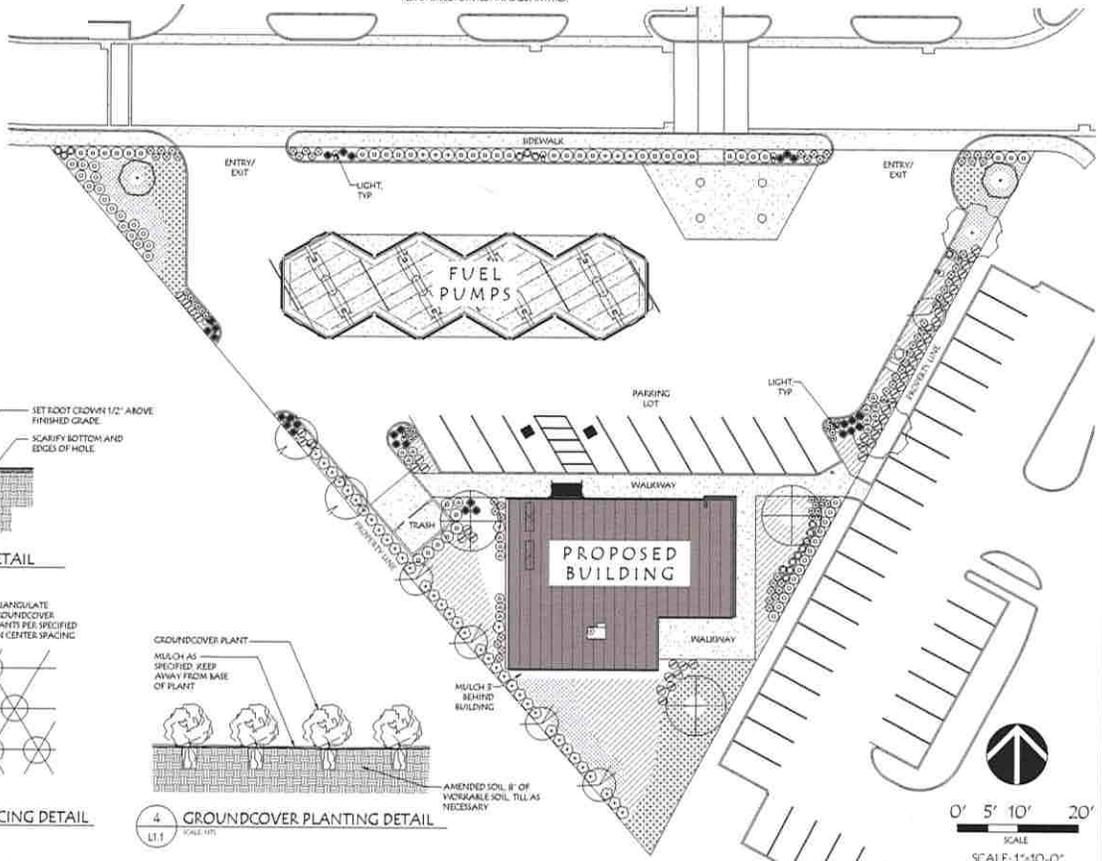
ARCHITECTURE INCORPORATED

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SALEM, OR 97301-3449
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643
PRELIMINARY
LAURA R. ANTOSCH
OREGON
11/16/2007
LANDSCAPE ARCHITECT

IN THE EVENT CONTRACTOR IS NOT LICENSED OR NOT IN GOOD STANDING, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BONDS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BONDS.

PROJECT # 1275C
DATE: 01/03/2020
REVISIONS

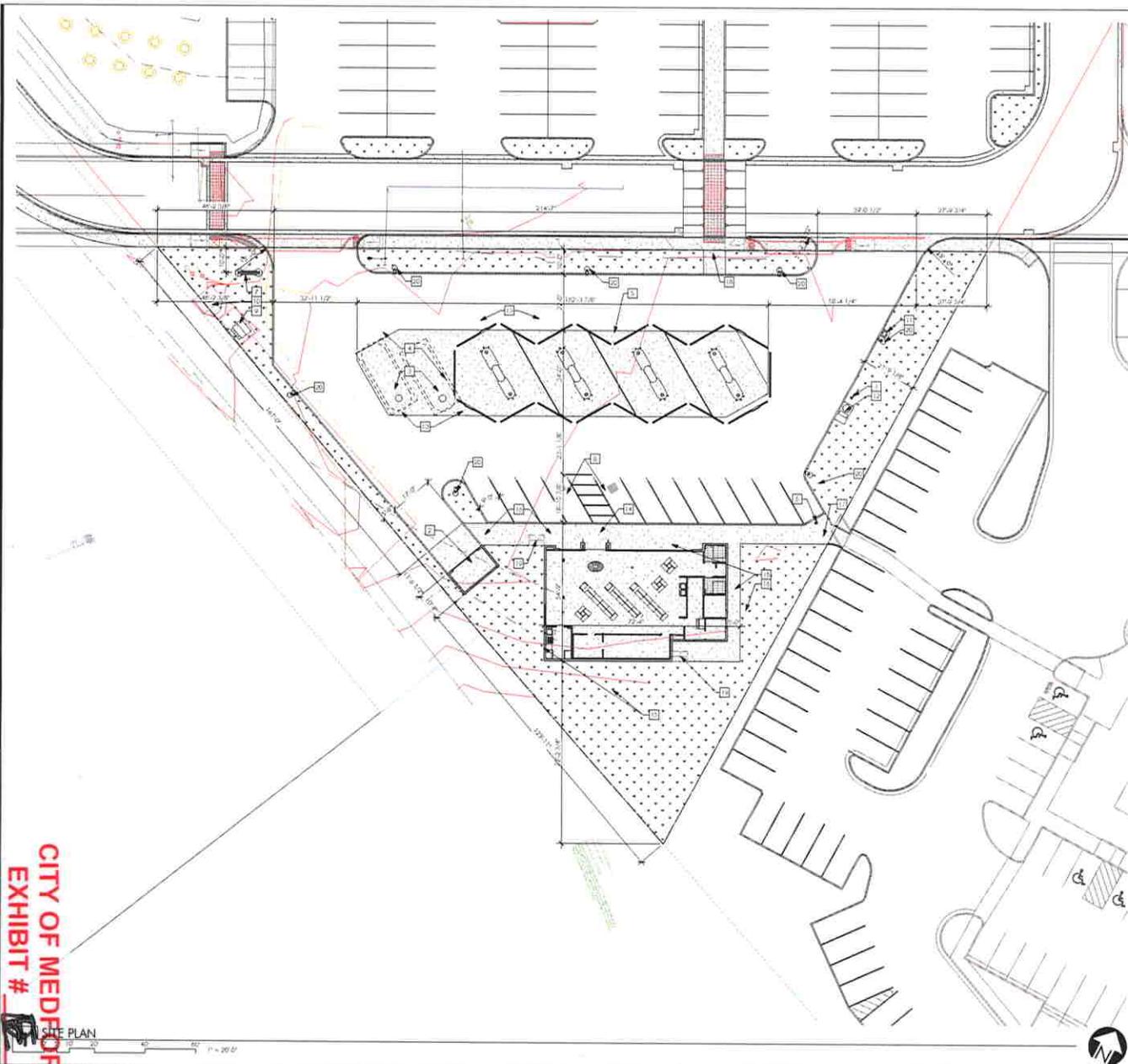


CITY OF MEDFORD
 EXHIBIT # D
 FILE # AC-20-012

GAS STATION / "C" STORE
 FAMILY MART
 GARFIELD AT CENTER DRIVE, MEDFORD OR 97501

SHEET:
L1.1
Planting Plan





SITE PLAN GENERAL NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON AN INSTRUMENTED SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE DESIGNER. THE CONTRACTOR SHALL OBTAIN THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR. VERIFY EXACT LOCATIONS AND DEPTHS AND ALL UNDERGROUND UTILITIES.
- REFER TO CIVIL DRAWINGS FOR LOADINGS. SITE IS REQUIRED TO MEET THE UNIFORM FLOOR AREA ACCESSIBLE ACTS. SHALL EXCEED 5% (20' DIA) OR 2% (30' DIA) SLOPE SHALL NOT EXCEED 1/4" IN 48". ALL AT GRADE SURFACES ARE ACCESSIBLE ROUTES.
- JOINTS IN CONCRETE WALKS NOTED AS TO BE CONSTRUCTED AS EXPANSION JOINTS. ALL OTHER JOINTS SHALL BE TO BE TOGGLED CONCRETE JOINTS. SEE CIVIL.
- REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING AND IRRIGATION ELEMENTS.
- SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING.
- REVIEW CONSTRUCTION FININGS AS REQUIRED TO STABILIZE SITE AND BUILDING DURING CONSTRUCTION.
- EXERCISE CARE SHOULD BE TAKEN TO PRESERVE EXISTING ROOTS OF TREES TO REMAIN.

SITE DEVELOPMENT CODE REVIEW:

- UTL AREA: 38,702.93 sf = 0.88%
ZONING: C-2 REGIONAL COMMERCIAL
- BUILDING AREA:**
- CONVENIENCE STORE: 3,141 sf
 - STORE ENTRY CANOPY: 49 sf
 - GAS CANOPY: 3,775 sf
- MAXIMUM LOT COVERAGE:** 40%, THEREFORE 15,481.17 sf
ACTUAL LOT COVERAGE: 26.1%
- PARKING:**
- COMMERCIAL USE: 4.5/1000 SF RET = 15
 - AREA PARKING: 7.4/1000 SF = 17
 - PROVIDED: 12 SPACES PLUS 2 REFUELING SPACES
- BIKE PARKING:**
- 1% OF VEHICLE PARKING SPACES
 - THEREFORE PROVIDE 2 BIKE PARKING SPACES
- LOADING SPACES:**
- FOR BUILDINGS UNDER 20000, NOT REQUIRED

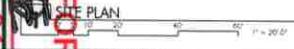
SITE PLAN NOTES:

1. FUEL TAKE-UP AREA
2. TRASH ENCLOSURE, PER CITY TALLS
3. 15,000 GALLON BURIED COMMIMENTALIZED FUEL TANK
4. IF THICK CONCRETE SLAB OVER 4" MIN. COMPACTED ROCK OVER BURIED TANKS
5. IF THICK CONCRETE SLAB OVER 4" MIN. COMPACTED ROCK, AT 4" PLUS 1" PAD.
6. ELECTRIC VEHICLE CHARGER STATION
7. NEW 20' 0" TALL FUEL PUMP SIGN LOCATION
8. ACCESSIBLE PARKING SPACES WITH SIGNAGE PER DETAIL
9. PAD MOUNT TRANSFORMER LOCATION
10. EXISTING ELECTRIC UTILITY SWITCHGEAR LOCATION
11. AIR AND WATER SERVICE STATION
12. UPS RETEL STATION WITH STORAGE TANK
13. LINE OF REFUELING CANOPY OVERHEAD
14. LINE OF CONVENIENCE STORE ENTRY CANOPY OVERHEAD
15. LINE OF CONVENIENCE STORE BUILDING LOCATION
16. AT THICK CONCRETE SIDEWALK SLAB OVER 4" MIN. COMPACTED ROCK
17. SIDEWALK TO EXTEND TO PROPERTY LINE TO CONNECT TO FUTURE HOTEL SITE, TO PROVIDE PEDESTRIAN CONNECTION
18. SIDEWALK TO EXTEND TO PROPERTY LINE TO PROVIDE PEDESTRIAN CONNECTION TO EXISTING COMMERCIAL DEVELOPMENT
19. BICYCLE PARKING WITH HOOP PER DETAIL
20. SITE LIGHTING POLES 20' 0" DIA 2" 0" EXAMETAL 7' 0" CONCRETE LIGHT POST BASE

SITE CALCULATIONS AND LEGEND:

SITE ELEMENT DESCRIPTION	LEGEND	AREA (sf)	PERCENTAGE (%)
BUILDINGS:	[Solid Black]	3,979.06 sf	10.3 %
BUILDINGS OVERHANG ABOVE:	[Solid Grey]	3,802 sf	9.8 % (duplicate)
LANDSCAPING:	[Stippled]	8,848.23 sf	22.9 %
ASPHALT PAVING:	[Dotted]	18,512.79 sf	47.8 %
CONCRETE PAVING & CURBS:	[Cross-hatched]	5,417.76 sf	14.0 %
CONCRETE SIDEWALKS:	[Horizontal Lines]	1,932.40 sf	5.0 %
TOTALS:		38,702.93 sf	109.8 %

