

SITE PLAN & ARCHITECTURAL
COMMISSION
AGENDA
APRIL 17, 2020



MEDFORD
OREGON

Commission Members

Jeff Bender, Chair

Bill Chmelir, Vice Chair

Jim Catt

David Culbertson

Bob Neathamer

Marcy Pierce

Jim Quinn

Milo Smith

Regular Commission meetings are held on
the first and third Fridays of every month

Beginning at 12:00 Noon

City of Medford

Council Chambers,

Third Floor, City Hall

411 W. 8th Street

Medford, OR 97501

(541) 774-2380

SITE PLAN & ARCHITECTURAL COMMISSION AGENDA



April 17, 2020

12:00 P.M.

Zoom Virtual Webinar

Virtual Meeting information

To comply with Governor Brown's stay at home order, public hearings will be conducted via the internet. WRITTEN COMMENTS ARE STRONGLY ENCOURAGED. To join Webinar: <https://zoom.us/j/422750584>, Meeting ID: 422-750-584. For telephone: US: +1 669 900 6833 or +1 346 248 7799 or +1 301 715 8592 or +1 312 626 6799 or +1 929 205 6099 or +1 253 215 8782.

10. Roll Call

20. Consent Calendar / Written Communications

20.1 **AC-20-012** Final Order for a gas station and convenience store, consisting of the construction of a 3,141 square foot convenience store and a 3,755 square foot gas canopy, to be located on a 0.89-acre portion of the South Medford Center, an existing commercial and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 3604).

30. Approval or Correction of the Minutes.

30.1 Consideration for approval of minutes from the April 3, 2020, meeting.

40. Oral Requests and Communications from the Audience

COMMENTS WILL BE LIMITED TO 3 MINUTES PER INDIVIDUAL OR 5 MINUTES IF REPRESENTING A GROUP OR ORGANIZATION.

50. Public Hearings

COMMENTS ARE LIMITED TO A TOTAL OF 10 MINUTES FOR APPLICANTS AND/OR THEIR REPRESENTATIVES. YOU MAY REQUEST A 5-MINUTE REBUTTAL TIME. ALL OTHERS WILL BE LIMITED TO 3 MINUTES PER INDIVIDUAL OR 5 MINUTES IF REPRESENTING A GROUP OR ORGANIZATION.

Continuance Request.

50.1 **AC-20-021** Consideration of a proposal for the construction of a 3,000 square foot office building within the existing foundation footprint located at 629 Franquette Street at the intersection of Franquette Street and Earhart Street within a C-H, Heavy Commercial zoning district (371W30DB TL 5500). Applicant/Agent: Oregon Architecture Inc; Planner: Liz Conner. **The applicant has requested that this item be continued to the May 15, 2020, meeting.**

New Business.

50.2 **AC-20-010/E-20-11** Consideration of a proposal for the construction of an approximately 3,500 square foot restaurant and 12 multiple family dwelling units on two parcels totaling 0.98 acres, located at 2217 & 2301 E Barnett Road within the C-S/P (Service Commercial & Professional Offices) and MFR-20 (Multiple Family Residential – 15 to 20 dwelling units per gross acre) and including an Exception request to the parking standards for multiple family residential dwellings (371W29DC9700 & 9800). Applicant, Hong (Kevin) Wu; Agent, Richard Stevens & Associates, Inc.; Planner, Steffen Roennfeldt.

50.3 **AC-20-037** Consideration of a proposal for the construction of a 33,600 square foot metal commercial storage and office facility on a single 2.04 acre parcel located at 1170 Knutson Avenue in the I-G (General Industrial) zoning district (371W18BB TL 2600). Applicant, Nansen Investment Group; Agent, Todd Powell; Planner, Liz Conner.

50.4 **AC-20-038** Consideration of a proposal for an approximately 7,500 square foot single story warehouse on a 6.54 acre parcel located at 1525 N Central Avenue in the General Industrial (I-G) zoning district (372W24701); Applicant & Agent, JB Steel Inc.; Planner, Steffen Roennfeldt.

60. **Written Communications** None.

70. **Unfinished Business** None.

80. **New Business** None.

90. **Report from the Planning Department**

100. **Messages and Papers from the Chair**

110. **Propositions and Remarks from the Commission**

120. **Adjournment**

COMMISSION REPORT

for a Type-III quasi-judicial decision: **Site Plan & Architectural Review**

Project DAR USA – Family Mart
Applicant: DAR USA; Agent: Studio 3 Architecture, Inc.

File no. AC-20-012

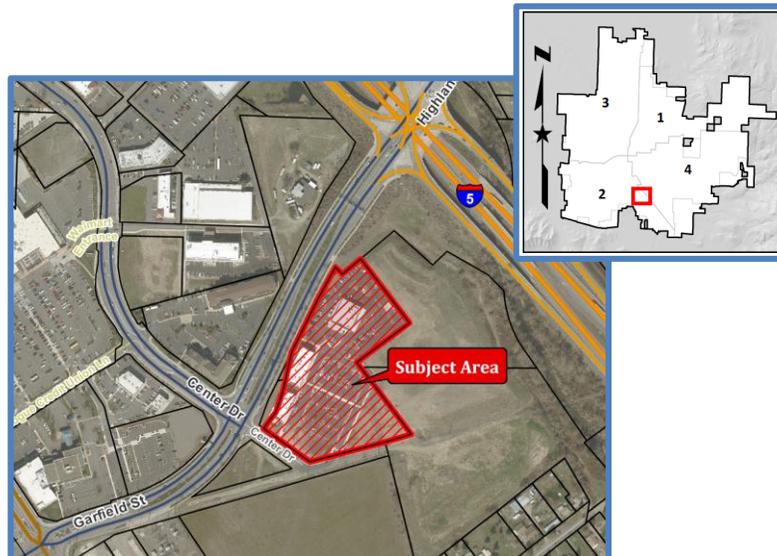
Date April 3, 2020

BACKGROUND

Proposal

Consideration of a proposal for a gas station and convenience store, consisting of the construction of a 3,141 square foot convenience store and a 3,755 square foot gas canopy, to be located on a 0.89-acre portion of the South Medford Center, an existing commercial and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 3604).

Vicinity Map



Subject Site Characteristics

GLUP	CM (Commercial)
Zoning	C-R
Overlay	R-Z (Restricted Zoning) (trip cap established per ZC-16-077)
Use	Commercial shopping plaza

Surrounding Site Characteristics

<i>North</i>	Zone: SFR-00 (Single-Family Residential – 1 dwelling unit per existing lot) Use(s): I-5, Bear Creek
<i>South</i>	Zone: SFR-00 Use(s): vacant land
<i>East</i>	Zone: SFR-00 and C-R Use(s): vacant land
<i>West</i>	Zone: C-R Use(s): Marriot Hotel, Walmart, Rogue Credit Union

Related Projects

ZC-16-77	Zone Change
AC-16-138	Site Plan approval
AC-17-135	Site Plan approval
LDP-17-131	Partition

Applicable Criteria

Medford Municipal Code §10. 200(E)(1) – Site Plan & Architectural Review Criteria

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (a) The proposed development is compatible with uses and developments that exist on adjacent land; and*
- (b) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.186.*

Approval Authority

This is a Type III land use decision. The Site Plan & Architectural Commission is the approving authority under MLDC 10.108(1).

ISSUES AND ANALYSIS

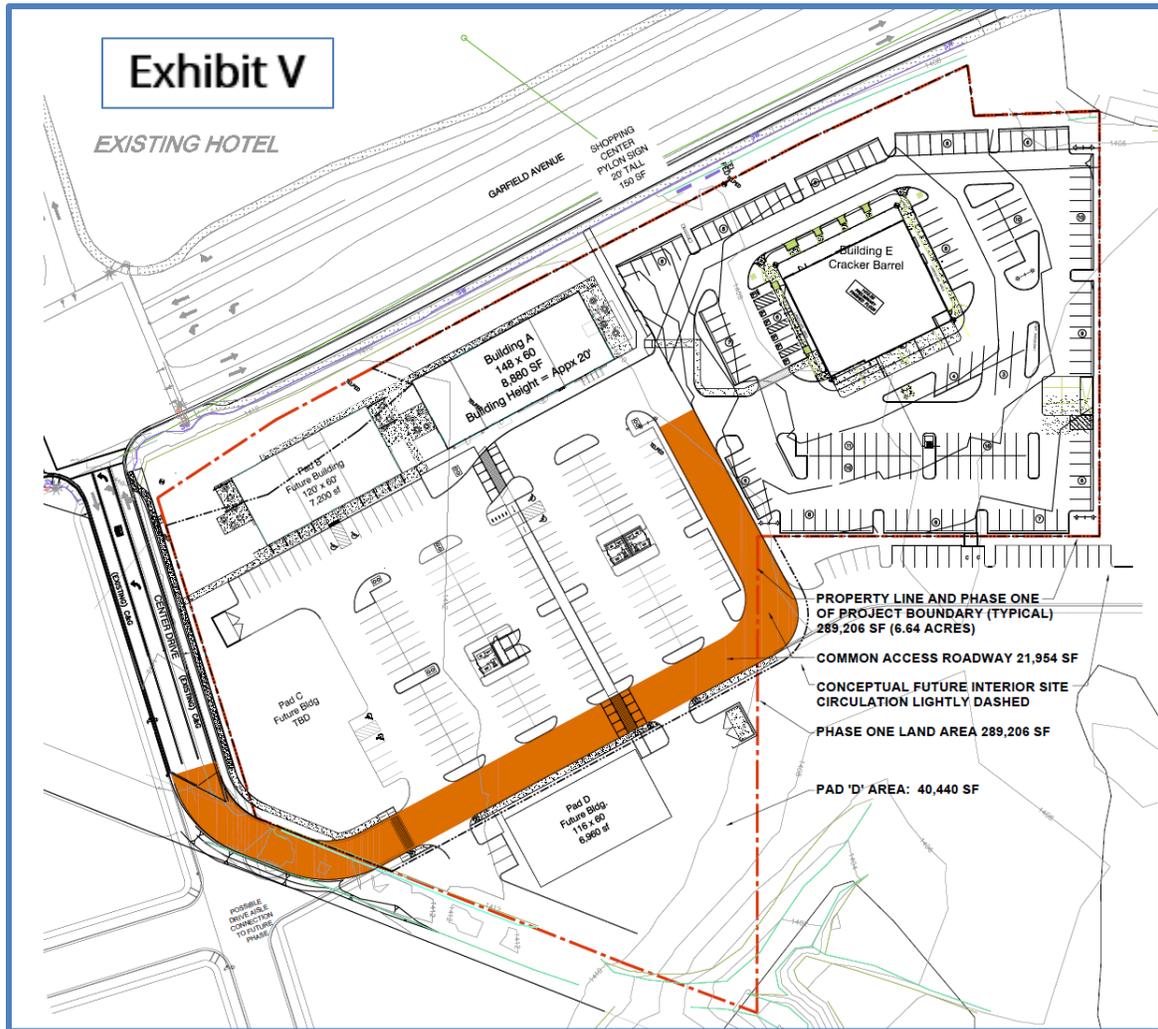
Background

History

FILE #	DATE	DESCRIPTION
ZC-16-77	September 2016	Zone Change from SFR-00 to C-R
AC-16-138	January 2017	SPAC approval for Southside Center Phase I
AC-17-135	January 2018	SPAC approval for South Medford Center - Building B
LDP-17-131	April 2019	South Center Partition (Final plat approved)
AC-19-024	May 2019	SPAC approval for the Fairfield Inn hotel

The subject site is located within the South Medford Center, an existing commercial shopping plaza originally approved as a phased development in January 2017. The first phase of the South Medford Center (AC-16-138), included the approval of two buildings: a 9,113 square foot Cracker Barrel restaurant, and an 8,880 square foot multi-tenant commercial building (currently containing a MOD Pizza, Asante Walk-in Care, Sports Clips, and a Chipotle). A second 7,200 square foot building—Building B—was approved in January 2018 (AC-17-135), and currently contains a Five Guys restaurant, and two vacant spaces.





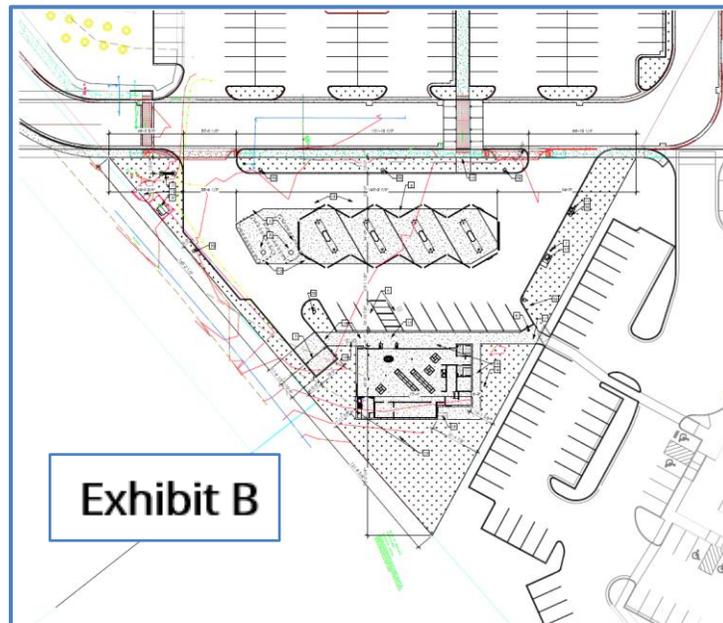
The site plan for the South Medford Center identified two additional, future developments: An area located along the frontage of Center Drive identified as Pad C, proposed as a future fast food restaurant with a drive thru, and a 6,660 square foot building identified as Pad D.

The subject request includes the portion of the South Medford Center previously identified as the Pad D area.

Current proposal

The applicant is now proposing to develop an approximate 38,495 square foot area located at the southeast corner of the South Medford Center—previously identified for Pad D—with a convenience store and a gas station. The convenience store will be a 3,141 square foot Family Mart, and the gas station will be a Shell Gas station, consisting of a proposed 3,755 canopy covering four fuel pumps.

Access to the subject site is proposed via two driveways off of the existing drive aisle, which currently serves the South Medford Center. The site abuts the unimproved right-of-way of Belknap Road—classified as a Commercial street. The applicant's original site plan showed this section of Belknap improved; however, Public Works staff explained to the applicant at the Land Development meeting that the improvement of Belknap was not required as long as they weren't proposing to take access off of the street. The applicant has since submitted a revised site plan removing the improvement of Belknap Road, along with the driveway access originally proposed to be constructed off of Belknap.



Development Standards

Commercial – Industrial Site Development Table (MLDC 10.721)

C-R Zone	Allowed/Required	Proposed/Shown
Height	85 feet (35 feet if located within 150 feet of a residential zone)	17' 6"
Lot Coverage	40%	20.1%
Setback (front)	10 feet	10 feet
Setback (rear and side yards)	none	11 feet

As shown in the Site Development Table above, it can be found that the site’s proposed structures—convenience store, fueling station canopy, and trash enclosure—identified on the submitted site plan meet the bulk standards for the C-R zoning district as found in Article V of the Medford Land Development Code.

Parking

Parking Table (MLDC 10.743-751)

	Required	Proposed/Shown
Vehicle Spaces	14 min. / 17 max.	20
Handicap Spaces	1	2
Bicycle Spaces	2	3

The submitted site plan shows a total of 20 parking stalls (12 designated spaces in front of the convenience store, plus 8 spaces at the fueling stations), including 3 handicap spaces, meeting the minimum, but exceeding the maximum permitted per MLDC 743-751. The applicant’s original site plan showed the convenience store at 3,867 square feet—requiring 17 min. / 21 max. The applicant later submitted a revised site plan reducing the building size to 3,141 square feet; however, the proposed off-street parking shown on the revised plan was not altered accordingly.

MLDC 10.743(3)

(3) Exceptions to Required Off-Street Parking for Non-Residential Uses. The approving authority may allow exceptions to the number of parking spaces in Table 10.743-1 for specific uses without complying with Section 10.186 if they find that the applicant’s detailed description of the proposed use demonstrates that the number of needed parking spaces is less than the minimum required or more than the maximum allowable based upon one or both of the following (effective Dec. 1, 2013):

- (a) An explanation why the characteristics of the proposed use require a different off-street parking standard than what is otherwise required.
- (b) An analysis providing parking data for the same business or a similar use within the city that demonstrates a need for a different off-street parking standard than what is otherwise required.

Pursuant to MLDC 10.743(3) cited above, the applicant is formally requesting relief to exceed the maximum number of parking spaces allowed for the proposed use. In an email received on March 20 (Exhibit X), the applicant stated, “the short term duration

of parking stays suggests that the additional spaces will be needed to serve the Convenience Store during peak uses.”

Staff is supportive of the applicant’s request for parking relief. It is staff’s view that the applicant’s explanation, though limited in detail, is adequate to support the request. Further, it is staff’s view that the granting of relief can be made in keeping with the intent and purpose of the off-street parking and loading requirements outlined in MLDC 10.741.

Staff recommends the Commission grant the applicant relief to exceed the maximum number of parking spaces allowed for the site by a total of three spaces, pursuant to MLDC 10.743(3).

Landscaping

Frontage Landscaping (MLDC 10.797)

Belknap Road	Required	Shown
Trees	7	4
Shrubs	45	45+

The applicant’s submitted landscape plan (Exhibit D) shows landscaping along the site’s frontage abutting the unimproved right-of-way of Belknap Road, as required per MLDC 10.797. As shown above, the plan is short three trees required along the frontage of Belknap Road.

As a condition of approval, the applicant will be required to submit an a revised landscape plan showing the site’s frontage along the right-of-way Belknap Road providing landscaping meeting the minimum requirements outlined in MLDC 10.797.

Pedestrian Access (MLDC 10.772-776)

The site plan shows pedestrian walkways connecting the proposed building to the abutting properties, consistent with the pedestrian connectivity standards found in MLDC 10.772-776.

Concealments

Trash Enclosure (MLDC 10.781)

The applicant’s site plan shows a trash enclosure located to the south of the proposed building, and the submitted elevation plan (Exhibit L) shows the proposed trash enclosure constructed with materials consistent with the requirements outlined in MLDC 10.781.

Roof Equipment (MLDC 10.782)

The applicant's roof plan (Exhibit H) shows mechanical equipment located on the rooftop of the building. All mechanical roof-mounted equipment is required to be concealed using the architectural elements of the building (i.e., roof forms, parapets, wing walls, alcoves, etc.). It is not clear from the applicant's elevation and roof plans if the roof mounted equipment will be adequately concealed.

As a condition of approval, the applicant will be required to submit additional elevation plans, demonstrating compliance with MLDC 10.782, prior to the issuance of building permits for vertical construction.

Architecture



The applicant's submitted narrative (Exhibit O) describes the building's proposed architecture and how it fits with and complements adjacent buildings, as the following:

The building will be pre-engineered steel building with insulated Kingspan panels on the exterior. The design and color scheme is consistent with the Family Mart brand. The Kingspan Panels are a high end metal panel with foam insulation between the panels. The exterior look will compliment adjacent buildings in the same shopping center in that it will add value to the property and the brand recognition of shell gas stations will help drive more traffic into the area.

Landscape Buffering

Per MLDC 10.790, bufferyards are utilized in order to minimize potential conflicts caused by types and intensity of uses on adjacent properties. The subject site abuts the SFR-00 zoning district along an approximate 110 foot stretch of its southerly boundary. It should be noted that the site's entire boundary is encircled by the property with a Commercial (CM) GLUP designation, and the subject site and all abutting property is under common ownership.

Zoning Map

GLUP Map



Table 10.790-3. Bufferyard Types

<u>Type</u>	<u>Width</u>	<u>Wall</u>
A	10 feet	Six (6) foot concrete or masonry wall.
B	20 feet	Eight (8) foot concrete or masonry wall

Per MLDC 10.790-1, a Type A bufferyard—consisting of a six-foot concrete or masonry wall and ten feet of landscaping—is required along the site's boundary abutting the SFR-00 zoning district.

Adjustments to Bufferyards: 10.790(E)(6)

(6) Adjustments to bufferyards: The approving authority shall have the discretion to make adjustments to the bufferyard requirements if an unusual circumstance exists and a finding is made that adequate buffering will be provided to avoid significant adverse impacts to the livability or value of the adjoining properties. Adjustments shall not be made simply for the convenience of site design. Adjustments to the bufferyard requirements may include, but are not limited to, the following:

- (a) Where a building wall with no openings below eight (8) feet abuts the bufferyard, the building wall may be counted in place of a required wall or fence.
- (b) Where there is existing development on the site, such as paving or a building, which affects or precludes implementation of the bufferyard standard.
- (c) Where a proposed project abuts existing development, and the adjacent uses are the same (i.e., apartment parking lot adjacent to commercial parking lot) or are sufficiently compatible that the full buffering, otherwise required, is not necessary and the uses are not expected to change significantly over time.
- (d) Where a project abuts an irrigation canal, natural waterway, railroad right-of-way, or other such element.

Pursuant to MLDC 10.790(E)(6) cited above, the approving authority may approve adjustments to bufferyard requirements if it is determined that unusual circumstances exist.

It is staff's view that, pursuant to MLDC 10.790(E)(6), unusual circumstances exist with the subject development, warranting the granting of relief from the strict standards of the Code for bufferyards, and that adequate buffering will be provided to avoid significant adverse impacts to the adjoining properties, without the need for a Type A Bufferyard. The unusual circumstances are as follows:

- The abutting property along the subject 110-foot area has a Commercial (CM) GLUP designation, an area which will provide an approximate 40-foot buffer space between the subject development and any single-family residential development which may be constructed on the abutting property in the future.
- The subject area is located where the right-of-way of Belknap Road has the potential to be extended in the future.
- The applicant's Landscape Plan (Exhibit D) shows trees and shrubs located along subject area, providing a buffering element.
- The submitted Site Plans (Exhibit B) show the back of the proposed convenience store facing the residentially zoned property to the south, and located between the residential land to the south and the proposed fueling stations, serving as a buffer in place of a wall or fence.

Other Agency Comments

Oregon Department of Transportation (ODOT) (Exhibit U)

The section of Garfield Street fronting the subject parcel is under the jurisdiction of ODOT. As a condition of approval, the applicant will be required to comply with all requirements of ODOT prior to the issuance of building permits for vertical construction.

Rogue Valley International – Medford Airport (Exhibit T)

Rogue Valley International Airport requests an Avigation, Noise and Hazard Easement to be required as part of the permit process. In the 2010 LUBA decision on Michelle Barnes vs. City of Hillsboro and the Port of Portland, Nollan/Dolan findings are required to support the request (LUBA No. 2010-011). None were provided; therefore, a condition requiring compliance with the airport's request for an Avigation, Noise and Hazard Easement has not been included.

RVSS (Exhibit S)

The subject property is within RVSS service area. There is an existing 8-inch sewer stubbed to the subject property.

As a condition of approval, the applicant will be required to comply with the conditions of RVSS.

Committee Comments

No comments were received from committees such as BPAC.

Other Comments

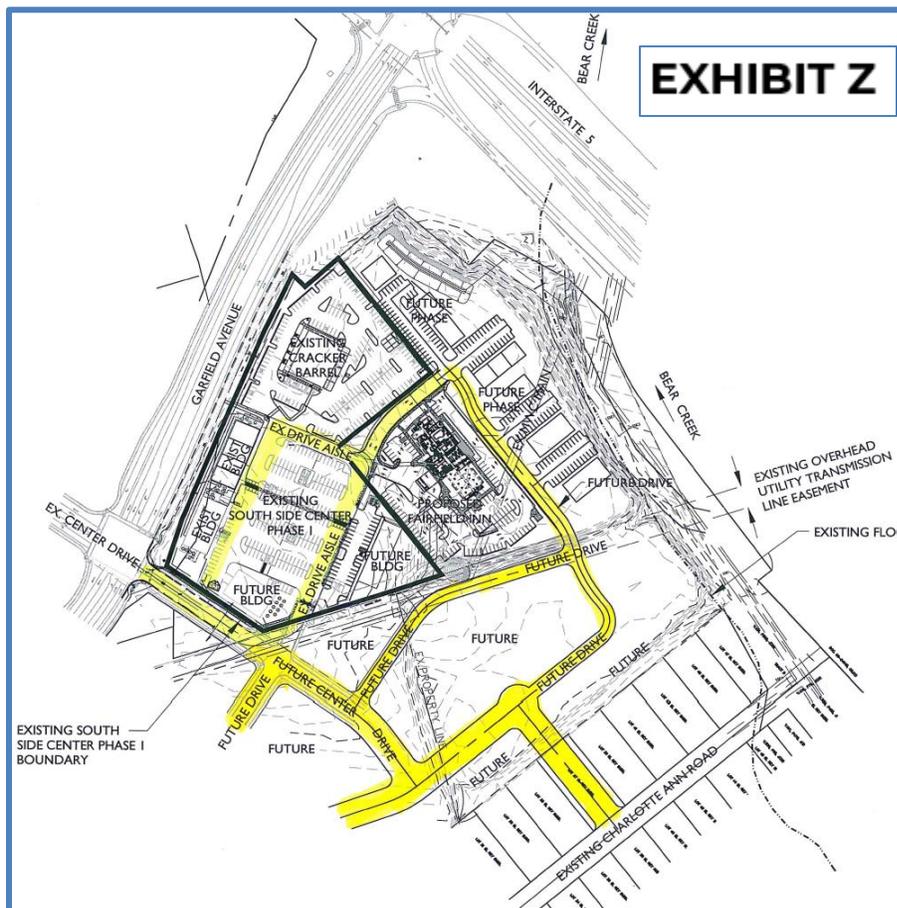
On March 18, 2020, staff received a letter from Jay Harland of CSA Planning in objection to the subject application (Exhibit W). Mr. Harland represents the Kolln property located south of the subject property. The letter included a request that the application be continued in order to provide an opportunity for all parties to meet and discuss the issues identified in the letter. This request was honored at the March 20, 2020 hearing, and City staff has since met with Mr. Harland as requested.

In his letter, Mr. Harland raised three issues. 1.) He states the subject application does not adequately address the existing Belknap Road right-of-way, and expressed his client's concern with the lack of a coherent circulation plan for the surrounding area. Inconsistencies between the various plans submitted by the applicant was also pointed out in the letter. 2.) Mr. Harland also stated his client's concern with the subject site's proposed access off of Center Drive in relation to its proximity to the

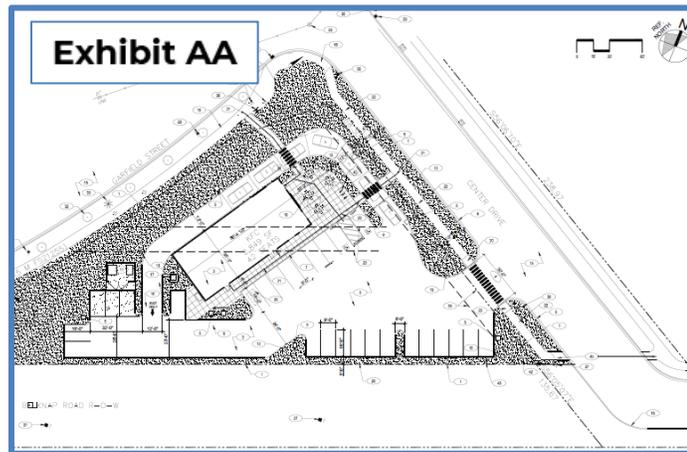
access approved for the future KFC located on the opposite side of Center Drive, contending that the two drives could potentially have an adverse impact on the traffic circulation of Center Drive. 3.) Finally, Mr. Harland identified the applicant's failure to demonstrate compliance with the required trip cap as part of the subject application.

Staff's responses to Mr. Harland's issues are as follows:

- 1.) *Belknap Road and the future circulation of the surrounding area:* As stated in the staff report, Belknap Road is not required to be improved with the subject application as the development is not proposing to take access off of the street. In regards to circulation, though the subject application did not address issues concerning the future traffic circulation of the surrounding area, past applications involving the South Medford Center have done so, including a circulation plan submitted with the recent SPAC approval for the Fairfield Inn (AC-19-024) shown below. In regards to the inconsistencies in the plans submitted by the applicant, the applicant has submitted updated plans with this revised report, correcting the previous inconsistencies.



- 2.) *Proposed access and proximity to approved access for KFC:* The subject application does not propose the construction of a new access off of Center Drive; rather, the site plan shows the subject development taking access off of the existing driveway, an entry currently serving as an internal access drive for the entire South Medford Center. Further, staff does not anticipate the South Medford Center's existing access drive and its proximity to the future location of KFC's driveway will pose any negative impacts on the future functionality of Center Drive. Finally, the Commission can find that the two driveways meet all the Public Improvement standards as outlined in MLDC 10.421 to 10.668.



- 3.) *Failure to provide trip accounting with the subject application:* While staff does not disagree with Mr. Harland that a trip accounting provided with the subject application would be preferable, the condition establishing the trip cap as part of the property's zone change in 2016 (ZC-16-077)—shown below—did not specify that the trip accounting be provided concurrent with the site's future SPAC applications. Accordingly, staff included a condition of approval with the subject application requiring that the applicant provide the trip accounting prior to the issuance of building permits for vertical construction—a condition preventing any development from occurring at the subject site until compliance with the trip cap has been demonstrated.

III. Transportation System

The Public Works Department received a Traffic Impact Report from Southern Oregon Transportation Engineering LLC, dated June 20, 2016, titled "South Side Center SFR-00 to C-R Zone Change" for parcel 371W32B3604 and 3605 consisting of 6.57 acres. Public Works submitted comments and an addendum was received August 8th, 2016. The trip generation for the full potential zone change could not be supported by the transportation system without mitigation so a trip cap has been stipulated to 367 P.M. peak hour trips.

With the stipulated trip cap there is no significant impact to the transportation system since no higher order intersections are impacted by more than 25 P.M. peak hour trips.

Traffic Engineering recommends that the development be conditioned to provide a trip accounting for each phase of development to verify that the trip cap has not been exceeded. An additional traffic impact analysis will be required to remove the trip cap from the property.

At the time of future land division or development permit, Public Works may require additional right-of-way and public utility easement (PUE) dedications and will condition the developer to improve their street frontage to the City's current standards. Improvements shall include paving, drainage, and curb, gutter, street lighting, sidewalk, and planter strips.

DECISION

At the public hearing held on April 3, 2020, the Commission voted unanimously to approve the request, while adding into the record three new exhibits:

- Exhibit CC: Trip accounting submitted by applicant and prepared by Southern Oregon Transportation Engineering.
- Exhibit DD: Revised Public Works report acknowledging the submitted trip accounting.
- Exhibit EE: Second letter submitted by Jay Harland of CSA, representing the Kolln Property.

FINDINGS OF FACT

1. *The proposed development is compatible with uses and development that exist on adjacent land;*

The Commission can find that there is sufficient evidence contained in the applicant's findings and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

2. *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A. This criterion is satisfied.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit O) and recommends the Commission adopt the findings as recommended by staff.

ACTION TAKEN

Adopted the findings as recommended by staff and directed staff to prepare the final order for approval of AC-20-012 per the Commission Report dated April 3, 2020, including:

- Exhibits A through EE.
- The granting of relief from constructing a bufferyard along the approximate 110-foot stretch of the subject site's southerly property line.
- The granting of relief to exceed the maximum number of parking spaces for the development.