CITY OF MEDFORD
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110

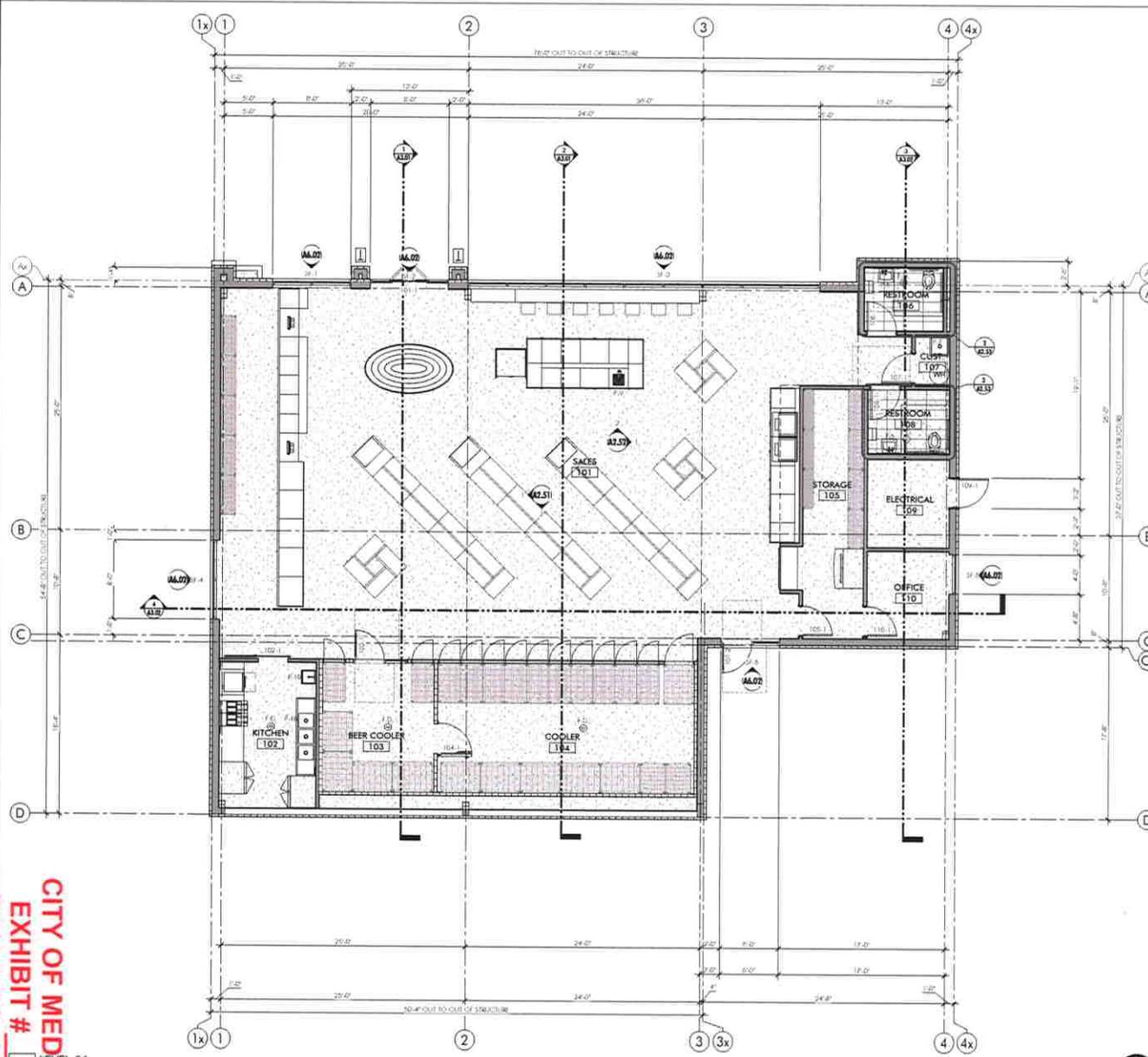
GENERAL PLAN NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- DRAWINGS ARE DIMENSIONAL ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY. OBTAIN CLARIFICATION OF DIMENSIONS OR DISCREPANCIES PRIOR TO PROCEEDING WITH AREA OF REQUIRED WORK.
- DIMENSIONS ARE TO FACE OF FRAMING. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
- SEE WALL SECTION FOR DESCRIPTION OF EXTERIOR WALL MATERIALS.
- ALL INTERIOR PARTITIONS TO RECEIVE DRAIN PIPES INSULATED FULL HEIGHT.
- COORDINATE LOCATION OF RECESSED OR SEMI-RECESSED CASES TO INSURE BACK TO BACK INSTALLATION AND TO REDUCE NOISE TRANSFER THROUGH PARTITIONS.
- WALL SCHEDULING FOR ALL WALL MOUNTED ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: DOCK STOPS, FIREWALLS, WALL CABINETS, SCHEDULING COILS, TILES, ACCESSORIES, SECURITY EQUIPMENT, STACK ROADS AND NUMBER SIGNALS, HAND RAILS AND WINDOW COVERING TRACKS.
- SEPARATE AREAS IN WHICH WORK IS BEING CONDUCTED FROM OTHER AREAS THAT ARE STILL OCCUPYING:
 - PROVIDE, ERECT, AND MAINTAIN TEMPORARY EXTERIOR PARTITIONS OF 3/4" PANEL CONSTRUCTION IN LOCATIONS INDICATED ON DRAWINGS OR AS DIRECTED.
- PREFER EXISTING WORK TO REPAIR.
 - PREVENT MOVEMENT OF STRUCTURE (PROVIDE SHORING AND BRACING IF NECESSARY).
 - PROTECT CUTTING TO AVOID COLLISION REACTIONS NEARLY AND AS SPECIFIED FOR CUTTING NEW WORK.
 - REMOVE ADJACENT TO EXISTING AND FINISHES DIMENSIONED REMOVAL WORK.
 - PATCH AS SPECIFIED FOR PATCHING NEW WORK.
- REMOVE DEBRIS, JUNK AND TRASH FROM SITE.
- REMOVE FROM SITE ALL MATERIALS NOT TO BE REUSED ON SITE (DO NOT BURN ON SITE).
- LEAK SITE IN CLEAN CONDITION READY FOR SUBSEQUENT TREATMENT.
- CLEAN UP SPILLAGE AND WIND BLOWN DEBRIS FROM PUBLIC AND PRIVATE LANES.
- WORK SHOWN ON THESE DRAWINGS IS TO BE SUPPLIED, FINISHED, CONSTRUCTED, INSTALLED AS PER THE GENERAL CONDITIONS AND THE SPECIFICATIONS, EXCEPTIONS AS DESCRIBED BY THE FOLLOWING ABBREVIATIONS:
 - CFO - CONTRACTOR FINISHED
 - COF - CONTRACTOR INSTALLED
 - CFO - OWNER FINISHED - CONTRACTOR INSTALLED
 - CFO - OWNER FINISHED - OWNER INSTALLED
 - MCFO - E.C. - NOT IN CONTRACT OR NOT A PART OF THIS CONTRACT.

PLAN LEGEND:

FLOOR PLAN NOTES:

- ☐ STOREFRONT WINDOW
- ☐ CONVENIENCE STORE POINT OF SERVICE CASH REGISTER
- ☐ FOOD SERVICE REGISTER
- ☐ CASE-UP SERVICE WINDOW
- ☐ INTERIOR WINDOW WITH ONE WAY GLASS
- ☐ PORTAL FRAME - LEFT EXPOSED
- ☐ WIND COLUMN - CONCEALED
- ☐ COIN OPERATED STACK WASH/DRYER
- ☐ IT MINNER
- ☐ SATURNAL PARKED
- ☐ SEMI RECESSED FIRE EXTINGUISHER CABINET 18" X 24" 150 LB EXTINGUISHER
- ☐ METAL FACED INSULATED BECF PANELS, TYPE 10MP-1, 3/2" THICK KINGSMAN KINGSMAN BECF PANELS
- ☐ MECHANICAL ROOF TOP UNITS HERMATIC MECHANICAL DRAWINGS



CITY OF MEDFORD
EXHIBIT # **F11P2**
FILE # AC-20-012

111

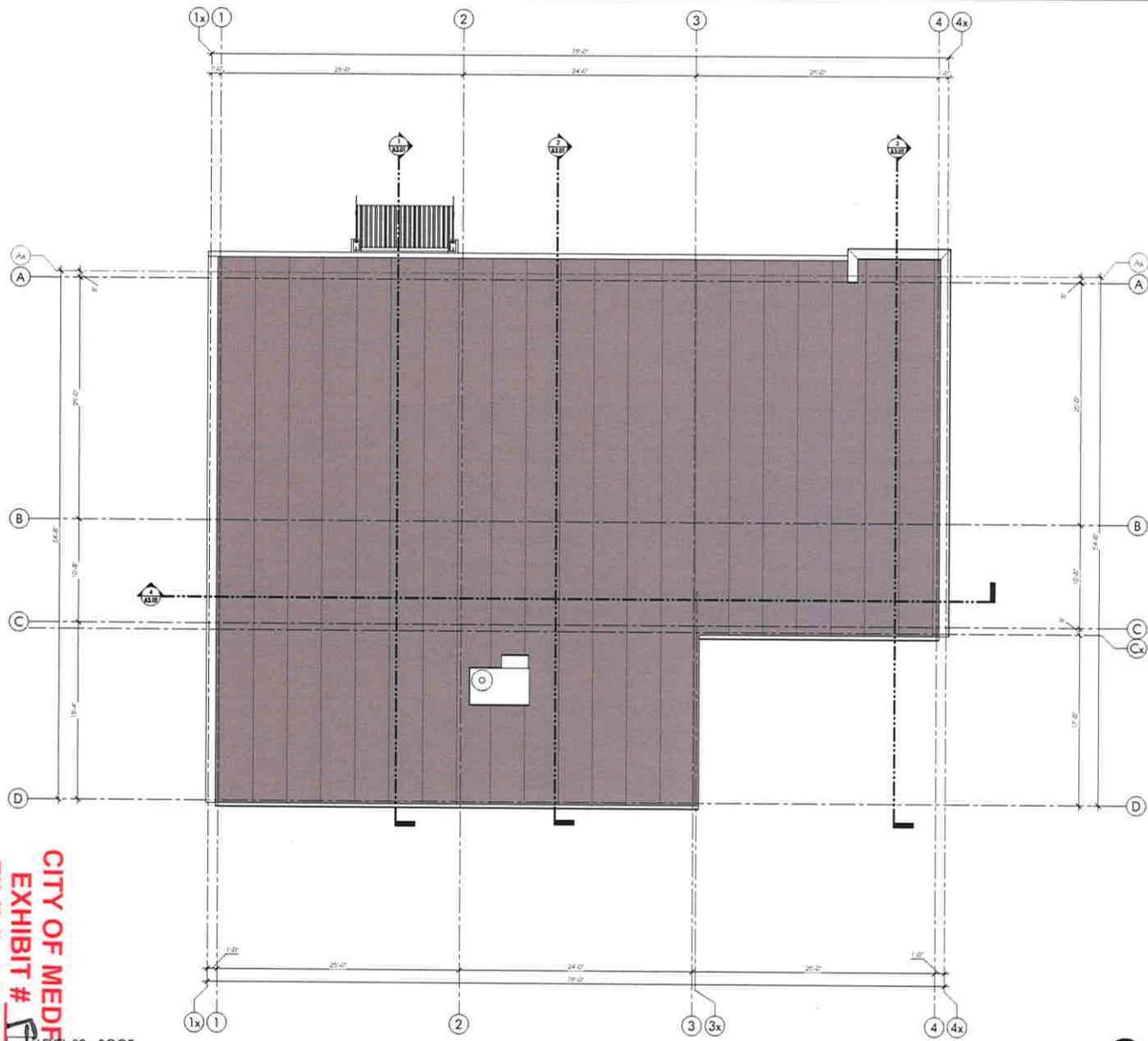
GENERAL PLAN NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- DRAWINGS ARE DIMENSIONAL ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY. OBTAIN CLARIFICATION OF DIMENSIONS OR DISCREPANCIES PRIOR TO PROCEEDING WITH AREA OF REQUESTED WORK.
- DIMENSIONS ARE TO FACE OF FINISHING. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
- SEE WALL SECTIONS FOR DESCRIPTION OF EXTERIOR WALL MATERIALS.
- ALL INTERIOR PARTITIONS TO RECEIVE CEILING FINISH INDICATED FULL HEIGHT.
- COORDINATE LOCATION OF RECESSED CEILING RECESSED FRAME TO AVOID BACK TO BACK INSTALLATION AND TO REDUCE NOISE TRANSMISSION THROUGH PARTITIONS.
- INSTALL WALL BRACKETS FOR ALL WALL MOUNTED ITEMS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: COCKETS, ENTIRETS, WALL CORNERS, SHELVING, ELECTRIC TOILET ACCESSORIES, SECURITY EQUIPMENT, TACK BOARDS, AND HANGER BOARDS, HANDRAILS AND WINDOW COVERING TRACKS.
- SEPARATE AREAS IN WHICH WORK IS BEING CONDUCTED FROM OTHER AREAS THAT ARE STILL OCCUPIED.
 - PROVIDE, ERECT, AND MAINTAIN TEMPORARY CURTAIN WALL PARTITIONS OF SUITABLE CLEAR HEIGHTS IN LOCATIONS INDICATED ON DRAWINGS OR AS DIRECTED.
- PROTECT EXISTING WORK TO REMAIN.
 - PREPARE MOVEMENT OF STRUCTURE, PROVIDE TIE-BACKS AND BRACKETS IF NECESSARY.
 - PREPARE CUTTING TO ACCOMPLISH REPAIRS/REPLACE PANELS SPECIFIED FOR CUTTING NEW WORK.
 - REPAIR ADJACENT CONSTRUCTION AND FINISHES DAMAGED DURING REMOVAL WORK.
 - PATCH AS SPECIFIED FOR PATCHING NEW WORK.
- REMOVE DEBRIS, SLURRY, AND TRASH FROM SITE.
- REMOVE FROM SITE ALL MATERIALS NOT TO BE REUSED ON SITE, DO NOT BURN ON SITE.
- STAIR SITE IN CLEAN CONDITION, READY FOR SUBSEQUENT WORK.
- CLEAR UP SPILLAGE AND WIND BLOWN DEBRIS FROM PUBLIC AND PRIVATE LANDS.
- WORK SHOWN ON THESE DRAWINGS IS TO BE SUPPLIED, FINISHED, CONDUCTED, INSTALLED AS PER THE GENERAL CONDITIONS AND THE SPECIFICATIONS, EXCEPTIONS AS DESCRIBED BY THE FOLLOWING ABBREVIATIONS:
 - CFO - CONTRACTOR FINISHED
 - CONTRACTOR INSTALLED
 - OWF - OWNER FINISHED - CONTRACTOR INSTALLED
 - OWC - OWNER FINISHED - OWNER INSTALLED
 - NO CONTRACT - NOT IN CONTRACT OR NOT A PART OF THE CONTRACT.

PLAN LEGEND:

FLOOR PLAN NOTES:

- [1] STOREFRONT WINDOW
- [2] COMMERCIAL STORE FRONT OF SERVICE CASH REGISTER
- [3] FOOD SERVICE REGISTER
- [4] SIDE UP SERVICE WINDOW
- [5] INTERIOR WINDOW WITH ONE WAY GLASS
- [6] PORTAL FRAME - LEFT FINISHED
- [7] WIND COLUMN - CONCEALED
- [8] COPPER FINISHED STACK WASH/WORKER
- [9] ICE MAKER
- [10] STAINLESS STEEL PANELS
- [11] 100% RECESSED FIRE EXTINGUISHER CABINET W/ 2A 10BC 1.5K EXTINGUISHER
- [12] METAL FACED INSULATED ROOF PANELS, TYPE 4007-1, 2.5" THICK SINGLESPAN KINGSRAM ROOF PANELS
- [13] MECHANICAL ROOF TOP UNITS PER MECHANICAL DRAWINGS.