EXHIBITS

- A-1 Conditions of Approval – Revised, drafted March 27, 2020.
- B Site Plan, received March 25, 2020.
- C Utility and Grading Plan, received March 12, 2020
- D Landscape Plan, received March 27, 2020.
- E General Notes (2 of 2) received March 25, 2020.
- F Floor Plans for C-store (2 of 2), received March 25, 2020.
- G Floor Plans for canopy (2 of 2), received March 25, 2020.
- H Roof plan, received March 25, 2020.
- I Reflected Ceiling Plans (2 of 2), received March 25, 2020.
- J Elevation Plans for C-store (2 of 2), received March 25, 2020.
- K Elevation Plans for Canopy (2 of 2), received March 25, 2020.
- L Elevations for trash enclosure, received March 25, 2020.
- M Wall types, received March 25, 2020.
- N Perspective views, received March 25, 2020.
- O Applicant's Narrative, Questionnaire, and Findings of Fact, January 15, 2019.
- P Public Works staff report, received February 19, 2020.
- Q Medford Water Commission report & map, received February 19, 2020.
- R Medford Fire Department report, received February 19, 2020.
- S RVSS report, received February 7, 2020.
- T Airport email, received February 13, 2020.
- U ODOT email, received February 13, 2020.
- V South Medford Center Site Plan (AC-17-135), received October 25, 2017.
- W Objection letter from CSA Planning, received March 18, 2020.

- X Email from applicant requesting parking relief, received March 20, 2020.
- Y Applicant's continuance request, received March 20, 2020.
- Z Circulation Plan for the South Medford Center submitted with Fairfield Inn application (AC-19-024), received April 12, 2019.
- AA Approved Site Plan for KFC, received May 2019.
- BB Public Works report (page 2 only), received August 8, 2016.
- CC **Trip accounting prepared by Southern Oregon Transportation Engineering, prepared March 27, 2020.**
- DD **Revised Public Works report, received March 31, 2020.**
- EE **Second letter submitted by Jay Harland of CSA, received April 3, 2020.**
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION:

JEFF BENDER, CHAIR

SPAC AGENDA

**MARCH 27, 2020
APRIL 3, 2020
APRIL 10, 2020**

SITE PLAN & ARCHITECTURAL COMMISSION MINUTES



April 3, 2020
12:00 P.M.
Virtual Meeting

The regular meeting of the Site Plan and Architectural Commission was called to order at 12:15 p.m. in the Council Chambers on the above date with the following members and staff in attendance:

Commissioners Present

Jeff Bender, Chair
Bill Chmelir, Vice Chair
Jim Catt
David Culbertson
Bob Neathamer
Marcy Pierce
Jim Quinn
Milo Smith

Staff Present

Kelly Evans, Assistant Planning Director
Katie Zerkel, Senior Assistant City Attorney
Doug Burroughs, Public Works/Eng. Develop Svs. Mgr.
Dustin Severs, Planner
Debbie Strigle, Recording Secretary

10. Roll Call

20. Consent Calendar / Written Communications (voice vote)

20.1 **AC-19-063** Final Order for the construction of an approximately 13,600 square-foot repair shop and office building located at 4866 Helo Drive in the I-H (Heavy Industrial) zoning district (371W06AB302). Applicant, Vilas Truck & Trailer Services; Agent, Douglas Day; Planner, Steffen Roennfeldt.

Motion: Adopt the consent calendar.

Moved by: Commissioner Culbertson Seconded by: Commissioner Catt

Voice Vote: Motion passed, 8-0

30. Approval or Correction of the Minutes

30.1 The minutes from the March 6, 2020, meeting were approved as corrected.

30.2 The minutes from the March 20, 2020, meeting were approved as submitted.

40. Oral Requests and Communications from the Public. None.

50. Public Hearings

Katie Zerkel, Senior Assistant City Attorney, read the rules governing the public hearings.

Old Business.

50.1 **AC-20-012** Consideration of a proposal for a gas station and convenience store, consisting of the construction of a 3,867 square foot convenience store and a 3,755 square foot gas canopy, to be located on a 0.89-acre portion—designated as Pad D—of the South Medford Center, an existing commercial

and retail center located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 5000 / 371W32C TL 2401); Applicant, DAR USA; Agent, Studio 3 Architecture, Inc.; Planner, Dustin Severs.

Chair Bender asked for any potential conflicts of interest, ex-parte communications, or site visits. There were none.

Dustin Severs, Planner, gave a PowerPoint presentation of the March 27, 2020 Revised Staff Report. Staff recommended approval.

Commissioner Catt wanted to know if there was sufficient room for larger vehicles to maneuver around within the site. Mr. Severs stated it had been reviewed by Public Works and it did meet all the requirements of the code.

Commissioner Neathamer encouraged Public Works to make an effort to help with the circulation plan and bring something back to this commission on how it will be done.

Doug Burroughs, Public Works, said there would be an effort on the part of the City to help facilitate some communication between the different property owners to come up with a circulation plan that works for everybody.

The public hearing was opened and the following testimony was given:

a) Leonard Lodder, Studio 3 Architecture, 275 Court Street NE, Salem, Oregon, architect for the project, noted that when they had shifted the trash enclosures to make them 10 feet from the property line, they had lost one of the extra parking spaces. They are now only asking for an extra two spaces instead of three. In regards to the requirement to add additional trees, he said there would not be a problem meeting that requirement.

Chair Bender reserved rebuttal time for Mr. Lodder.

b) James [no last name given], DAR USA, applicant, said he questioned the sidewalk along Belknap Drive that had been addressed in the Public Works Staff Report. He wanted to know if that condition would go away since they will not be using that as an access point. Mr. Burroughs stated if it's not used as an access point there would be no condition.

c) Jay Harland, CSA Planning, 4497 Brownridge Terrace, Medford, explained that his letter addressed what their issues were. He said he appreciated Commissioner Neathamer's comments and Mr. Burroughs's follow-up to the circulation plan issue. He commented that it goes a long way to what needs to happen for that area. Whether it can get worked out or not, they still need to make an effort to try. Given the existing development and right-of-ways, Mr. Harland stated the City still needs to take a lead on it or at least coordinate it. He said he was pleased to see that it would happen and his clients have indicated they will want to participate in that and are looking forward to it.

Mr. Lodder had nothing further to add.

The public hearing was closed.

Motion: Adopt the findings as recommended by staff and direct staff to prepare the final order for approval of AC-20-012 per the Revised Staff Report dated March 27, 2020, including Exhibits A through EE and the following:

➤ Grant relief from constructing a bufferyard along the approximate 110-foot stretch of the subject site's southerly property line

➤ Approve the applicant's request to exceed the maximum number of parking spaces

Moved by: Commissioner Neathamer Seconded by: Commissioner Culbertson

Commissioner Catt questioned how he could vote in favor of this motion not knowing what the traffic circulation would be like.

Commissioner Neathamer commented he did not think this commission had the authority to require that a traffic circulation be presented before this commission could approve this application. The willingness from Public Works and Mr. Harland demonstrates that the possibility of finding a resolution is pretty high. Commissioner Neathamer felt the commission needed to stay with the motion and approve it.

Chair Bender agreed with Commissioner Neathamer and added he thought the question of circulation are issues of future development as opposed to circulation within this site. He believed the commission had a clear way forward especially given the stated willingness of the surrounding land owners to discuss circulation issues. Chair Bender felt the motion should be approved.

Roll Call Vote: Motion passed, 8-0

New Business.

50.2 **AC-20-021** Consideration of a proposal for the construction of a 3,000 square foot office building within the existing foundation footprint located at 629 Franquette Street at the intersection of Franquette Street and Earhart Street within a C-H, Heavy Commercial zoning district (371W30DB TL 5500). Applicant/Agent: Oregon Architecture Inc.; Planner: Liz Conner

Chair Bender asked for any potential conflicts of interest, ex-parte communications, or site visits. Commissioner Culbertson disclosed that he is a member of Rogue Valley Association of Realtors as well as Southern Oregon Multiple Listing Service (SOMLS). He stated he has a financial vested interest with SOMLS and would abstain from any voting on this application.

Kelly Evans, Assistant Planning Director, gave a PowerPoint presentation of the March 27, 2020, Staff Report. Staff recommended approval.

The public hearing was opened.

a) Mark McKechnie, applicant, stated they had no issues with the conditions. He said the landscapers had already been planning on upgrading their landscaping and they can find a way to screen the trash enclosures. Mr. McKechnie said they would discuss the connection to Franquette with the landscape architect to see if there's going to be any issue at how close it actually is going to be to the tree. The other building also has a connection to Franquette so there is a way to get to both buildings from Franquette Street. Part of this project was to put together a more efficient plan for the realtors as they move forward into the 21st century and try to solve some of the issues that are addressed in pretty much any brand new construction. One of those issues was accessible spaces for both sites and that's why the crosswalk was created in the middle with some planters and accessible spaces to secure the access to both buildings.

Mr. Burroughs referenced the legacy street standards section that was addressed in the Public Works Staff Report. He clarified that there had not been a legacy street conference with the City Engineer so they do not have any guidance as far as legacy street standards and how they might apply to Franquette and Earhart Streets. Without an exception request the 31.5 feet, half width right-of-way dedication would be required for both streets at this time.

Mr. Burroughs also clarified that in their staff report under the improvement sections for Earhart Street it was noted that the sidewalk would be placed half a foot from the existing right-of-way. That was in anticipation that a legacy street conference would have happened. The sidewalk would need to be placed half a foot away from any right-of-way whether it's existing or if there's additional dedication it would be half a foot away from that right-of-way.

Mr. McKechnie stated that he had requested the legacy street exception but they had not had a chance to coordinate that with Alex Georgevitch. He said they would like to make the request that this also be allowed to have legacy street status if appropriate.

Mr. Burroughs responded that the problem with that is the legacy street conference is supposed to happen before the application is submitted. That way the memorandum can be a part of the record as far as what the requirements are going to be and if the applicant has any objections to what is being asked of them they would have the ability to provide findings addressing those requirements. He added he wasn't sure if this commission had the authority to waive the 31.5 foot dedication.

Mr. McKechnie commented they would have no objection if the commission were to keep the record open and move the final decision to the next meeting to allow time to get the memorandum put together.

After reading the code, Ms. Evans explained that the City Engineer has the authority to make the decision whether the legacy street standards apply. This commission has no authority unless someone wants to object to the City Engineer's decision. She suggested the commission continue this item to the next meeting so the issue can be resolved.

Mr. Burroughs concurred that this item be continued to the next meeting.

Motion: Continue this item to the April 17, 2020, meeting.

Moved by: Commissioner Neathamer Seconded by: Commissioner Catt

Roll Call Vote: Motion passed, 8-0

60. Written Communications None.

70. Unfinished Business None.

80. New Business None.

90. Report from the Planning Department

90.1 Ms. Evans announced that Commissioner Whitlock had resigned. Mr. Whitlock has accepted the position as City Attorney for the City of Medford.

90.2 Ms. Evans stated there would be business scheduled for both the April 17th and May 1st meetings.

Site Plan & Architectural Commission Minutes
April 3, 2020

100. Messages and Papers from the Chair

110. Propositions and Remarks from the Commission

110.0 Commissioner Catt said Commissioner Whitlock would be greatly missed on this commission. His work was very much appreciated.

120.0 Commissioner Chmelir praised Chair Bender for the excellent job he's doing managing the meetings.

120. Adjournment

120.1 The meeting was adjourned at approximately 1:18 p.m. The proceedings of this meeting were digitally recorded and are filed in the City Recorder's office.

Submitted by:

Debbie Strigle
Recording Secretary

Jeff Bender
Site Plan and Architectural Commission Chair

Approved: April 17, 2020

STAFF REPORT – CONTINUANCE REQUEST

for a Type-C quasi-judicial decision: **Site Plan Review**

Project SOMLS Education Building
Applicant: Oregon Architecture, Inc.; Agent: Mark McKechnie

File no. AC-20-021

To Site Plan and Architectural Commission *for 04/17/2020 hearing*

From Kelly Evans, Assistant Planning Director

Date April 10, 2020

BACKGROUND

Proposal

Consideration of a proposal for the construction of a 3,000 square foot office building within the existing foundation footprint located at 629 Franquette Street at the intersection of Franquette Street and Earhart Street within the C-H (Heavy Commercial) zoning district (371W30DB TL 5500).

Request

During the hearing, it came to the applicant's attention that sidewalks are required to be constructed. The Commission does not have the authority to remove the code requirement outside the Exception process. In order for the Exception application to catch up, the applicant has requested that this item be continued to May 15, 2020.

EXHIBITS

- A Continuanace request received April 8, 2020
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA: APRIL 3, 2020
APRIL 17, 2020

Kelly Evans

From: Mark McKechnie <mark@oregonarchitecture.biz>
Sent: Wednesday, April 8, 2020 3:00 PM
To: Kelly Evans; Liz A. Conner
Subject: RE: So OR Multiple Listing, AC20-021

<EXTERNAL EMAIL **Click Responsibly!**>

Please.

From: Kelly Evans <Kelly.Evans@cityofmedford.org>
Sent: Wednesday, April 8, 2020 2:59 PM
To: 'Mark McKechnie' <mark@oregonarchitecture.biz>; Liz A. Conner <elizabeth.conner@cityofmedford.org>
Subject: RE: So OR Multiple Listing, AC20-021

Mark, if the application is complete the hearing will be May 15. Can we go ahead and continue it to that meeting?

Kelly Evans | *Assistant Planning Director*
City of Medford, Oregon | Planning Department
Mailing address: 411 W 8th Street, Medford, Oregon 97501
Office location: 200 S Ivy Street, Second Floor
Ph: 541-774-2380 | F: 541-618-1708

From: Mark McKechnie [<mailto:mark@oregonarchitecture.biz>]
Sent: Wednesday, April 8, 2020 2:51 PM
To: Kelly Evans <Kelly.Evans@cityofmedford.org>; Liz A. Conner <Elizabeth.Conner@cityofmedford.org>
Subject: RE: So OR Multiple Listing, AC20-021

<EXTERNAL EMAIL **Click Responsibly!**>

Kelly,

Please continue the SPAC application for Southern Oregon Multiple Listing and let the Exception Application catch up. Thank you.

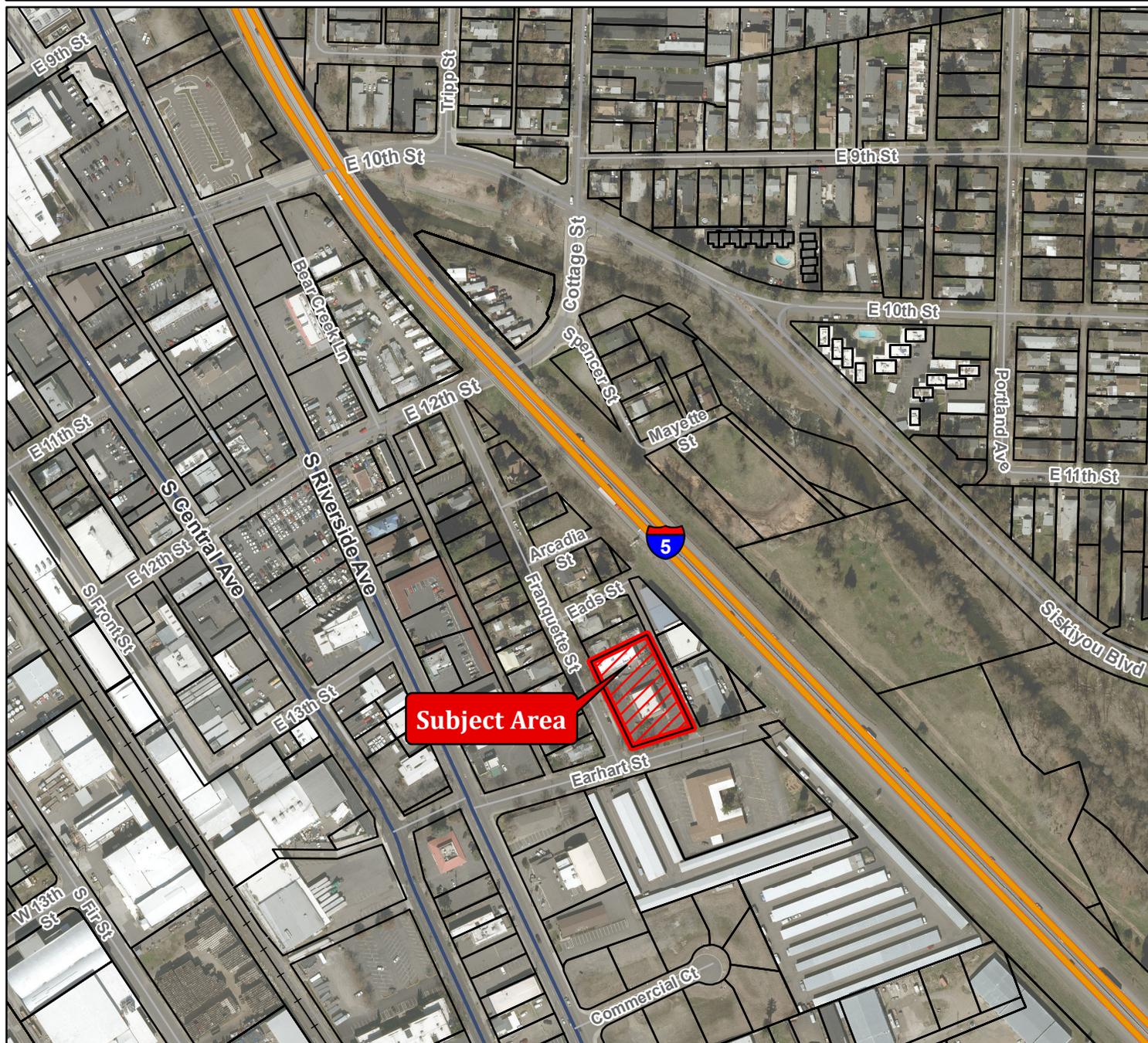
I expect to have the Application in shortly.

Mark McKechnie, AIA
Agent for the Applicant

From: Kelly Evans <Kelly.Evans@cityofmedford.org>
Sent: Wednesday, April 8, 2020 2:13 PM
To: 'Mark McKechnie' <mark@oregonarchitecture.biz>; Liz A. Conner <elizabeth.conner@cityofmedford.org>
Subject: RE: So OR Multiple Listing, AC20-021

Mark –

Exhibit A



Project Name:

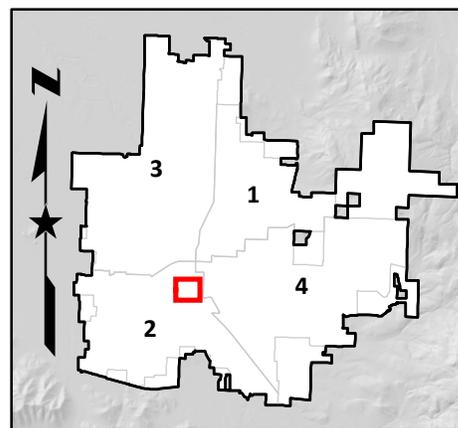
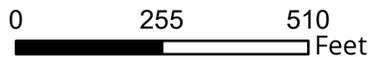
**629 Franquette Street
New Commercial Building**

Map/Taxlot:

371W30DB TL 5500

Legend

-  Subject Area
-  Tax Lots



STAFF REPORT

for a Type-III quasi-judicial decision: **Site Plan & Architectural Review & Exception**

Project Hong (Kevin) Wu
Applicant: Hong (Kevin) Wu
Agent: Richard Stevens & Associates

File no. AC-20-010 & E-20-011

To Site Plan and Architectural Commission *for 4/17/2020 hearing*

From Steffen Roennfeldt, Planner III

Reviewer Kelly Evans, Assistant Planning Director

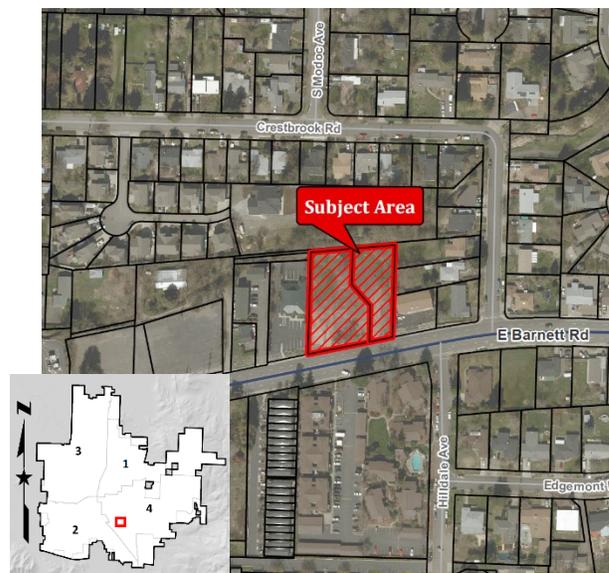
Date April 8, 2020

BACKGROUND

Proposal

Consideration of a proposal for the construction of an approximately 2,900 square foot restaurant and 12 multiple family dwelling units on two parcels totaling 0.98 acres, located at 2217 & 2301 E Barnett Road within the C-S/P (Service Commercial & Professional Office) and MFR-20 (Multiple Family Residential – 15 to 20 dwelling units per gross acre) zoning districts, and including an Exception request to the parking standards for multiple family residential dwellings. (371W29DC9700 & 9800)

Vicinity Map



Subject Site Characteristics

GLUP	SC (Service Commercial) & UH (Urban High Density Residential)
Zoning	C-S/P (Service Commercial & Professional Office) MFR-20 (Multiple Family Residential – 15 to 20 dwelling units per gross acre)
Overlay	None
Use	Vacant

Surrounding Site Characteristics

<i>North</i>	Zone: SFR-10 (Single Family Residential – 6 to 10 dwelling units per gross acre) Use: Low density residential
<i>South</i>	Zone: MFR-30 (Multiple Family Residential – 20 to 30 dwelling units per gross acre) Use: Apartment Complex
<i>East</i>	Zone: MFR-20 & SFR-6 (Single Family Residential – 4 to 6 dwelling units per gross acre) Use: Low density residential
<i>West</i>	Zone: MFR-20 & C-C (Community Commercial) Use: Medium density residential and commercial offices

Related Projects

AC-00-035	New Office Building
GLUP-19-003	General Land Use Plan Map change from Urban High Density Residential to Service Commercial
ZC-19-013	Zone change from MFR-20 to C-S/P

Applicable Criteria

Medford Municipal Code §10. 200(E)(1) & (2) – Site Plan & Architectural Review Criteria

(E) Site Plan and Architectural Review Approval Criteria (Type II & III).

(1) The Site Plan and Architectural Commission, SPAC – Type III Review, shall approve a site plan and architectural review application for a commercial or industrial development, if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

(a) The proposed development is compatible with uses and development that exist on adjacent land, and

(b) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in Section 10.186.

(2) The approving authority shall approve a site plan and architectural review application for a residential development if the proposed development complies with the applicable provisions of all city ordinances, or if the Site Plan and Architectural Commission has approved either of the following:

(a) Any Exceptions, as provided for in MLDC Section 10.186, which resolve(s) any instances of non-compliance with those provisions.

(b) Any Adjustments or Exceptions from the Special Development Standards for Multiple-Family Dwellings, as provided for in MLDC Section 10.715A through 10.717.

(c) Any Adjustments or Exceptions from the Development Standards for a Cottage Cluster Development, as provided for in MLDC Section 10.818A.

Medford Municipal Code §10.186(B) – Criteria for Exception

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority having jurisdiction over the land use review unless it finds that all of the Chapter 10 Article II following criteria and standards are satisfied. The power to authorize an exception from the terms of this code shall be sparingly exercised. Findings must indicate that:

(1) The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The approving authority shall have the authority to impose conditions to assure that this criterion is met.

(2) The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.

(3) There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.

(4) The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.

Approval Authority

This is a Type III land use decision. The Site Plan & Architectural Commission is the approving authority under MLDC 10.108(1).

ISSUES AND ANALYSIS

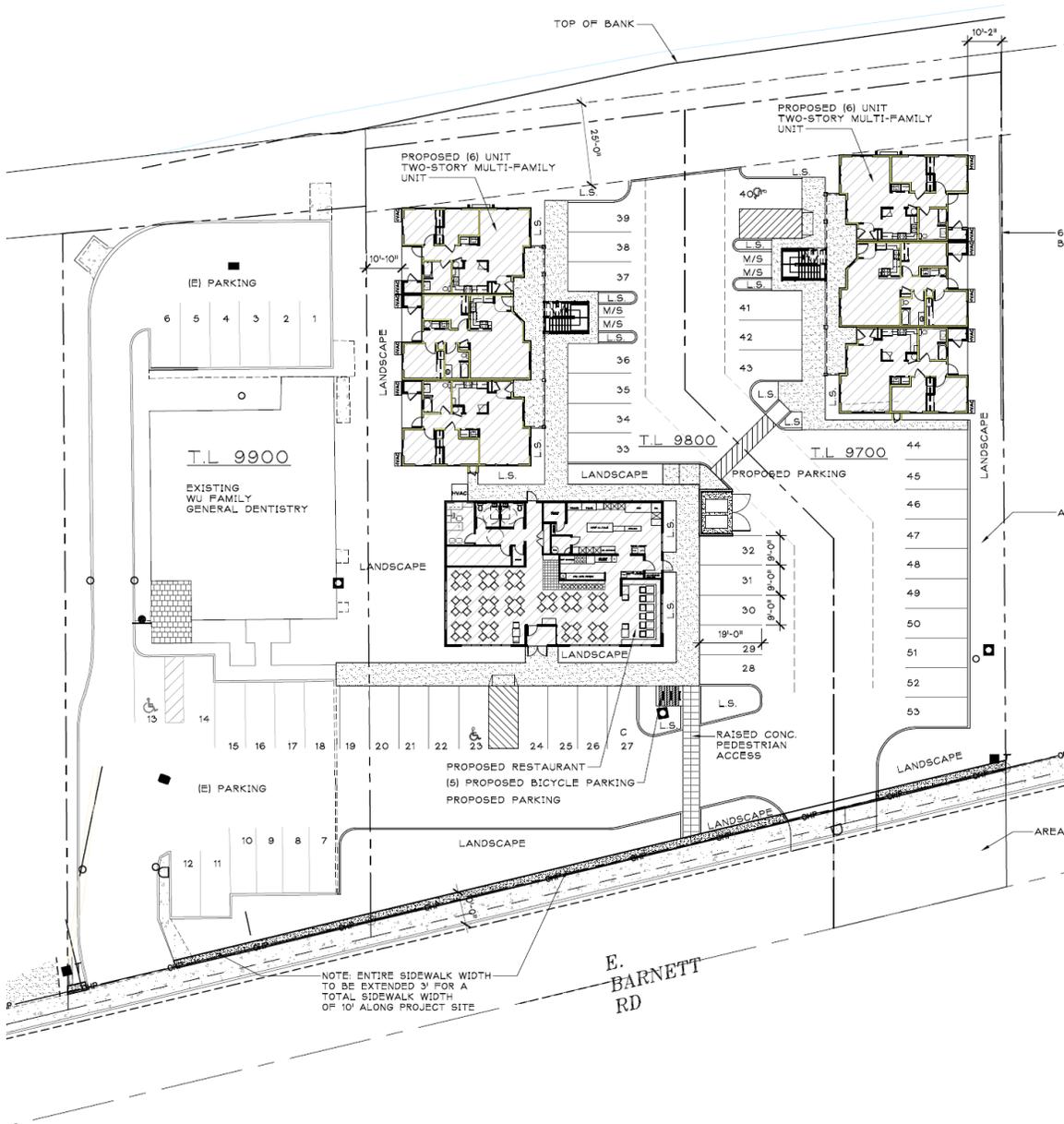
Background

The subject site is currently vacant. Both subject parcels contained single-family residences in the past. All structures were recently demolished.



Taxlot 9800 to the west was recently rezoned from MFR-20 to C-S/P in order to be developed with a restaurant use as now proposed and multi-family residential units. Taxlot 9700 (east) is zoned MFR-20 which does allow for the proposed multi-family development. Taxlot 9900 was developed in the early 2000's (AC-00-035) with a commercial structure which is currently being used as a dentistry.

Current proposal



The proposal will utilize the existing cur-cut, drive aisle, and parking serving dentistry on taxlot 9900 to the far west. The existing parking lot in front of the office building is proposed to connect to the new parking lot extension for the restaurant and for the proposed multi-family buildings.

The proposed 12 multiple family units in two buildings (six per structure) do meet the minimum density requirements of six units per parcel. In addition, the proposed 2,900 square foot restaurant is a permitted use within the C-S/P zoning district.

Development Standards

Site Development Table – Restaurant

C-S/P	Allowed/Required	Proposed
Height	35 feet	12 feet
Setback (front)	10 feet	61+ feet
Setback (rear and side yards)	none	10 feet (west) and 28 feet (east) 107 feet (rear)

Site Development Table – MFR in C-S/P

C-S/P	Allowed/Required	Proposed
Height	35 feet	19.2 feet
Setback (front)	10 feet	125 feet
Setback (rear and side yards)	none	10 feet (west) and 40 feet (east) 19 feet (rear)

Site Development Table – MFR in MFR-20

MFR-20	Allowed/Required	Proposed
Height	35 feet	19.2 feet
Setback (front)	10 feet	110 feet
Setback (rear and side yards)	6.5 feet	10 feet (east) and 40 feet (west) 19 feet (rear)

As shown in the Site Development Tables above, it can be found that the proposed buildings identified on the submitted site plan, meet the bulk standards for the C-S/P and MFR-20 zoning districts as found in Article V of the Medford Land Development Code.

Parking

A total of 53 standard vehicle spaces will be provided as part of this horizontal mixed-use development. Per the MLDC Table 10.743-1, at a minimum, a total of 62 vehicular parking spaces will be required. Included in this number are 18 spaces that are required per current code for the existing dentist office.

MLDC 10.744 allows the off-street requirements of two or more uses, structures, or parcels of land to be satisfied by the same parking spaces used jointly to the extent that it can be shown that the parking needs for the uses do not overlap. In their findings, the applicant explained that the proposal is nine spaces shy of the minimum, but, via a shared parking agreement, the development will provide sufficient parking.

Per the applicant, the proposed parking arrangement allows for the maximum use of the property while still providing adequate parking for all uses. Through the shared parking arrangement, the applicant contends that the provided number of parking stalls will be sufficient to serve the three uses as each of the three uses will have different peak parking demands, as shown below:

	Restaurant	Dental Office	Residence
Morning		X	X
Afternoon	X	X	
Evening	X		X
Weekend	X		X

The restaurant will serve only lunch and dinner and will have peak parking demand in the afternoons, evenings and weekend. The dental office will be open only during weekday mornings and afternoons. Residential uses will have lower parking demands during the late morning and afternoon as more people are away from their homes during these times.