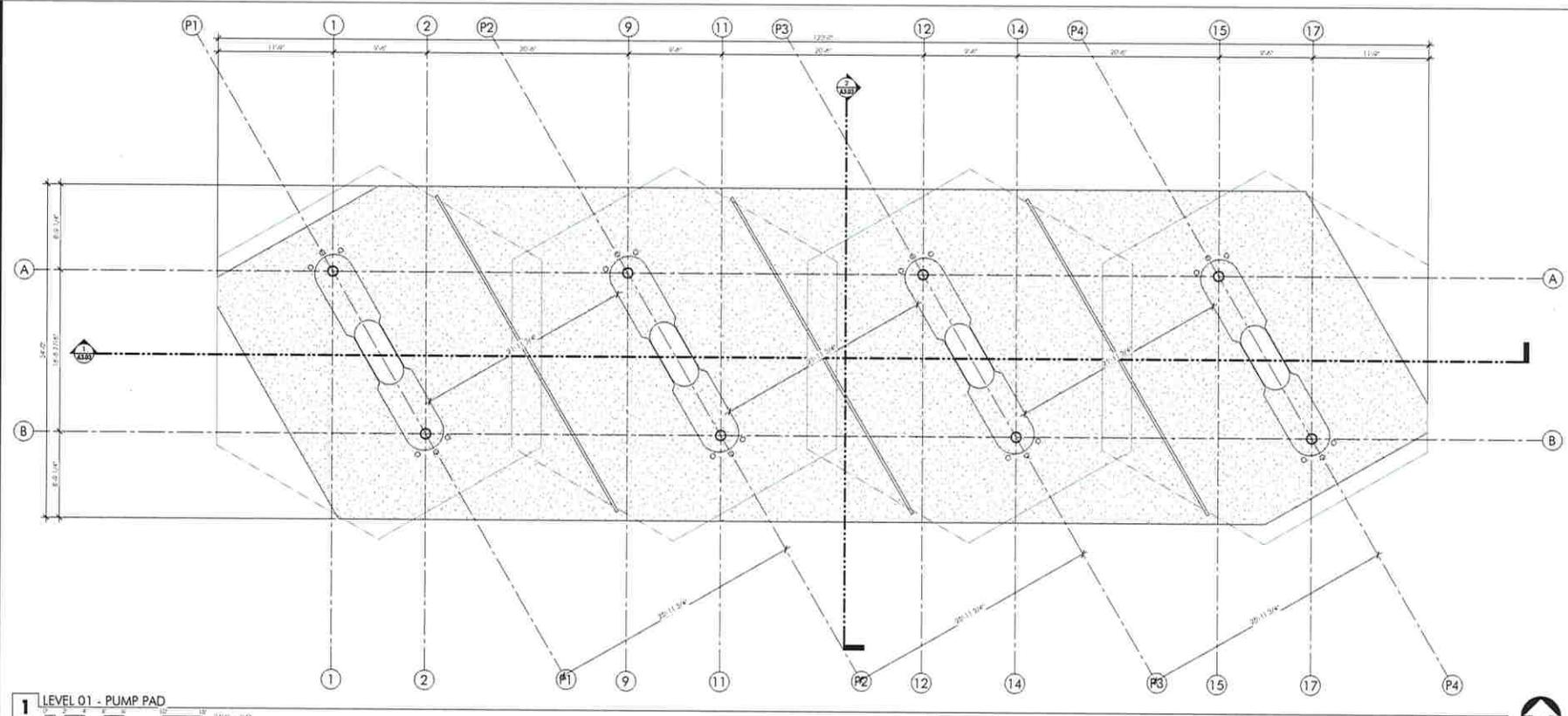


CITY OF MEDFORD
EXHIBIT # F-2019-22
FILE # AC-20-012

LEVEL 02 - ROOF

1/8" = 1'-0"

112



1 LEVEL 01 - PUMP PAD

GENERAL PLAN NOTES:

1. GENERAL NOTES APPLY TO ALL DRAWINGS.
2. DRAWINGS ARE DIMENSIONAL ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY. OBTAIN CLARIFICATION OF DIMENSIONS OR DISCREPANCIES PRIOR TO PROCEEDING WITH AREA OF DISCREPANCY.
3. DIMENSIONS ARE TO FACE OF FRAMING. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
4. SEE WALL SECTIONS FOR DESCRIPTION OF EXTERIOR WALL MATERIALS.
5. ALL INTERIOR PARTITIONS TO RECEIVE CLASS IIIB INSULATION FULL HEIGHT.
6. COORDINATE LOCATION OF RECESSED OR SEMI-RECESSED FRAM TO ADD BACK TO BACK INTERLATCH AND TO REDUCE NOISE TRANSFER THROUGH PARTITIONS.
7. INSTALL WALL BACKING FOR ALL WALL RELATED ITEMS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: DOOR SLIPS, METERS, WALL GARNETS, SHELVING, COATINGS, TOILET ACCESSORIES, SECURITY EQUIPMENT, TACK BOARDS AND MARKER BOARDS, HANG KIDS AND WINDOW COVERING TRACKS.
8. SEPARATE AREAS IN WHICH WORK IS BEING CONDUCTED FROM OTHER AREAS THAT ARE STILL OCCUPYING.
 - A. PROTECT, DIRECT, AND MAINTAIN TEMPORARY CONTAINMENT OF ALL VISIBLE CONSTRUCTION IN LOCATIONS INDICATED ON DRAWINGS OR AS DIRECTED.
9. PROTECT EXISTING WORK TO REMAIN.
 - A. PREPARE MOVEMENT OF STRUCTURE, FLOORING AND BRACING IF NECESSARY.
 - B. FRESHEN CUTTING TO ACCOMPLISH REMOVALS NEATLY AND AS SPECIFIED FOR CUTTING NEW WORK.
 - C. REPAIR ADJACENT CONSTRUCTION AND FINISHES DAMAGED DURING REMOVAL WORK.
 - D. PATCH AS SPECIFIED FOR FINISHED NETWORK.
10. REMOVE DEBRIS, ASPEN AND TRASH FROM SITE.
11. REMOVE FROM SITE ALL MATERIALS NOT TO BE REUSED ON SITE. DO NOT BURN ON SITE.
12. LEAVE SITE IN CLEAN CONDITION, READY FOR SUBSEQUENT WORK.
13. CLEAN UP SURFACE AND WIND-BLOWN DEBRIS FROM PUBLIC AND POWER LINES.
14. WORK SHOWN ON THESE DRAWINGS IS TO BE SUPPLIED, FURNISHED, ERECTED, INSTALLED AND IN PLACE UNDER THE CONDITIONS AND THE SPECIFICATIONS, INCLUDING AS OCCURRED BY THE FOLLOWING ABBREVIATIONS:
 - A. G.F.C. CONTRACTOR FURNISHED CONTRACTOR INSTALLED.
 - B. O.F.C. OWNER FURNISHED - CONTRACTOR INSTALLED.
 - C. O.F.C./C. OWNER FURNISHED - CONTRACTOR INSTALLED.
 - D. N.C. CONTRACTOR - NOT IN CONTRACT OR NOT A PART OF THE CONTRACT.

PLAN LEGEND:

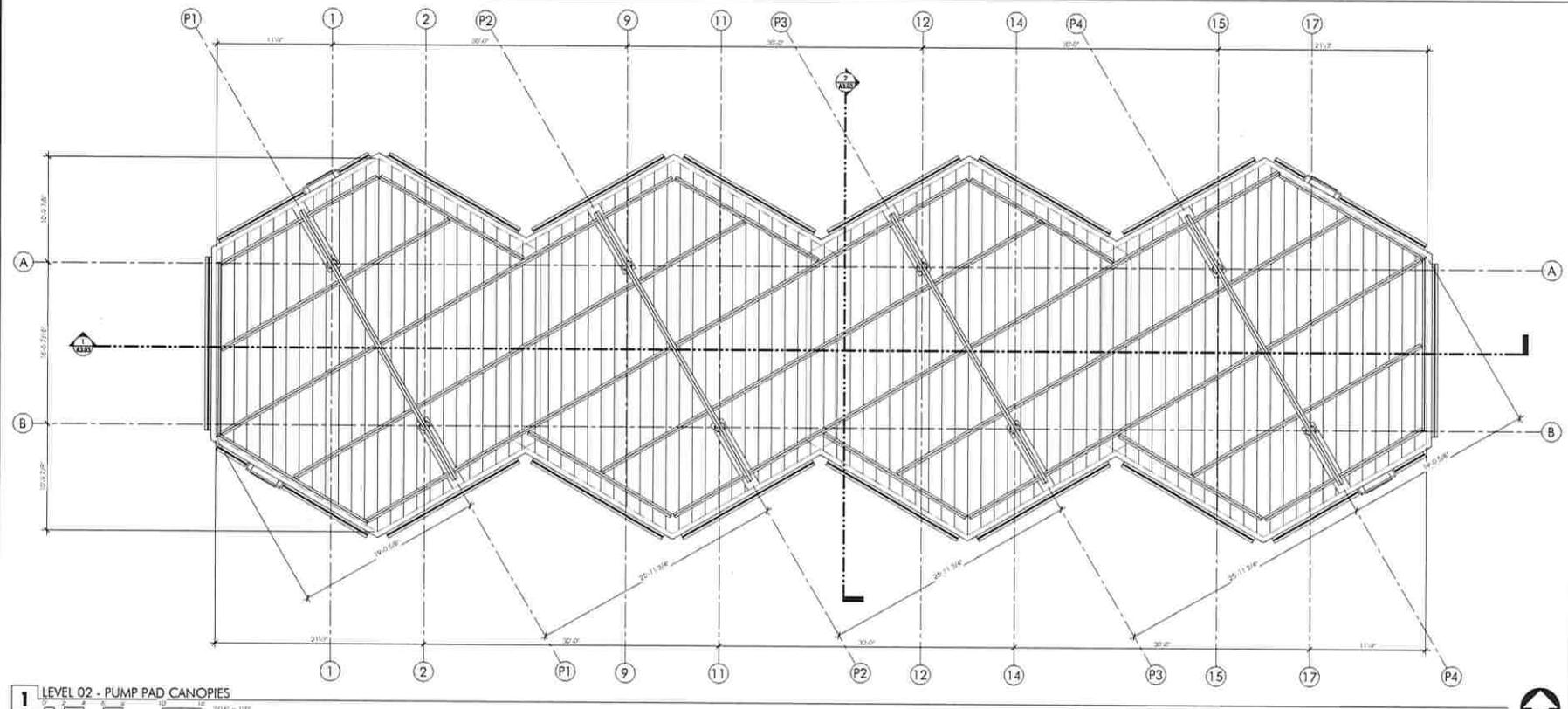
1. HIGH CONCRETE EQUIPMENT PADS, SHARED AS SHOWN.
2. FUEL PUMP LOCATION.
3. STEEL CANOPY COLUMN.
4. STEEL PIPE BOLLARD PER 3045.01.
5. 6MM HOLES @ 300.000 DIA. UNDERGROUND FUEL TANK.
6. NEW 6" CONC. ARGON @ RE-FUSING PAD.

FLOOR PLAN NOTES:

1. HIGH CONCRETE EQUIPMENT PADS, SHARED AS SHOWN.
2. FUEL PUMP LOCATION.
3. STEEL CANOPY COLUMN.
4. STEEL PIPE BOLLARD PER 3045.01.
5. 6MM HOLES @ 300.000 DIA. UNDERGROUND FUEL TANK.
6. NEW 6" CONC. ARGON @ RE-FUSING PAD.

CITY OF MEDFORD EXHIBIT # 6 (1 of 2) FILE # AC-20-012

113



1 LEVEL 02 - PUMP PAD CANOPIES

GENERAL PLAN NOTES:

- 1. GENERAL NOTES APPLY TO ALL DRAWINGS.
- 2. DIMENSIONS ARE DIMENSIONAL ONLY AND SHOULD NOT BE SCALD. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY. CLARIFY LOCATION OF DIMENSIONS OR DISCREPANCIES FROM TO INDICATED WITH AREA OF REQUIRED WORK.
- 3. DIMENSIONS ARE TO FACE OF FINANCE. DIMENSIONS STATED AS CLEAR TO FACE OF FINISH.
- 4. SEE WALL SECTIONS FOR DESCRIPTION OF EXTERIOR WALL MATERIAL.
- 5. ALL INTERIOR PARTITIONS TO RECEIVE DASH FIBER INSULATION, FILL HEIGHT.
- 6. COORDINATE LOCATION OF RECESSED OR SEMI RECESSED ITEMS TO AVOID BACK TO BACK INSTALLATION AND TO REDUCE NOISE TRANSFER THROUGH PARTITION.
- 7. INSTALL WALL BACKING FOR ALL WALL MOUNTED ITEMS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: SINKS, STOPS, PARTIALS, WALL CABINETS, DRAWING COUNTERS, TRAYS, ACCESSIBLE SECURITY EQUIPMENT, TACK BOARDS AND MIRROR BOWLS, HANG WALLS AND WINDOW COVERING TRACKS.
- 8. SEPARATE AREAS IN WHICH WORK IS BEING CONDUCTED FROM OTHER AREAS THAT ARE STILL OCCUPIED.
 - A. PROTECT, BRACE, AND MAINTAIN TEMPORARY DIVISION OF PARTITIONS OF SUITABLE CONSTRUCTION IN LOCATIONS INDICATED ON DRAWINGS OR AS DIRECTED.
- 9. PROTECT EXISTING WORK TO REMAIN.
 - A. PREVENT MOVEMENT OF STRUCTURE, FLOORING, FINISHING AND TRACING IF NECESSARY.
 - B. PERFORM CUTTING TO ACCOMPLISH REMOVING NEATLY AND AS SPECIFIED FOR CUTTING NEW WORK.
 - C. REPAIR ADJACENT CONSTRUCTION AND FINISHES DAMAGED DURING REMOVAL WORK.
 - D. PATCH AS SPECIFIED FOR PATCHING NEW WORK.
- 10. REMOVE DEBRIS, RISK AND TRAFFIC FROM SITE.
- 11. REMOVE FROM SITE ALL MATERIALS NOT TO BE REUSED ON SITE, DO NOT BURN OR BURNT.
- 12. LEAVE SITE IN CLEAN CONDITION, READY FOR SUBSEQUENT WORK.
- 13. CLEAR UP DEBRIS AND WIND BLOWN DEBRIS FROM PUBLIC AND PRIVATE AREAS.
- 14. WORK SHOWN ON THESE DRAWINGS IS TO BE SUPPLIED, FURNISHED, CONSTRUCTED, INSTALLED AND FINISHED IN THE GENERAL CONDITIONS AND THE SPECIFICATIONALS DESCRIBED AS DESCRIBED BY THE FOLLOWING ABBREVIATIONS:
 - A. C.O.F. - CONTRACTOR FINISHED - CONTRACTOR INSTALLED.
 - B. C.O.F. - OWNER FINISHED - CONTRACTOR INSTALLED.
 - C. C.O.F. - OWNER FINISHED - OWNER INSTALLED.
 - D. N.C. O.N.L.C. - NOT IN CONTRACT OR NOT A PART OF THE CONTRACT.