Parking Table (MLDC 10.743-751)

Residential Use	Required	Shown
Vehicle Spaces	1.5 per dwelling unit 18 spaces total	57 total
Bicycle Spaces	12	12

Restaurant Use (2,904 sq. ft.)	Required	Shown
Vehicle Spaces	9 spaces per 1,000 sq. ft. 26.1 spaces total	57 total
Bicycle Spaces	5	5

Dental Office Use (3,490 square feet plus two doctors)	Required	Shown
Vehicle Spaces	4.5 spaces per 1,000 square feet plus one space per doctor 17.7 (18) spaces total	57 total
Bicycle Spaces	5	5

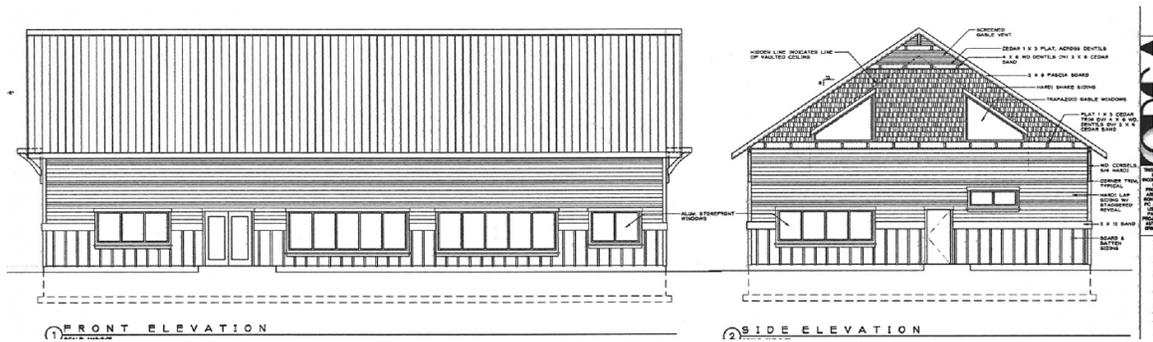
The submitted site plan shows a total of 53 standard parking stalls, not meeting the minimum required of 62 as per MLDC 10.743(1). Also included on the site plan are four two-wheeled parking spaces and three ADA spaces. Per MLDC 10.743(5), 5% of the required parking can be two-wheeled parking which reduces the overall standard vehicle parking stall deficit to five spaces. As mentioned above, the applicant is requesting the Commission to approve findings regarding a shared parking arrangement stating that the proposed amount of parking stalls can satisfy all three uses.

Bicycle parking is required at a rate of one space per dwelling unit and 10% of the required parking for the restaurant and dentist use. The site plan shows the location of five bike parking spaces near the front entrance of the restaurant and one lockable exterior storage room per dwelling unit.

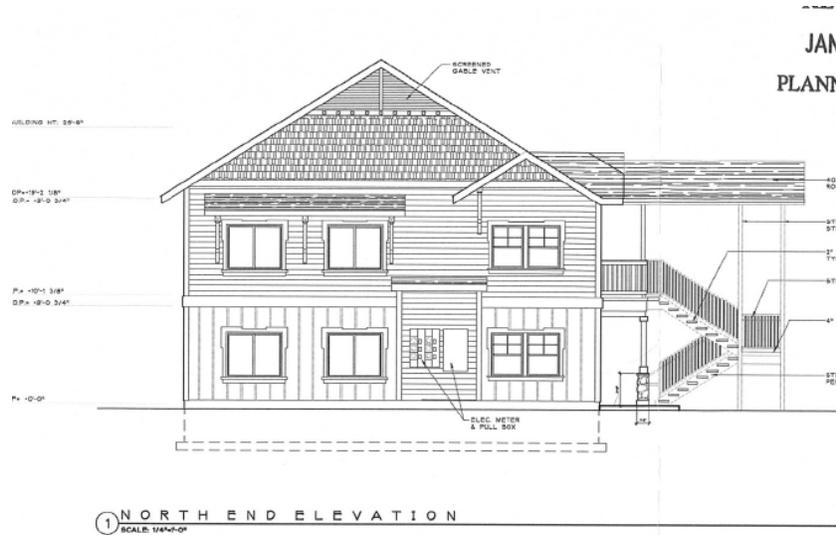
Block Length and Perimeter Length Standards

The subject property is located along E Barnett Road between Ellendale Drive to the west and Crestbrook Road to the east; Lazy Creek runs along the northerly property boundary. Both the block length (1,245 feet) and perimeter length (3,635 feet) standards exceed the maximum of 660 feet and 2,100 feet, respectively per MLDC 10.426(C)(1). However, per MLDC 10.426(C)(2), the approving authority can find that exceeding the maximum standards are acceptable when certain constraints exist. In this case, environmental constraints (Lazy Creek) prevent an additional route from Barnett Road to Crestbrook Road to the north. The same is true for a required public access way, in conformance with MLDC 10.464. MLDC 10.464(1)(c) & (d) allow relief from the requirement for a public accessway when the accessway would cross a natural area and would cross a flood hazard area, as is the case here. Therefore, an accessway will not have to be provided as part of this project.

Architecture



1 - Proposed New Restaurant

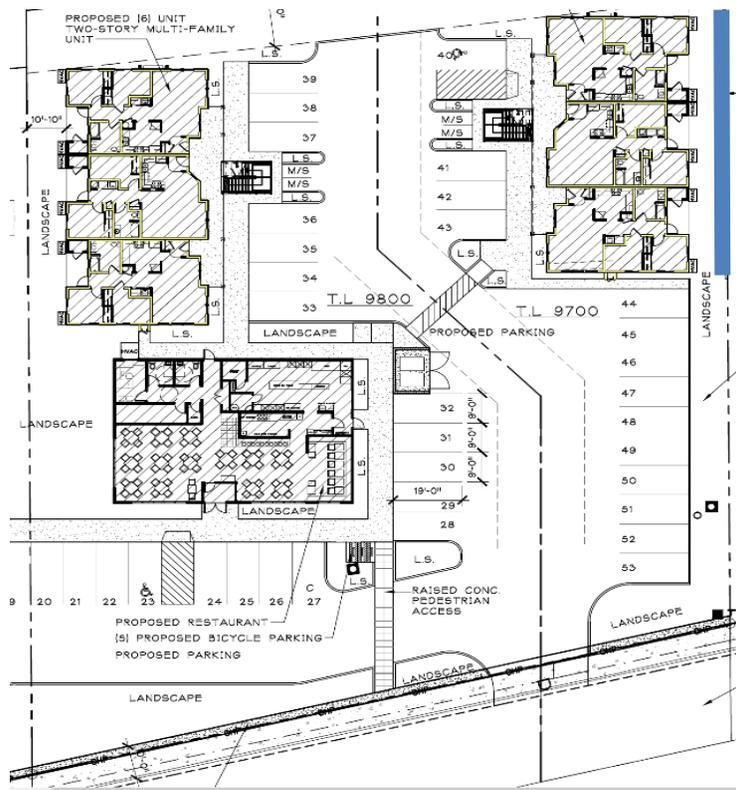


2 - Proposed New Multi-Family Structure

The applicant's findings state that the proposed restaurant will be a single-story structure with an 8:12 pitched roof and will look similar to the dental office existing on TL 9900. The building will have windows on the street facing and parking lot facing sides and the materials are varied vertically to add dimension and visual interest. The materials on the exterior of the building will include vertical board and batten siding, aluminum storefront windows, horizontal Hardi lap siding with staggered reveal, cedar trim and Hardi shake siding.

Colors will change across materials and will include Mountain Sage horizontal lap siding, Harris Cream shake siding, Timber Bark board and batten siding, Cobble Stone building, door and window trim, and Charcoal roof materials.

Multi-Family Development Standards



MLDC 10.717 through 10.719 establish a series of clear and objective standards for multiple-family dwellings. The proposed multi-family development does meet most of the standards as demonstrated in the applicant's findings. However, an Exception is required for the Vehicular Circulation and Parking section. MLDC10.717(F)(1) states that no parking shall be located within any required front yard area, and no automobile circulation or parking areas shall be located between the buildings and the street.

As can be seen on the site plan, driveways and a total of 21 parking spaces are located between the public right-of-way and the two residential dwellings.

Per the applicant, the multiple-family Special Development Standards regarding parking do not appear to contemplate mixed-use development occurring on commercial properties as it is generally appropriate to locate the commercial portion of a mixed-use development near the street (...). This orientation provides the benefit of better street exposure for the commercial development while also providing separation between the residential development and the street. (...) The required cross-access on these properties necessitates the location of at least some vehicular circulation between the street and any buildings that can be located on the property. (...) All of these, individually, are unique and unusual circumstances that apply to this site.

Bufferyard

A 6-foot masonry wall plus a 10-foot landscape buffer will be provided, as required along the north portion of the east property line of TL 9700 (see above) to buffer the proposed multi-family use from the existing single-family residential use.

The Commission may find that the project does abut existing development where the adjacent uses are the same and compatible for the east boundary wall. Therefore, no buffer is required along this part of the property (MLDC 10.790(E)(6)(c). Additionally, a bufferyard along the north and northwest boundary would conflict with Lazy Creek and the riparian/flood zone. Consequently no buffer will be required along those property lines. (MLDC10.790[E][6][d])

Landscaping

The applicant’s submitted landscape plan (Exhibit F) shows landscaping along the site’s frontage with E Barnett Road, meeting the minimum required number of trees and shrubs as per MLDC 10.797.

Frontage Landscaping (MLDC 10.797)

Table Rock Road	Required	Shown
Trees	7	7
Shrubs	44	44+

Riparian Area



As can be seen on this aerial image, Lazy Creek runs along the north boundary of the subject properties and the riparian corridor extends into the development area. Usually, the riparian corridor extends 50 feet from the top of bank and development is restricted within this area. However, MLDC 10.927 does allow for the reduction of the riparian corridor to 25 feet from the top of bank when it is determined that equal or better protection of the riparian area will be ensured through a plan for restoration, enhancement, or

similar measures. The applicant did contact the Oregon Department of Fish & Wildlife with a plan for restoration and enhancement of the riparian corridor. ODFW recommended the plans submitted be approved (Exhibit Q). Per MLDC 10.927, the Planning Director has the authority to reduce the riparian corridor boundary provisions after ODFW commented on the plans.

Committee Comments

No comments were received from committees such as BPAC.

No other issues were identified by staff.

FINDINGS OF FACT

1) The Site Plan and Architectural Commission, SPAC – Type III Review, shall approve a site plan and architectural review application for a commercial or industrial development, if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

(a) The proposed development is compatible with uses and development that exist on adjacent land, and

The Commission can find that there is sufficient evidence contained in the applicant's findings and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

(b) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in Section 10.186.

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A and approval of the associated Exception application. This criterion is satisfied.

(2) The approving authority shall approve a site plan and architectural review application for a residential development if the proposed development complies with the applicable provisions of all city ordinances, or if the Site Plan and Architectural Commission has approved either of the following:

(a) Any Exceptions, as provided for in MLDC Section 10.186, which resolve(s) any instances of non-compliance with those provisions.

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A and approval of the associated Exception application. This criterion is satisfied.

(b) Any Adjustments or Exceptions from the Special Development Standards for Multiple-Family Dwellings, as provided for in MLDC Section 10.715A through 10.717.

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A and approval of the associated Exception application. This criterion is satisfied.

(c) Any Adjustments or Exceptions from the Development Standards for a Cottage Cluster Development, as provided for in MLDC Section 10.818A.

Not applicable.

Medford Municipal Code §10.186(B) – Criteria for Exception

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority having jurisdiction over the land use review unless it finds that all of the Chapter 10 Article II following criteria and standards are satisfied. The power to authorize an exception from the terms of this code shall be sparingly exercised. Findings must indicate that:

(1) The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The approving authority shall have the authority to impose conditions to assure that this criterion is met.

(2) The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.

(3) There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner.

(4) The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.

Staff finds that the approval of the exception request is in harmony with the general purpose and intent of the C-S/P and MFR-20 zoning district, and will not be injurious

to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources; will not permit the establishment of a use which is not permitted in the C-S/P zoning district; the Multi-Family Special Development Standards regarding parking do not contemplate mixed-use development occurring on commercial properties, the shape of Taxlot 9700, and the required cross-access across the front of TL9800 are unique or unusual circumstances which apply to this site which does not apply elsewhere in the City; and the need for the exception is not the result of an illegal act.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit I) and recommends the Commission adopt the findings as recommended by staff.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare the final order for approval of AC-20-010 and E-20-011 per the staff report dated April 8, 2020, including:

- Exhibits A through U
- Approval of the applicant's request for an Exception in order to place vehicular parking and circulation areas between the street and the multiple family structures
- Approval of the applicant's request for partial relief from MLDC 10.790 bufferyard requirements
- Approval of the applicant's request to relief from meeting the minimum number of parking spaces via a shared parking arrangement
- Approval of a 25-foot riparian corridor reduction.
- Approval to the relief for Block Length and Perimeter Length standards and Public Accessway standards

EXHIBITS

- A Conditions of Approval, drafted April 8, 2020.
- B Revised Site Plan, received April 7, 2020.
- C Drainage & Utilities Plan, received January 14, 2020
- D Roof Plans, received January 14, 2020
- E Floor Plans, received January 14, 2020
- F Landscape Plans, received January 14, 2020
- G Elevations, received January 14, 2020
- H Detail Plans, received January 14, 2020

- I Revised Findings, received March 25, 2020
- J Code Compliance, received January 14, 2020
- K Site Images, received January 14, 2020
- L Revised Public Works Report, received March 11, 2020
- M Fire Department Report, received February 18, 2020
- N Medford Water Commission Report, dated February 26, 2020
- O City Surveyor Memo, received February 19, 2020
- P Avista email, received February 21, 2020
- Q ODFW Letter re: Riparian reduction, received January 14, 2020
- R Legal Descriptions, received January 14, 2020
- S Property Line Adjustment Deed, received January 14, 2020
- T Aerial Images, received January 14, 2020
- U Density Calculations, dated February 25, 2020
Vicinity map

SPAC AGENDA

APRIL 17, 2020

EXHIBIT A

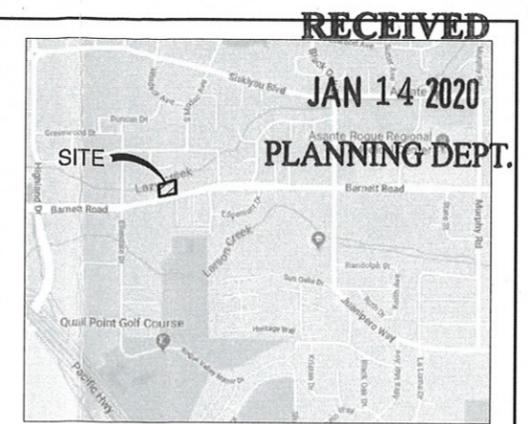
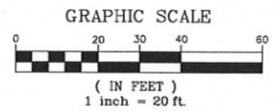
Hong (Kevin) Wu
AC-20-010 & E-20-011
Conditions of Approval
April 8, 2020

CODE REQUIRED CONDITIONS

Prior to the issuance of a building permit for vertical construction, the applicant shall:

1. Comply with all conditions stipulated by the Public Works Department (Exhibit L).
2. Comply with all conditions stipulated by the Medford Water Commission (Exhibit N).
3. Comply with all requirements of the Medford Fire Department (Exhibit M).
4. Comply with all conditions stipulated by the Oregon Department of Fish & Wildlife (Exhibit Q).

PRELIMINARY GRADING DRAINAGE & UTILITY PLAN WU PROPERTY MIXED USE PROJECT CITY OF MEDFORD, OREGON NOVEMBER 2019

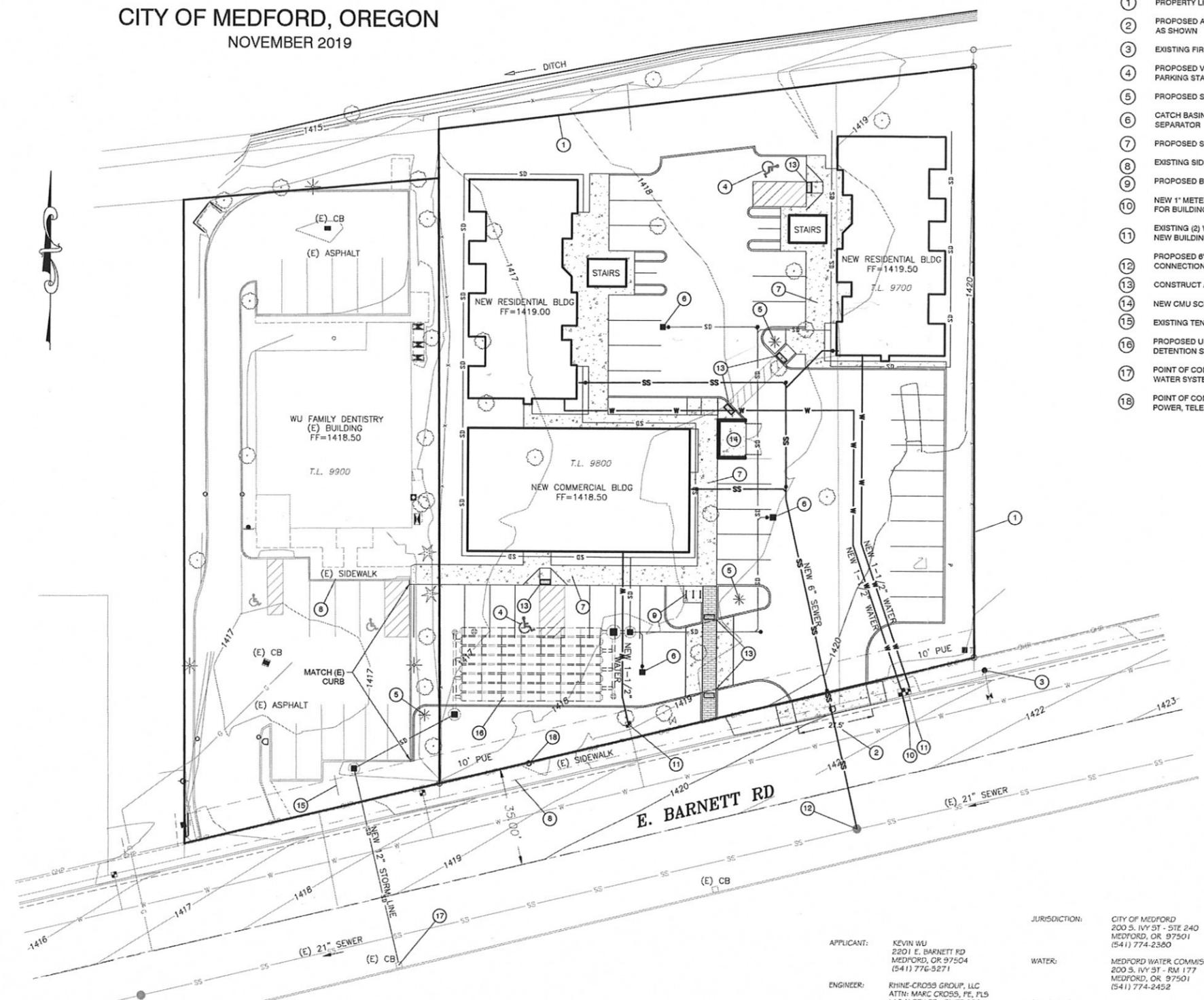


VICINITY MAP
No Scale

SITE DATA & CALCULATIONS

TOTAL SITE AREA:	42,776 sq.ft.
TOTAL BUILDING FOOTPRINT:	9,240 sq.ft.
% BUILDING COVERAGE:	21.6%
TOTAL PAVED AREA:	17,385 sq.ft.
% PAVED COVERAGE:	40.7%
ONSITE SIDEWALK AREA:	3,545 sq.ft.
ONSITE SIDEWALK COVERAGE:	8.3%
LANDSCAPE/OPEN AREA:	12,595 sq.ft.
LANDSCAPE/OPEN COVERAGE:	29.4%

- SITEPLAN NOTES:**
- PROPERTY LINE
 - PROPOSED ACCESS DRIVEWAY, WIDTH AS SHOWN
 - EXISTING FIRE HYDRANT, TO REMAIN
 - PROPOSED VAN ACCESSIBLE ADA PARKING STALLS (2 TOTAL)
 - PROPOSED SITE LIGHTING
 - CATCH BASIN WITH OIL/WATER SEPARATOR
 - PROPOSED SIDEWALK
 - EXISTING SIDEWALK TO REMAIN
 - PROPOSED BICYCLE PARKING AREA
 - NEW 1" METER AND BACKFLOW DEVICE FOR BUILDING SERVICE
 - EXISTING (2) WATER METERS TO SERVICE NEW BUILDINGS
 - PROPOSED 6" SANITARY SEWER LATERAL CONNECTION TO EXISTING SEWER MAIN
 - CONSTRUCT ADA RAMP
 - NEW CMU SCREENED TRASH ENCLOSURE
 - EXISTING TENANT SIGN
 - PROPOSED UNDERGROUND STORMTECH DETENTION SYSTEM
 - POINT OF CONNECTION TO CITY STORM WATER SYSTEM
 - POINT OF CONNECTION TO UNDERGROUND POWER, TELEPHONE, CABLE TV, AND GAS



LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
DECIDUOUS TREE	(Symbol)	(Symbol)	STORM SEWER CLEANOUT	(Symbol)	(Symbol)
CONIFEROUS TREE	(Symbol)	(Symbol)	STORM SEWER CATCH BASIN	(Symbol)	(Symbol)
FIRE HYDRANT	(Symbol)	(Symbol)	STORM SEWER MANHOLE	(Symbol)	(Symbol)
WATER BLOW-OFF	(Symbol)	(Symbol)	GAS METER	(Symbol)	(Symbol)
WATER METER	(Symbol)	(Symbol)	GAS VALVE	(Symbol)	(Symbol)
WATER VALVE	(Symbol)	(Symbol)	GUY WIRE ANCHOR	(Symbol)	(Symbol)
DOUBLE CHECK VALVE	(Symbol)	(Symbol)	POWER POLE	(Symbol)	(Symbol)
AIR RELEASE VALVE	(Symbol)	(Symbol)	POWER VAULT	(Symbol)	(Symbol)
SANITARY SEWER CLEANOUT	(Symbol)	(Symbol)	POWER JUNCTION BOX	(Symbol)	(Symbol)
SANITARY SEWER MANHOLE	(Symbol)	(Symbol)	POWER RISER	(Symbol)	(Symbol)
SIGN	(Symbol)	(Symbol)	TELEPHONE/TELEVISION POLE	(Symbol)	(Symbol)
STREET LIGHT	(Symbol)	(Symbol)	TELEPHONE/TELEVISION VAULT	(Symbol)	(Symbol)
MALBOX	(Symbol)	(Symbol)	TELEPHONE/TELEVISION JUNCTION BOX	(Symbol)	(Symbol)
PUBLIC ACCESS CURB RAMP	(Symbol)	(Symbol)	TELEPHONE/TELEVISION RISER	(Symbol)	(Symbol)
			CENTERLINE SURVEY MONUMENT	(Symbol)	(Symbol)

	EXISTING	PROPOSED
RIGHT-OF-WAY	(Symbol)	(Symbol)
BOUNDARY LINE	(Symbol)	(Symbol)
PROPERTY LINE	(Symbol)	(Symbol)
CENTERLINE	(Symbol)	(Symbol)
DITCH	(Symbol)	(Symbol)
CURB	(Symbol)	(Symbol)
EDGE OF PAVEMENT (E.O.P.)	(Symbol)	(Symbol)
EASEMENT	(Symbol)	(Symbol)
FENCE LINE	(Symbol)	(Symbol)
GRAVEL EDGE	(Symbol)	(Symbol)
POWER LINE	(Symbol)	(Symbol)
OVERHEAD WIRE	(Symbol)	(Symbol)
TELEPHONE LINE	(Symbol)	(Symbol)
TELEVISION LINE	(Symbol)	(Symbol)
GAS LINE	(Symbol)	(Symbol)
STORM SEWER LINE	(Symbol)	(Symbol)
SANITARY SEWER LINE	(Symbol)	(Symbol)
WATER LINE	(Symbol)	(Symbol)
IRRIGATION LINE	(Symbol)	(Symbol)

JURISDICTION: CITY OF MEDFORD
200 S. IVY ST - STE 240
MEDFORD, OR 97501
(541) 774-2360

WATER: MEDFORD WATER COMMISSION
200 S. IVY ST - RM 177
MEDFORD, OR 97501
(541) 774-2452

SANITARY SEWER: CITY OF MEDFORD
200 S. IVY ST
MEDFORD, OR 97501
(541) 774-2140

STORM SEWER: CITY OF MEDFORD
200 S. IVY ST
MEDFORD, OR 97501
(541) 774-2140

APPLICANT: KEVIN WU
2201 E. BARNETT RD
MEDFORD, OR 97504
(541) 776-5271

ENGINEER: RHINE-CROSS GROUP, LLC
ATTN: MARC CROSS, PE, PLS
112 N 5TH ST - SUITE 200
KLAMATH FALLS, OR 97601
(541) 851-9405

MAP & TAX LOT NUMBER: 37.1 W-29C
T.L. 9700 & 9800

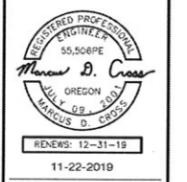
ZONING: MFR-20 - MULTI-FAMILY RESIDENTIAL
C-3P - SERVICE COMMERCIAL & PROFESSIONAL OFFICE

DRAINAGE NOTE:
ALL RUNOFF FROM DEVELOPED AREAS WILL BE ROUTED TO AN ONSITE STORM-WATER FACILITY VIA CATCH BASINS AND UNDERGROUND STORM PIPING. THE STORM-WATER FACILITY WILL CONSIST OF A STORMTECH UNDERGROUND TREATMENT & DETENTION SYSTEM. THE FACILITY WILL BE SIZED SO THAT THE DEVELOPED RUN-OFF WILL NOT EXCEED THE PRE-DEVELOPED RUN-OFF PER CITY OF MEDFORD REQUIREMENTS. AFTER TREATMENT AND DETENTION, THE STORMWATER RUN-OFF WILL BE DISCHARGED TO THE EXISTING STORM SYSTEM LOCATED IN E. BARNETT RD.



KEVIN WU
2201 E. BARNETT RD
MEDFORD, OR 97504
(541) 776-5271

RHINE-CROSS GROUP, LLC
ENGINEERING - SURVEYING - PLANNING
112 N 5th St - Suite 200 - P.O. BOX 909
KLAMATH FALLS, OREGON 97601
Phone: (541) 851-9405 Fax: (541) 273-9200
admin@rc-grp.com



WU PROPERTY MIXED USE PROJECT
MEDFORD OREGON

SHEET NAME:
PRELIMINARY DRAINAGE & UTILITY PLAN

DRAWN BY: JDC
CHKD BY: MDC
DATE: NOVEMBER 2019

REVISIONS:

JOB NO. 1706
SHEET NO. 1 of 1

CITY OF MEDFORD
EXHIBIT #
FILE # AC-20-010/E-20-011

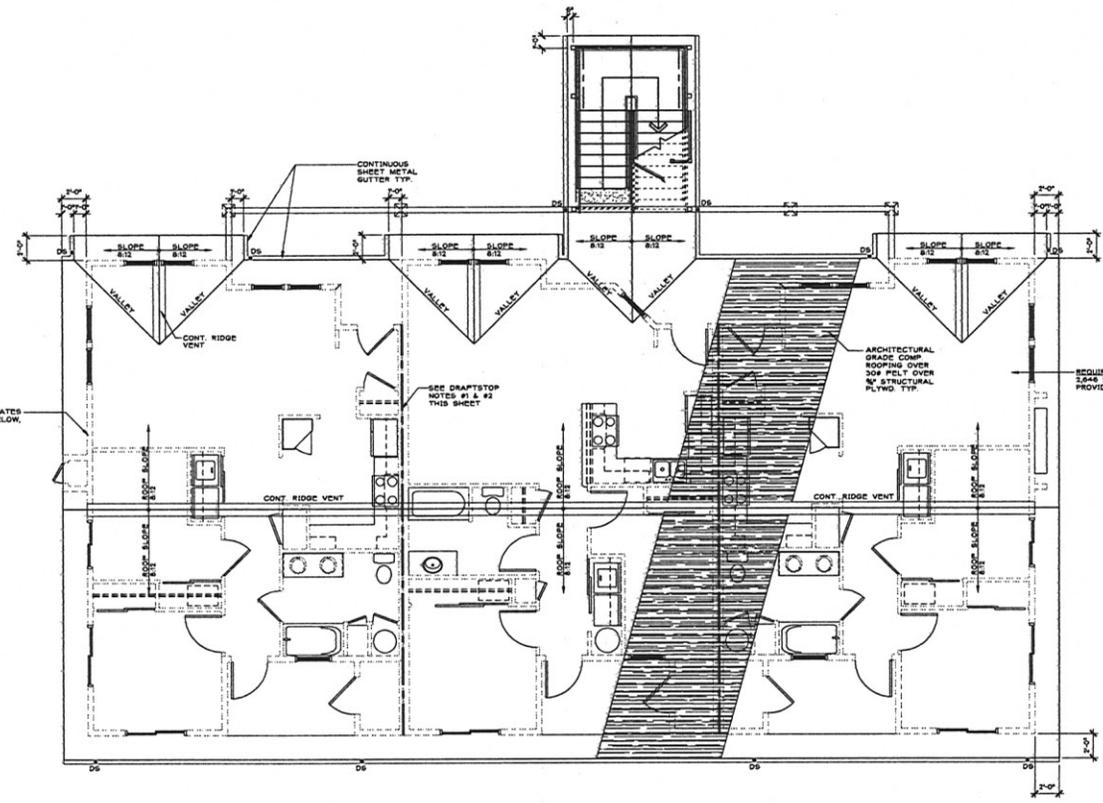


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PROJECT NAME
A NEW RESTAURANT & APARTMENT FOR:
KEVIN WU
E. BARNETT ROAD
MEDFORD, OR. 97504

REVISIONS	BY

FILE: 19F-A21 FILE PLAN
DATE: 11-22-19
SCALE: AS SHOWN
DRAWN: DLE
JOB #: 1811
SHEET **A9.1**
OF 7



1 ROOF PLAN
SCALE: 1/4"=1'-0"

NOTE CONTRACTOR TO VERIFY ALL VENTS THEIR ROOF LOCATION AND INSTALL PER DETAIL V/A-



DRAFTSTOP NOTE #1
NOISE DRAFTSTOPS TO BE PROVIDED INTO AREAS NOT EXCEEDING 3000 SQUARE FEET OR BETWEEN EVERY TWO DWELLING UNITS, WHICHEVER IS SMALLER. DRAFTSTOPPING NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN NFPA 13 SPRINKLER SYSTEM. INSTALL 1/2" FIRE TARE SIP TYPE "X" GWS OVER BOTH SIDES OF ROOF TRUSS W/ 3/4"X20" SCLP CLOSING DOORS W/ AUTOMATIC LATCHES PER 204 Q.S.C. SECTION 718.4.1.1 ENCLPTION N.

DRAFTSTOP NOTE #2
CENTER TRUSS OV PARTY WALL. PROVIDE 1/2"X 2" GWS OV BOTH SIDES OF TRUSS, FROM BOTTOM CHORD TO UNDERSIDE OF ROOF SHEATHING. TYPICAL @ PARTY WALLS.

RECEIVED
JAN 14 2020
PLANNING DEPT.