PLAN LEGEND:

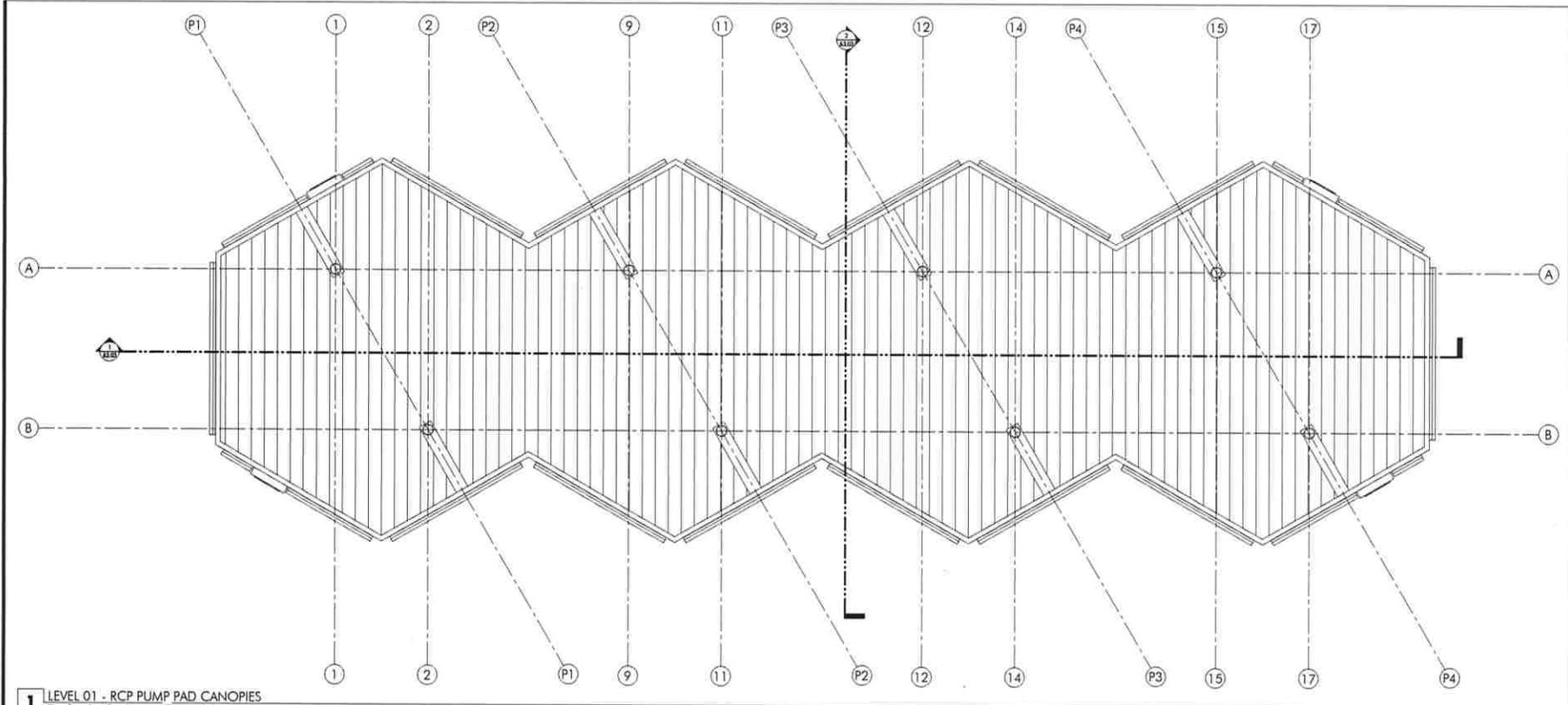
- 1. HIGH CONCRETE EQUIPMENT PADS, SHARED AS SHOWN.
- 2. FUEL PUMP LOCATION.
- 3. STEEL CANOPY COLUMN.
- 4. STEEL PIVOT BOLLARD PER SIAA-01.
- 5. MARK HOLES OF 3/16" DIA. UNDERGROUND FUEL SERVICE.
- 6. REAR CONC. ANCHOR @ RE FUELING PAD.

FLOOR PLAN NOTES:

- 1. HIGH CONCRETE EQUIPMENT PADS, SHARED AS SHOWN.
- 2. FUEL PUMP LOCATION.
- 3. STEEL CANOPY COLUMN.
- 4. STEEL PIVOT BOLLARD PER SIAA-01.
- 5. MARK HOLES OF 3/16" DIA. UNDERGROUND FUEL SERVICE.
- 6. REAR CONC. ANCHOR @ RE FUELING PAD.

CITY OF MEDFORD EXHIBIT # 6 (2020) FILE # AC-20-012

114



1 LEVEL 01 - RCP PUMP PAD CANOPIES
1/8" = 1'-0"

GENERAL PLAN NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS
- DIMENSIONS ARE DIMENSIONAL ONLY AND (SHOWN) NOT BE SCALED. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY. OBTAIN CORRECTIONS OF DIMENSIONS OR DISCREPANCIES PRIOR TO PROCEEDING WITH AREA OF REQUIRED WORK.
- DIMENSIONS ARE TO FACE OF FINISHED DIMENSIONS UNLESS OTHERWISE NOTED TO FACE OF FINISH.
- SEE WALL SECTIONS FOR DESCRIPTION OF EXTERIOR WALL FINISHES.
- ALL INTERIOR PARTITIONS TO RECEIVE QUALITY FIBER INSULATION, FULL HEIGHT.
- COORDINATE LOCATION OF RECEIVED OR SAME-NEEDED ITEMS TO AVOID BACK TO BACK INSTALLATION AND TO RECEIVE NOISE BARRIER THROUGH PARTITIONS.
- INSTALL WALL BACKING FOR ALL WALL MOUNTED ITEMS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: DOOR SUPPLIES, FIXTURES, WALL CABINETS, THEFT PROOF COUPLERS, TOILET ACCESSORIES, SECURITY EQUIPMENT, LUCK BOARDS AND HANGER RAILS, HAND RAILS AND WINDOW COVERING TRACKS.
- SEPARATE AREAS IN WHICH WORK IS BEING CONDUCTED FROM OTHER AREAS THAT ARE STILL OCCUPIED.
 - PREPARE, ERECT, AND MAINTAIN TEMPORARY EXISTING PARTITIONS OR OTHER CONSTRUCTION IN LOCATIONS INDICATED ON DRAWINGS OR AS DIRECTED.
- PROTECT CEILING WORK TO REMAIN.
 - PREVENT MOVEMENT OF STRUCTURAL MEMBER SHORING AND BRACING IF NECESSARY.
 - PRE-CONCRETE TO ACCOMMODATE REMOVAL, PATCH AND AS SPECIFIED FOR CUTTING NEW WORK.
 - REPAIR AND ADJUST ECHO PROTECTION AND FINISHES DAMAGED OR BEING REMOVED.
 - PATCH AS SPECIFIED FOR PATCHING NEW WORK.
- REMOVE DOORS, JUNK, AND TRASH FROM SITE.
- REMOVE FROM SITE ALL MATERIALS NOT TO BE REUSED (ON SITE, DO NOT BURN OR BURR).
- LEAVE SITE IN CLEAN CONDITION, READY FOR SUBSEQUENT WORK.
- CLEAN UP SPILLAGE AND WIND-BLOWN DEBRIS FROM PUBLIC AND PRIVATE LINDS.
- WORK SHOWN ON THESE DRAWINGS IS TO BE SUPPLIED, FURNISHED, CONSTRUCTED AND INSTALLED AS PER THE GENERAL CONDITIONS AND THE SPECIFICATIONS, EXCEPT AS OTHERWISE SPECIFIED BY THE FOLLOWING ABBREVIATIONS:
 - CFI - CONTRACTOR FURNISHED - TECHNICAL AND INSTALLED
 - CFI - OWNER FURNISHED - CONTRACTOR INSTALLED
 - CFI - OWNER FURNISHED - OWNER INSTALLED
 - MC ORN/LLC - NOT IN CONTRACT OR NOT A PART OF THIS CONTRACT.

REFLECTED CEILING PLAN LEGEND:

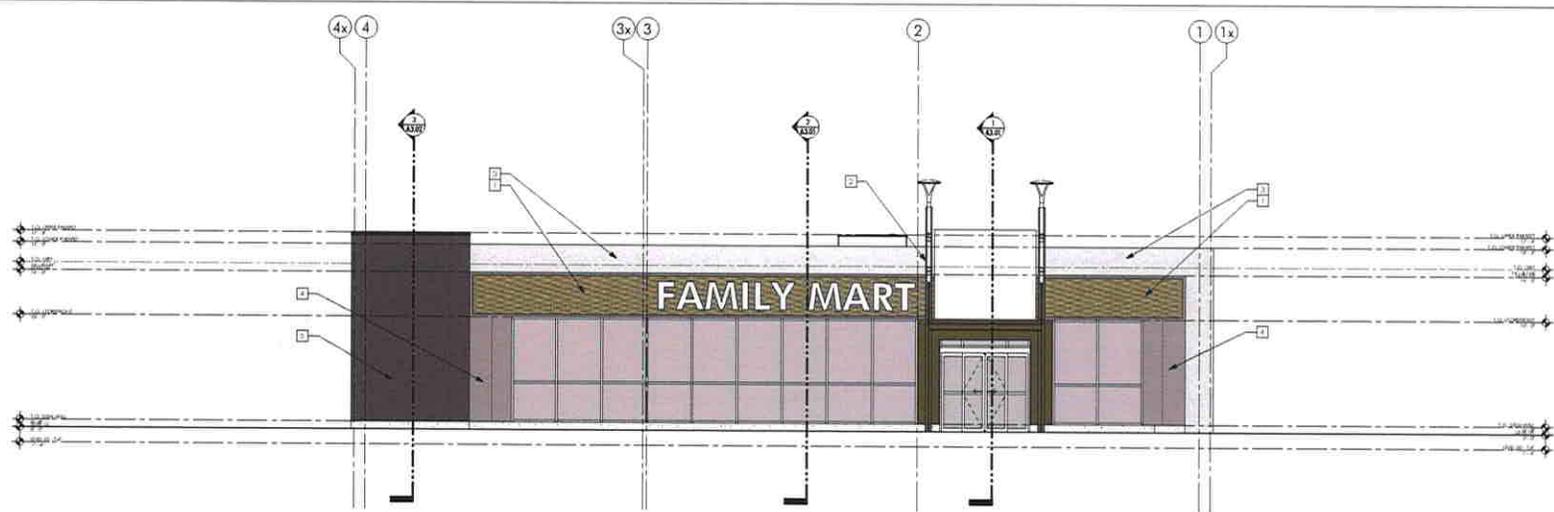
- REFLECTED (WHITE) INTERLOCKING SOFTWOOD PANELS FASTENED TO PLUMB ANGLE
- LED SOFT LIGHTING REELECTRICAL DWGS.
- LED STRIP LIGHTING IN PASCIA PER ELECTRICAL DWGS.
- STEEL CANOPY COLUMN, WITH # 4 WALL ANGLE
- SHIELD PITCH PANEL SACKET
- PASCIA PASCIA PANEL CLOSE WITH INTERIOR SLITTER, ALL OVER OPEN OFF.
- LOWERED SOFTWOOD PANELS SLOPED TO COLUMN TO IN-CLOSE R/W.

REFLECTED CEILING PLAN NOTES:

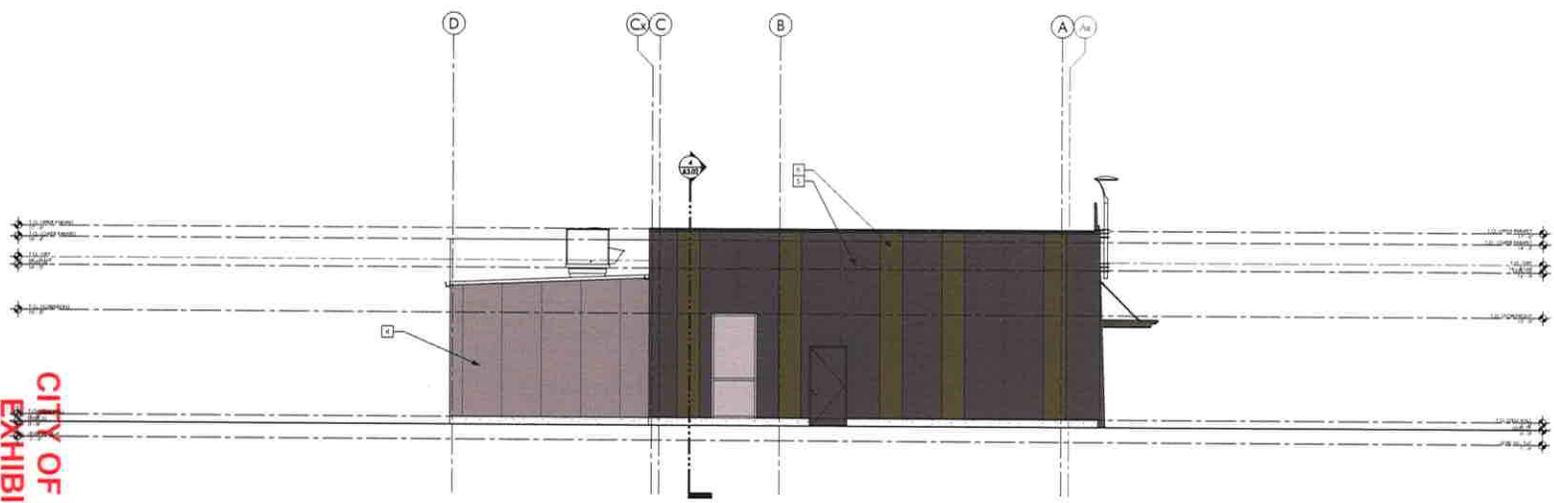
- REFLECTED (WHITE) INTERLOCKING SOFTWOOD PANELS FASTENED TO PLUMB ANGLE
- LED SOFT LIGHTING REELECTRICAL DWGS.
- LED STRIP LIGHTING IN PASCIA PER ELECTRICAL DWGS.
- STEEL CANOPY COLUMN, WITH # 4 WALL ANGLE
- SHIELD PITCH PANEL SACKET
- PASCIA PASCIA PANEL CLOSE WITH INTERIOR SLITTER, ALL OVER OPEN OFF.
- LOWERED SOFTWOOD PANELS SLOPED TO COLUMN TO IN-CLOSE R/W.

**CITY OF MEDFORD
EXHIBIT #
FILE # AC-20-012**

117



1 NORTH ELEVATION
 0' 10" = 1'-0"



2 EAST ELEVATION
 0' 10" = 1'-0"

ELEVATION NOTES:

- 1 PERFORATED METAL SCREEN PANEL, KYNALINE GREEN
- 2 ENTRENCHED CANOPY, KYNALINE GREEN
- 3 ILLUMINATED FINISH BAND
- 4 INSULATED WALL PANEL TYPE K05P12, 42" KINGSPAN MICRO-88, KYNALINE GREEN
- 5 INSULATED WALL PANEL TYPE K05P12, 42" KINGSPAN MICRO-88, KYNALINE GREEN
- 6 INSULATED WALL PANEL TYPE K05P12, 24" KINGSPAN MICRO-88, KYNALINE GREEN

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3
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 SALEM, OR 97301-3442
 P 503.280.6300
 www.studio3architecture.com

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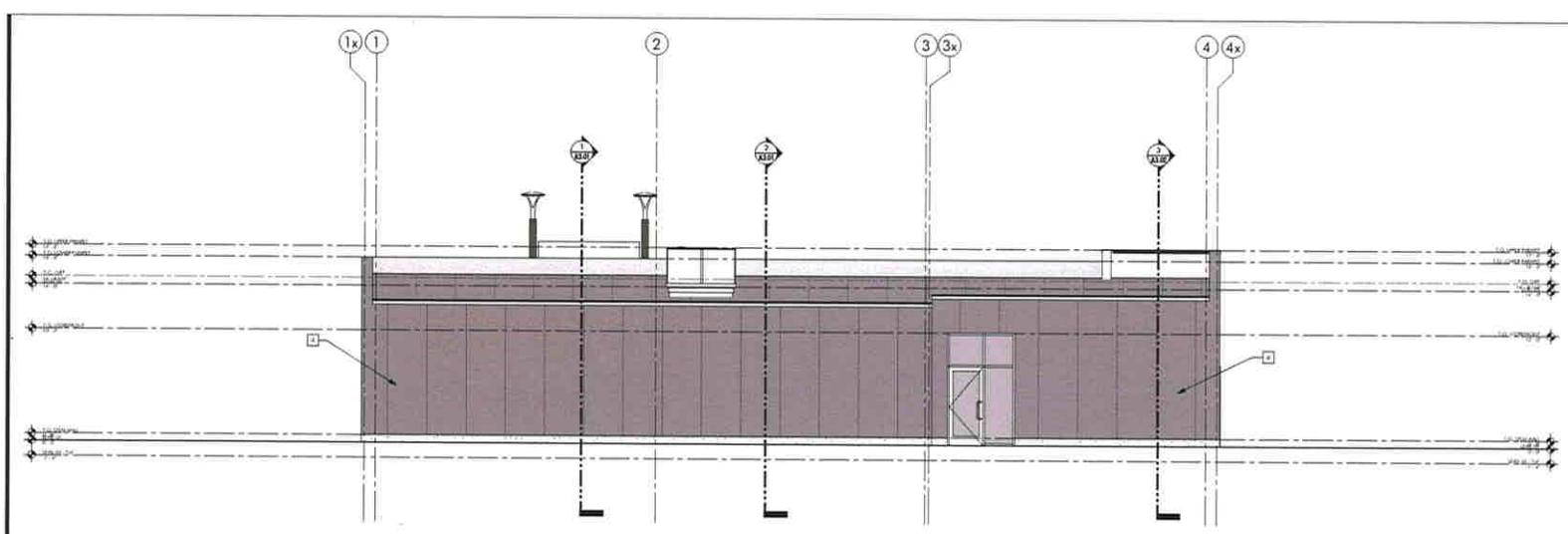
PROJECT # 2019-111
 DATE 01/08/2020
 REVISIONS

GAS STATION / "C" STORE
FAMILY MART
 1535 CENTER DRIVE MEDFORD OREGON 97501

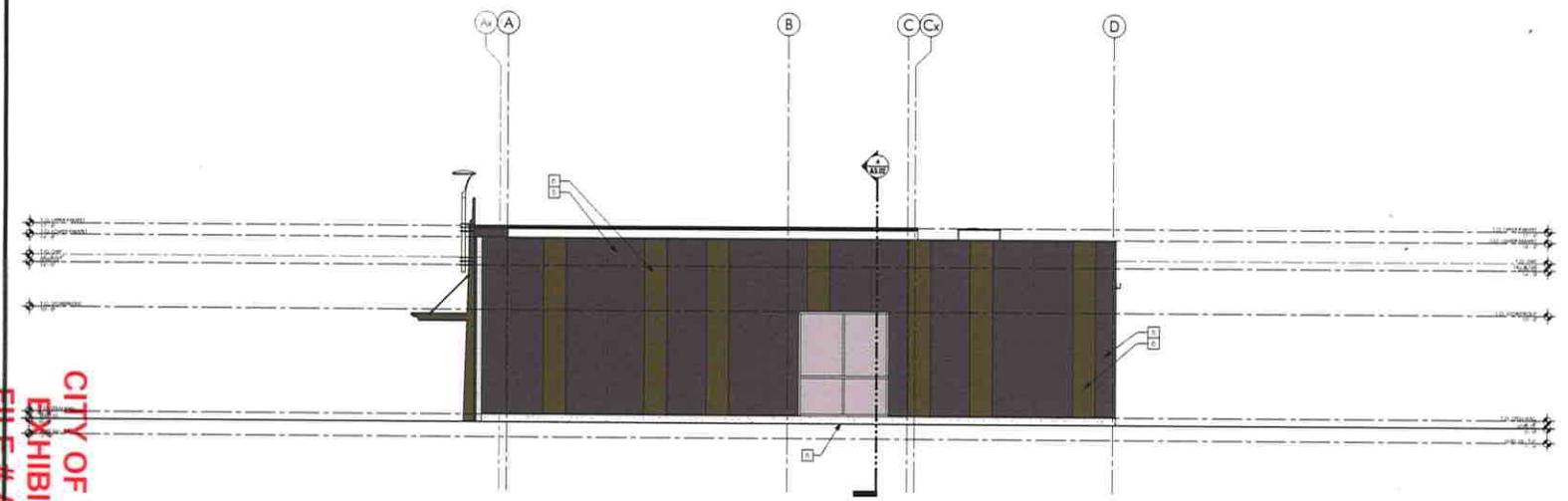
SHEET:
A2.01

CITY OF MEDFORD
EXHIBIT # 15 (10P2)
FILE # AC-20-012

118



1 SOUTH ELEVATION
0 5 10 15 20' 3/16" = 1'-0"



WEST ELEVATION
0 5 10 15 20' 3/16" = 1'-0"

ELEVATION NOTES:

- 1 PERFORATED METAL SCREEN PANEL, KYNALUME GREEN
- 2 ENTRANCE CANOPY, KYNALUME GREEN
- 3 ILLUMINATED FACIA BAND
- 4 INSULATED WALL PANEL TYPE KMP-3, 42" KINGSPAN, MICRO-BEL, KYNALUME GRAY
- 5 INSULATED WALL PANEL TYPE KMP-3, 24" KINGSPAN, MICRO-BEL, KYNALUME GRAY
- 6 INSULATED WALL PANEL TYPE KMP-3, 24" KINGSPAN, MICRO-BEL, KYNALUME GREEN

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BY THE ARCHITECT, CONTRACTOR AND SUBCONTRACTOR, THE ARCHITECT HAS REVIEWED THE WORK AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT'S REVIEW IS LIMITED TO THE WORK SHOWN ON THIS SHEET AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK NOT SHOWN ON THIS SHEET.

PROJECT # 2019-111
DATE: 01/08/2020
REVISIONS

GAS STATION / "C" STORE
FAMILY MART
1535 CENTER DRIVE MEDFORD OREGON 97501

SHEET:
A2.02

CITY OF MEDFORD
EXHIBIT # 1 (2020)
FILE # AG-20-012

ALL THE BEST CONTACTS AND INFORMATION
FOR THIS PROJECT ARE AVAILABLE
ON THE PROJECT WEBSITE. FOR MORE
INFORMATION, PLEASE VISIT
WWW.STUDIO3ARCHITECTURE.COM

PROJECT # 2019-111
DATE: 01/09/2020

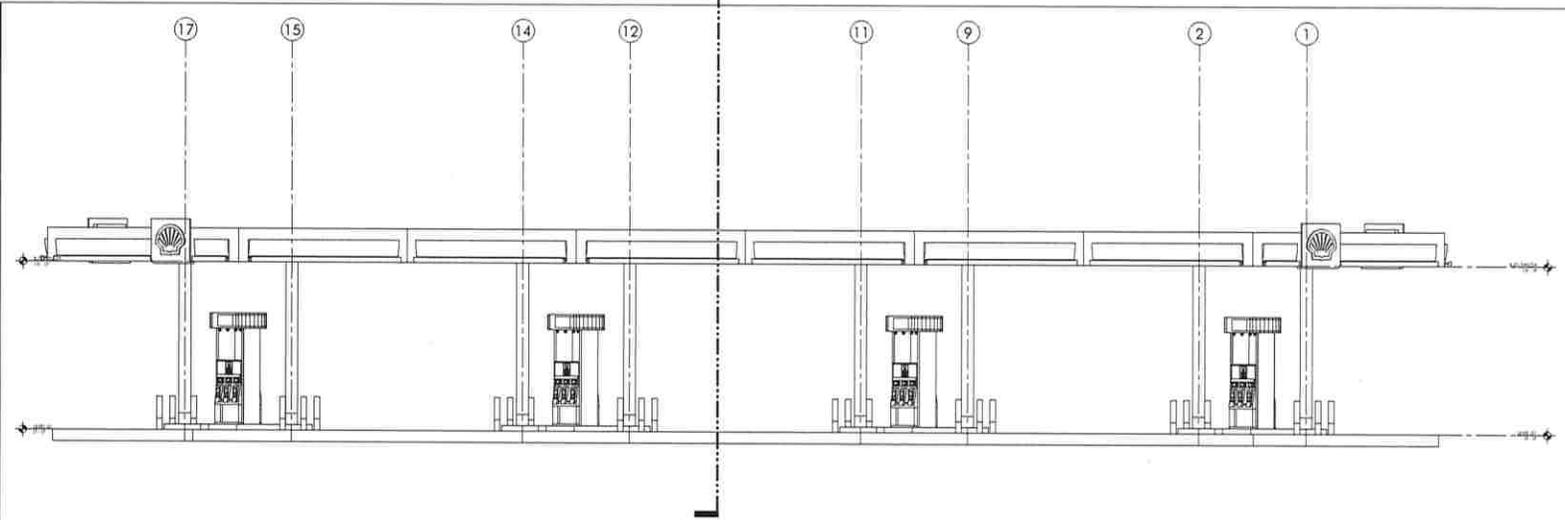
REVISIONS:

GAS STATION / "C" STORE
FAMILY MART
1535 CENTER DRIVE, MEDFORD OR 97501

SHEET:
A2.03

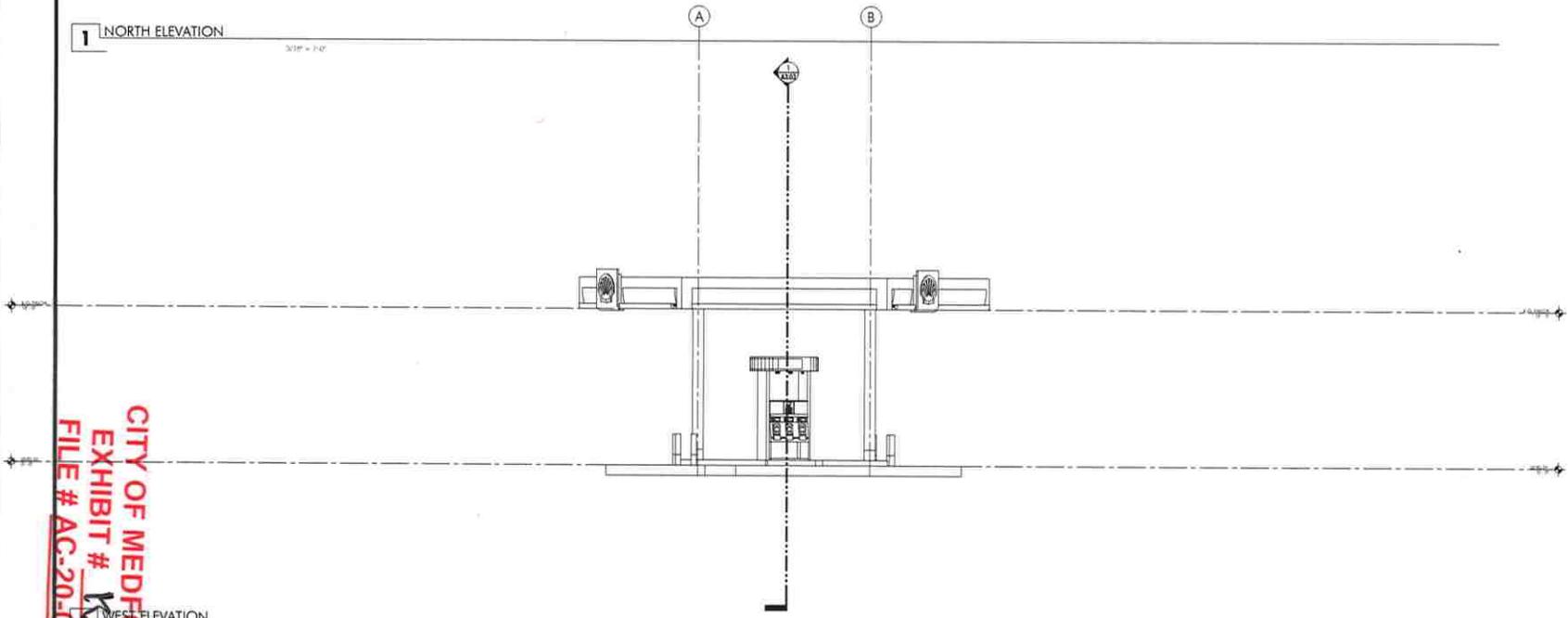
ELEVATION NOTES:

- 1 2" REIN. CONCRETE APRON RETAINING PAD
- 2 2" FRESH CONCRETE E.G.A.P. PAD FOR FUEL PUMP EQUIP.
- 3 2" DIA STEEL PIPE BOLTS PER DETAIL
- 4 FUEL PUMPS
- 5 STEEL CANOPY COSSWAY DESIGN BUILT PACKAGE
- 6 CANOPY FAÇON PANEL DESIGN BUILT PACKAGE
- 7 SHELL GRAPHICS ON FAÇON PANEL
- 8 CONCRETE COLUMNS FOUNDATION PER STRUCTURAL
- 9 UNDERGROUND FUEL STORAGE TANKS



1 NORTH ELEVATION

3/16" = 1'-0"



WEST ELEVATION

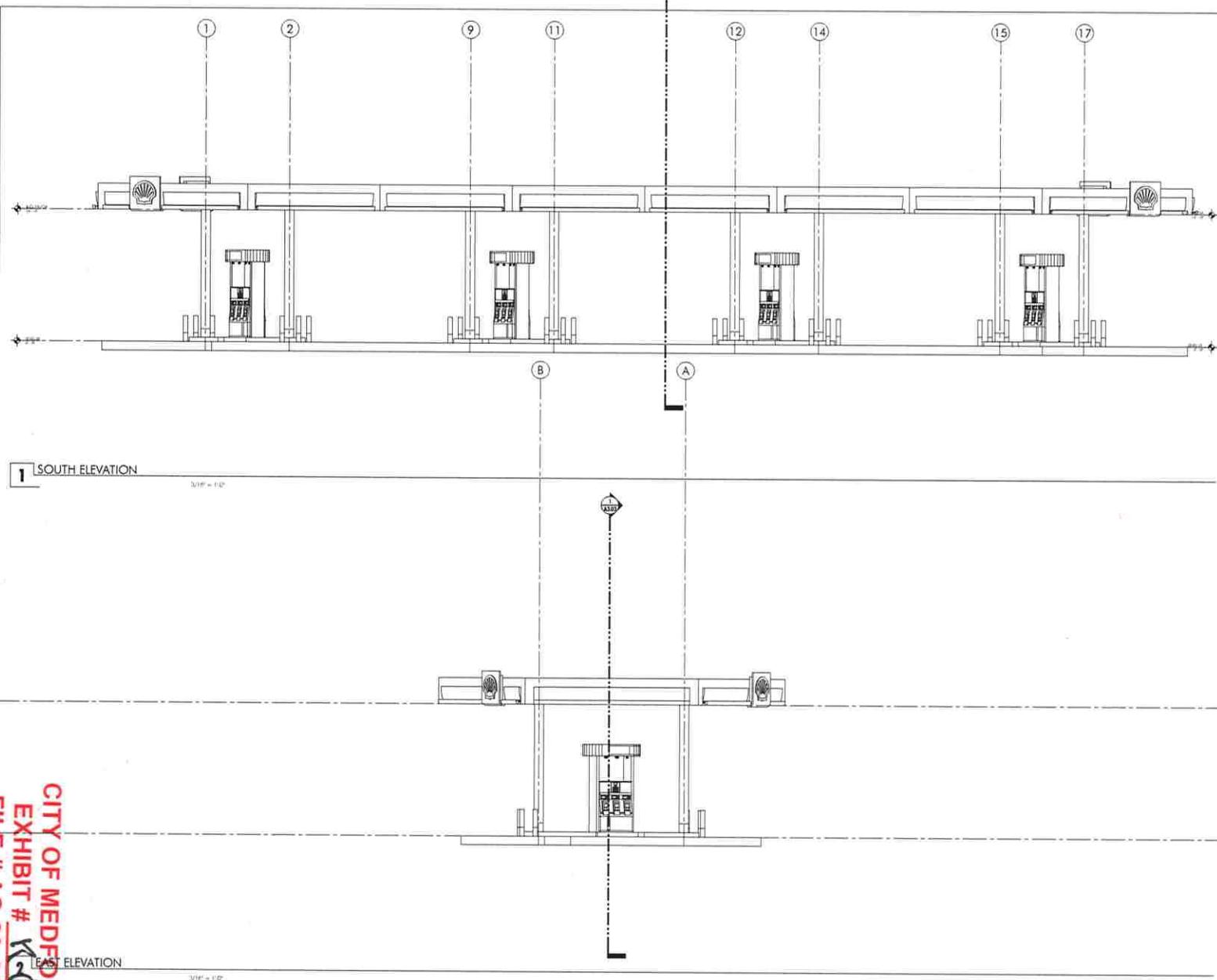
3/16" = 1'-0"

CITY OF MEDFORD
EXHIBIT # 1 (of 2)
FILE # AC-20-019

119

ELEVATION NOTES:

- 1 12" WIDE CONCRETE APRON RETAINING PAD
- 2 24" HIGH CONCRETE FIGUR. PAD FOR FUEL PUMP EQUIP.
- 3 12" DIAMETER PIP. BOLDS PER DETAIL
- 4 FUEL PUMPS
- 5 STEEL CANOPY COLUMN DESIGN-BUILD PACKAGE
- 6 CANOPY FACIA PANEL DESIGN-BUILD PACKAGE
- 7 SHELL BRACKETS ON FACIA PANEL
- 8 CONCRETE COLUMN FOUNDATIONS PER STRUCTURAL
- 9 UNDERGROUND FUEL STORAGE TANKS



1 SOUTH ELEVATION

1/8" = 1'-0"

EAST ELEVATION

1/8" = 1'-0"

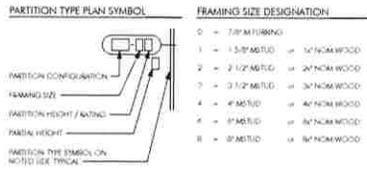
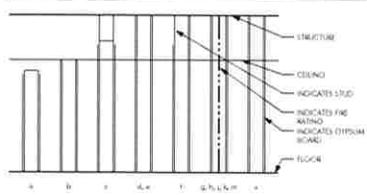
CITY OF MEDFORD
EXHIBIT # K99052
FILE # AC-20-012

120

PARTITION NOTES:

- SEE FLOOR PLAN DRAWING FOR WALL LOCATION.
- SEE REFLECTED CEILING PLAN DRAWINGS FOR HORIZONTAL WALL LOCATIONS.
- PROVIDE ACOUSTIC SEAL AT FRAME TOP AND FINISH TYPICAL OF SOLID RATED PARTITION AND OTHER STRUCTURAL AS REQUIRED TO ACHIEVE STC RATING INDICATED.
- MAINTAIN FIRE RATINGS OF WALLS AROUND FIRE RESISTANT CABINETS AND OTHER RECESSED ITEMS.
- FRAME AROUND HEADS AND OTHER STRUCTURAL ELEMENTS WHEN THEY OCCUR WITHIN THE SPACE OF A FIRE RATED OR ACoustICAL PARTITION.
- WHEN FRAMING CONTIGUOUS PART INTO ADJACENT STRUCTURE, AS IN RECESSED CABINETS, ENCLOSURES AND SIMILAR CONDITIONS, ATTACHMENT TO ADJACENT STRUCTURE SHALL BE WITH AN ADJUSTED CONNECTION OR OTHER MEANS SO THAT THE STRUCTURAL DEFLECTION WILL NOT IMPAIR EXPOSURE TO THE FRAMING.
- PLAN DIMENSIONS ARE TO FACE OF FRAMING OR CENTERLINE OF COLUMN UNLESS OTHERWISE INDICATED.
- SEE FINISH SCHEDULES FOR WALL FINISHES, AND DETAILS FOR FINISHES AND SPECIAL CONNECTIONS.
- SEE STRUCTURAL DRAWINGS FOR FINISHES PANEL FACE LOCATION AT BREAK WALL CONNECTIONS.
- AT ALL SAME-FIRE PARTITIONS, PROVIDE SMOKE SEALING JOINTS AT FLOOR/CEILING, EXPOSURE OF THE PARTITION, AND AT FINE RAISED-FIRE STOPPING AT ANNULAR SPACE SURROUNDING FINE PARTITION OF PARTITION FOR DUCTS, PIPING, CONDUITS, ETC. WITH FINE PARTITION FIRE STOPPING PER SECTION 051133 TO RESTRICT THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

PARTITION HEIGHT/RATING LEGEND:



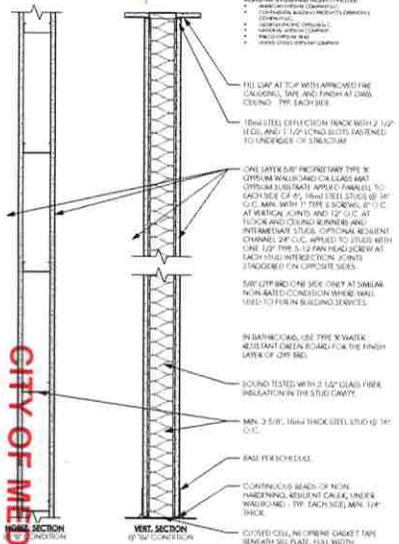
FIRE BLOCKING NOTES:

PROVIDE FIRE BLOCKING IN ALL CONCEALED SPACES AND EXPOSED STUD WALL JOINTS IN ACCORDANCE WITH CODE 717.2.01 SPECIFICATIONS.

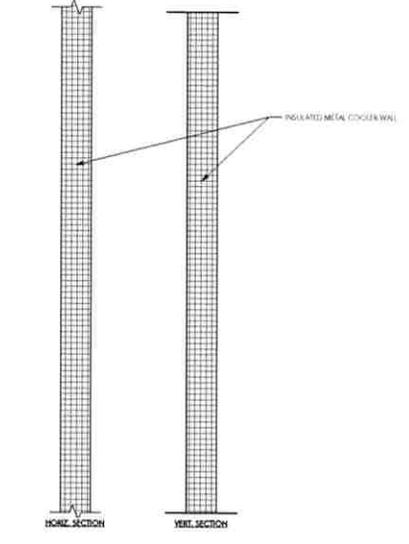
PARTITION HEIGHT / RATING LEGEND (SEE DIAGRAM PREVIOUS COLUMN)

- 1 = NON RATED PARTIAL HEIGHT PARTITION, SEE PLAN FOR TOP OF PARTITION HEIGHT.
- 2 = NON RATED TO UNDERSIDE OF CEILING.
- 3 = NON RATED, EXTEND OPTIMUM BOARD TO 4" ABOVE CEILING AND RATED STUDS AS REQUIRED TO STRUCTURE ABOVE.
- 4 = NON RATED, EXTEND STUDS AND OPTIMUM BOARD TO UNDERSIDE OF STRUCTURE ABOVE.
- 5 = NON RATED, EXTEND STUDS AND OPTIMUM BOARD FROM CONCRETE TO CEILING TO UNDERSIDE OF STRUCTURE ABOVE. SEAL BOTTOM TRICK TO SLAB WITH CAULK.
- 6 = NON RATED, EXTEND STUDS TO UNDERSIDE OF STRUCTURE ABOVE, EXTEND OPTIMUM BOARD TO 4" ABOVE CEILING ON CONCRETE AND EXTEND TO STRUCTURE ON THE OTHER.
- 7 = 1/2 HOUR (30 MINUTES) RATED.
- 8 = 3/4 HOUR (45 MINUTES) RATED.
- 9 = 1 HOUR (60 MINUTES) RATED.
- 10 = 2 HOUR (120 MINUTES) RATED.
- 11 = 3 HOUR (180 MINUTES) RATED.
- 12 = 4 HOUR (240 MINUTES) RATED.
- 13 = SMOKE RATED.

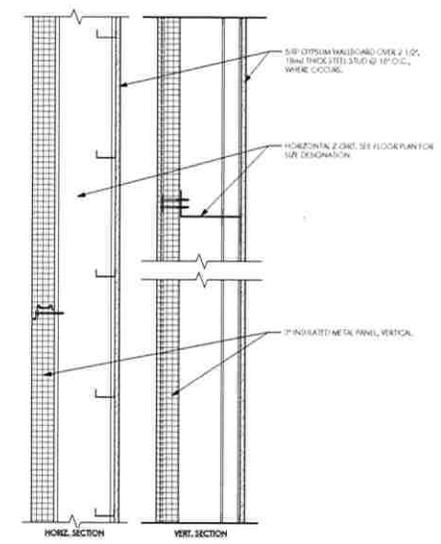
- DETAIL TWO-WAY (SEE)
- 1. 2x4 STUDS (MINIMUM) (SEE SECTION 051133)
- 2. 1/2" GYPSUM BOARD (MINIMUM)
- 3. 1/2" GYPSUM BOARD (MINIMUM)
- 4. 1/2" GYPSUM BOARD (MINIMUM)
- 5. 1/2" GYPSUM BOARD (MINIMUM)
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- 99. 1/2" GYPSUM BOARD (MINIMUM)
- 100. 1/2" GYPSUM BOARD (MINIMUM)



INTERIOR PARTITION TYPE: A



INTERIOR PARTITION TYPE: R



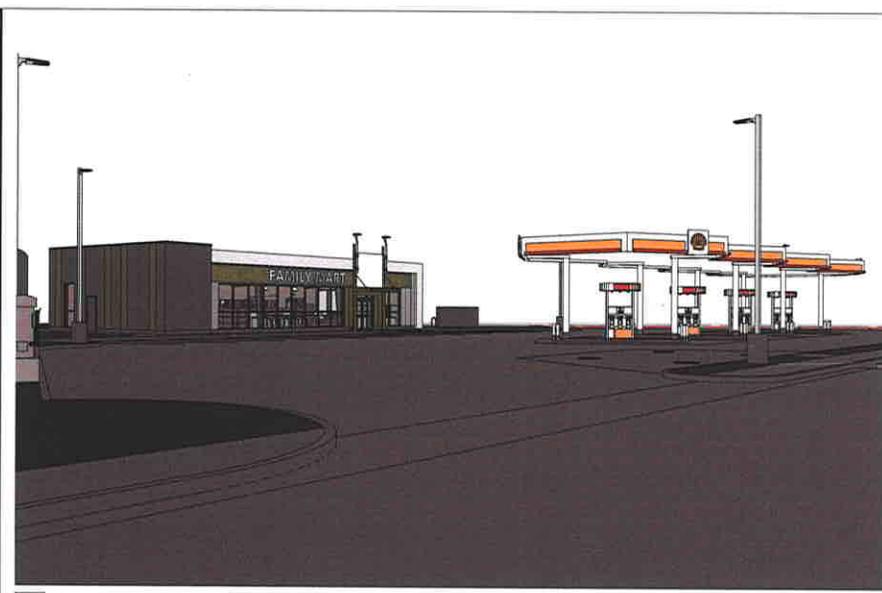
EXTERIOR WALL TYPE: X

F.R. / STC

F.R. / STC

FILE # AC-20-012 CITY OF MEDFORD EXHIBIT # M

123



1 3D View From North East



2 3D View From North West



3 3D View From West of Convenience Store



4 3D View From East of Convenience Store

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PROJECT # 2019-111
 DATE: 01/08/2020
 REVISIONS:

GAS STATION / "C" STORE
FAMILY MART
 1535 CENTER DRIVE, MEDFORD OR 97501

SHEET:
G3.01

Fig 3
 AC-20-12
 R
 N

SPAC: APPLICANT'S QUESTIONNAIRE

To:	City of Medford SPAC	Date:	1/30/2020
Project:	Gas Station and C-Store 1535 Center Drive Medford OR	Architect's Project No:	2019-111
From:	Studio 3 Architecture, Inc 275 Court Street, NE Salem OR 97301	Sent Via:	Application Packet
Subject:	Applicant's Questionnaire		

APPLICANT'S QUESTIONNAIRE

The Applicant's Questionnaire is a tool to help applicants write findings of fact that will demonstrate that a proposed development complies with the decision criteria that the Site Plan and Architectural Commission (SPAC) uses to approve applications. The decision criteria set forth in Section 10.200 of the *Medford Land Development Code* is as follows:

- (1) *The proposed development is compatible with uses and development that exist on adjacent land; and*
- (2) *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC Section 10.186.*

Instructions

A completed, signed written response to this questionnaire *shall* be included with all applications for Site Plan and Architectural Review. The questions herein are designed and organized to elicit factual information that can help support your project during the review process. Please prepare your responses on separate sheets of paper and sign and date the document.

Section I - Narrative

Write a brief narrative that describes your proposed development.

- a. See the Architectural, Landscape Architecture, and Civil Engineering drawings, which accompany this application, for a Gas Station and a Convenience Store.
- b. The site will be developed as a gas station and convenience store. The fuel will be Shell brand and the convenience store will be a Family Mart. Shell is a well known and reputable fuel company in the industry

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Memorandum

Gas Station / C-Store, South Medford

File: **CITY 2019/111/01D**
EXHIBIT # Project No: 2019.111 **0**
 Page 1 of 5
 File # **AC-20-12**

that is known nationally for its quality products. Family Mart is a local to Oregon brand that is currently growing. There is a location in Roseburg, a new to industry store being built in Curtin, OR and a second location that is being designed for another Medford, OR site.

- c. The fueling side will consist of four fuel dispenser's on independent islands and 1 of the dispenser will have diesel fuel. To provide the fuel we will be installing two 15,000 gallon underground tanks that will be divided between regular unleaded, super unleaded, premium clear, and diesel fuel. All fueling operations will conform to DEQ requirements and any other governing bodies that may have ordinances or rules pertaining to the installation and use of underground storage tanks and fuel dispensers.
- d. The convenience store will be larger size store that will have hot deli food (Krispy Chicken and other hot deli items), Cooler with display doors for sodas, water, and other beverages and will also include limited dairy items for the convenience of the local shopper. We will also sell items consist with and standard in the convenience store industry such as HABA, salty and sweet snacks, and tobacco products. The electrical plans and lighting will be as energy efficient as possible while conforming to all governing body ordinances and providing our customers with a safe well light environment.

Section II – Compatibility: Criterion No. 1

The following questions are designed to demonstrate how your proposal is compatible with uses and development that exist on adjacent land. Using factual information, respond to the following questions on a separate sheet of paper: use supplemental information such as site photographs, aerial maps, etc. to augment your case.

- B List existing uses and development adjacent to your project site. Along with this list, describe the architecture (materials, colors, etc.), age, and condition of the adjacent buildings (you may use photographs to supplement this information).
 - a. *The Existing Ground is Vacant land*
- C Describe the building architecture and exterior treatments in your proposal, and how they fit with and complement adjacent buildings and development.
 - a. *See the Architectural, Landscape Architecture, and Civil Engineering drawings, which accompany this application, for a Gas Station and a Convenience Store.*
 - b. *The building will be a pre-engineered steel building with insulated Kingspan panels on the exterior. The design and color scheme is consistent with the Family Mart brand. The Kingspan Panels are a high end metal panel with foam insulation between the panels. The exterior look will compliment adjacent buildings, in the same shopping center in that it will add value to the property and the brand recognition of shell gas stations will help drive more traffic into the area.*
- D Describe the proposed architecture and exterior treatments that break up large facades and give relief to the building mass. The *Site Plan and Architectural Commission Design Guidelines* are a helpful reference, and can be found on the City's website, and at the Planning Department.
 - a. *See the Architectural, Landscape Architecture, and Civil Engineering*

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Memorandum

Gas Station / C-Store, South Medford

File: 2019.1111.01

Project No: 2019.111

Page 2 of 5

- drawings, which accompany this application, for a Gas Station and a Convenience Store.
- b. The building panels have a primary and accent color. The accent color is used to break up large facades of the building. The complimenting color panel is a 24" panel that will be inserted intermittently but no more space than 126" between the complimentary color. The overall color scheme and aesthetics of the building will conform to the brand standards for Shell Gas and Family Mart convenience stores which are design to be appealing to the consumer and be complimentary to any site location.
- E Describe how the placement and orientation of the proposed building(s) relate(s) to the street facilities, and how this orientation promotes a more pedestrian-friendly site design.
- a. If the site lies within 600-feet of an existing or planned transit stop, as designated by the Transportation System Plan (TSP), describe compliance with the standards of Section 10.808, *New Commercial and Institutional Development*.
 - b. See the Architectural, Landscape Architecture, and Civil Engineering drawings, which accompany this application, for a Gas Station and a Convenience Store.
- F Describe the pedestrian facilities and amenities on your site (useable outdoor space, benches, etc.), and how they will function for pedestrians.
- a. See the Architectural, Landscape Architecture, and Civil Engineering drawings, which accompany this application, for a Gas Station and a Convenience Store.
 - b. There will be pedestrian walk-ways around the site and to the main entrance from the exterior walk-ways. There will native style landscaping though-out the site that will add to the aesthetics for the pedestrian. In addition there will be a canopy over the main entrance for the convenience store.
- G Describe vehicle and pedestrian access to the site, and how it relates internally on the site, and to adjacent sites.
- a. See the Architectural, Landscape Architecture, and Civil Engineering drawings, which accompany this application, for a Gas Station and a Convenience Store.
 - b. Vehicle will be able to access the site from two main entrances. The flow of traffic will work from either entrance or exit
- H Describe if and how the proposed plan is sensitive to retaining any existing trees or significant native vegetation on the site. Should existing trees be preserved, a Tree Protection Plan shall also be included in this application.
- a. See the Architectural, Landscape Architecture, and Civil Engineering drawings, which accompany this application, for a Gas Station and a Convenience Store.
 - b. Not applicable. There are no existing trees.
- I Describe stormwater detention facilities on the site (underground storage, surface pond, etc.). If these facilities will be landscaped areas, describe how the proposed landscaping will be integrated with other landscaping on the site.

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Memorandum

Gas Station / C-Store, South Medford

File: 2019.111.01

Project No: 2019.111

Page 3 of 5

- a. See the Architectural, Landscape Architecture, and Civil Engineering drawings, which accompany this application, for a Gas Station and a Convenience Store.
 - b. The storm water drain system will be tied into existing system for the site and will meet existing code requirements.
- J Describe how your proposed landscaping design will enhance the building and other functions on the site.
- a. See the Architectural, Landscape Architecture, and Civil Engineering drawings, which accompany this application, for a Gas Station and a Convenience Store.
 - b. The proposed landscape design generally conforms to city standards and will compliment the other portions of the development by using similar landscape designs and features.
- K Describe how your exterior lighting illuminates the site, and explain how the design of fixtures does not diminish a view of the night sky, or produce glare on adjacent properties, consistent with the standards of Section 10.764.
- a. The site lighting is designed to meet the requirements for operating a safe and clean Re-fueling station. All lighting is directed to illuminating ground surfaces.
 - b. The exterior lighting will conform to city code and we will use LED lighting that will have minimal if any light loss to impact the night sky.
- L Describe any proposed signage, and how it will identify the location of the occupant and serve as an attractive complement to the site.
- a. Signage needs to meet the corporate standards set by Shell
 - b. There will be a shell price sign positioned at the main entrance of the sight as shown on the plans. The price sign is required by state law for all fueling stations and will also conform to shell brand requirements having a shell pecten above the price sign.
- M Explain any proposed fencing, including its purpose, and how you have incorporated it as a functional, attractive component of your development. (See Sections 10.731- 10.733).
- a. There are no wood fences.
- N Explain how any potential noise generated by future occupants will be mitigated on the proposed site, consistent with the standards of Sections 10.752-10.761.
- a. None anticipated.
 - b. Shhhh!!!!
- O Explain anything else about your project that adds to the compatibility of the project with adjacent development and uses.
- a. See the Architectural, Landscape Architecture, and Civil Engineering drawings, which accompany this application, for a Gas Station and a Convenience Store.
- P List and explain any exceptions or modifications requested and provide reasons for such.
- a. N/A
- Q Section 10.780(C)(2) - List any petition for relief of landscaping standards (i.e.,

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Memorandum

Gas Station / C-Store, South Medford

File: 2019.111.01

Project No: 2019.111

Page 4 of 5

request an increase in turf area at a facility for active recreation; eliminate requirement for root barriers when trees are planted in structural soils). Provide rationale for requested deviation from standard.

a. N/A

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Memorandum

Gas Station / C-Store, South Medford

File: 2019.111.01

Project No: 2019.111

Page 5 of 5



PUBLIC WORKS DEPARTMENT STAFF REPORT

Gas Station & Convenience Store

1535 Center Drive (TL 3604) – Southside Center

Project: Consideration of a proposal for a gas station and convenience store, consisting of the construction of a 3,867 square foot convenience store and a 3,755 square foot gas canopy.

Location: To be located on a 0.89-acre portion—designated as Pad D—of the South Medford Center, an existing commercial and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 5000 / 371W32C TL 2401).

Applicant: Applicant, DAR USA; Agent, Studio 3 Architecture, Inc.; Planner, Dustin Severs.

NOTE: The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention, if applicable.
- Completion of all public improvements, if required. The Applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements shall be approved by the Public Works Engineering Division prior to acceptance of security.
- Items A - D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas
- Verification by the design Engineer that the stormwater quality and detention system was constructed per the approved plan, if applicable.
- Completion of all public improvements, if applicable.

A. STREETS

1. Dedications

Belknap Road is classified as a Commercial street within the MLDC, Section 10.429. No additional right-of-way will be required.

In accordance with MLDC 10.471, the property owner shall dedicate a 10-foot wide public utility easement (PUE) adjacent to the right-of-way line along this Developments frontage to Belknap Road unless a minimum 10-foot PUE already exists.

The easement dedication shall be submitted directly to the Engineering Division of the Public Works Department. The submittal shall include: the right-of-way and easement dedication, including an exhibit map; a copy of a current Lot Book Report, Preliminary Title Report, or Title Policy; a mathematical closure report (if applicable), and the Planning Department File Number; for review and City Engineer acceptance signature prior to recordation by the applicant. Releases of interest shall be obtained by holders of trust deeds or mortgages on the right-of-way and PUE area.

2. Public Improvements

a. Public Streets

If Belknap Road is used to access the site, then it shall be improved to Commercial street standards in accordance with MLDC 10.429. The Developer shall improve the north half plus 2-feet south of the centerline along the frontage of this development. If this is to be a dead-end street, then the Developer shall also improve a portion of a cul-de-sac turnaround in accordance with MLDC 10.450. The design orientation of the cul-de-sac may be either centered on the street or offset or as otherwise approved by the City Engineer.

b. Street Lights and Signing

If Belknap Road is used to access the site, then the Developer shall provide and install in compliance with Section 10.495 of the Medford Municipal Code (MMC). Based on the preliminary plan submitted, the following number of street lights and signage will be required:

Street Lighting – Developer Provided & Installed:

- A. 1 – Type R-150 (LED)

Signs and Devices – City Installed, Paid by the Developer:

- A. 1 – Barricade

Numbers are subject to change if changes are made to the plans. All street lights shall be installed per City standards and be shown on the public improvement plans. Public Works

will provide preliminary street light locations upon request. All street lights shall be operating and turned on at the time of the final "walk through" inspection by the Public Works Department.

The Developer shall pay for City installed signage required by the development. City installed signs include, but are not limited to, street name signs, stop signs, speed signs, school signs, dead end signs, and dead end barricades. Sign design and placement shall be per the Manual on Uniform Traffic Control Devices (MUTCD). All signs shall be shown on the public improvement plans and labeled as City installed.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer's contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided by the Developer.

c. Pavement Moratoriums

There are no pavement cutting moratoriums currently in effect along this frontage to Belknap Road.

The Developer shall be responsible for notifying by certified letter all utility companies, as well as all current property owners of parcels which are adjacent to any Public Street being constructed or paved as part of this project. The letter shall inform the utility companies and property owners of the City's street moratorium policy with respect to pavement cutting for future utility services. The utility companies and property owners shall be given the opportunity to install utility services within the right-of-way prior to paving and the subsequent moratorium. Notifications shall be mailed by the Developer at least 6 months before a street is resurfaced or rebuilt per MMC, Section 3.070. Copies of the certifications shall be submitted to the City Engineer with the submittal of the preliminary construction drawings.

a. Soils Report

The Developer's engineer shall obtain a soils report to determine if there is shrink-swell potential in the underlying soils in this development. If they are present, they shall be accounted for in the roadway and sidewalk design within this Development. The soils report shall be completed by a licensed Geotechnical Engineer in the state of Oregon.

b. Access to Public Street System

Driveway access to the proposed development site shall comply with MLDC 10.550.

c. Transportation System

ZC-16-077 and ZC-18-190 established a maximum trip generation of 367 PM peak hour

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trips (a trip cap) on the properties that include the proposed gas station. The applicant shall submit a trip accounting showing that this trip cap will not be exceeded. If the trip cap has been exceeded, the applicant will need to revise the conditions of the zone change in accordance with the procedures outlined for zone changes in MLDC 10.204.