FILE # # AC-20-010/E-20
CITY OF MEDFORD
EXHIBIT #



22



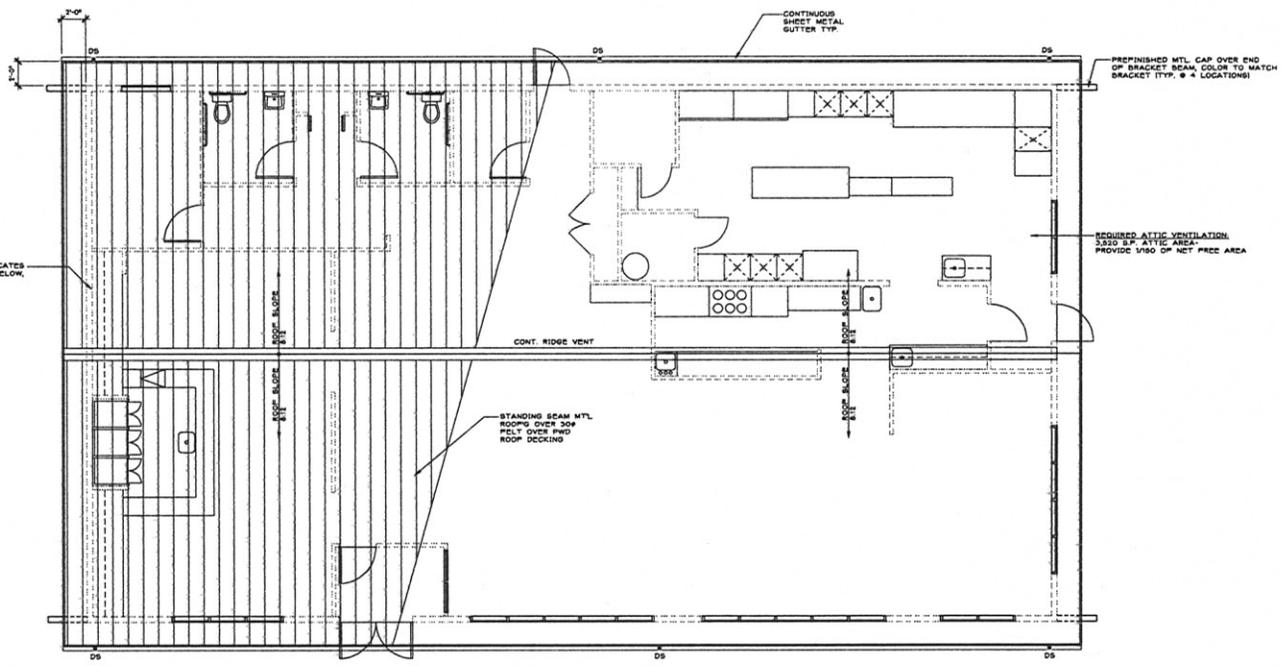
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PROJECT NAME
 A NEW RESTAURANT & APARTMENT FOR:
 KEVIN WU
 E. BARNETT ROAD
 MEDFORD, OR. 97504

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REVISIONS	BY

FILE: 19-031 FLR PLN
 DATE: 11-22-19
 SCALE: AS SHWN
 DRAWN: DLE
 JOB # 1811
 SHEET **A9.2**
 OF 7

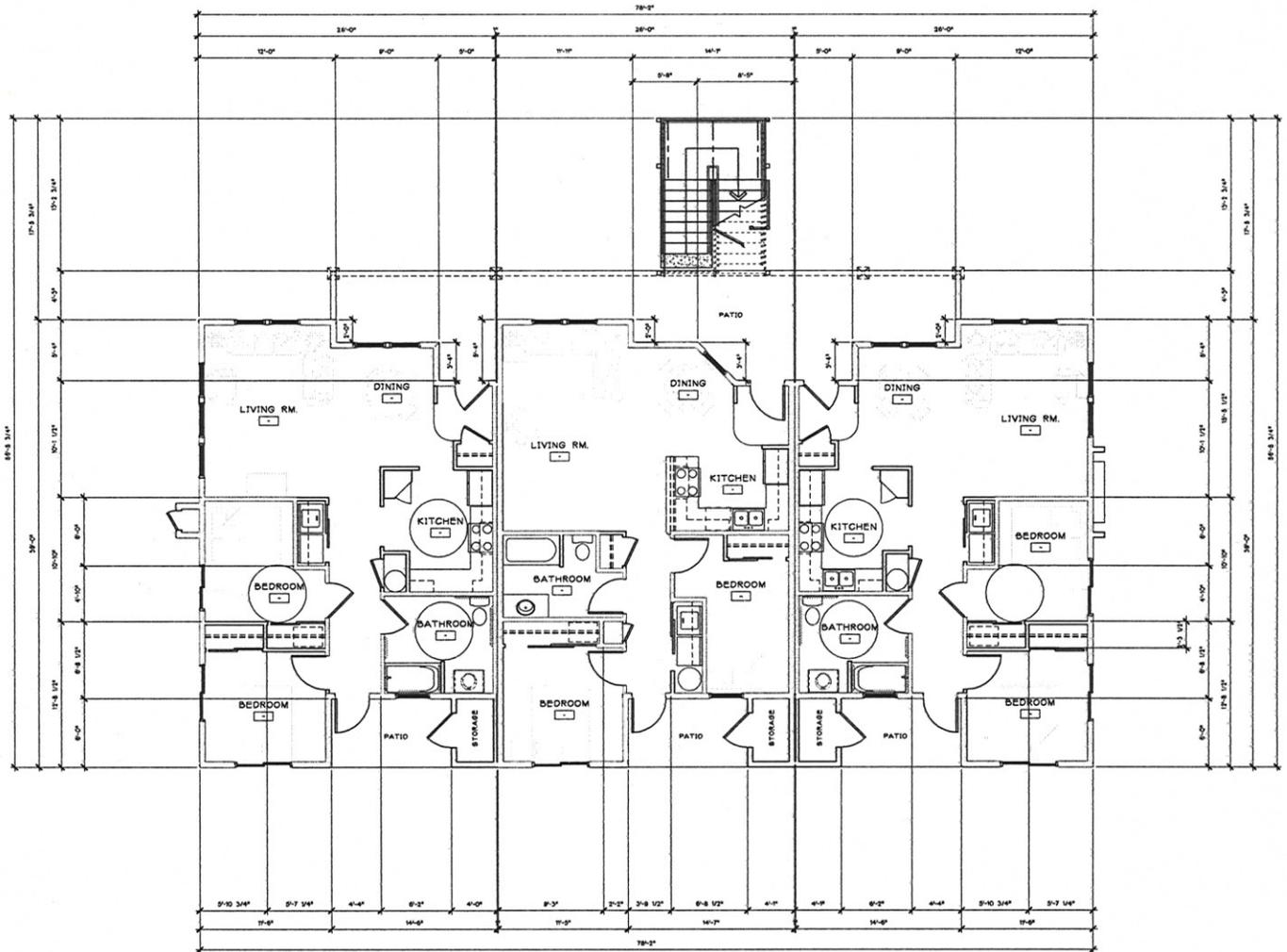


1 ROOF PLAN
 SCALE 1/8"=1'-0"

CITY OF MEDFORD
 EXHIBIT #
 FILE # # AC-20-010/E-20-011

23

CITY OF MEDFORD
 EXHIBIT #
 FILE ## AC-20-010/E-20-011



1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

3,646 SQ. FT.

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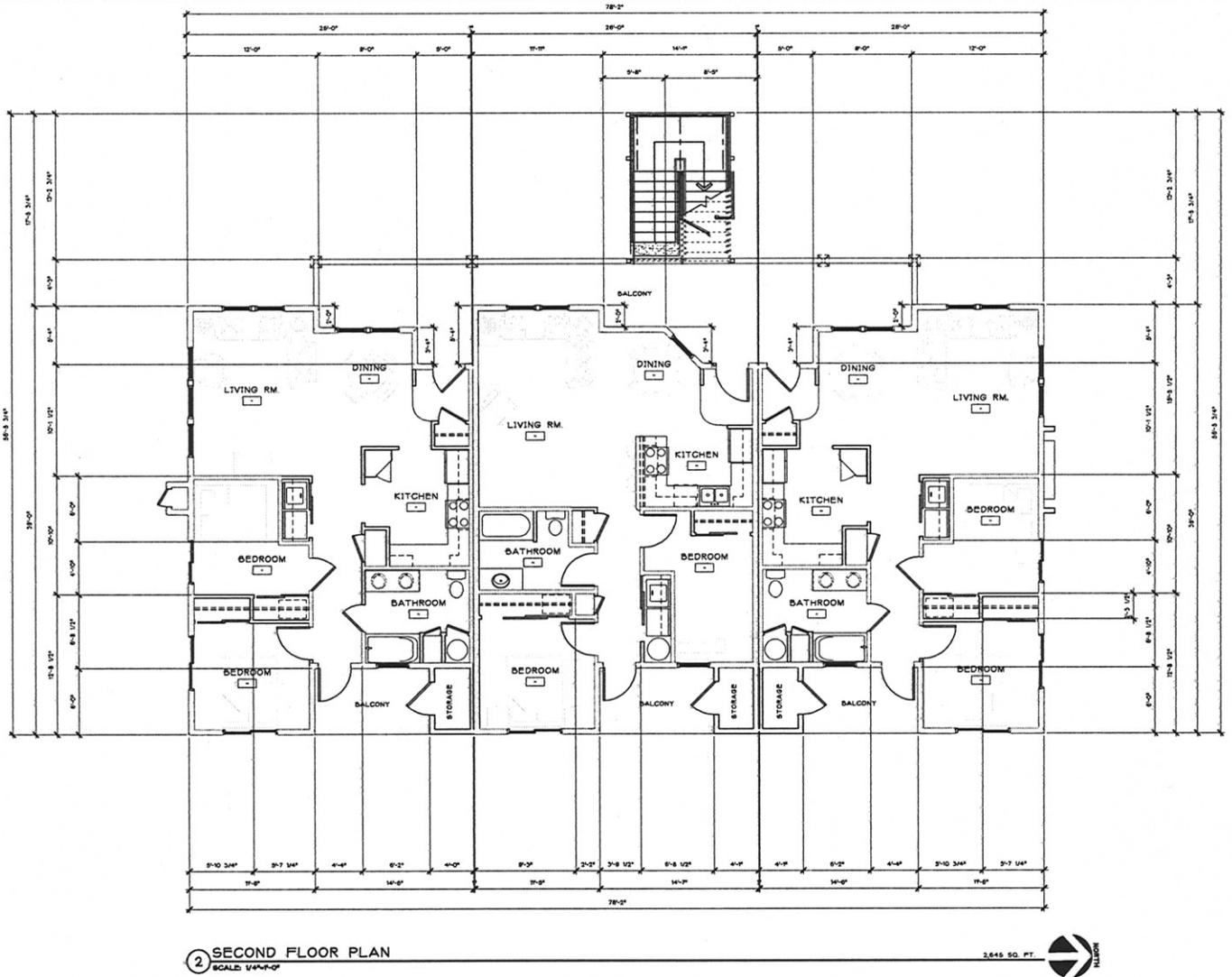
PROJECT NAME
 A NEW RESTAURANT & APARTMENT FOR:
 KEVIN WU
 E. BARNETT ROAD
 MEDFORD, OR. 97504

REVISIONS	BY

FILE: 19-041 PLR PLN
 DATE: 11-22-19
 SCALE: AS SHWN
 DRAWN: DLE
 JOB #: 1811
 SHEET A2.1
 OF 9

16

CITY OF MEDFORD
 EXHIBIT #
 FILE # AC-20-010/E-20-011



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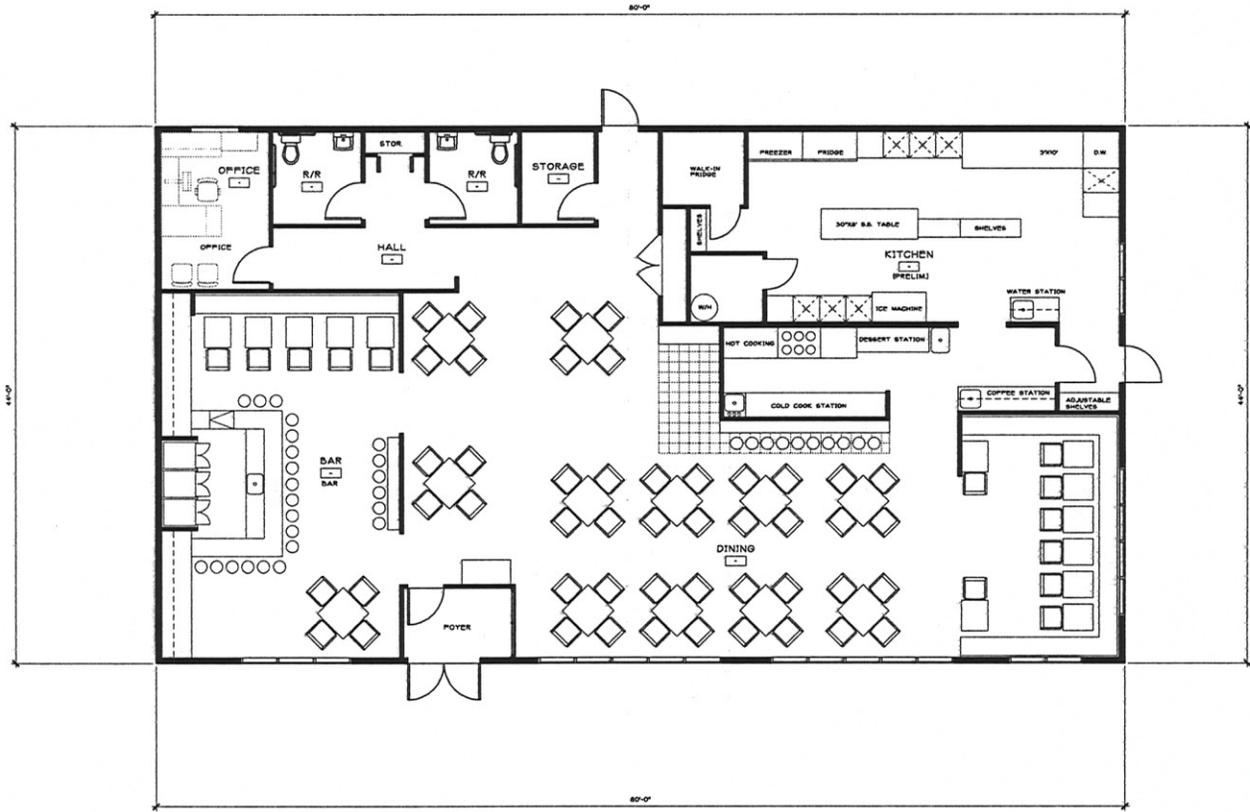
PROJECT NAME
 A NEW RESTAURANT & APARTMENT FOR:
 KEVIN WU
 E. BARNETT ROAD
 MEDFORD, OR. 97504

REVISIONS	BY

FILE: 19-031 FLR PLN
 DATE: 11-22-19
 SCALE: AS SHOWN
 DRAWN: DLE
 JOB # 1811
 SHEET A2.2
 OF 9

RECEIVED
 JAN 14 2020
 PLANNING DEPT.

17



1 PRELIM. RESTAURANT FLOOR PLAN
SCALE: 1/4"=1'-0"



PLANNING DEPT.

JAN 14 2020

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REVISIONS	BY

FILE: 19-421 FLR PLN
DATE: 11-22-19
SCALE: AS SHWN
DRAWN: DLE
JOB # 1811
SHEET A2.3
OF 7

PROJECT NAME
A NEW RESTAURANT & APARTMENT FOR:
KEVIN WU
E. BARNETT ROAD
MEDFORD, OR. 97504

ORGA
ORGANIZATION OF REGISTERED ARCHITECTS
1000 CENTRAL AVENUE, SUITE 100
MEDFORD, OREGON 97504
TEL: 531-775-2800
FAX: 531-775-2800

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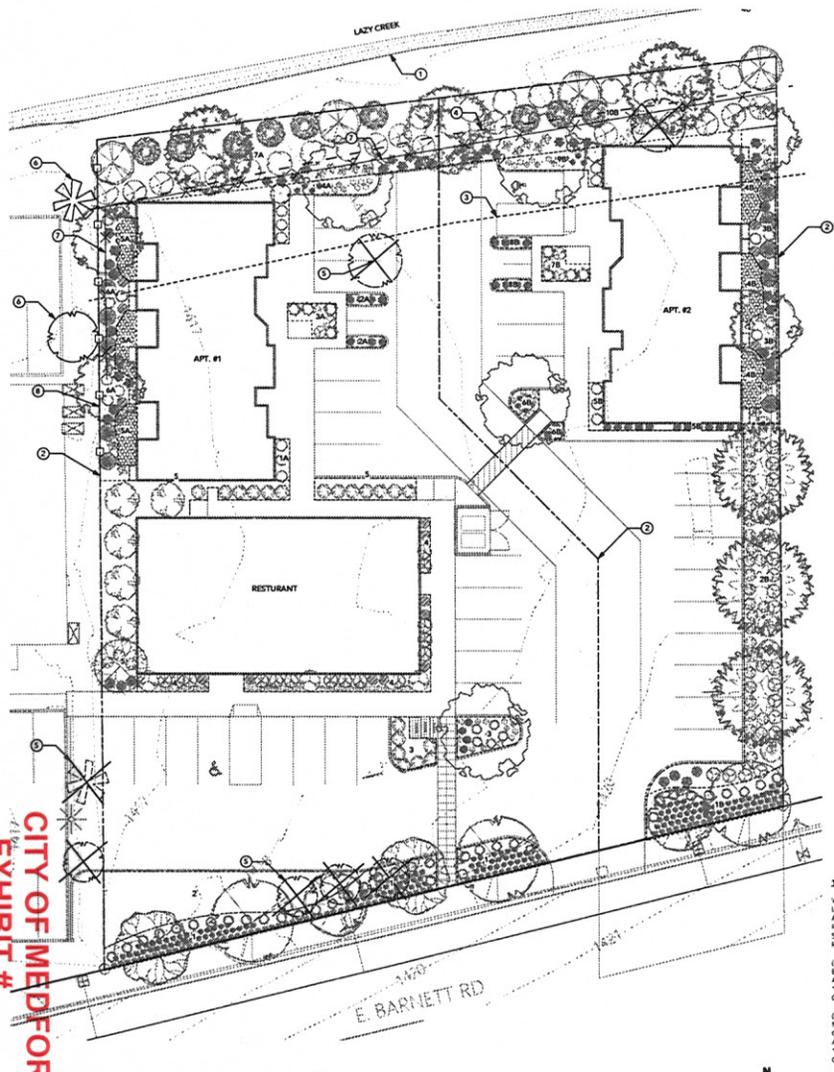
CITY OF MEDFORD
EXHIBIT # _____
FILE ## AC-20-010/E-20-011

Wu Mixed Use Development

2217 & 2301 E Barnett Rd., Medford, OR 97530



**Wu Mixed Use
Development**



Landscape Areas - Restaurant Bldg.				
Hydrant	Plant Factor	Irrigation Method	Area (sq ft)	% of Landscape Area
1	0.2 Dp		648	25.45
2	0.6 Autostir		897	24.09
3	0.4 Dp		299	8.65
4	0.4 Dp		478	12.56
5	0.45 Dp		1,031	29.25
Total Area			3,462	

Landscape Areas - Apartment Bldg. #1				
Hydrant	Plant Factor	Irrigation Method	Area (sq ft)	% of Landscape Area
1A	0.4 Dp		49	1.43
2A	0.4 Dp		46	1.37
3A	0.4 Dp		55	1.63
4A	0.4 Dp		180	5.39
5A	0.45 Dp		283	9.35
6A	0.4 Dp		498	14.82
7A	0.4 Dp		1,805	53.25
Total Area			3,016	

Landscape Areas - Apartment Bldg. #2				
Hydrant	Plant Factor	Irrigation Method	Area (sq ft)	% of Landscape Area
1B	0.4 Dp		44	1.28
2B	0.4 Dp		1,108	30.83
3B	0.4 Dp		478	13.28
4B	0.4 Dp		278	7.69
5B	0.4 Dp		133	3.69
6B	0.4 Dp		133	3.69
7B	0.4 Dp		109	3.02
8B	0.4 Dp		46	1.28
9B	0.4 Dp		146	4.08
10B	0.4 Temporary		1,842	51.52
Total Area			4,789	

LANDSCAPE AREAS & PROTECTION PLAN:

- ① (E) TOP OF BANK.
- ② (E) PROPERTY LINE.
- ③ (E) 50' RIPARIAN SETBACK.
- ④ PROPOSED 25' RIPARIAN SETBACK.
- ⑤ (E) TREE TO BE REMOVED, TYP.
- ⑥ (E) TREE TO BE PROTECTED, TYP.
- ⑦ TREE AND RIPARIAN PROTECTION FENCING.
- ⑧ 6' CEDAR PRIVACY WALL.

TREE PROTECTION NOTES:

1. INSTALL METAL CONSTRUCTION FENCING OR HIGH VISIBILITY PLASTIC BARRIER FENCING SURROUNDING THE CRITICAL ROOT ZONE PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
2. MAINTAIN ALL TREE PRESERVATION PROTECTIVE FENCING UNTIL COMPLETION OF ALL CONSTRUCTION ACTIVITIES.
3. NONE OF THE FOLLOWING MAY OCCUR WITHIN THE CRITICAL ROOT ZONE:
 - GRADE CHANGES.
 - PILING OF EQUIPMENT, AND
 - STORAGE OF CHEMICALS, FUEL, OR OTHER TOXINS.
4. TO ESTABLISH SUBGRADE FOR FOUNDATIONS, CURBS AND PAVEMENT SECTIONS NEAR THE TREES, SOIL SHOULD BE REMOVED PARALLEL TO THE ROOTS AND NOT AT 90 DEGREE ANGLES TO AVOID BREAKING AND TEARING. ROOTS THAT LEAD BACK TO THE TRUNK WITHIN THE CRITICAL ROOT ZONE:
 - EXPOSED ROOTS OF TREES TO BE PRESERVED SHALL BE COVERED WITH BURLAP, MUXCH OR CARBONCEL AND KEPT DAMP.
 - BURLAP WRAP SHALL BE REMOVED AFTER CONSTRUCTION WORK IS COMPLETED. PRIOR TO FINAL BACKFILL.
5. ROBIN OR TUNNELING FOR UTILITIES INSTALLATION AT A DEPTH OF 30 INCHES OR GREATER IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF A TREE TO BE PRESERVED. ACCESS PITS SHALL BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE.
6. PREPARATIONS FOR FINAL LANDSCAPING SHALL BE ACCOMPLISHED BY HAND WITHIN THE CRITICAL ROOT ZONE OF RETAINED TREES. LARGE EQUIPMENT SHALL BE KEPT OUTSIDE OF THE TREE PROTECTION ZONE AT ALL TIMES.
7. WATER TREES THROUGHOUT THE DURATION OF CONSTRUCTION, AT THE RATE OF ONE INCH OF WATER OVER THE UNDISTURBED CRITICAL ROOT ZONE AREA PER WEEK, OR AS DIRECTED BY THE PROJECT ARBORIST.

10/92B CONSERVATION AND MAINTENANCE OF RIPARIAN CORRIDORS

WHEN APPROVING APPLICATIONS FOR THE FOLLOWING LAND USE ACTIONS: LAND DEVELOPMENT, PLANNED UNIT DEVELOPMENTS, CONDITIONAL USE PERMITS, AND EXCEPTIONS, OR FOR DEVELOPMENT FOR PROPERTIES CONTAINING A RIPARIAN CORRIDOR, OR FOR BOTH THEREOF, THE APPROVING AUTHORITY SHALL ASSURE LONG TERM CONSERVATION AND MAINTENANCE OF THE RIPARIAN CORRIDOR THROUGH ONE OF THE FOLLOWING METHODS:

- (1) THE AREA SHALL BE PROTECTED IN PERPETUITY BY A CONSERVATION EASEMENT RECORDED ON DEEDS AND PLATS PRESCRIBING THE CONDITIONS AND RESTRICTIONS SET FORTH IN SECTIONS 10.920 THROUGH 10.928, "RIPARIAN CORRIDORS," AND ANY IMPOSED BY STATE OR FEDERAL PERMITS, OR.
- (2) THE AREA SHALL BE PROTECTED IN PERPETUITY THROUGH OWNERSHIP AND MAINTENANCE BY A PRIVATE NON-PROFIT ASSOCIATION BY CONDITIONS, COVENANTS, AND RESTRICTIONS (CEPT) PRESCRIBING THE CONDITIONS AND RESTRICTIONS SET FORTH IN SECTIONS 10.920 THROUGH 10.928, "RIPARIAN CORRIDORS," AND ANY IMPOSED BY STATE OR FEDERAL PERMITS, OR.
- (3) THE AREA SHALL BE TRANSFERRED BY DEED TO A WILDLIFE PUBLIC AGENCY OR PRIVATE CONSERVATION ORGANIZATION WITH A RECORDED CONSERVATION EASEMENT PRESCRIBING THE CONDITIONS AND RESTRICTIONS SET FORTH IN SECTIONS 10.920 THROUGH 10.928, "RIPARIAN CORRIDORS," AND ANY IMPOSED BY STATE OR FEDERAL PERMITS, OR, OR THE AREA SHALL BE PROTECTED THROUGH OTHER APPROPRIATE MECHANISMS ACCEPTABLE TO THE CITY OF MEDFORD WHICH ENSURE LONG-TERM PROTECTION AND MAINTENANCE.

MEDFORD TREE REQUIREMENTS:

10.78000R TO TREE REQUIREMENTS:

A. SOIL VOLUME ORGANIC CONTENT:

EACH NEW OR EXISTING TREE SHALL HAVE SUFFICIENT SOIL VOLUME TO ESTABLISH AND MAINTAIN A ROOT SYSTEM THAT WILL SUPPORT THE TREE AT MATURITY. FOR EACH TREE, AT LEAST TWO CUBIC FEET OF SOIL VOLUME IS REQUIRED FOR EACH ONE SQUARE FOOT OF TREE CANOPY AT MATURITY.

1. SOIL VOLUME IS CALCULATED AS THE LANDSCAPING AREA UNDER THE TREE CANOPY, PLUS OR MINUS SURFACE OF PARKING, AND MEASURED AT A DEPTH OF THREE (3) FEET.
2. SURFACE AREAS WITHIN THE LANDSCAPING AREA, INCLUDING PLANTERS, IN USE OF THE SOIL VOLUME PROVISIONS ABOVE, SHALL BE SUBSTITUTED FOR THE SOIL VOLUME PROVIDED UNDER IMPERVIOUS SURFACES TO MEET THE REQUIRED SOIL VOLUME CALCULATION.

B. ROOT BARRIER:

COMMERCIALLY ENGINEERED ROOT BARRIERS SHALL BE INSTALLED FOR ALL NEW PLANTINGS WITHIN THREE FEET OF ANY FUTURE RIGHT-OF-WAY IMPERVIOUS SURFACE, AND SHALL CONSIST OF SIX (6) INCH FEET OF RAIN-BARRIER PLACING PARALLEL TO THE IMPERVIOUS SURFACE, CENTERED ON THE TREE.

C. EXISTING TREES TO BE PRESERVED SHALL BE FULLY SECURED BY FENCING AT THE CANOPY EDGE FOR THE PURPOSE OF PROTECTING THE TREE FROM DISTURBANCE AND SOIL COMPACTION DURING CONSTRUCTION.

SHEET INDEX:

- L10 COVER SHEET
- L11 PLANTING PLAN WITH PHOTO CALLOUTS
- L12 LANDSCAPE LIGHTING PLAN
- L20 LANDSCAPE PLANTING DETAILS

APPLICABLE CODES:

- CITY OF MEDFORD LAND DEVELOPMENT ORDINANCE
- STREET FRONTAGE LANDSCAPING REQUIREMENTS - SECTION 10.777
- PARKING AREA PLANTER LANDSCAPING REQUIREMENTS - SECTION 10.742(L)
- BUFFERYARD LANDSCAPING REQUIREMENTS - SECTION 10.750
- RIPARIAN CORRIDORS, REDUCTION OR DEVIATION - SECTION 10.927
- FISH AND WILDLIFE HABITAT MITIGATION POLICY - O.A.R. 185-115

LOT INFORMATION:

SITE LOCATION: JACKSON COUNTY, OREGON
TAX MAP 371W20C

TAX LOT: 9800 / 9700

ZONE: VARES SITE DOCUMENTS BY OTHER(S)

SITE ACREAGE: 40.89 ACRES

SOIL CLASS: 33A COCKER CLAY, 0 TO 3 PERCENT SLOPES

PARKING SPACES: 31 TOTAL

PARKING LANDSCAPE AREA: 846 S.F.

PROJECT NOTES:

- GENERAL INFORMATION:**
1. CONTRACTOR TO VERIFY ALL SITE CONDITIONS BOTH ABOVE AND BELOW THE SURFACE OF THE GROUND PRIOR TO COMMENCING WORK. ANY DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS & ACTUAL FIELD CONDITIONS SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
 2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ALL UTILITIES AND PROTECT AS REQUIRED DURING THE COURSE OF CONSTRUCTION. CALL THE OREGON UTILITY NOTIFICATION CENTER* AT 1-800-332-2344 TO LOCATE EXISTING UTILITIES, 48 HOURS BEFORE DIGGING.
 3. ALL WORK AND MATERIALS SHALL CONFORM TO ALL APPLICABLE STATE, CITY AND COUNTY REGULATIONS AND STANDARDS.
 4. REFER TO CIVIL & ELECTRICAL DRAWINGS FOR EXISTING UTILITIES IDENTIFICATION, DEPTH OF UTILITIES, ADJUSTMENT AND/OR RELOCATION.
 5. CONTRACTOR SHALL EXERCISE CARE IN ALL OPERATIONS TO PROTECT EXISTING UNDERGROUND UTILITIES AND TO AVOID DISTURBING OR DAMAGING THEM. ANY DAMAGE RESULTING FROM THIS WORK MUST BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE UTILITY OWNER AT NO ADDITIONAL COST TO THE OWNER.
 6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MARK ALL ELECTRICAL & WATER SERVICES, AND IRRIGATION & DRAINAGE SYSTEMS THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
 7. ALL LANDSCAPE AND TREES NOT IDENTIFIED FOR REMOVAL ARE TO BE PROTECTED - SEE TREE PROTECTION NOTES FOR ADDITIONAL INFORMATION.
 8. ALL TREE PROTECTION MEASURES TO BE FIELD VERIFIED.
 9. VERIFY EXISTING CONDITIONS AT THE SITE, WHETHER INCLUDED OR NOT ON THE DRAWINGS. PERFORM ALL WORK SUBJECT BY SITE INSPECTION TO ACHIEVE THE DESIRED RESULTS INDICATED ON THE CONSTRUCTION DOCUMENTS FOR THE FINISHED LANDSCAPE AREAS.
 10. CONTRACTOR SHALL GRADE ALL LANDSCAPE AREAS WITH APPROVED SOILS. SHAPE AND ADEQUATELY SLOPE TO DRAIN TO TOP OF SUBGRADE. HOLD SUBGRADE ELEVATIONS DOWN 4" WITHIN LANDSCAPE AREAS RECEIVING PLANTINGS. PREPARATION OF ALL LANDSCAPE AREAS SHALL BE COORDINATED WITH THE LANDSCAPE CONTRACTOR.
 11. CONTRACTOR SHALL COORDINATE ALL IRRIGATION SLEEVE PLACEMENT LOCATIONS AND REQUIREMENTS WITH LANDSCAPE CONTRACTOR PRIOR TO ANY SITE WORK.
 12. RESET EXISTING UTILITY VAULTS/BOXES TO REMAIN FLUSH WITH GRADE, PLUMB, AND SQUARE.