Corner radius standards shall be in accordance with MLDC 10.445.

Dead-end streets shall be in accordance with MLDC 10.439.

3. Section 10.668 Analysis

To support a condition of development that an applicant dedicates land for public use or provide a public improvement, the Medford Code requires a nexus and rough proportionality analysis which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

10.668 Limitation of Exactions

Notwithstanding any other provisions of this Chapter 10, an applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless:

(1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose and that there is a rough proportionality between the burden of the exaction on the developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or

(2) a mechanism exists and funds are available to fairly compensate the applicant for the excess burden of the exaction to the extent that it would be a taking.

1. Nexus to a legitimate government purpose

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, emergency services and pedestrians. Further, these rights-of-way are used to provide essential services such as sanitary sewer, domestic water and storm drains to serve the developed parcels. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

2. Rough proportionality between the dedications and improvements, and the impacts of development.

No mathematical formula is required to support the rough proportionality analysis. Furthermore, benefits to the development resulting from the dedication and

improvements when determining “rough proportionality” have been considered, including but not limited to: increased property values, intensification of use, as well as connections to municipal services and the transportation network.

As set forth below, the dedications and improvements recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development.

Belknap Drive:

Belknap Road will be one of the primary route for pedestrians traveling to and from this development. The development shall construct approximately 185 linear feet of sidewalk along the frontage of the property. All developments in Medford are required to construct their frontage sidewalk and therefore this is roughly proportional.

The additional street lighting will provide the needed illumination to meet current MLDC requirements.

Local street construction requirements identified by the Public Works Department and required by the City are the minimum required to protect the public interest and are necessary for additional or densification of development in the City without detracting from the common good enjoyed by existing properties. Developments are required to provide all internal local streets and half-street improvements to abutting streets, including associated right-of-way dedications, to ensure that new development and density intensification provides the current level of urban services and adequate street circulation is maintained.

Dedication of the Public Utility Easement (PUE) will benefit development by providing public utility services, which are out of the roadway and more readily available to each lot or building being served. The additional traffic of all modes of travel generated by this proposed development supports the dedication and improvements for all modes of travel and utilities. As indicated above, the area required to be dedicated for this development is necessary and roughly proportional to that required in similar developments to provide a transportation system that meets the needs for urban level services.

B. SANITARY SEWERS

This site lies within the Rogue Valley Sewer Service (RVSS) area. The Developer shall contact RVSS for conditions of connection to the sanitary sewer collection system.

Fueling station area under the canopy shall be graded to drain to the sanitary sewer.

The fueling station shall be covered (roof draining to the storm drain) to a minimum of two feet outside the area draining to the sewer.

C. STORM DRAINAGE

1. Drainage Plan

A comprehensive drainage plan showing the entire project site with sufficient spot elevations to determine direction of runoff to the proposed drainage system, and also showing elevations on the proposed drainage system, shall be submitted with the first building permit application for approval.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

A Site/Utility Plan shall be submitted with the building permit application to show the location of existing or proposed stormdrain lateral/s for the site.

All private storm drain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729.

4. Verification

Upon completion of the project, and prior to certificate of occupancy of the building, the Developer's design Engineer shall verify that the construction of the stormwater quality and detention system was constructed per plan. Verification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

5. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion

Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

D. GENERAL CONDITIONS

1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the Public Works Engineering office.

2. Construction Plans

Construction drawings for any public improvements for this project shall be prepared by a professional Engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Construction drawings for public improvements shall be submitted only for the improvements to be constructed with each phase. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets, minimum access drives, sanitary sewers, stormdrains, and street lights as required by the governing Commission's Final Order, together with all pertinent details and calculations. A checklist for public improvement plan submittal can be found on the City of Medford, Public Works web site (<http://www.ci.medford.or.us/Page.asp?NavID=3103>). The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

In order to properly maintain an updated infrastructure data base, the Surveyor of Record shall submit an as-built survey prior to the Final Inspection and, the Engineer of Record shall submit mylar "as-constructed" drawings to the Engineering Division within sixty (60) calendar days of the Final Inspection (walk through). Also, the Engineer shall coordinate with the utility companies, and show all final utility locations on the "as built" drawings.

3. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public

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right-of-way that is not included within the scope of work described within approved public improvement plans.

Contractors proposing to do work on public streets (including street lights), sewers, or stormdrain shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit from the County.

For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and stormdrain mains be inspected by video camera prior to acceptance of these systems by the City.

Where applicable, the Developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

4. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

5. System Development Charges (SDC)

Buildings in this development are subject to system development charges (SDCs). All SDC fees shall be paid at the time individual building permits are issued.

Prepared by: Jodi K Cope
Reviewed by: Doug Burroughs

**SUMMARY CONDITIONS OF APPROVAL
Gas Station & Convenience Store
1535 Center Drive (TL 3604) – Southside Center**

AC-20-012

A. Streets

1. Street Dedications to the Public:

- Belknap Road – No additional right-of-way required.
- Dedicate 10-foot Public Utility Easement (PUE) along all frontages as required.

2. Improvements:

Public Streets

- Belknap Road – If used for access, construct to Commercial street standards (half plus 2-feet) with a turnaround as required.

Lighting and Signing

- Developer supplies and installs all street lights at own expense.
- City installs traffic signs and devices at Developer’s expense.

Access and Circulation

- Driveway access to the proposed development site shall comply with MLDC 10.550.

Transportation System

- See Transportation System requirements as outlined above.

Other

- There is no pavement moratorium currently in effect on Belknap Road.
- Provide pavement moratorium letters.
- Provide soils report.

B. Sanitary Sewer:

- The site is situated within the RVSS area.
- Fueling station area shall be graded to drain to the sanitary sewer.
- The fueling station shall be covered (roof draining to the storm drain) to a minimum of two feet outside the area draining to the sewer.

C. Storm Drainage:

- Provide a comprehensive grading and drainage plan.
- Provide water quality and detention facilities, calculations and O&M Manual.
- Provide engineers verification of stormwater facility construction.
- Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

- = City Code Requirement
- = Discretionary recommendations/comments

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.



BOARD OF WATER COMMISSIONERS

Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: AC-20-012

PARCEL ID: 371W32B TL 500, and 371W32C TL 2401

PROJECT: Consideration of a proposal for a gas station and convenience store, consisting of the construction of a 3,867 square foot convenience store and a 3,755 square foot gas canopy, to be located on a 0.89-acre portion—designated as Pad D—of the South Medford Center, an existing commercial and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 5000 / 371W32C TL 2401); Applicant, DAR USA; Agent, Studio 3 Architecture, Inc.; Planner, Dustin Severs.

DATE: February 19, 2020

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. Installation of a new water meter will be required. Applicants Civil Engineer shall coordinate with MWC Engineering staff for proposed water meter.
4. There is an 8-inch water stubbed to the site near the proposed westerly Entrance into the site, and there is an existing Fire Hydrant at the end of this 8-inch water line.
5. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35>.
6. Dedication of a 10-foot wide (minimum) access and maintenance easement to MWC over all "new" water facilities located outside of public right-of-way is required. Easement shall be created per "MWC Standards for Water Facilities", and shall be submitted to MWC for review and recordation prior to construction.

Continued to Next Page



Continued from Previous Page

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction may be required depending on Fire Department requirements.
3. Static water pressure is approximately 76 psi.
4. MWC-metered water service does not exist to this property. (See Condition 3 above)
5. Access to MWC water lines is available. There is an existing 12-inch water line in the existing paved section of travel lane adjacent to the proposed Gas Station/Family Mart site.

Medford Fire-Rescue Land Development Report

Review/Project Information

Reviewed By: Kleinberg, Greg

Review Date: 2/13/2020
Meeting Date: 2/19/2020

LD File #: AC20012

Planner: Dustin Severs

Applicant: DAR USA

Site Name: N/A

Project Location: Intersection of Garfield Street and Center Drive

ProjectDescription: Consideration of a proposal for a gas station and convenience store, consisting of the construction of a 3,867 square foot convenience store and a 3,755 square foot gas canopy, to be located on a 0.89-acre portion—designated as Pad D—of the South Medford Center, an existing commercial and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 5000 / 371W32C TL 2401);

Specific Development Requirements for Access & Water Supply

Conditions

Reference	Comments	Description
Other	A permit will be required from the Fire Department for the installation of the below-ground fuel tanks.	

Construction General Information/Requirements

Development shall comply with access and water supply requirements in accordance with the Oregon Fire Code in affect at the time of development submittal. Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (fire hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code. This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on information provided only.

Design and installation shall meet the Oregon requirements of the International Fire, Building, Mechanical Codes and applicable NFPA Standards.

Medford Fire-Rescue, 200 S Ivy St. Rm 180, Medford OR 97501 541-774-2300

www.medfordfirerescue.org

CITY OF MEDFORD
EXHIBIT # R
File # AC-20-12



ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 97502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

February 7, 2020

City of Medford Planning Department
200 S. Ivy Street
Medford, Oregon 97501

Re: 1535 Center Drive Gas Station (Map 371W32B TL 5000 & 371W32C TL 2401)

ATTN: Dustin,

The subject property is within the RVSS service area. There is an 8 inch sewer main stubbed to the property as shown on the submitted site layout.

Sewer Service for proposed hotel can be had by a new sewer service tap connection to the existing 8 inch sewer main. Tap permits are issued by RVSS and sewer connection permit will be issued by the City of Medford. Sewer System Development Charges will be owed to RVSS.

Rogue Valley Sewer Services requests that approval of this application be subject to the following conditions:

1. All development must be designed and constructed per RVSS standards.
2. The applicant must submit architectural drawings to RVSS for the calculation of System Development Charges.
3. Applicant must pay related System Development Charges to RVSS prior to issuance of building permits.

Please feel free contact me with any questions.

Sincerely,

Nicholas R. Bakke, P.E.
District Engineer

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CITY OF MEDFORD
EXHIBIT # 5
File # AC-20-12

Dustin J. Severs

From: Amber Judd <JuddAJ@jacksoncounty.org>
Sent: Thursday, February 13, 2020 5:04 PM
To: Dustin J. Severs
Subject: File No. AC-20-012 Project Name: 1535 Center Drive Gas Station & Convenience Store

Dustin,

The Airport requests an Avigation, Noise and Hazard Easement be a requirement of this project. In addition, due to the proximity to the Airport, the applicant needs to contact the FAA regarding filing a 7460-1 Notice of Proposed Construction or Alteration. The FAA contact is: Paul Holmquist, phone (206) 231-2990.

I have inserted some information below from the FAA's website:

The requirements for filing with the Federal Aviation Administration for proposed structures vary based on a number of factors: height, proximity to an airport, location, and frequencies emitted from the structure, etc. For more details, please reference CFR Title 14 Part 77.9.

You must file with the FAA at least 45 days prior to construction if:

- Your structure will exceed 200 ft above ground level
- Your structure will be in proximity to an airport and will exceed the slope ratio
- Your structure involves construction of a traverseway (i.e. highway, railroad, waterway, etc...) and once adjusted upward with the appropriate vertical distance would exceed a standard of 77.9(a) or (b)
- Your structure will emit frequencies, and does not meet the conditions of the FAA Co-location Policy
- Your structure will be in an instrument approach area and might exceed part 77 Subpart C
- Your proposed structure will be in proximity to a navigation facility and may impact the assurance of navigation signal reception
- Your structure will be on an airport or heliport
- Filing has been requested by the FAA

If you require additional information regarding the filing requirements for your structure, please identify and contact the appropriate FAA representative using the Air Traffic Areas of Responsibility map for Off Airport construction, or contact the FAA Airport Region/District Office for On Airport construction.

Results

You exceed the following Notice Criteria:

Your proposed structure is in proximity to a navigation facility and may impact the assurance of navigation signal reception. The FAA, in accordance with 77.9, requests that you file.

The FAA requests that you file.

Thank you,

Amber Judd

Deputy Director-Administration

Rogue Valley International-Medford Airport (MFR)



1000 Terminal Loop Parkway, Suite 201

Medford, Oregon 97504

541-776-7222

CITY OF MEDFORD
EXHIBIT # T
File # AC-20-12

Dustin J. Severs

From: HOROWITZ Micah <Micah.HOROWITZ@odot.state.or.us>
Sent: Tuesday, March 10, 2020 2:51 PM
To: Dustin J. Severs
Cc: WANG Wei * Michael; SCRUGGS Julee Y; GRIFFIN Jeremiah M; BROOKS Aaron G
Subject: RE: AC-20-012 (Convenience store/gas station off of Garfield)

Hi Dustin,

I appreciate you following up on this. Please find ODOT's suggested conditions of approval below:

1. Obtain ODOT approval of drainage and hydrological calculations. Applicant must show that the development will not adversely affect state transportation facilities
2. Obtain ODOT approval of any signage visible from ODOT facilities.

Best regards,

Micah

Micah Horowitz, AICP

ODOT Region 3 | Senior Transportation Planner

100 Antelope Road, White City, OR 97503

p: 541.774.6331 | c: 541.603.8431

e: micah.horowitz@odot.state.or.us

From: Dustin J. Severs

Sent: Tuesday, March 10, 2020 10:49 AM

To: HOROWITZ Micah

Subject: AC-20-012 (Convenience store/gas station off of Garfield)

Hi Micah,

You attended the LD meeting on this project and had some comments about trip accounting and hydro calcs. Could you send me something summarizing ODOT's requirements for this development? I'll need to add it as an exhibit in the record.

Thank you



Dustin Severs, Planner III

City of Medford – Planning Department
200 South Ivy Street, Lausmann Annex
Medford, OR 98501 Phone: 541-774-2389

CITY OF MEDFORD
EXHIBIT # 0
Case # AC-20-12

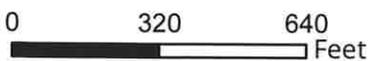


Project Name:

**1535 Center Drive
Gas Station &
Convenience Store**

Map/Taxlot:

371W32B TL 3604



Legend

-  Subject Area
-  Tax Lots

1/21/2020