MEDFORD REQUIRED SOIL PREPARATION PROCEDURES:

10.78000R SOIL QUALITY/RESTORATION/PREPARATION:

A. SOIL VOLUME ORGANIC CONTENT:

MATURE COMPOST, AS DEFINED HEREIN, SHALL BE ADDED TO THE SOIL OF LANDSCAPING AREAS AT A RATE OF THREE CUBIC YARDS OF COMPOST PER 1,000 SQUARE FEET OF LANDSCAPING AREA TO BE PLANTED. THIS REQUIREMENT IS NOT APPLICABLE IN THE FOLLOWING CIRCUMSTANCES:

- 1. AREAS FULLY SECURED BY FENCING FOR THE PROTECTION OF AN EXISTING TREE.
- 2. PROTECTING UNDISTURBED SOIL FROM DAMAGE AND COMPACTION.
- 3. PROTECTING EXISTING CONSTRUCTION.
- 4. IN STOREWATER QUALITY AND DETENTION FACILITIES.
- 5. AREAS AFFECTED BY CONSTRUCTION OF THE CURRENTLY ADOPTED VERSION OF THE ROGUE VALLEY STORMWATER MANAGEMENT DESIGN STANDARD.

B. IN LANDSCAPED AREAS WHERE A SOIL TEST DEMONSTRATES AN ORGANIC CONTENT OF AT LEAST THREE PERCENT BASED UPON COMPOSITE SAMPLES TAKEN AT ONE (1) TO THREE (3) FOOT DEPTHS, WITH A MINIMUM OF THREE SAMPLES PER TEST, SAMPLES SHALL BE TAKEN AT LEAST SIX FEET APART TO A DEPTH OF SIX (6) INCHES. FOLLOWING COMPLETION OF ROUGH GRADING:

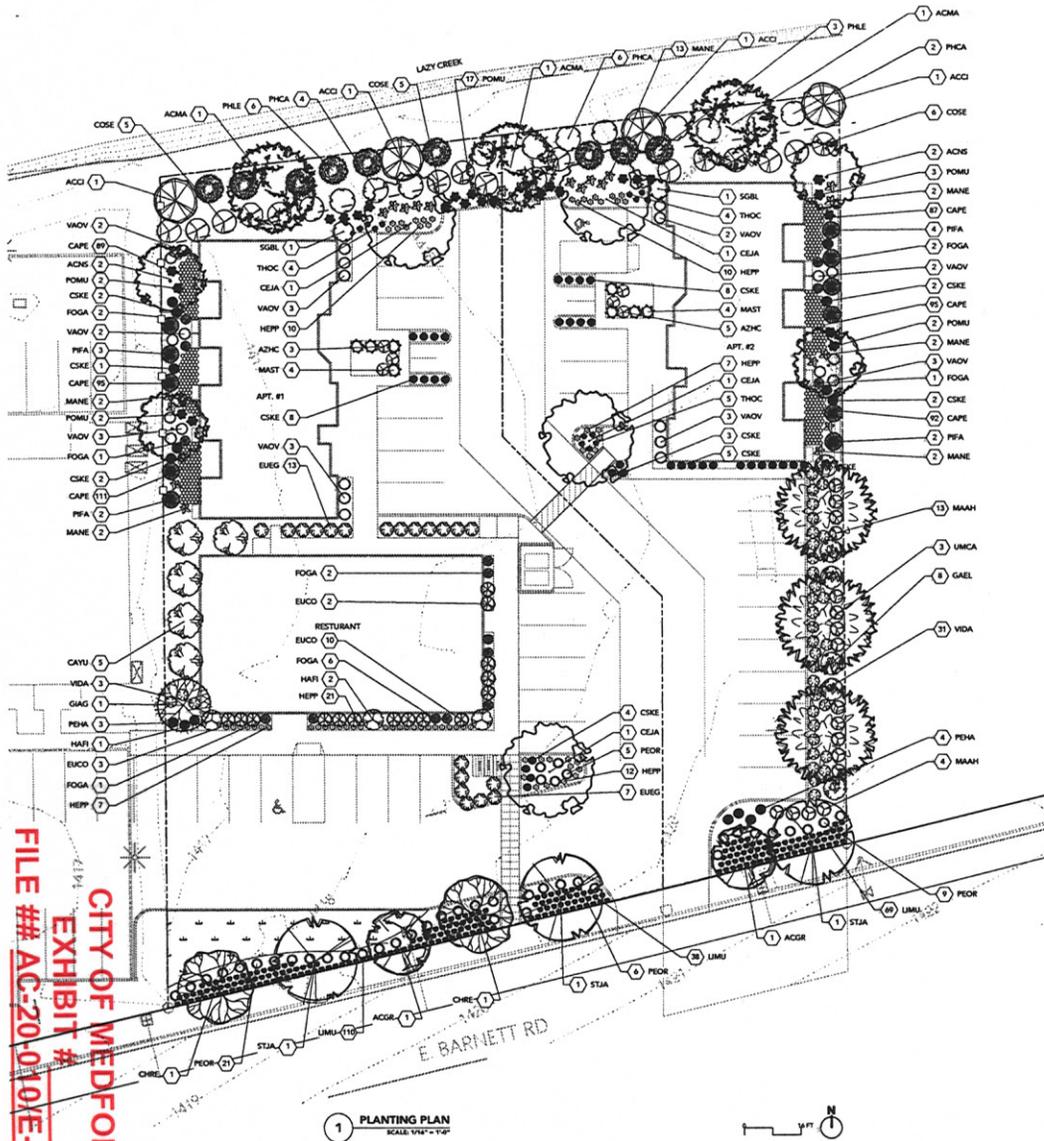
1. ASSURE THAT SOIL IS SUITABLY DRY BEFORE PLANTING.
2. SPREAD ORGANIC TOPSOIL AS REQUIRED IN EACH SUBSECTION TO 10% DEPTH, SEE ABOVE.
3. CULTIVATE SOIL AND AMENDMENTS TO A DEPTH OF 10 INCHES TO 20 INCHES.

FILE # # AC-20-010/E-20-011
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Date: 1/6/2020
 Scale: 1/8" = 1'-0"
 Project: Wu Mixed Use Development
 Sheet: L10

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LANDSCAPE AREAS & SITE PLAN
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FILE # AC-20-010/E-20-011
 CITY OF MEDFORD
 EXHIBIT #

1 PLANTING PLAN
SCALE: 1/4" = 1'-0"

PLANT SCHEDULE							
Trees	ID	Latin Name	Common Name	Qty	Scheduled Size	Plant Factor	Comments
ACCI	ACCI	Acer incanatum	White Maple	4	1.34' Cal	60 Irrigation	
ACCR	ACCR	Acer glabrum	Paperbark Maple	2	7' Cal	60 Irrigation	
ACMA	ACMA	Acer macrophyllum	Big Leaf Maple	3	1.34' Cal	60 Irrigation	
ACNS	ACNS	Acer carpinum Acutifol	Acorn Sugar Maple	4	1.34' Cal	60 Irrigation	
CEJA	CEJA	Crataegus jeffersonii	Kanada Tree	4	1.34' Cal	60 Irrigation	
CHRE	CHRE	Chamaecyparis stricta	Chinese Cypress Tree	2	7' Cal	60 Irrigation	
QMG	QMG	Quercus lobata 'Muirata Gold'	Aurum Gold Muirata Oak	1	1.34' Cal	30 Irrigation	
STJA	STJA	Styrax japonica	Japanese Snowball Tree	3	7' Cal	60 Irrigation	
Shrubs	PFA	Prunus subsericea	Columbian Scrub Pear	11	8" in	60 Irrigation	
	UMGA	Umbellularia californica	California Bay Laurel	3	1.34' Cal on 8" in	30 Irrigation	Sol Volume Required 5.038 Cu. Ft.
Double	AZHC	Asplenium 'Heron-Cameron'	Heron-Cameron Asplenium	8	3 Gal	60 Irrigation	
	CAYU	Cannella sasanqua 'Yuletide'	Yuletide Cannella	5	3 Gal	60 Irrigation	
	COSE	Cornus sericea	Red Twig Dogwood	16	3 Gal	60 Irrigation	
	CSKE	Cornus sericea 'Yuletide'	Yuletide's Dwarf Red/Twigs Dogwood	44	2 Gal	60 Irrigation	
	EUCO	Eucalyptus alata 'Compacta'	Dwarf Winged Gum/Burns Bush	15	2 Gal	60 Irrigation	
	EUCO	Eucalyptus horneana 'Wendell W. Gold'	Wendell W. Gold Eucalyptus	20	2 Gal	60 Irrigation	
	FOGA	Fuchsia spicata 'Blue Star'	Blue Star Dwarf Fuchsia	15	3 Gal	60 Irrigation	
	GAEI	Garrya elliptica	S.B. Tassel	8	3 Gal	60 Irrigation	
	HARI	Hamelia patersoniana 'Flamestick'	Flamestick Warm Wood	3	3 Gal	60 Irrigation	
	MAAH	Mahonia aquifolium	Oregon Grape Holly	17	1 Gal	60 Irrigation	
	MAHE	Mahonia nervosa	Localised Mahonia	23	1 Gal	60 Irrigation	
	PHIC	Philadelphus lewisii	Mock Orange	9	2 Gal	60 Irrigation	
	PHCA	Physocarpus opulifolius	Pinkie Ninesbark	12	2 Gal	60 Irrigation	
	POMU	Podocarpus nana	Scout Fern	26	1 Gal	60 Irrigation	
	SGBL	Sambucus racemosa 'Black Lace'	Black Lace Elderberry	2	3 Gal	60 Irrigation	
	VAOC	Vaccinium ovatum	European Huckleberry	23	2 Gal	60 Irrigation	
	VEDA	Viburnum dentatum	Dwarf Viburnum	34	2 Gal	30 Irrigation	
Perennials	HEPP	Houstonia americana 'Palace Purble'	Palace Purple Good Bed	67	1 Gal	60 Irrigation	
	MAST	Mitella antheropoda	European Cornish Fern	8	1 Gal	60 Irrigation	
	THOC	Thalictrum 'Black Stocking'	Thalictrum 'Black Stocking'	13	1 Gal	60 Irrigation	
Ornamental Grasses	CAPE	Carex pensylvanica	Old Sedge	500	4" Box	60 Irrigation	
	PEHA	Pennisetum alopecuroides 'Preston'	Dwarf Fountain Grass	7	2 Gal	30 Irrigation	
	PEOR	Pennisetum orientale	Chinese Fountain Grass	41	1 Gal	60 Irrigation	
Groundcover	LMU	Liriodendron tulipifera	Big Blue Lily Tulip	217	4" in	60 Irrigation	
Seed							1 bag used per 1000 S.F.
		Santalum album	Santalum	895 S.F.	Seed	60 Irrigation	

- PLANTING NOTES:**
- CONTRACTOR TO VERIFY LOCATION OF EXISTING TREES INDICATED TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN COORDINATE WITH THE OWNERS REPRESENTATIVE AS NECESSARY.
 - PLANTING AREAS TO BE SUPERVICENTLY CLEANED OF ALL CONSTRUCTION MATERIALS INCLUDING IMPORTED ROCK, TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE BEFORE BEGINNING ANY LANDSCAPE WORK.
 - IDENTIFY ALL PLANTING AREAS IN FIELD WITH WHITE FIELD MARKING CHALK OR APPROVED EQUAL. PLANTING FEES TO BE ADJUSTED AND APPROVED BY OWNERS REPRESENTATIVE PRIOR TO PLANT LOCATION.
 - THE OWNERS REPRESENTATIVE WILL APPROVE INDIVIDUAL PLANT MATERIAL AND LOCATION OF PLANT MATERIAL PRIOR TO INSTALLATION. PROVIDE ROOT BARRIER AROUND ALL TREES WITHIN 5' OF PAVING, CURBS, WALLS, BARRIERS, UTILITY DUCTS AND OTHER APPOINTMENTS. MAKE MINOR ADJUSTMENTS IN PLANT SPACING AS NECESSARY TO ACCOMMODATE THE IRRIGATION SYSTEM AS INSTALLED. EXISTING SITE ELEMENTS AND INSTALLED SITE ELEMENTS.
 - PLANTS PLANTED TOO DEEP WILL NOT BE ACCEPTED.
 - PLANT LIST AND QUANTITIES ARE PROVIDED FOR CONTRACTORS COMMENCEMENT. ACTUAL PLANT QUANTITY SHALL BE BASED ON PLANT SYMBOLS ON PLANTING PLAN NOT ON PLANT LIST.
 - ALL PLANT MATERIAL SHALL CONFORM TO AASHTO STANDARDS FOR NURSERY STOCK LATEST EDITION. ALL PLANT MATERIAL FURNISHED SHALL BE HEALTHY REPRESENTATIVES, TYPICAL OF THEIR SPECIES OF VARIETY AND SHALL HAVE A NORMAL GROWTH HABIT. THEY SHALL BE FULL WELL BRANCHED, WELL PROPORTIONED, AND HAVE A WOODY WELL DEVELOPED ROOT SYSTEM. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. TREES, SHRUBS AND GROUND COVER QUANTITIES, SPECIES, VARIETIES, SIZES AND CONDITIONS TO BE AS SHOWN ON THE PLANTING PLAN. PLANTS TO BE FREE OF DISEASE, INJURY, INSECTS, DECAY, HARMFUL DEFECTS AND ALL WEED SUBSTITUTIONS SHALL BE MADE WITH WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT ON OWNERS REPRESENTATIVE.

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JAN 14 2020

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Wu Mixed Use
Development



Date: 1/14/20
 Design: Kevin Wu
 Title: JML
 Date: 1/16/2020

PLANNING PERMIT SET



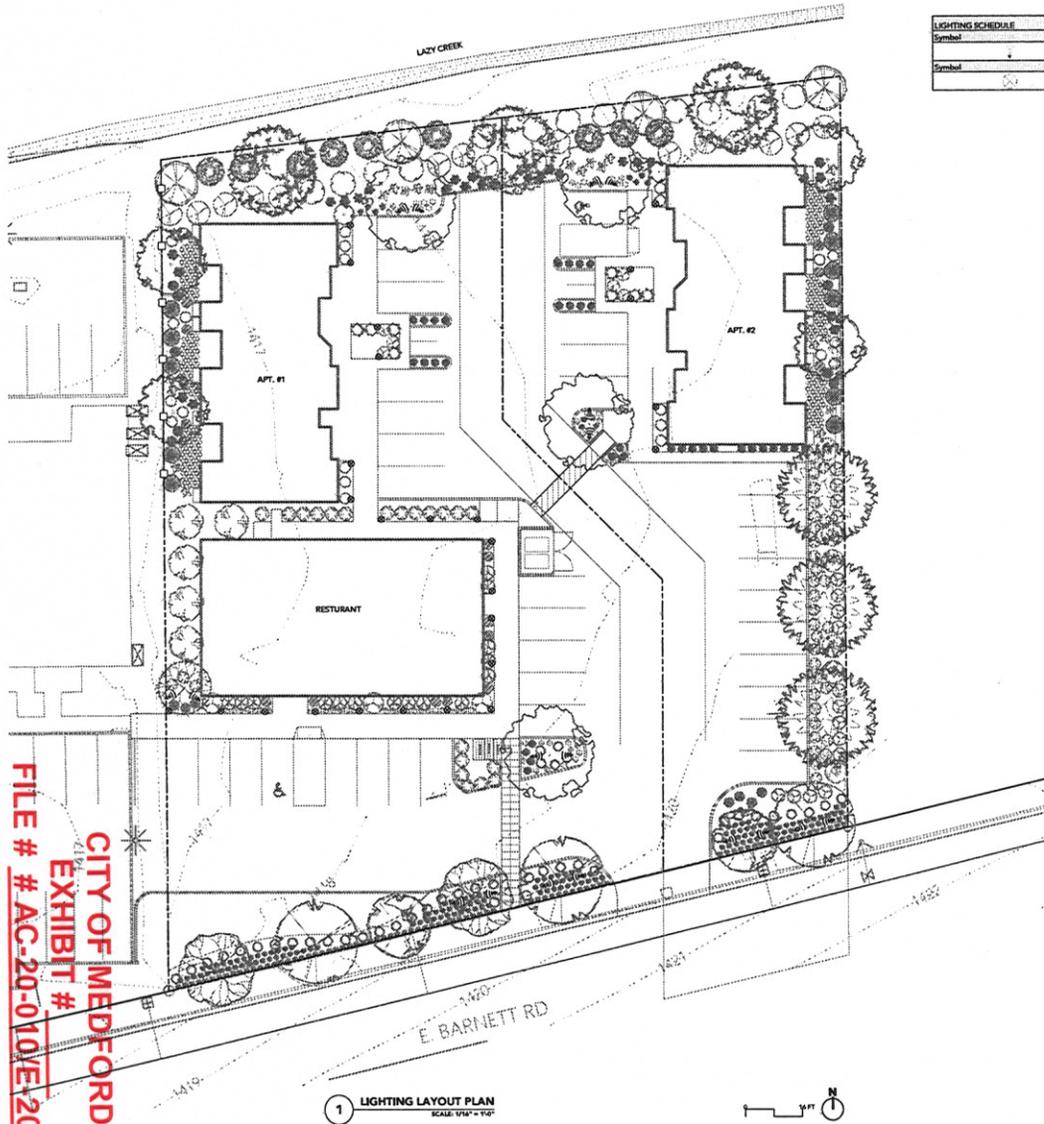
TWO OAKS STUDIO
LANDSCAPE ARCHITECTURE & ECOLOGICAL DESIGN
1000 W. 10TH ST., SUITE 100
DENVER, CO 80202

Wu Mixed Use
Development

LIGHTING SCHEDULE							
Symbol	Uplight	Wattage	Manufacturer	Accessories / Mounting	Drawn	Finish	Qty.
⊕	Model # LR-ZDC-4S-CU	18W/2.2A	FX Luminaire	Long Star Spike Mount (see detail)	Long Star	CU Copper	18
⊙	Path Light	Wattage	Manufacturer	Accessories / Mounting	Star Height	Finish	QTY.
⊙	Model # CV-EOTA-CU-ZDC-188A-CU	8.8W/1.12A	FX Luminaire	Long Star Spike Mount (see detail)	T8A	CU Copper	28

GENERAL LIGHTING NOTES:

- THIS PLAN IS INTENDED FOR CONCEPTUAL LANDSCAPE LIGHTING PURPOSES ONLY. ALL ELECTRICAL WORK SHALL BE DESIGN BUILT. ALL LIGHTING FIXTURES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN COMPLIANCE WITH ALL LOCAL BUILDING SAFETY CODES AND ORDINANCES.
- FIXTURES ARE SHOWN IN APPROXIMATE LOCATION. THE CONTRACTOR SHALL FIELD VERIFY THE ACTUAL PLACEMENT OF EACH FIXTURE UPON COMPLETION OF LANDSCAPE INSTALLATION.
- ALL PATH LIGHTS ARE TO BE INSTALLED AT A MINIMUM OF 12 INCHES FROM ANY SIDEWALK OR VERTICAL STRUCTURE.
- ALL LOW-VOLTAGE DIRECT BURIAL WIRE TO BE INSTALLED AT 1/4" - 6" BELOW FINISH GRADE PER ELECTRICAL CODE.
- IN ORDER TO MINIMIZE FUTURE DISTURBANCE, ALL WIRE RUNS SHALL BE INSTALLED PARALLEL AND ADJACENT TO HARD SURFACES SUCH AS SIDE WALKS, DRIVEWAYS AND WALLS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SLEEVES UNDER ALL HARDSCAPE SURFACES USING A MINIMUM 1 INCH PVC PIPE.
- ALL UNDERGROUND SPICES SHALL BE U-SHAPED AND INSTALLED IN UNDERGROUND BOXES WITH WATER TIGHT CONNECTIONS LEAVING 12 INCHES OF EXCESS WIRE SLACK.
- ALL EXTERIOR 120-VOLT ELECTRICAL OUTLETS SHALL BE GFI PROTECTED AS PER NATIONAL ELECTRICAL CODE.
- ALL TRANSFORMERS PLOUGED INTO AN OUTDOOR RECEPTACLE SHALL HAVE AN "NUSE" COVER. CONTRACTOR SHALL INSTALL TAMM-C TYPE COVERS AT ALL OUTLETS.
- ALL PLUG-IN TRANSFORMERS SHALL HAVE A DRIP LOOP IN THE POWER CORD.
- ALL EXPOSED CONDUITS SHALL BE PAINTED TO MATCH SURROUNDINGS.
- THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE FIXTURES AT NIGHT TO HELP ILLUMINATE SQUARE AND TO ENSURE OPTIMUM LIGHTING EFFECT.
- CONTRACTOR TO VERIFY A MINIMUM OF 10 VOLTS AT THE LAST AT THE LAST FIXTURE FOR OPTIMAL OPERATION.
- CONTRACTOR TO CENTER FEED THE SYSTEM WHEN AT ALL POSSIBLE AND VERIFY ALL WIRE CONNECTIONS ARE AT THE FIXTURES.
- ALL WIRE CONNECTIONS AT FIXTURES SHALL BE MADE USING WATER TIGHT CONNECTIONS.



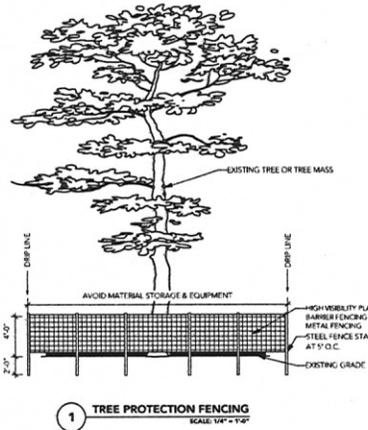
1 LIGHTING LAYOUT PLAN
SCALE: 1/4" = 1'-0"

FILE # #AC-20-010/E-20-011
CITY OF MEDFORD
EXHIBIT #

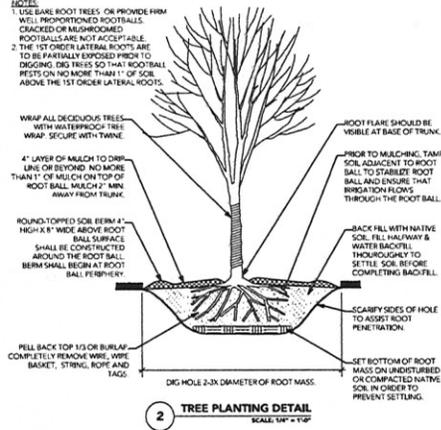
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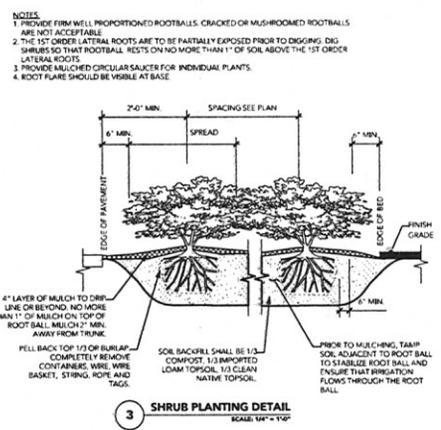
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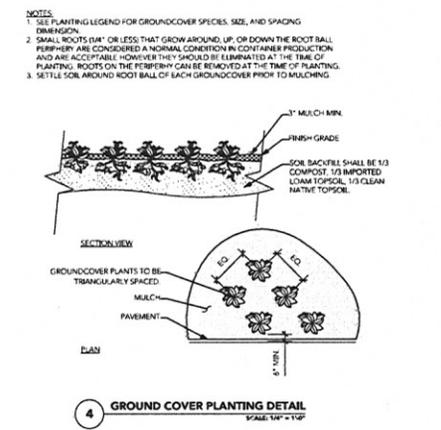
1 TREE PROTECTION FENCING
SCALE: 1/4" = 1'-0"



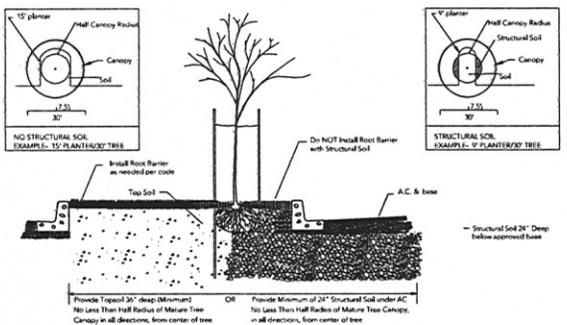
2 TREE PLANTING DETAIL
SCALE: 1/4" = 1'-0"



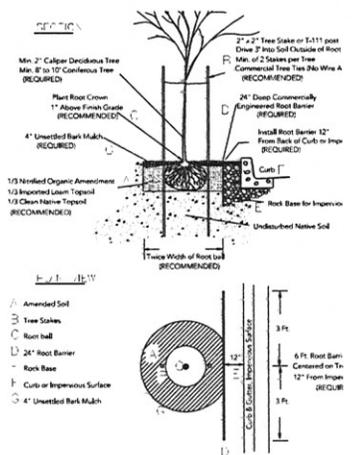
3 SHRUB PLANTING DETAIL
SCALE: 1/4" = 1'-0"



4 GROUND COVER PLANTING DETAIL
SCALE: 1/4" = 1'-0"



1 Forking Lot Tree Planter Detail
CITY OF MEDFORD
January 10, 2006



1 City of Medford Tree Planting
Medford Code 10.760
7/2

NOTES
1. USE PLANTING LEGEND FOR GROUND COVER SPECIES, SIZE, AND SPACING DIMENSION.
2. SMALL ROOTS (1/4\"/>



Wu Mixed Use
Development



Project No.	
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Project Name	
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LANDSCAPE DETAILS

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FILE ## AC-20-010/E-20-011
EXHIBIT #
CITY OF MEDFORD



1 BUILDING HT: 25'-0"
 2 TOP+10'-2 1/8"
 T.O.P.+10'-0 3/4"
 RAILING: 2X6 TOP RAIL, W/ 2X4 WD ABOVE, BOTH SIDES, TOP & BOT W/ 2X2 WD PICKETS SPACED @ 3X3 MAX BTWN, TYP
 3 F.F.+10'-1 3/8"
 T.O.P.+10'-0 3/4"
 4 F.F.+10'-0"

CONT. RIDGE VENT
 40 YR COMP ROOFING COLOR: CAMBRIDGE CHARCOAL GREY
 3 X & FASCIA'S, TYP
 WOOD CORBELS
 HARDI SHAKE SIDING
 VINYL FRAMED WINDOWS
 WOOD RAILING & PICKETS
 CONC. BALCONY
 2 X 1/2 BELLY BAND
 BOARD & BATTEN SIDING
 3/4 HARDI CORNER TRIM, TYP
 VINYL FRAMED WINDOWS
 SYNTHETIC STONE COLUMN BASE
 DASHED LINE INDICATES FOOTINGS BELOW

1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

BUILDING COLORS:
 HORIZONTAL LAP SIDING: MOUNTAIN SAGE
 SHAKE SIDING: HARRIS CREAM
 BOARD & BATTEN SIDING: TIMBER BARK
 BUILDING TRIM, DOOR TRIM & WINDOW TRIM: COBBLE STONE
 FASCIA, CORBELS: STONE
 WOOD CORBELS: TIMBER BARK
 COMPOSITION ROOFING COLOR: CAMBRIDGE CHARCOAL GREY



1 BUILDING HT: 25'-0"
 2 TOP+10'-2 1/8"
 T.O.P.+10'-0 3/4"
 3 F.F.+10'-1 3/8"
 T.O.P.+10'-0 3/4"
 4 F.F.+10'-0"

2 REAR ELEVATION
SCALE: 1/4"=1'-0"

RECEIVED
JAN 14 2020
PLANNING DEPT.

CITY OF MEDFORD
 EXHIBIT #
 FILE # AC-20-010/E-20-011



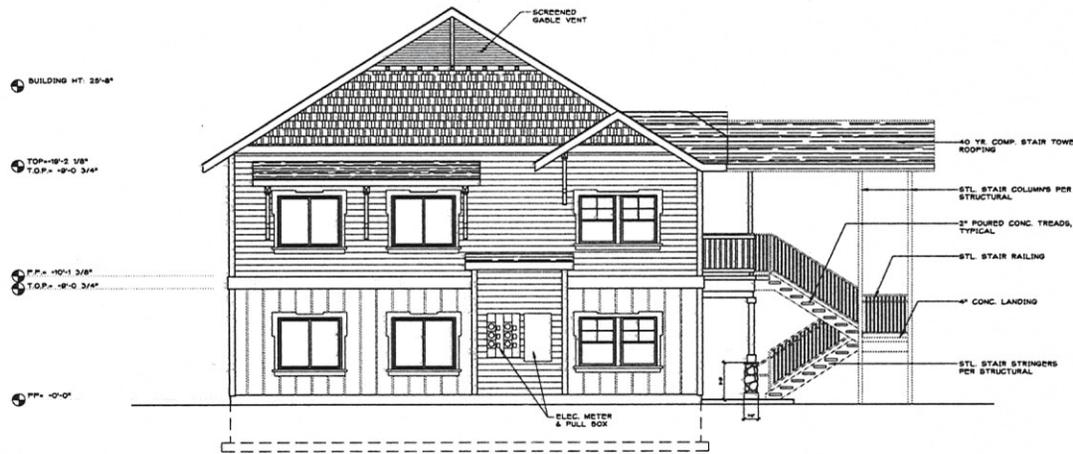
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PROJECT NAME
 A NEW RESTAURANT & APARTMENT FOR:
 KEVIN WU
 E. BARNETT ROAD
 MEDFORD, OR. 97504

REVISIONS	BY

FILE: 19-AE1 PLR PLN
 DATE: 11-22-19
 SCALE: AS SHWN
 DRAWN: DLE
 JOB # 1911
 SHEET **A6.1**
 OF 7

CITY OF MEDFORD
 EXHIBIT #
 FILE # # AC-20-010/E-20-011



1 NORTH END ELEVATION
 SCALE: 1/4"=1'-0"



2 SOUTH END ELEVATION (FACING BARNETT)
 SCALE: 1/4"=1'-0"

RECEIVED
 JAN 14 2020
 PLANNING DEPT.



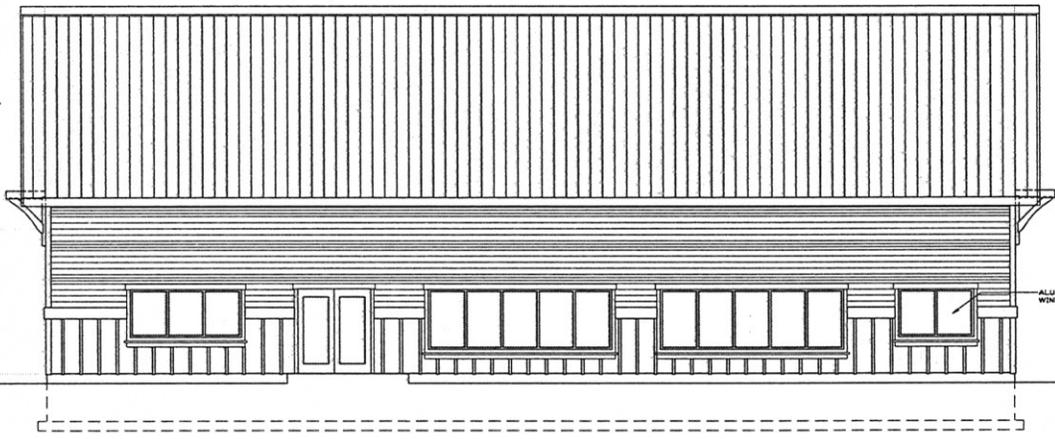
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PROJECT NAME
 A NEW RESTAURANT & APARTMENT FOR:
 KEVIN WU
 E. BARNETT ROAD
 MEDFORD, OR. 97504

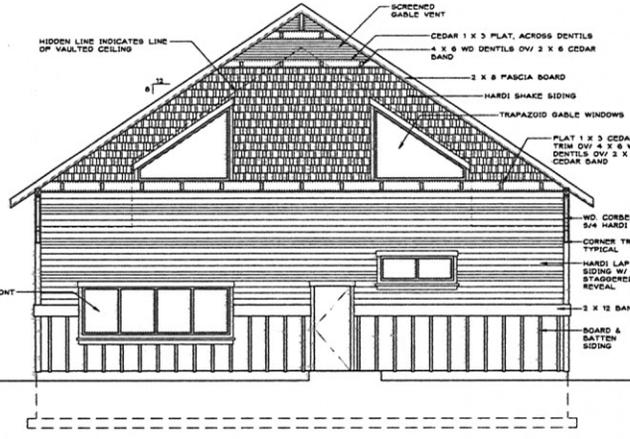
REVISIONS	BY

FILE: DR-423 PLR PLN
 DATE: 11-22-19
 SCALE: AS SHWN
 DRAWN: DLE
 JOB # 1811
 SHEET A6.2
 OF 9

BLDG. HT. - 22'-0"
 T.O.P. - 12'-0"
 F.F. - 0'-0"

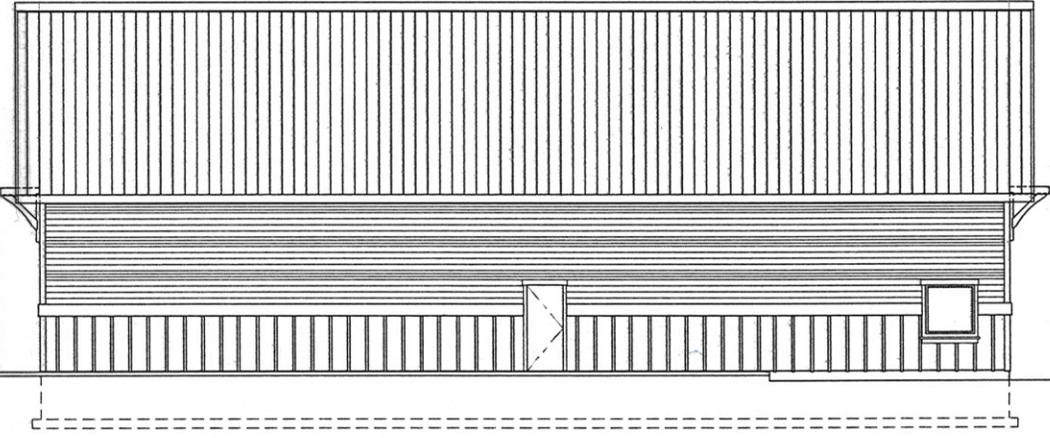


1 FRONT ELEVATION
 SCALE 1/4"=1'-0"

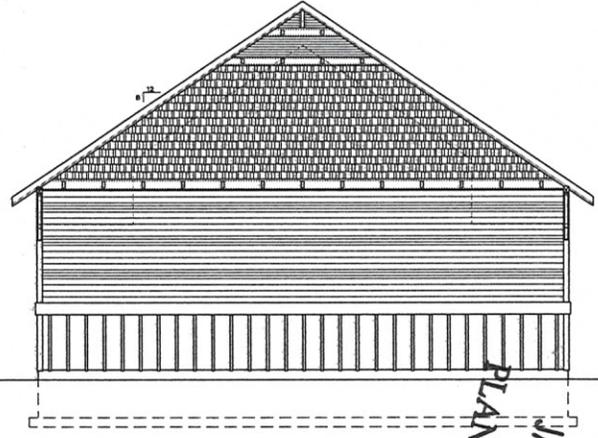


2 SIDE ELEVATION
 SCALE 1/4"=1'-0"

BUILDING COLORS:
 HORIZONTAL LAP SIDING: MOUNTAIN SAGE
 SHAKE SIDING: HARRIS CREAM
 BOARD & BATTEN SIDING: TIMBER BARK
 BUILDING TRIM, DOOR TRIM & WINDOW TRIM: COBBLE STONE
 PASCIA: COBBLE STONE
 WOOD CORBELS: TIMBER BARK
 STANDING SEAM METAL ROOF COLOR: CHARCOAL



3 REAR ELEVATION
 SCALE 1/4"=1'-0"



4 SIDE ELEVATION
 SCALE 1/4"=1'-0"

CITY OF MEDFORD
 EXHIBIT #
 FILE # AC-20-010/E-20-011



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PROJECT NAME
 A NEW RESTAURANT & APARTMENT FOR:
 KEVIN WU
 E. BARNETT ROAD
 MEDFORD, OR. 97504

REVISIONS	BY

FILE: DP-421 PLR PLN
 DATE: 11-22-19
 SCALE: AS SHWN
 DRAWN: DLE
 JOB # 1811
 SHEET A6.3
 OF 7

RECEIVED
 JAN 14 2020
 PLANNING DEPT.

**BEFORE THE SITE PLAN AND ARCHITECTURAL COMMISSION
FOR THE CITY OF MEDFORD, OREGON**

IN THE MATTER OF A SITE PLAN AND)	
ARCHITECTURAL REVIEW APPLICATION)	
FOR AN EXCEPTION TO PARKING FOR)	
MULTIPLE-FAMILY RESIDENTIAL)	
DEVELOPMENTS, ON TWO PARCELS)	FINDINGS OF FACT
TOTALING 0.98 ACRES, LOCATED ON THE)	AND
NORTH SIDE OF E. BARNETT ROAD)	CONCLUSIONS
BETWEEN ELLENDALE DRIVE AND)	
CRESTBROOK ROAD AND DESCRIBED AS)	
T.37S-R.1W -SEC.29DC, TAX LOTS 9700 &)	
9800; KEVIN WU, APPLICANT; RICHARD)	
STEVENS & ASSOCIATES, INC., AGENTS.)	

RECITALS:

Property Owner/ Applicant-	Hong (Kevin) Wu 2201 E. Barnett Road Medford, OR 97504
Architects-	Ron Grimes Architects, PC 14 North Central Avenue, Suite 106 Medford, OR 97501
Engineer-	Rhine-Cross Group, LLC 112 N 5 th Street, Suite 200 Klamath Falls, OR 97601
Agents-	Richard Stevens & Associates, Inc. P.O. Box 4368 Medford, OR 97501 (541) 773-2646
Property Description-	T.37S-R.1W-S.29DC, Tax Lots 9700 & 9800
Acreage-	0.98 net acres or 1.14 gross acres
Zoning-	TL 9700 = MFR-20, TL 9800 = C-S/P



PROPOSAL:

The applicant is requesting approval of an Exception to Medford Land Development Code (MLDC) Section 10.717(F) (Vehicle Circulation and Parking) to allow parking and vehicle circulation for multiple-family dwellings to be located between the buildings and the adjacent street. This exception is being requested due to the shape of TL 9700 which does not allow for a building to be placed nearer to the street due to the shared driveway location; due to the required cross-access easements along the frontage of the properties; and due to the proposed location of a restaurant on TL 9800.

The requested Exception is associated with a concurrent application for Site Plan and Architectural Review to construct an approximately 2,904 square foot restaurant and a 12-unit multiple-family development on two parcels totaling 0.98 net acres, located on the north side of Barnett Road between Ellendale Drive and Crestbrook Road. The properties are zoned MFR-20 (0.37 acres - TL 9700) and C-S/P (0.61 acres - TL 9800).

APPROVAL CRITERIA:

Per MLDC Section 10.186(A), the purpose of the Exception process is to:

“empower the approving authority to vary or adapt the strict application of the public improvement and site development standards as contained in Article III, Sections 10.349 through 10.361, and 10.370 through 10.385, as well as Articles IV and V of this chapter. Exceptions may be appropriate for reasons of:

- (1) exceptional narrowness or shape of a parcel; or*
- (2) exceptional topographic conditions; or*
- (3) extraordinary and exceptional building restrictions on a piece of property; or*
- (4) if strict applications of the public improvement or site development standards in the above-referenced Articles would result in peculiar, exceptional, and undue hardship on the owner.”*

Per MLDC Section 10.186(B):

“No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority having jurisdiction over the land use review unless it finds that all of the following criteria and standards are satisfied. The power to authorize an exception from the terms of this code shall be sparingly exercised.

- (1) The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The approving authority shall have the authority to impose conditions to assure that this criterion is met.*

(2) The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.

(3) There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner."

(4) The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result."

Finding of Compliance with Section 10.186(B):

The applicant is requesting relief from the standards of the Code relating to Section 10.717(F), Vehicular Circulation and Parking for Multiple-Family Dwellings.

Section 10.186(B): Criteria for an Exception:

No exception, in the strict application of the provisions of this chapter, shall be granted by the approving authority having jurisdiction over the plan authorization unless it finds that all of the following criteria and standards are satisfied. The power to authorize an exception from the terms of this code shall be sparingly exercised. Findings must indicate that:

(1) The granting of the exception shall be in harmony with the general purpose and intent of the regulations imposed by this code for the zoning district in which the exception request is located, and shall not be injurious to the general area or otherwise detrimental to the health, safety, and general welfare or adjacent natural resources. The approving authority shall have the authority to impose conditions to assure that this criterion is met.

The applicant is requesting an exception to Section 10.717(F) to allow parking and vehicle circulation for multiple-family dwellings to be located between the buildings and the adjacent street. This exception is being requested due to the shape of TL 9700 which does not allow for a building to be placed nearer to the street due to the shared driveway location; due to the required cross-access easements along the frontage of the properties; and due to the proposed location of a restaurant on TL 9800.

As shown on the submitted site plan, a single shared driveway will be provided on the common property boundary of TL 9700 and 9800. This proposed driveway location will allow for the consolidation of the two existing driveways on Barnett Road and the net reduction of one driveway. However, this driveway location, along with the shape of TL

9700, with only approximately 54' of lot width along Barnett Road, makes the placement of a building near the street on TL 9700 virtually impossible. The lot dimensions were modified through a recent property line adjustment which increased the lot width to aid in the redevelopment of the property. If the exception is not granted to allow required parking to be placed between the building and the street, the lot would be rendered unbuildable for multiple-family development, which is what the property is zoned for.

The Multiple-Family Special Development Standards regarding parking do not appear to contemplate mixed-use development occurring on commercial properties as it is generally appropriate to locate the commercial portion of a mixed-use development near the street. In the case of a horizontal mix of uses, the location of the commercial use near the street causes the residential portion of the development to be located in the back of the lot, away from the street. This orientation provides the benefit of better street exposure for the commercial development while also providing separation between the residential development and the street. However, strict adherence to the Section 10.717(F) would require all parking for both the commercial and the residential components of a mixed-use development to occur beside and/or behind the residential portion of the development. The required cross-access easement across the front of TL 9800 along with the proposed restaurant on TL 9800, renders the residential development on the property infeasible if the exception is not granted to allow parking to be placed between the building and the street.

The requested exception will be in harmony with the general intent of this parking location requirement to the greatest extent possible. The required cross-access on these properties necessitates the location of at least some vehicular circulation between the street and any buildings that can be located on the property. This requirement alone would have made this exception request necessary for any multiple-family residential development on these properties. The proposed restaurant building will be placed as close to Barnett Road as this required cross-access allows for. Although all parking will be shared, the parking associated with the residential development will be located to the side of the residential buildings and will be partially screened by the restaurant building. The only parking located between the restaurant building and the street will be a single row of spaces accessed from the cross-access aisle. Because the restaurant must be placed some distance back from Barnett Road to allow for cross-access, a raised concrete walkway will be provided to enhance pedestrian connectivity and provide for pedestrian safety onto the site. The site has been designed to adhere to and to be in harmony with the general intent and purpose of these code sections.

(2) The granting of an exception will not permit the establishment of a use which is not permitted in the zoning district within which the exception is located.

The requested exception relates to the multiple-family portion of the proposed development. Multiple-family dwellings are an allowed use in both the MFR-20 zone and the C-S/P zone.

(3) There are unique or unusual circumstances which apply to this site which do not typically apply elsewhere in the City, and that the strict application of the standard(s) for which an exception is being requested would result in peculiar, exceptional, and undue hardship on the owner."

The applicant is requesting an exception to Section 10.717(F) to allow parking and vehicle circulation for multiple-family dwellings to be located between the buildings and the adjacent street. This exception is being requested due to the shape of TL 9700 which does not allow for a building to be placed nearer to the street due to the shared driveway location; due to the required cross-access easement along the frontage of the properties; and due to the proposed location of a restaurant on TL 9800. All of these, individually, are unique and unusual circumstances that apply to this site that do not typically apply elsewhere in the City, and taken together, these characteristics are exceptional and the strict application of this standard would result in an exceptional hardship on the owner.

As shown on the submitted site plan, a single shared driveway will be provided on the common property boundary of TL 9700 and 9800. This proposed driveway location will allow for the consolidation of the two existing driveways on Barnett Road and the net reduction of one driveway. However, this driveway location, along with the shape of TL 9700, with only approximately 54' of lot width along Barnett Road, makes the placement of a building near the street on TL 9700 virtually impossible. The lot dimensions were improved through a recent property line adjustment which increased the lot width to aid in the redevelopment of the property. If the exception is not granted to allow required parking to be placed between the building and the street, the lot would be rendered unbuildable for multiple-family development, which is what the property is zoned for.

The Multiple-Family Special Development Standards regarding parking do not appear to contemplate mixed-use development occurring on commercial properties as it is generally appropriate to locate the commercial portion of a mixed-use development near the street. In the case of a horizontal mix of uses, the location of the commercial use near the street causes the residential portion of the development to be located in the back of the lot, away from the street. This orientation provides the benefit of better street exposure for the commercial development while also providing separation between the residential development and the street. However, strict adherence to the Section 10.717(F) would require all parking for both the commercial and the residential components of a mixed-use development to occur beside and/or behind the residential portion of the development. The required cross-access across the front of TL 9800 along with the proposed restaurant on TL 9800, make residential development on the property infeasible if the exception is not granted to allow parking to be placed between the building and the street.

(4) The need for the exception is not the result of an illegal act nor can it be established on this basis by one who purchases the land or building with or without knowledge of the standards of this code. It must result from the application of this chapter, and it must be

suffered directly by the property in question. It is not sufficient proof in granting an exception to show that greater profit would result.

The exception requested is based on the strict application of the access standards within the Code that apply to the subject properties which front along an arterial street. The proposed redevelopment of the site will eliminate an existing driveway on Barnett Road, a Major Arterial street, and provide developed cross-access between Tax Lots 9700, 9800 & 9900 and future access to Tax Lot 9600. These improvements are required by the Code and should help to improve/protect vehicle circulation on this portion of Barnett Road. However, these improvements essentially prohibit multiple-family development on these properties without the approval of the requested exception to allow for parking and vehicular circulation between the multiple-family buildings and the street.

The requested exception is not based on profitability, nor is it the result of an illegal act; it is based on the ability to develop the site without undue hardship for the property owner.

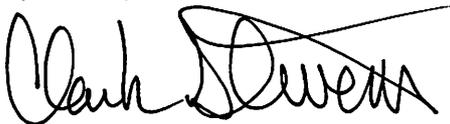
FINDING:

Based on the site plan, which has been designed to provide required shared access and cross-access while also locating required parking to the sides and the rear of proposed buildings to the greatest extent practicable, the City of Medford finds that the requested exception to Section 10.717(F) to allow vehicular circulation and parking to be located between the multiple-family buildings and the street is in harmony with the general purpose of the Ordinance.

SUMMARY & CONCLUSIONS

Based upon the above discussions regarding Section 10.186, with the submitted application materials, including site plan, the Site Plan and Architectural Commission concludes that the requested Exception to Section 10.717(F) to allow parking and vehicle circulation for multiple-family dwellings to be located between the buildings and the adjacent street for the proposed development of an approximately 2,904 square foot restaurant and a 12-unit multiple-family development, meets the criteria for Exceptions in Section 10.186(B) and is necessary as strict application of the site development standards would result in peculiar, exceptional, and undue hardship on the owner. With this conclusion, the applicant requests that the Exception be approved as presented.

Respectfully Submitted:



RICHARD STEVENS & ASSOCIATES, INC.

**BEFORE THE SITE PLAN AND ARCHITECTURAL COMMISSION
FOR THE CITY OF MEDFORD, OREGON**

**IN THE MATTER OF A SITE PLAN AND)
ARCHITECTURAL REVIEW APPLICATION)
FOR AN APPROXIMATELY 2,904 SQUARE)
FOOT RESTAURANT AND A 12-UNIT)
MULTIPLE-FAMILY DEVELOPMENT, ON TWO)
PARCELS TOTALING 0.98 ACRES, LOCATED)
ON THE NORTH SIDE OF E. BARNETT ROAD)
BETWEEN ELLENDALE DRIVE AND)
CRESTBROOK ROAD AND DESCRIBED AS)
T.37S-R.1W-SEC.29DC, TAX LOTS 9700)
& 9800; KEVIN WU, APPLICANT; RICHARD)
STEVENS & ASSOCIATES, INC., AGENTS.)**

**FINDINGS OF FACT
AND
CONCLUSIONS**

RECITALS:

Property Owner/ Applicant-	Hong (Kevin) Wu 2201 E. Barnett Road Medford, OR 97504
Architects-	Ron Grimes Architects, PC 14 North Central Avenue, Suite 106 Medford, OR 97501
Engineer-	Rhine-Cross Group, LLC 112 N 5 th Street, Suite 200 Klamath Falls, OR 97601
Agents-	Richard Stevens & Associates, Inc. P.O. Box 4368 Medford, OR 97501 (541) 773-2646
Property Description-	T.37S-R.1W-S.29DC, Tax Lots 9700 & 9800
Acreage-	0.98 net acres or 1.14 gross acres
Zoning-	TL 9700 = MFR-20, TL 9800 = C-S/P

PROPOSAL:

The applicant is requesting approval to construct an approximately 2,904 square foot restaurant and a 12-unit multiple-family development on two parcels totaling 0.98 net acres, located on the north side of Barnett Road between Ellendale Drive and Crestbrook Road. The properties are zoned MFR-20 (0.37 acres - TL 9700) and C-S/P (0.61 acres - TL 9800). The restaurant portion of the development will occur only on the C-S/P zoned property, which allows for commercial development. The multiple-family development will occur on both the C-S/P and the MFR-20 zoned properties and both zones allow for multiple-family residential development.

APPROVAL CRITERIA:

The approval criteria for Site Plan and Architectural Review for commercial development are listed in Section 10.200(E)(1), Medford Land Development Code (MLDC), which states:

The Site Plan and Architectural Commission shall approve a site plan and architectural review application for a commercial or industrial development, if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (a) The proposed development is compatible with uses and development that exist on adjacent land, and
- (b) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in Section 10.186.

The approval criteria for Site Plan and Architectural Review for residential development are listed in Section 10.200(E)(2), Medford Land Development Code (MLDC), which states:

The Site Plan and Architectural Commission shall approve a site plan and architectural review application for a residential development if the proposed development complies with the applicable provisions of all city ordinances, or if the Site Plan and Architectural Commission has approved any of the following:

- (a) Any Exceptions, as provided for in MLDC Section 10.186, which resolve(s) any instances of non-compliance with those provisions,
- (b) Any Adjustments or Exceptions from the Special Development Standards for Multiple-Family Dwellings, as provided for in MLDC Section 10.715A through 10.717.
- (c) Any adjustments or Exceptions from the Development Standards for a Cottage Cluster Development, as provided for in MLDC Section 10.818A.

As only the criteria for commercial developments require findings regarding compatibility with adjacent uses and developments, the compatibility section below will discuss only the commercial component of the proposed development. Both sets of criteria (for commercial and residential development) require findings of compliance with applicable provisions of city ordinances, therefore the section below regarding compliance with development code standards will include all portions of the proposed development, aside from the discussions regarding the Multiple-Family Dwellings Special Development Standards.

The City of Medford has provided a questionnaire to be completed along with the application for a Site Plan and Architectural Review. That questionnaire directs applicants to provide a project narrative and to answer a number of questions regarding compatibility.

Section I - Narrative

The applicant is requesting approval to construct an approximately 2,904 square foot restaurant and a 12-unit multiple-family development on two parcels (TLs 9700 & 9800) totaling 0.98 net acre. Tax Lot 9700 is 0.37 acre and zoned MFR-20 and Tax Lot 9800 is 0.61 acre and zoned C-S/P. The proposed 2,904 square foot restaurant will be developed only on the C-S/P zoned property, TL 9800. The C-S/P zone allows for "Eating and Drinking Places – without entertainment". The proposed restaurant is an eating and drinking place that will not include entertainment.

The multiple-family residential portion of the development will occur on both properties. The MFR-20 zoned property (TL 9700) allows for multiple-family residential development at a density of 15 to 20 dwelling units (DU) per gross acre and the C-S/P zoned property (TL 9800) allows for multiple-family residential development at a density of 20 to 30 DU per acre.

Parking for both proposed uses, the restaurant and the multiple-family development, will be shared with the existing dental office on Tax Lot 9900 (37 1W 29DC TL 9900) through a shared parking arrangement. With this shared parking agreement, the site plan for the project shows the development will include all required parking, meet all required setbacks, and provide the required bufferyard along the northern portion of the east boundary of TL 9700.

Section II – Compatibility: Criterion of Approval for Commercial Portion of Development

As mentioned above, this section applies only to the commercial portion of the proposed development. The following discussion will be limited to the proposed restaurant.

- A. *List existing uses and development adjacent to your project site. Along with this list, describe the architecture (materials, colors, etc.), age, and condition of the adjacent buildings (you may use photographs to supplement this information).*

Discussion: As shown on the aerial photograph and subject site photographs in Exhibit A, the subject property (TL 9800) is currently vacant. The property contained a single-family residence and associated out buildings until it was recently cleared. The property to the east (TL 9700) is zoned MFR-20 and was also recently cleared of a single-family dwelling. Tax Lot 9700 is proposed to be developed with multiple-family dwellings and is included in this application.

South of the subject property, across Barnett Road, the property is zoned MFR-30 and developed with multiple-family dwellings, the Cedar Tree Apartments. According to assessment information, this apartment complex was built in 1993. The complex is comprised of several two-story buildings containing 4-10 dwelling units each, along with single-story buildings containing clusters of garages. The grounds and the buildings appear to be well maintained and in good condition. The property to the west is zoned C-C and developed with a dental office. According to assessment information, this dental office building was built in 2001. The building is a single-level, craftsman structure that appears to be well maintained and in good condition. Parking for the proposed restaurant will be shared with the existing dental office and with the proposed multiple-family development on Tls 9700 & 9800. There is a 6-foot wide property on the north side of the subject property that is zoned MFR-20 and is undeveloped. North of that property, across Lazy Creek, the property is zoned SFR-10 and is developed with a single-family dwelling within a Planned Unit Development (PUD). According to assessment information, this structure was built in 2018.

- B. *Describe the building architecture and exterior treatments in your proposal, and how they fit with and complement adjacent buildings and development.*

Addressed together with...

- C. *Describe the proposed architecture and exterior treatments that break up large facades and give relief to the building mass. The Site Plan and Architectural Commission Design Guidelines are a helpful reference, and can be found on the City's website, and at the Planning Department.*

Discussion: The subject property is located on Barnett Road, which is a major transportation corridor in Medford and is developed primarily with commercial buildings and multiple-family dwellings in the vicinity of the subject property. The proposed restaurant will be a single-story structure with an 8:12 pitched roof and will look similar to the dental office existing on TL 9900. The building will have windows on the street facing and parking lot facing sides and the materials are varied vertically to add dimension and visual interest. The materials on the exterior of the building will include vertical board and batten siding, aluminum storefront windows, horizontal Hardi lap siding with staggered reveal, cedar trim and Hardi shake siding.

Colors will change across materials and will include Mountain Sage horizontal lap siding, Harris Cream shake siding, Timber Bark board and batten siding, Cobble Stone building, door and window trim, and Charcoal roof materials.

The building's location near the front of the subject property helps with pedestrian connectivity to the site while also helping to improve the pedestrian feel along Barnett Road. The building's location will also help to screen the proposed multiple-family dwellings from Barnett Road.

All mechanical equipment will be located behind the building and will not be visible from neighboring properties and adjacent rights-of-way.

- D. *Describe how the placement and orientation of the proposed building(s) relate(s) to the street facilities, and how this orientation promotes a more pedestrian-friendly site design.*

Discussion: The placement of the building is dictated by the requirement to provide for cross-access between the subject property and the existing dental office to the west (TL 9900). The building is placed as close to Barnett Road as practicable while providing for the required cross-access. In addition, the plan includes a raised concrete walkway between the proposed restaurant and the existing sidewalk on Barnett Road and there are internal walkways provided throughout this site which connect and/or relate to existing or proposed walkways on TL 9700 and TL 9900.

- a. *If the site lies within 600-feet of an existing or planned transit stop, as designated by the Transportation System Plan (TSP), describe compliance with the standards of Section 10.808, New Commercial and Institutional Development.*

Discussion: There is an existing transit stop located approximately 170 feet east of the subject property on the north side of Barnett Road, however, this stop is not designated by the TSP as a major transit stop. The nearest planned or existing major transit stops as identified in the TSP are more than $\frac{3}{4}$ of a mile away to the east and to the west. As MLDC Section 10.808 states: "All new commercial, office and institutional buildings on parcels within 600 feet of an existing or planned major transit stop, as designated by the City of Medford Transportation System Plan (TSP), shall provide the following" (emphasis added).

Since the subject property is not located within 600 feet of a "major transit stop" as designated on the TSP, the property/project is not required to provide the items listed in 10.808 subsections 1-3. However, as mentioned above, the building is placed as close to Barnett Road as practicable while providing for the required cross-access. In addition, the plan includes a raised concrete walkway between the proposed restaurant and the existing sidewalk on Barnett Road and there are internal walkways provided throughout this site which connect and/or relate to existing or proposed walkways on TL 9700 and TL 9900.

- E. *Describe the pedestrian facilities and amenities on your site (useable outdoor space, benches, etc.), and how they will function for pedestrians.*

Discussion: The plan includes a raised concrete walkway between the proposed restaurant and the existing sidewalk on Barnett Road and there are internal walkways provided throughout this site which connect and/or relate to existing and planned walkways on TL 9700 and TL 9900. These facilities provide for safe and convenient pedestrian access to the site and for safe and convenient pedestrian circulation throughout the site.

- F. *Describe vehicle and pedestrian access to the site, and how it relates internally on the site, and to adjacent sites.*

Discussion: There are currently two driveway curb-cuts existing along Barnett Road which provide access to Tax Lots 9700 and 9800. The proposed redevelopment of the site will eliminate one driveway access and provide for a shared access driveway for Tax Lots 9700 and 9800. In addition, a cross-access easement will be provided to allow for shared access for TL 9900. The result will be two shared driveway access points for the three tax lots.

Per MLDC Section 10.550, cross-access shall be provided to all contiguous parcels that do not abut a lower order street. As mentioned above, the site plan shows that cross-access will be provided to both sides of TL 9800. Access to the west (Tax Lot 10000) from TL 9900 is not required as TL 9900 is not being redeveloped. Since TL 9700 is being redeveloped, this section would typically require an area be reserved for cross access to the east (Tax Lot 9600) from TL 9700. However, it is not feasible or practical to provide cross-access for the abutting property to Tax Lot 9600 as that property is developed with multiple-family residential dwellings consistent with its MFR-20 zoning. This property is approximately 0.22 acre in size and is developed as a 5 unit multiple-family residential structure. The existing development requires the full 6 parking spaces provided on that site and any cross-access would eliminate required and available parking area. The property is not likely to redevelop as a stand-alone redevelopment as the property is already developed to its highest and best use for the zone. In addition, since TL 9700 is currently being redeveloped without the inclusion of the property to the east on Barnett Road, any redevelopment of Tax Lot 9600 which includes additional properties will likely include the property further to the east, which has frontage on and access from Crestbrook Road. Section 10.550(3) (c) provides for alternative driveway and access standards for unique situations. In this case, the Public Works Department can find that the proposed redevelopment will improve upon the existing condition by eliminating one driveway along Barnett Road and by providing developed cross-access between tax lots 9700, 9800 & 9900.

It appears that providing cross-access to the property (Tax Lot 9600) to the east of TL 9700 is impractical due to existing development and the size of the parcel; however, per Section 10.550, the applicant is required and agreeable to provide a cross access easement along the common boundary with Tax Lot 9600.

A separate pedestrian access is provided to connect the site to the existing sidewalk on Barnett Road. The design for this walkway includes raised concrete as it passes through the parking lot to enhance visibility and improve pedestrian safety. There are also internal walkways provided throughout the three tax lots (9700, 9800 & 9900) which help to reduce pedestrian-vehicle conflicts throughout the development.

- G. *Describe if and how the proposed plan is sensitive to retaining any existing trees or significant native vegetation on the site. Should existing trees be preserved, a Tree Protection Plan shall also be included in this application.*

As shown on the submitted Conceptual Grading, Drainage & Utility Plan, and in the site photographs, there are a few small trees existing on the property. These trees are not likely native and they are not viewed as significant vegetation on the site. The trees are also located in locations that make their retention impractical while redeveloping the site. For these reasons, the trees will be removed and the site will be planted as shown on the submitted landscaping plans.

- H. *Describe stormwater detention facilities on the site (underground storage, surface pond, etc.). If these facilities will be landscaped areas, describe how the proposed landscaping will be integrated with other landscaping on the site.*

As shown on the submitted Conceptual Grading, Drainage & Utility Plan, the stormwater detention system will be placed underground under a portion of the parking lot and a new 12" storm line will be installed across Barnett Road to connect to the existing City system.

- I. *Describe how your proposed landscaping design will enhance the building and other functions on the site.*

As shown on the landscape plan submitted with the application, there will be perimeter landscaping placed along all sides of the combined site (TLs 9700 & 9800) boundaries. This landscaping includes a mix of trees and shrubs to screen the proposed use from adjacent properties, and to screen adjacent properties from the proposed use. The plan shows parking lot landscaping to define parking areas and break up rows of parking. Overall, the proposed landscape plan provides an aesthetically pleasing development, with well-defined parking, building, and walkway areas, while also providing screening between properties.

- J. *Describe how your exterior lighting illuminates the site, and explain how the design of fixtures does not diminish a view of the night sky, or produce glare on adjacent properties, consistent with the standards of Section 10.764.*

The submitted lighting layout plan shows the placement of lighting to illuminate the driveway location, illuminate the commercial building, illuminate internal pathways, and to enhance security and aesthetics by illuminating planter areas. The lighting layout plan notes specify that the contractor shall be responsible for adjusting the fixtures at night to help eliminate glare and to ensure optimum lighting effect.

- K. Describe any proposed signage, and how it will identify the location of the occupant and serve as an attractive complement to the site.*

Sign sizes and locations have not yet been determined. Sign permit applications will be submitted for review prior to the installation of any new sign(s). All signs will adhere to MLDC standards and will be used to identify the location of both the commercial and residential components of the development along with the occupant of the commercial portion of the development. All signs will serve as an attractive complement to the site.

- L. Explain any proposed fencing, including its purpose, and how you have incorporated it as a functional, attractive component of your development. (See Sections 10.731-10.733).*

A 6' masonry wall will be provided along the north portion (approximately 1/2) of the east property line of TL 9700 to buffer the proposed multiple-family residential use from the existing single-family residential use. No other fencing is proposed. The proposed bufferyard is required to be landscaped, consistent with Section 10.790 as a functional component of the project.

- M. Explain how any potential noise generated by future occupants will be mitigated on the proposed site, consistent with the standards of Sections 10.752.*

The proposed restaurant will not be a new commercial noise source which generates noise in excess of the allowable limits established in Section 10.752, Table 752-1. The proposed restaurant is located in an area of mixed commercial and residential use. The noise generated by traffic on Barnett Road exceeds the noise generated by adjacent commercial and residential uses in both frequency (the amount of time the noise is occurring) and in volume (the magnitude of the noise). The proposed restaurant is not expected to generate noise that will be readily discernable over the existing noise along this major transportation corridor. The restaurant is intended to act as a buffer between Barnett Road and the residential components of the development. The residential portion of the development will be separated from existing single-family dwellings by Lazy Creek and the associated riparian corridor and by the proposed buffer yard/wall along a portion of the east property boundary.

- N. Explain anything else about your project that adds to the compatibility of the project with adjacent development and uses.*

The subject properties are located in an area of mixed commercial and residential use that has been experiencing revitalization, reinvestment and an intensification of uses due to its location along a major transportation corridor. This project is the first in the area to propose a mix of commercial and residential development on the same property. This type of mixed-use development is beneficial in maximizing density, reducing infrastructure costs, promoting alternative modes of transportation and reducing vehicle miles traveled. This type of in-fill/redevelopment project is what is needed to create nodal, transit-oriented development within existing portions of the city. The developed cross-access and shared parking between TLs 9700, 9800 and 9900 work to eliminate an existing driveway approach on Barnett Road. The site has been designed to provide for safe and convenient pedestrian connectivity and circulation. The project will also provide some much-needed housing in an area with easy access to commercial uses, medical services, schools, and existing transit facilities.

- O. *List and explain any exceptions or modifications requested and provide reasons for such.*

An exception to the Vehicular Circulation and Parking for Multiple-Family Dwellings Section, 10.717(F), is being requested along with this application. However, as this exception applies to a residential development-specific code section and it does not relate to the proposed commercial development, discussion regarding the requested exception will be contained to the code compliance review section below.

- P. *Section 10.780(C)(2) - List any petition for relief of landscaping standards (i.e., request an increase in turf area at a facility for active recreation; eliminate requirement for root barriers when trees are planted in structural soils). Provide rationale for requested deviation from standard.*

No relief requested.

FINDING:

As demonstrated in the above discussion, the proposed development of the subject property will be compatible with existing and planned developments and uses in the vicinity. The proposed architecture is compatible with existing uses; appropriate scaling and massing is accomplished with architectural details; the site layout and design is pedestrian oriented; site circulation is properly planned for and executed; site landscaping is both functional and enhances the appearance of the property; site lighting and potential impacts have been appropriately considered; and all proposed fencing will be both functional and attractive.

Section III – Code Compliance: Criterion for Approval for all Portions of Proposed Development

A brief summary of applicable standards is provided below for reference:

Multiple-Family Dwellings, Special Development Standards:

Compliance with 10.717(A) – Building Orientation and Entrances:

This Section requires multiple-family buildings to be oriented to public streets and intersections. The subject property is not located on the corner of a street intersection; therefore, a corner building entrance is not applicable. The buildings are also not located within 30' of a public street and therefore are not required to have entrances facing the street. The C-S/P zone allows for both commercial and residential development. The redevelopment of TL 9800 includes both commercial and residential components with the commercial (restaurant) portion of the development being located as near to Barnett Road as practicable given the requirement for vehicle cross-access. This required cross-access along with the location of the restaurant necessitates the location of the residential components on Tax Lots 9700 and 9800 near the back of the site. Also, the shape of TL 9700 prevents the building from being located any closer to Barnett Road. While a recently approved property line adjustment was used to widen TL 9700 to allow for required setbacks to be met, the shape of TL 9700 still requires the placement of the building on the back of the lot. The site as designed, with the restaurant building oriented toward the street, provides additional privacy for the residential development while also providing for easy pedestrian and vehicle access.

Compliance with 10.717(B) – Building Mass and Facade:

- (1) Not applicable as the buildings are not within 30 feet of the street. The proposed development includes 12 multiple-family units in two buildings. Each of the buildings will be approximately 78' long (parking lot facing elevation) by approximately 39' wide (perpendicular to the parking lot).
- (2) Not applicable. The proposed development includes two two-story buildings. The buildings will not be greater than three stories.
- (3) As shown on the submitted floor plans and elevations, additional windows have been added to the street facing sides of the residential buildings to increase total window area to 15% of the façade area.

Compliance with 10.717(C) – Building Articulation:

The first-floor plans and building elevations show that the wall surfaces of the buildings will include off-sets, projections, balconies, windows and entries to break-up the buildings both vertically and horizontally. These features occur in intervals of less than 40 feet horizontally and 30 feet vertically. The entrances to all units are off-set from the front wall and covered by a roof.

Compliance with 10.717(D) – Building Materials:

The materials on the exterior of the building will include vertical board and batten siding, vinyl framed windows, horizontal Hardi lap siding with 6" reveal, synthetic stone based columns and Hardi shake siding. Colors will change across materials and will include Mountain Sage horizontal lap siding, Harris Cream shake siding, Timber Bark board and batten siding, Cobble Stone building, door and window trim, and Charcoal roof materials.

Compliance with 10.717(E) – Roof Forms:

The roof pitch for both buildings will be 8:12.

Compliance with 10.717(F) – Vehicle Circulation and Parking:

Due to the shape of TL 9700 and the fact that the portion of TL 9800 nearest Barnett Road will be developed with a commercial use, an exception to this code section is requested and is discussed in detail under the required findings for an Exception, submitted concurrently with this application.

Density: Tax Lot 9700 is zoned MFR-20. Per MLDC Section 10.311, this urban residential district provides for higher density townhouses and multiple-family dwellings, including duplexes and apartments, and group quarters in a permitted density range of 15 to 20 DU per acre. Tax Lot 9700 has a net area of 0.37 acre and a gross area of approximately 0.41 acre. Given the gross area, the property must be developed with between 6 and 8 DU. The proposed 6-unit apartment building is within the permitted range.

Tax Lot 9800 is zoned C-S/P, which allows for residential development to the MFR-30 minimum density standard of 20 DU/acre with no maximum density standard per Section 10.708(C)(1). Per Section 10.708(C)(2), mixed-use buildings in the C-S/P zone have no minimum or maximum number of required DU. However, while the proposed development will provide horizontal mixed use on the same property, the mix of uses will occur in separate buildings and not a single "mixed-use building". Therefore, minimum required density must be addressed.

Tax Lot 9800 has a net area of 0.61 acre and a gross area of approximately 0.73 acre. The commercial zones in the City of Medford allow for both commercial and multiple-family residential development. This has always been interpreted to mean that these commercial zones allow for mixed-use development (commercial and residential) whether in "mixed-use buildings" or with the individual uses located in separate buildings. While Section 10.708(C)(2) makes it clear that residential density need not be considered for mixed-use buildings, the code does not specify how to consider residential density on commercial properties with mixed-use development occurring in separate buildings. It is clear, that an interpretation of the code that requires a minimum density of 20 DU/acre for the entire gross area of the property even if a portion of the property is developed with

commercial uses, would greatly limit the ability to develop mixed-use in separate buildings. This being the case, an interpretation that residential density needs only be applied to the portion of the property dedicated to residential development is consistent with the purpose and intent of the code as a whole. Unlike with residential zoning districts, there are no minimum density standards for residential development imposed by the Regional Plan or by DLCD. This gives the City the ability to interpret its residential density standards in commercial zones in the way it feels is consistent with the Comprehensive Plan and the intent of the Code. As residential development occurring within the commercial zones works to achieve residential density above and beyond the minimum requirements, every DU developed in a commercial zone is a net benefit in terms of residential density throughout the urban area. This property (TL 9800) being zoned C-S/P, is not required to provide any residential development. The proposed residential component will help to provide much needed housing in the city, but it cannot be accomplished if residential density must meet a minimum of 20 DU per acre on the entire gross area of the property as 15 DU will not fit on this site with the restaurant as proposed.

Since much of the site will be developed with a commercial use, for the reasons stated above, the density will be calculated based on the gross area designated for residential development, which is approximately 0.25 acre. Given the area dedicated to residential development, the property must be developed with between 5 and 8 DU. The proposed 6-unit apartment building is within the permitted range, prescribed for the MFR-30 standards.

Parking: Per Table 10.743-1, Multiple-Family Residential uses are required to provide parking at a ratio of at least 1.5 spaces per dwelling unit. The 12 dwelling units require a total of 18 parking spaces. Restaurants without a drive-thru are required to provide parking at a ratio of 9 spaces per 1,000 square feet of gross floor area. The proposed 2,904 square foot restaurant requires 26.1 parking spaces. Since the application proposes a shared parking arrangement between all uses on TLs 9700, 9800 & 9900, we must also consider the number of parking spaces required for the existing dental office on TL 9900.

Per assessment information the existing dental office is 3,490 square feet. Medical offices are required to provide parking at a ratio of 4.5 spaces per 1,000 square feet of gross floor area plus one space per doctor. The dental office requires 15.7 spaces plus one space for each of the two doctors for a total of 17.7 spaces. The total parking demand for all three uses is 62 ($18 + 26.1 + 17.7 = 61.8$ rounded up per 10.741(A)(2)). Per Section 10.743(5), 5% (three spaces for this site) of the required parking can be two-wheeled vehicle parking. This reduces the number of required standard vehicle parking spaces to 59. The site plan shows a total of 53 standard vehicle spaces (including three ADA spaces) and 4 two-wheeled parking spaces provided across the three properties.

Per MLDC Section 10.744, the off-street parking requirements of two or more uses, structures, or parcels of land may be satisfied by the same parking space used jointly to the extent that it can be shown that the parking needs for the uses do not overlap. The proposed site plan shows that approximately 90% of the number of required parking

spaces for the three uses will be provided for. Through a shared parking arrangement, there are 6 calculated parking spaces that will be shared throughout the three parcels. The applicant contends that this number will be sufficient to serve the three uses as each of the three uses have different peak parking demands. The restaurant will serve only lunch and dinner and will have peak parking demand in the afternoons, evenings and weekends. The dental office is open only during weekday mornings and afternoons. Residential development tends to have lower parking demands during the late morning and afternoon as more people are away from their homes during the day (at school, work, shopping, appointments, etc.). As the table below illustrates, there will be no more than 2 of the 3 uses with peak parking demand at any one time.

	Restaurant	Dental Office	Residence
Morning		X	X
Afternoon	X	X	
Evening	X		X
Weekend	X		X

This shared parking arrangement allows for the maximum use of the property while still providing adequate parking for all proposed uses. This kind of shared parking agreement is appropriate in this area where mixed-use development, walkability and the use of transit and other alternative modes of transportation are to be promoted.

Bicycle Parking: Section 10.748 requires residential uses to provide bicycle parking at a ratio of at least 1 space per dwelling unit. The 12-unit multiple-family development requires at least 12 bicycle parking spaces. Each of the dwelling units will be provided with a lockable exterior storage room with a hanging bike rack inside. The restaurant and dental office are required to provide at least 5 bicycle parking spaces (10% of required parking, rounded up to nearest whole number). The site plan shows the location of 5 bicycle parking spaces near the front entrance of the restaurant.

Setbacks: Section 10.721 requires a minimum 10' building setback for front yards and street side yards (when garage doors do not face the street), and a 0-foot setback, plus ½ foot for each foot in building height over 20 feet, for interior side yards and rear yards for commercial development. The commercial building will be 22.5 feet tall and require a 1.25' side/rear yard setback ($22.5' - 20' = 2.5' \times 0.5 = 1.25'$). The site plan shows the proposed restaurant building will be setback approximately 61' from Barnett Road, approximately 10' from the west property boundary, approximately 28' from the east property boundary, and approximately 107' from the north property boundary.

Section 10.714 requires a minimum 15' building setback for front yards (when garage doors do not face the street), a minimum 10' street side yard setback (when garage doors do not face the street) and a 4-foot setback, plus ½ foot for each foot in building height over 15 feet, for interior side yards and rear yards for multiple-family dwellings. The residential buildings will be 25.66 feet tall and require a 9.33' side/rear yard setback ($25.66' - 15' = 10.66' \times 0.5 = 5.33' + 4' = 9.33'$). The residential building on TL 9800 will be setback approximately 125' from Barnett Road, 10'10" from the west property

boundary, approximately 42' from the east property boundary, and approximately 19' from the north property boundary. The residential building on TL 9700 will be setback approximately 110' from Barnett Road, 10'2" from the east property boundary, approximately 40' from the west property boundary, and approximately 19' from the north property boundary.

The plans show that the mechanical units for the residential buildings will be placed nearer the property line than the building wall. The provided setback for the wall is approximately 1 foot in excess of the required setback distance and Section 10.707 allows for a 1-foot encroachment into the required setback area for mechanical equipment. The plans show that with the additional setback distance provided, the mechanical equipment will not encroach more than 1 foot into the required yard areas.

Lot Coverage: Per Section 10.714, multiple-family development lot coverage is not to exceed 50%. TL 9700 is approximately 0.37 acres or 16,117 square feet. The proposed multiple-family building on TL 9700 will have a foot print of approximately 2,719 square feet and cover approximately 17% of the site.

Per Section 10.721 commercial developments in the C-S/P zone are not to exceed 40% lot coverage. As this permitted lot coverage is lower than what is permitted for multiple-family dwellings, compliance with the commercial standard will also demonstrate compliance for the residential portion of the development on TL 9800. TL 9800 is approximately 0.61 acre or 26,572 square feet. The proposed multiple-family building on TL 9800 will have a foot print of approximately 2,719 square feet and the proposed restaurant will have a foot print of approximately 2,904 square feet, for a total of 5,623 square feet. The proposed buildings will cover approximately 21% of the site.

Access Standards: There are currently two driveway curb-cuts existing along Barnett Road which provide access to tax lots 9700 and 9800. The proposed redevelopment of the site will eliminate one driveway access and provide for a shared access driveway for tax lots 9700 and 9800. In addition, a cross-access easement will be provided to allow for shared access for TL 9900. The result will be two shared driveway access points for the three tax lots.

Per MLDC Section 10.550, cross-access shall be provided to all contiguous parcels that do not abut a lower order street. As mentioned above, the site plan shows that cross-access will be provided to both sides of TL 9800. Access to the west from TL 9900 (on Tax Lot 10000) is not required as TL 9900 is not being redeveloped. Since TL 9700 is being redeveloped, this section would typically require an area be reserved for cross access to the east from TL 9700 (for Tax Lot 9600). Tax Lot 9600 is approximately 0.22 acre in size and is developed with 5 multiple-family dwelling units. The existing development requires the full 6 parking spaces provided on that site and any cross-access would eliminate existing and available parking. The property is not likely to redevelop as a stand-alone redevelopment as the property is already developed to its highest and best use for the zone. In addition, since TL 9700 is currently being redeveloped without the inclusion of the property to the east on Barnett Road, any

redevelopment of Tax Lot 9600 which includes additional properties will likely include the property further to the east, which has frontage on and access from Crestbrook Road.

Section 10.550(3) (c) provides for alternative driveway and access standards for unique situations. In this case, the Public Works Department can find that the proposed redevelopment will improve upon the existing condition by eliminating one driveway along Barnett Road and by providing developed cross-access between Tax Lots 9700, 9800 & 9900. Although providing cross-access to the property to the east of TL 9700 onto Tax Lot 9600 may be impractical due to existing development, size of the property and current Code requirements, the applicant is willing to provide a cross access easement to the east along the common boundary with Tax Lot 9600.

Street Circulation and Connectivity: The subject properties and the block they are located on are a mix of residential and commercial zoning types. The residential zone standards for block length are used because the block is predominantly residential. Per Section 10.426(C)(1), the maximum block length for residential zones is 660' and the maximum block perimeter length is 2,100'. The subject property is located on an existing block that is bound by Barnett Road to the south, Ellendale Drive to the west and Crestbrook Road to the north and east. This block is approximately 1,245 feet long along Barnett Road (measured to the centerlines of each street) and has a perimeter of approximately 3,635 feet.

Per Section 10.426(C)(2), the approving authority may find that proposed blocks that exceed the maximum standards are acceptable when it is demonstrated by findings that certain constraints, conditions, or uses exist on, or adjacent to the site. The constraints and conditions listed in Sections 10.426(C)(2)(b) (environmental constraints including a water body) apply to this development. Block length and area circulation cannot be improved through the block because Lazy Creek runs through the center of the block. Any attempt to provide an additional route from Barnett Road to Crestbrook Road to the north would require a bridge over Lazy Creek and an encroachment into the Lazy Creek riparian corridor. This connection would also require an additional street intersection onto Barnett Road.

Section 10.426(C)(4) requires a public access way, in conformance with 10.464, to be provided when block length standards are exceeded per 10.426(C)(2). However, Sections 10.464(1)(c) & (d) allow relief from the requirement for a public accessway when the accessway would cross a natural area and when the accessway would cross a flood hazard area. An accessway through the existing block to connect from Barnett Road to Crestbrook Road to the north would require crossing Lazy Creek. This crossing would impact the natural, riparian corridor around Lazy Creek which the project as proposed will help to enhance. This crossing would also require the accessway to cross through the flood hazard area around Lazy Creek. For these reasons, an accessway through the existing block is not practical and therefore not required per Section 10.464.

Bufferyards: Per Section 10.790, a Type A bufferyard is required to separate C-S/P zoning from adjacent MFR and SFR zoning and to separate MFR zoning from adjacent SFR zones. Tax Lot 9800 is zoned C-S/P and abuts residential zoning to the east, north and northwest. There are no buffer yards or walls proposed around the perimeter of TL 9800. MLDC Section 10.790(E)(6) allows the approving authority to adjust bufferyard requirements if an unusual circumstance exists. The buffer yard/wall along the north and northwest property boundaries are not shown as these yards/walls would conflict with Lazy Creek (relief per 10.790(E)(6)(d)). The buffer yard/wall along the east boundary, which is the common boundary with TL 9700, is not shown because the uses on the abutting portions of the two properties will be the same – multiple-family residential (relief per 10.790(E)(6)(c)). In addition, the multiple-family developments on the two adjoining properties could not share access, parking and walkways as planned if a bufferyard/wall was required in this location.

Tax Lot 9700 is zoned MFR-20 and abuts single-family residential zoning to the east along the north approximately ½ of the property boundary. The required buffer yard and wall are shown on the proposed site plan in compliance with these sections of the Code.

Riparian Corridor: Lazy Creek runs along the north boundary of the subject properties. The riparian corridor extends 50 feet from the top of bank and development is restricted within this area unless a riparian corridor reduction is submitted and approved. The applicant is requesting a riparian corridor reduction per Section 10.927, which allows for a reduction of the riparian corridor to 25' from the top of the bank when it is determined that equal or better protection of the riparian area will be ensured through a plan for restoration, enhancement, or similar means. The plan shows that the riparian corridor setback will vary from approximately 25' on the west side of the property to approximately 35' on the east side. The applicant submitted a plan for riparian corridor restoration and enhancement for review by the Oregon Department of Fish and Wildlife (ODFW) that demonstrates that the development of this site, with the riparian corridor reduction as requested, will result in equal or better protection of the riparian corridor. The Oregon Department of Fish and Wildlife, having reviewed the plan for restoration and enhancement for a habitat mitigation recommendation pursuant to O.A.R. 635-415 "Fish and Wildlife Habitat Mitigation Policy", and finding that the plan will result in better protection of the riparian corridor than what is currently in place, recommended that the plans submitted be approved as suitable enhancement in exchange for the requested reduction to riparian corridor width (see attached letter from ODFW).

FINDING:

Based on the submitted material in the subject Site Plan and Architectural Commission application, including the associated exhibits, the proposed development complies with the applicable provisions of all city ordinances, aside from the Vehicular Circulation and Parking for Multiple-Family Dwellings requirements for which an exception, as provided for in MLDC Section 10.186, is requested concurrently with this application.

SUMMARY & CONCLUSIONS

The City of Medford concludes that based upon the above discussions and findings regarding Section 10.200 and Section 10.186 (submitted concurrently), with the submitted application materials, including: site plan, architectural plans, landscape plans, conceptual stormwater plan, and riparian corridor reduction request, the Site Plan and Architectural Commission can conclude that the proposed development of these two parcels totaling 0.98 acres on the north side of Barnett Road between Ellendale Drive and Crestbrook Road with an approximately 2,904 square foot restaurant and a 12-unit multiple-family development, meets the criteria for Site Plan and Architectural Review, complying with the applicable provisions of all city ordinances aside from Section 10.717(F), for which an Exception request has been submitted concurrently.

Respectfully Submitted:

A handwritten signature in black ink, appearing to read "Richard Stevens". The signature is fluid and cursive, with a long horizontal stroke extending from the top of the name.

RICHARD STEVENS & ASSOCIATES, INC.

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JAN 14 2020

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SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION - Type III

Section II - Code Compliance: Criterion No. 2

PROJECT SITE		
	PROPOSED	REQUIRED
• Zoning District	C-S/P & MFR-20	N/A
• Overlay District(s)	N/A	N/A
• Proposed Use	restaurant and multiple-family	N/A
• Project Site Acreage	0.98	N/A
• Site Acreage (+ right-of-way)	1.14	N/A
• Proposed Density (10.708)	24 DU/acre & 15 DU/acre	20-30 DU/acre & 15-20 DU/acre
• # Dwelling Units	12	12
• # Employees		

STRUCTURES			
	EXISTING	PROPOSED	
• # Structures	0	3	
• Structure Square Footage (10.710-10.721)	0	8,957 (ground floor)	14,394 (all floors)

SITE DESIGN STANDARDS		
	PROPOSED	REQUIRED
• Front Yard Setback (10.710-721)	See findings	
• Side Yard Setback (10.710-721)		
• Side Yard Setback (10.710-721)		
• Rear Yard Setback (10.710-721)		
• Lot Coverage (10.710-721)	See findings	

PARKING		
	PROPOSED	REQUIRED
• Regular Vehicular Spaces (10.743)	See findings	
• Disable Person Vehicular Spaces (10.746[8])		
• Carpool/Vanpool Spaces (10.809)		
• Total Spaces (10.743)		
• Bicycle Spaces (10.748)		
• Loading Berths (10.742)		



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SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION – Type III

LANDSCAPING

	PROPOSED	REQUIRED
• Total Landscape Area (square feet)	12,595	
• Total Landscape Area in High Water Use Landscaping (square feet)	895	5,038
• Total Landscape Area in High Water Use Landscaping (percentage)	7%	40%
• Total % Landscape Coverage	29%	
• Required Organic Content (cu.yd.)		
• Frontage Landscaping (10.797)		
• Street:	Barnett	Barnett
• Feet:	198 - 27.5 = 170.5	170.5
• # Trees:	7	7
• # Shrubs:	44	42.5
• Street:		
• Feet:		
• # Trees:		
• # Shrubs:		
• Bufferyard Landscaping (10.790)		
• Type:	Type A	Type A
• Distance (ft):	186	
• # Canopy Trees:	3	
• # Shrubs:	22	
• Fence/Wall:	6' masonry wall	6' masonry wall
• Parking Area Planter Bays (10.746)		
• Type:		
• # Bays:	34	34
• Area:	12,400	708
• # Trees:	5	4
• # Shrubs:	28	9

STRUCTURE

PROPOSED

• Materials	see findings
• Colors	see findings

Please remember that the information you provide in response to the questionnaire must be included with your SPAR application submittal. Remember to sign and date your written response.

Site Photos

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Southwest corner of property looking east



Southwest corner of property looking northeast

EXHIBIT
K
CITY OF MEDFORD



Northwest corner of property looking east



Northwest corner of property looking southeast



Northeast corner of property looking west



Northeast corner of property looking southwest



Center of property looking south-southeast



PUBLIC WORKS DEPARTMENT STAFF REPORT

2117 & 23001 East Barnett Road (TL 9700 & 9800)

Restaurant and 12-MFR Units

Project: Consideration of a proposal for the construction of an approximately 3,500 square foot restaurant and 12 multiple family dwelling units on two parcels totaling 0.98 acres.

Location: Located at 2217 & 2301 E Barnett Road within the C-S/P (Service Commercial & Professional Offices) and MFR-20 (Multiple Family Residential – 15 to 20 dwelling units per gross acre) and including an Exception request to the parking standards for multiple family residential dwellings (371W29DC9700 & 9800).

Applicant: Applicant, Hong (Kevin) Wu; Agent, Richard Stevens & Associates, Inc.; Planner, Steffen Roennfeldt.

NOTE: The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention, if applicable.
- Completion of all public improvements, if required. The Applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements shall be approved by the Public Works Engineering Division prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas
- Verification by the design Engineer that the stormwater quality and detention system was constructed per the approved plan, if applicable.
- Completion of all public improvements, if applicable.



A. STREETS

1. Dedications

East Barnett Road is considered Legacy Streets per Medford Land Development Code (MLDC) 10.427(D). Proposed conditions of approval for land use actions which contain legacy streets shall be subject to review and recommendation by the City Engineer. The applicant shall be required to have a conference with the City Engineer prior to submitting land use applications containing legacy streets; the City Engineer shall produce a memorandum summarizing the meeting and legacy street standards that would apply to the land use application and this memorandum shall be submitted as an exhibit with the land use application. If a deviation from the City Engineer's recommendation is requested by the applicant, the applicant shall provide written findings (see criteria under MLDC 10.427(D)(1)(a-e).

East Barnett Road classified as a Major Arterial street within the Medford Land Development Code (MLDC), Section 10.428. This section of Barnett Road, was part of a corridor plan and agreement between the City of Medford and Oregon Department of Transportation (ODOT) in 2011. In accordance with the MLDC, Section 10.427, standards may be modified through a special area plan, which was done in the agreement between the City and ODOT. In addition, through a legacy street conference, additional options were identified. Therefore, the Developer may dedicate for public right-of-way, sufficient width of land along the frontage to comply with the standard half width of right-of-way minus the bike lane, which is 44-feet or as an option, the Developer may dedicate only enough additional right-of-way, or a public pedestrian easement, to accommodate a future 10-foot wide curb-tight sidewalk. **The Developer's surveyor shall verify the amount of additional right-of-way required.**

The Developer will receive SSDC (Street System Development Charge) credits for the public right-of-way dedication on **East Barnett Road**, per the methodology established by the MLDC 3.815. **Should the Developer elect to have the value of the land be determined by an appraisal, a letter to that effect must be submitted to the City Engineer within sixty (60) calendar days of the date of the Final Order of the Planning Commission. The City will then select an appraiser, and a cash deposit will be required as stated in Section 3.815.**

In accordance with MLDC 10.471, **the property owner shall dedicate a 10-foot wide public utility easement (PUE) adjacent to the right-of-way line along this Developments frontage.**

The easement dedications shall be submitted directly to the Engineering Division of the Public Works Department. The submittal shall include: the right-of-way and easement dedication, including an exhibit map; a copy of a current Lot Book Report, Preliminary Title Report, or Title Policy; a mathematical closure report (if applicable), and the Planning Department File Number; for review and City Engineer acceptance signature prior to recordation by the applicant. Releases of interest shall be obtained by holders of trust

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deeds or mortgages on the right-of-way and PUE area.

2. Public Improvements

a. Public Streets

East Barnett Road – All street section improvements have been completed including pavement, curb and gutter, sidewalks and street lights. **No additional street improvements are required, aside from the street lights noted below.**

NOTE: All projects subject to Site Plan and Architectural Review shall be required per MLDC 10.501 (6), as a condition of approval, to repair all frontage sidewalks as determined by the Engineering Division. When attached as a condition of approval of a Site Plan and Architectural. Review application the sidewalk maintenance procedures set forth in Chapter 3, Section 3.025, Notice on Hearing of City Repair of Sidewalks, through 3.035, Notice of Sidewalk Repair, are hereby superseded.

b. Street Lights and Signing

The Developer shall provide and install in compliance with Section 10.495 of the Medford Municipal Code (MMC). Based on the preliminary plan submitted, the following number of street lights and signage will be required:

Street Lighting & Signage – Developer Provided & Installed:

- A. 1 – Type A-400 LED
- B. Remove PPL Street Light - PPL Pole #326960

Traffic Signs and Devices – City Installed, paid by the Developer:

- A. N/A

**NOTE: This development has overhead line clearance issues on their side of the development (north). Recommend installing the street light on the opposite side of the road. There is also street light power available on that side also.*

Numbers are subject to change if changes are made to the plans. All street lights shall be installed per City standards and be shown on the public improvement plans. Public Works will provide preliminary street light locations upon request. All street lights shall be operating and turned on at the time of the final “walk through” inspection by the Public Works Department.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer’s contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided the Developer.

c. Pavement Moratoriums

There is no pavement cutting moratorium currently in effect along this developments frontage to East Barnett Road.

d. Transportation System

Public Works does not agree with the applicant's findings regarding this application being considered redevelopment under MLDC 10.550. There are no existing physical improvements on the properties. This is new development.

The development shall grant a cross-access easement to tax lots 9600 and 9900. Site design must accommodate future use of such access.

The new driveway on Barnett shall be built with a 25 foot radius approach in accordance with MLDC 10.550. Any existing driveway approaches shall be replaced with full height curb, gutter and sidewalk.

3. Section 10.668 Analysis

To support a condition of development that an Applicant dedicate land for public use or provide a public improvement, the Medford Code requires a nexus and rough proportionality analysis which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

10.668 Limitation of Exactions

Notwithstanding any other provisions of this Chapter 10, an Applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless:

(1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose and that there is a rough proportionality between the burden of the exaction on the Developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or

(2) a mechanism exists and funds are available to fairly compensate the Applicant for the excess burden of the exaction to the extent that it would be a taking.

1. Nexus to a legitimate government purpose

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, emergency services and

pedestrians. Further, these rights-of-way are used to provide essential services such as sanitary sewer, domestic water and storm drains to serve the developed parcels. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

2. Rough proportionality between the dedications and improvements, and the impacts of development.

No mathematical formula is required to support the rough proportionality analysis. Furthermore, benefits to the development resulting from the dedication and improvements when determining “rough proportionality” have been considered, including but not limited to: increased property values, intensification of use, as well as connections to municipal services and the transportation network.

As set forth below, the dedications and improvements recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development.

East Barnett Road:

The additional street lighting on East Barnett Road will provide the needed illumination to meet current MLDC requirements.

The additional right-of-way on East Barnett Road will provide the needed width for a future planter strip and sidewalk. East Barnett Road is currently a 35 mile per hour facility, which currently carries approximately 25,700 vehicles per day. The planter strip moves pedestrians a safe distance from the edge of the roadway. East Barnett Road will be the primary route for pedestrians traveling to and from this development.

The City assesses System Development Charges (SDCs) to help pay for acquisition of right-of-way and construction of additional Arterial & Collector Street capacity (including street lights) required as a result of new development. Because a mechanism exists in the form of SDC credit for right-of-way dedication and street improvements in accordance with Medford Municipal Code (MMC) 3.815 and other applicable parts of the Code, to fairly compensate the applicant, the conditions of MLDC, Section 10.668 are satisfied.

Dedication of the Public Utility Easement (PUE) will benefit development by providing public utility services, which are out of the roadway and more readily available to each lot or building being served. The additional traffic of all modes of travel generated by this proposed development supports the dedication and improvements for all modes of travel and utilities. As indicated above, the area required to be dedicated for this development is necessary and roughly proportional to that required in similar developments to provide a transportation system that meets the needs for urban level services.

B. SANITARY SEWERS

The proposed development is situated within the Medford sewer service area. The Developer shall provide one separate individual service lateral to the site or ensure that the site is served by an individual service lateral. All unused laterals adjacent and stubbed to the development shall be capped at the main, PVC or lined laterals may be capped at the property line.

C. STORM DRAINAGE

1. Drainage Plan

A comprehensive drainage plan showing the entire project site with sufficient spot elevations to determine direction of runoff to the proposed drainage system, and also showing elevations on the proposed drainage system, shall be submitted with the first building permit application for approval.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

A Site/Utility Plan shall be submitted with the building permit application to show the location of existing or proposed stormdrain lateral/s for the site.

All private storm drain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729.

4. Verification

Upon completion of the project, and prior to certificate of occupancy of the building, the Developer's design Engineer shall verify that the construction of the stormwater quality and

detention system was constructed per plan. Verification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

5. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

6. Storm Drainage Condition

Developer needs to discharge stormwater to Lazy Creek via an easement across tax lot 9799 or connect to the existing system on tax lot 9900.

7. Easement

Developer shall provide a creek easement on their property for the portion of Lazy Creek that lies within 25 feet of the creek centerline.

D. GENERAL CONDITIONS

1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the Public Works Engineering office.

2. Construction Plans

Construction drawings for any public improvements for this project shall be prepared by a professional Engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Construction drawings for public improvements shall be submitted only for the improvements to be constructed with each phase. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets, minimum access drives, sanitary sewers, storm drains, and street lights as required by the governing Commission's Final Order, together with all pertinent details and calculations. A checklist for public improvement plan submittal can be found on the City of Medford, Public Works web site (<http://www.ci.medford.or.us/Page.asp?NavID=3103>). The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will

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keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

In order to properly maintain an updated infrastructure data base, the Surveyor of Record shall submit an as-built survey prior to the Final Inspection and, the Engineer of Record shall submit mylar "as-constructed" record drawings to the Engineering Division within sixty (60) calendar days of the Final Inspection (walk through). Also, the Engineer shall coordinate with the utility companies, and show all final utility locations on the record drawings.

3. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans.

Contractors proposing to do work on public streets (including street lights), sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit from the County.

For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and storm drain mains be inspected by video camera prior to acceptance of these systems by the City.

Where applicable, the Developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

4. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

5. System Development Charges (SDC)

Buildings in this development are subject to system development charges (SDCs). All SDC

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fees shall be paid at the time individual building permits are issued.

Prepared by: Jodi K Cope

Reviewed by: Doug Burroughs

Revised by: Karl MacNair and Doug Burroughs

**SUMMARY CONDITIONS OF APPROVAL
2117 & 23001 East Barnett Road (TL 9700 & 9800)
Restaurant and 12-MFR Units**

AC-20-010/E-20-011

A. Streets

1. Street Dedications to the Public:

- East Barnett Road – Dedicate additional right-of-way or a public pedestrian easement.
- Dedicate 10-foot Public Utility Easement (PUE) along the respective frontages.

2. Improvements:

Public Streets

- East Barnett Road – No additional improvements are required, aside from street lights.

Lighting and Signing

- Developer supplies and installs all street lights at own expense.
- City installs traffic signs and devices at Developer's expense

Transportation System

- Grant a cross-access easement to tax lots 9600 and 9900.
- The driveway on Barnett shall be built with a 25 foot radius approach.

Other

- No pavement moratorium currently in effect along this frontage to East Barnett Road.

B. Sanitary Sewer:

- Ensure or construct separate individual sanitary sewer connection.
- Cap remaining unused laterals at the main, PVC or lined laterals may be capped at the property line.

C. Storm Drainage:

- Provide a comprehensive grading and drainage plan.
 - Provide water quality and detention facilities, calculations and O&M Manual.
 - Provide engineers verification of stormwater facility construction.
 - Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.
 - Developer needs to discharge stormwater to Lazy Creek.
 - Developer shall provide a creek easement on their property for the portion of Lazy Creek that lies within 25 feet of the creek centerline.
-
- = City Code Requirement
 - = Discretionary recommendations/comments

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.

City of Medford

200 S. Ivy Street, Medford, OR 97501

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Medford Fire-Rescue Land Development Report

Review/Project Information

Reviewed By: Kleinberg, Greg

Review Date: 2/18/2020
Meeting Date: 2/26/2020

LD File #: AC20010 **Associated File #1:** ZC20011

Planner: Steffen Roennfeldt

Applicant: Hong (Kevin) Wu

Site Name: N/A

Project Location: 2217 & 2301 E Barnett Road

ProjectDescription: Consideration of a proposal for the construction of an approximately 3,500 square foot restaurant and 12 multiple family dwelling units on two parcels totaling 0.98 acres, located at 2217 & 2301 E Barnett Road within the C-S/P (Service Commercial & Professional Offices) and MFR-20 (Multiple Family Residential – 15 to 20 dwelling units per gross acre) and including an Exception request to the parking standards for multiple family residential dwellings (371W29DC9700 & 9800).

Specific Development Requirements for Access & Water Supply

Reference	Comments	<u>Conditions</u> Description
OFC 505	A minimum access address sign or a street address sign is required for the apartments.	The developer must provide a minimum access address sign. A pre-approved address sign can also be utilized. A brochure is available at: http://www.ci.medford.or.us/Files/Minimum%20Access%20Address%20Sign.pdf

OFC
503.4

Parking shall be marked/posted as prohibited along the fire lanes.

Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).

Where parking is prohibited for fire department vehicle access purposes, NO PARKING-FIRE LANE signs shall be spaced at minimum 50' intervals along the fire lane (minimum 75' intervals in 1 & 2 family residential areas) and at fire department designated turn-around's. The signs shall have red letters on a white background stating "NO PARKING-FIRE LANE" (See handout).

For privately owned properties, posting/marking of fire lanes may be accomplished by any of the following alternatives to the above requirement (consult with the Fire Department for the best option):

Alternative #1:

Curbs shall be painted red along the entire distance of the fire department access. Minimum 4" white letters stating "NO PARKING-FIRE LANE" shall be stenciled on the curb at 25-foot intervals.

Alternative #2:

Asphalt shall be striped yellow or red along the entire distance of the fire department access. The stripes shall be at least 6" wide, be a minimum 24" apart, be placed at a minimum 30-60 degree angle to the perimeter stripes, and run parallel to each other. Letters stating "NO PARKING-FIRE LANE" shall be stenciled on the asphalt at 25-foot intervals.

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths (20' wide) and clearances (13' 6" vertical) shall be maintained at all times (OFC 503.4; ORS 98.810-12).

This restriction shall be recorded on the property deed as a requirement for future construction.

A brochure is available on our website at:

<http://www.ci.medford.or.us/Files/Fire%20Lane%20Brochure.pdf>

OFC 903

The multifamily dwellings are required to be protected with fire sprinkler systems. The restaurant is required to be protected by a fire sprinkler system if the occupant load is 100 or more.

Fire sprinkler requirement information.

Where a fire sprinkler system is required, it shall meet the requirements of the Oregon Fire Code and the applicable National Fire Protection Association (NFPA) Standard.

Consult the Medford Water Commission for proper water meter sizing for fire sprinkler systems.

Construction General Information/Requirements

Development shall comply with access and water supply requirements in accordance with the Oregon Fire Code in affect at the time of development submittal. Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (fire hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on information provided only.

Design and installation shall meet the Oregon requirements of the International Fire, Building, Mechanical Codes and applicable NFPA Standards.

Medford Fire-Rescue, 200 S Ivy St. Rm 180, Medford OR 97501 541-774-2300



BOARD OF WATER COMMISSIONERS

Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: AC-20-010 & E-20-011

PARCEL ID: 371W29DC TL 9700 & 9800

PROJECT: Consideration of a proposal for the construction of an approximately 3,500 square foot restaurant and 12 multiple family dwelling units on two parcels totaling 0.98 acres, located at 2217 & 2301 E Barnett Road within the C-S/P (Service Commercial & Professional Offices) and MFR-20 (Multiple Family Residential – 15 to 20 dwelling units per gross acre) and including an Exception request to the parking standards for multiple family residential dwellings (371W29DC9700 & 9800). Applicant, Hong (Kevin) Wu; Agent, Richard Stevens & Associates, Inc.; Planner, Steffen Roennfeldt.

DATE: February 26, 2020

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) “Regulations Governing Water Service” and “Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices.”
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. There are two (2) existing ¾-inch water meters along the north side of E Barnett Road with 1-inch copper service lines from the existing 12-inch water main to each water meter. These two water meters can be upsized to a “full” 1-inch water meter (Approx. \$2600 each) which could “potentially” serve each of the two (2) proposed 6-unit, two-story Multi-family units on Tax Lot 9700 & 9800. (See attached Water Facility Map)
4. The proposed “New Commercial Building” requires the installation of a “new” water service. Applicants owner/civil engineer shall coordinate with MWC Engineering staff for size and location of this water meter. Water meters are required to be installed outside of existing or proposed driveways.
5. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35> .

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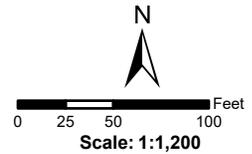
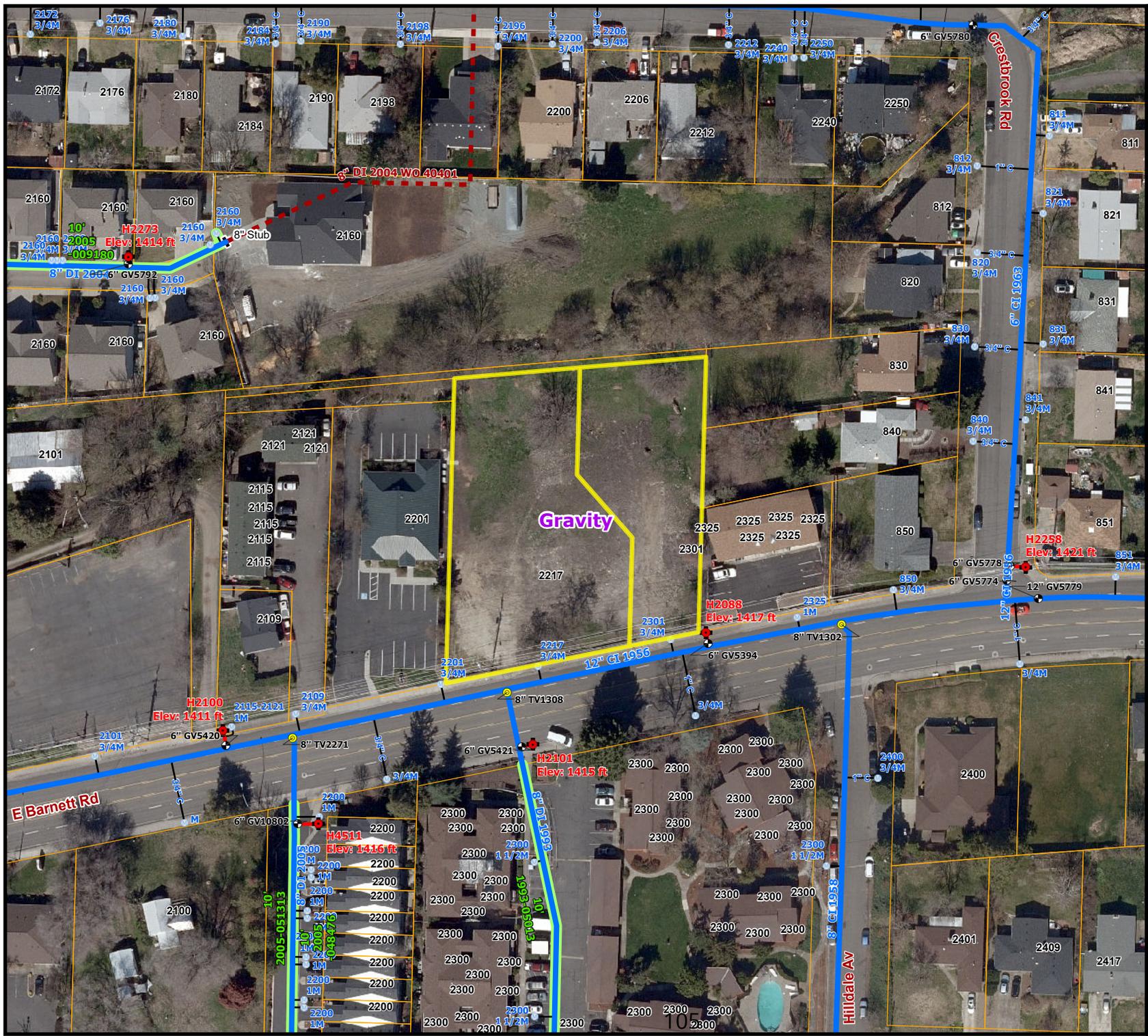




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COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is not required.
3. There is an existing fire hydrant located slightly east of the existing east property line.
4. Static water pressure at this site is approximately 74 psi.
5. MWC-metered water service does exist to this property. There are two (2) existing $\frac{3}{4}$ -inch water meters across the frontage of this property. (See Condition 3 above)
6. Access to MWC water lines is available. There is an existing 12-inch water line in E Barnett Road, located in west bound travel lanes.



Water Facility Map
City of Medford
Planning Application:
AC-20-020 E-20-011
(371W29DC9700, 9800)
Feb 26, 2020

Legend

- Air Valve
- Sample Station
- Fire Service
- Hydrant
- Reducer
- Blow Off
- Plugs-Caps

Water Meters:

- Active Meter
- On Well
- Unknown
- Vacant

Water Valves:

- Butterfly Valve
- Gate Valve
- Tapping Valve

Water Mains:

- Active Main
- Abandoned Main
- Reservoir Drain Pipe
- Pressure Zone Line

Boundaries:

- Urban Growth Boundary
- City Limits
- Tax Lots

MWC Facilities:

- Control Station
- Pump Station
- Reservoir



This map is based on a digital database compiled by Medford Water Commission from a variety of sources. Medford Water Commission cannot accept responsibility for errors, omissions, or positional accuracy. There are no warranties, expressed or implied.
 Date: 2/13/2020
 Path: \\medfordwater.org\public\GIS\Share\Departments\GIS\Mapping\Projects\LD_Map_Makeup\LD_Map_Makeup.aprx



MEMORANDUM

Subject Legal Description
File no. AC-20-010/E-20-011
To Jon Proud, Engineering
From Steffen Roennfeldt, Planning Department
Date February 13, 2020

Please verify the attached legal description covering the below subject at your earliest convenience. See attached map.

1. AC-20-010/E-20-011
Applicant: Hong (Kevin) Wu
Agent: Richard Stevens & Associates

Steffen, the attached description describes the 'subject area' depicted on vicinity map. Thanks, Jon 2-28-20

cp

Attachments:

Vicinity Map, Legal description

**RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:**
Rhine Cross Group, LLC
112 N. 5th St – Suite 200
Klamath Falls, OR 97601



I, Christine Walker, County Clerk for Jackson County, Oregon, certify that the instrument identified herein was recorded in the Clerk's records.
Christine Walker - County Clerk

**UNTIL A CHANGE IS REQUESTED,
ALL TAX STATEMENTS SHALL BE
SENT TO THE FOLLOWING
ADDRESS:**

LiJun Zhao, Et. Al.
1780 Kensington Place
McKinleyville, CA 95519

PROPERTY LINE ADJUSTMENT DEED

Hong Wu, as to an undivided 25% interest, LiJun Zhao, as to an undivided 50% interest, and Jiaqing Wu, as to an undivided 25% interest, as tenants by the common, Grantor, conveys to Hong Wu, as to an undivided 25% interest, LiJun Zhao, as to an undivided 50% interest, and Jiaqing Wu, as to an undivided 25% interest, as tenants by the common, Grantee, the real property situated in the SE1/4 of Section 29, and the NE1/4 of Section 32, Township 37 South, Range 01 West, W.M., Jackson County, Oregon, described in Exhibit "B" attached hereto.

This instrument is executed to accomplish a property line adjustment between Grantor's parcel described in Exhibit "A" attached hereto ("Grantor's Parcel"), as vested in Grantor pursuant that certain Statutory Warranty Deed recorded as Instrument No. 2018-005720, Jackson County Official Records, and Grantee's parcel described in Exhibit "A" attached hereto ("Grantee's Parcel"), as vested in Grantee pursuant to that certain Statutory Warranty Deed recorded as Instrument No. 2018-005714, Jackson County Official Records. The purpose of this adjustment is to enlarge Grantee's Parcel and reduce Grantor's Parcel by the sale of the property described in Exhibit "B" attached hereto. No new parcel shall be created by the execution of this instrument. The post adjustment size and configuration of Grantee's Parcel and Grantor's Parcel shall be as described in Exhibit "C" attached hereto.

Grantor's Parcel Tax Lot: 37-1W-32A-4300 (37-1W-29DC-9800)

Grantee's Parcel Tax Lot: 37-1W-32A-4200 (37-1W-29DC-9700)

The value for this conveyance is: \$1 and other true and valuable consideration

DW 6.26.19
APPROVED
Christine Walker
County Clerk

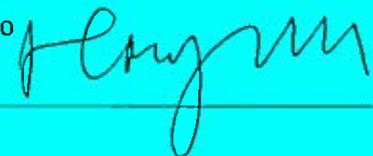
ORS 93.040(1): BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS. IF ANY, UNDER ORS 195.300, 195.301 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010

Dated June 18, 2019 .

GRANTOR:



LiJun Zhao



Hong Wu



Jiaqing Wu

GRANTEE:

[Signature]

LiJun Zhao

[Signature]

Hong Wu

[Signature]

Jiaqing Wu

STATE OF OREGON)

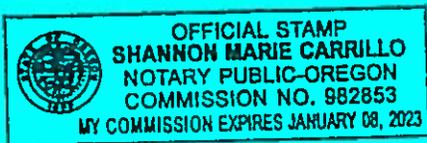
)

County of Jackson)

BEFORE ME, the undersigned authority, on this day personally appeared LiJun Zhao, Hong Wu, and Jiaqing Wu, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this 18th day of June 2019.

(SEAL)



Shannon Marie Carrillo
NOTARY PUBLIC, STATE OF OREGON
Print name: Shannon Marie Carrillo
My commission expires: 01-08-23

APPROVED
City of Medford
Planning Department

June 26, 19

EXHIBIT A

Prior Legal Descriptions

PRIOR to Lot Line Adjustments

Grantor's Parcel

Tax Lot 37-1W-32A-4300 (37-1W-29DC-9800)

Parcel II: BEGINNING AT THE NORTHEAST CORNER OF DONATION LAND CLAIM NO. 50 IN TOWNSHIP 37 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, JACKSON COUNTY, OREGON AND RUNNING THENCE SOUTH 0°01' EAST ALONG THE CENTER OF CRESTBROOK ROAD A DISTANCE OF 954.83 FEET TO AN INTERSECTION WITH THE TANGENT OF BARNETT ROAD; THENCE NORTH 76°56'30" EAST ALONG SAID CENTER LINE OF BARNETT ROAD A DISTANCE OF 826.69 FEET; THENCE NORTH 13°03'30" WEST 30.00 FEET TO A 5/8" X 30" IRON BAR MONUMENT FOR THE TRUE POINT OF BEGINNING.

FROM THIS TRUE POINT OF BEGINNING THENCE NORTH 76°56'30" EAST ALONG THE NORTHERLY RIGHT OF WAY LINE OF BARNETT ROAD A DISTANCE OF 197.61 FEET; THENCE NORTH 215.89 FEET; THENCE SOUTH 83°30'46" WEST 193.74 FEET; THENCE SOUTH 238.65 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THE FOLLOWING: BEGINNING AT THE NORTH-EAST CORNER OF DONATION LAND CLAIM NO. 50 IN TOWNSHIP 37 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, JACKSON COUNTY, OREGON, AND RUNNING THENCE SOUTH 0°01' EAST ALONG THE CENTER OF CREST-BROOK ROAD A DISTANCE OF 954.83 FEET TO AN INTERSECTION WITH THE TANGENT OF BARNETT ROAD; THENCE NORTH 76°56'30" EAST ALONG SAID CENTER LINE OF BARNETT ROAD A DISTANCE OF 826.69 FEET; THENCE NORTH 13°03'30" WEST 30.00 FEET TO A 5/8" X 30" IRON BAR MONUMENT; THENCE NORTH 76°56'30" EAST ALONG THE NORTHERLY RIGHT OF WAY LINE OF BARNETT ROAD A DISTANCE OF 147.61 FEET TO A POINT FOR THE TRUE POINT OF BEGINNING.

FROM THIS TRUE POINT OF BEGINNING THENCE CONTINUE ALONG THE NORTHERLY RIGHT OF WAY LINE OF BARNETT ROAD, A DISTANCE OF 50.00 FEET; THENCE NORTH 215.89 FEET; THENCE SOUTH 83°30'46" WEST 50.00 FEET; THENCE SOUTH 219.5 FEET MORE OR LESS TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF MEDFORD, AN OREGON MUNICIPAL CORPORATION IN INSTRUMENT RECORDED JANUARY 16, 1998 AS DOCUMENT NO. 98-01753

APPROVED
City of Medford
Planning Department

DW 6.26.19

Grantee's Parcel

Tax Lot 37-1W-32A-4200 (37-1W-29DC-9700)

BEGINNING AT THE NORTHEAST CORNER OF DONATION LAND CLAIM NO. 50 IN TOWNSHIP 37 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, JACKSON COUNTY, OREGON AND RUNNING THENCE SOUTH 0°01' EAST ALONG THE CENTER OF CRESTBROOK ROAD A DISTANCE OF 954.83 FEET TO AN INTERSECTION WITH THE TANGENT OF BARNETT ROAD; THENCE NORTH 76°56'30" EAST ALONG SAID CENTER LINE OF BARNETT ROAD A DISTANCE OF 826.69 FEET; THENCE NORTH 13°03'30" WEST 30.00 FEET TO A 5/8" X 30" IRON BAR MONUMENT; THENCE NORTH 76°56'30" EAST ALONG THE NORTHERLY RIGHT OF WAY LINE OF BARNETT ROAD A DISTANCE OF 147.61 FEET TO A POINT FOR THE TRUE POINT OF BEGINNING. FROM THIS TRUE POINT OF BEGINNING THENCE CONTINUE ALONG THE NORTHERLY RIGHT OF WAY LINE OF BARNETT ROAD A DISTANCE OF 50.00 FEET; THENCE NORTH 215.89 FEET; THENCE SOUTH 83°30'46" WEST 50.00 FEET; THENCE SOUTH 219.5 FEET, MORE OR LESS TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF MEDFORD AN OREGON MUNICIPAL CORPORATION IN INSTRUMENT RECORDED JANUARY 21, 1998 AS DOCUMENT NO. 98-02252, OFFICIAL RECORDS OF JACKSON COUNTY, OREGON.

EXHIBIT B

**Property Line Adjustment, City of Medford File PLA#18-121
Conveyance Description from Tax Lot 4300 (9800) to Tax Lot 4200 (9700)**

A parcel of land situated in the SE1/4 of Section 29, and the NE1/4 of Section 32, Township 37 South, Range 1 West of the Willamette Meridian, Jackson County, Oregon, within the City of Medford, said parcel being more particularly described as follows:

Commencing at the northeast corner of Donation Land Claim No. 50 in T37S, R1W, W.M., in Jackson County, Oregon; thence along the center line of Ellendale Drive South 00°26'09" East, 954.83 feet to the centerline of Barnett Road; thence along the centerline of Barnett Road North 76°31'21" East, 826.69 feet; thence leaving said centerline of Barnett Road North 13°28'39" West, 30.00 feet to the southwest corner of the right of way dedication description per Document #98-01753; thence along the westerly line of said right of way dedication description per Document #98-01753 North 00°23'28" West, 5.13 feet; thence along the northerly line of said right of way dedication description per Document #98-01753 North 76°31'21" East, 143.58 feet to the True Point of Beginning of this description, thence North 00°23'28" West, 82.96 feet; thence North 43°18'10" West, 64.37 feet; thence North 00°23'28" West, 82.02 feet; thence North 83°06'17" East, 47.10 feet; thence South 00°38'30" East, 216.56 feet to the northeast corner of said right of way description per Document #98-01753; thence along the northerly line of said right of way dedication description per Document #98-01753 South 76°31'21" West, 4.02 feet to the Point of Beginning.

Said parcel containing 5485 sq.ft., more or less. Basis of Bearings is grid north on the Oregon Coordinate Reference System (OCRS) Grants Pass – Ashland Zone.

EXHIBIT C

New Legal Descriptions

POST Lot Line Adjustment

Grantor's Parcel

Property Line Adjustment, City of Medford File PLA#18-121

Adjusted Tax Lot 4300 (9800)

A parcel of land situated in the SE1/4 of Section 29, and the NE1/4 of Section 32, Township 37 South, Range 1 West of the Willamette Meridian, Jackson County, Oregon, within the City of Medford, said parcel being more particularly described as follows:

Commencing at the northeast corner of Donation Land Claim No. 50 in T37S, R1W, W.M., in Jackson County, Oregon; thence along the center line of Ellendale Drive South 00°26'09" East, 954.83 feet to the centerline of Barnett Road; thence along the centerline of Barnett Road North 76°31'21" East, 826.69 feet; thence leaving said centerline of Barnett Road North 13°28'39" West, 30.00 feet to the southwest corner of the right of way dedication description per Document #98-01753; thence along the westerly line of said right of way dedication description per Document #98-01753 North 00°23'28" West, 5.13 feet to the True Point of Beginning of this description, thence North 00°23'28" West, 233.69 feet; thence North 83°06'17" East, 96.65 feet; thence South 00°23'28" East, 82.02 feet; thence South 43°18'10" East, 64.37 feet; thence South 00°23'28" East, 82.96 feet to a point on the northerly line of the right of way description per Document #98-01753; thence along the northerly line of said right of way dedication description per Document #98-01753 South 76°31'21" West, 143.58 feet to the Point of Beginning.

Said parcel containing 26,786 sq.ft., more or less. Basis of Bearings is grid north on the Oregon Coordinate Reference System (OCRS) Grants Pass – Ashland Zone.

APPROVED
City of Medford
Planning Department
DWLe-26-19

Grantee's Parcel
Property Line Adjustment, City of Medford File PLA#18-121
Adjusted Tax Lot 4200 (9700)

A parcel of land situated in the SE1/4 of Section 29, and the NE1/4 of Section 32, Township 37 South, Range 1 West of the Willamette Meridian, Jackson County, Oregon, within the City of Medford, said parcel being more particularly described as follows:

Commencing at the northeast corner of Donation Land Claim No. 50 in T37S, R1W, W.M., in Jackson County, Oregon; thence along the center line of Ellendale Drive South 00°26'09" East, 954.83 feet to the centerline of Barnett Road; thence along the centerline of Barnett Road North 76°31'21" East, 826.69 feet; thence leaving said centerline of Barnett Road North 13°28'39" West, 30.00 feet to the southwest corner of the right of way dedication description per Document #98-01753; thence along the westerly line of said right of way dedication description per Document #98-01753 North 00°23'28" West, 5.13 feet; thence along the northerly line of said right of way dedication description per Document #98-01753 North 76°31'21" East, 143.58 feet to the True Point of Beginning of this description, thence North 00°23'28" West, 82.96 feet; thence North 43°18'10" West, 64.37 feet; thence North 00°23'28" West, 82.02 feet; thence North 83°06'17" East, 97.12 feet; thence South 00°23'28" East, 210.89 feet to the northeast corner of the right of way description per Document #98-02252; thence along the northerly line of said right of way dedication description per Document #98-02252 and also the northerly line of said Document #98-01753 South 76°31'21" West, 54.05 feet to the Point of Beginning.

Said parcel containing 16,005 sq.ft., more or less. Basis of Bearings is grid north on the Oregon Coordinate Reference System (OCRS) Grants Pass – Ashland Zone.

APPROVED
City of Medford
Document
DW 6.26.19



Project Name:

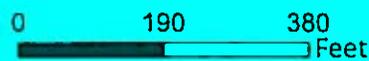
**2217 & 2301 E. Barnett Road
Restaurant & Multi-Family**

Map/Taxlot:

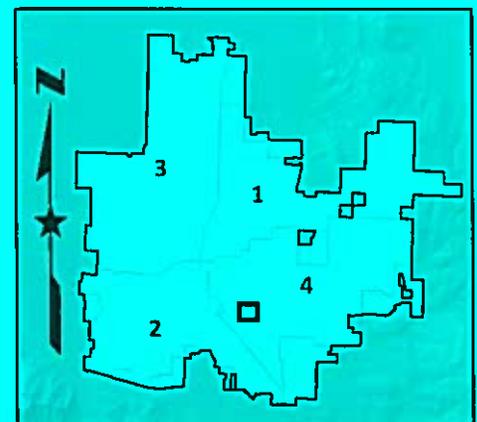
371W29DC TL 9700 & 9800

Legend

-  Subject Area
-  Tax Lots



1/21/2020 115



Steffen K. Roennfeldt

From: McFadden, David <David.McFadden@avistacorp.com>
Sent: Friday, February 21, 2020 3:59 PM
To: Steffen K. Roennfeldt
Cc: mike@csaplaning.net
Subject: AC 20-010

<EXTERNAL EMAIL ****Click Responsibly!****>

Dear Mr. Roennfeldt and others whom it may concern:

Avista has not received any documents about this proposal, other than City Planning cover sheet.

The City of Medford's Street Moratorium has lapsed as of 08-17-2019 which enables Avista to provide service within the City's normal permit schedule.

The State of Oregon allows Avista to cover the construction cost within the right of way, and for the first 40' on the property, and Avista allows an additional 20' for new customers. However, a commercial restaurant also qualifies for additional construction allowances. But even with the little information provide; you and the developer should know that Avista will be able to bring natural gas service off the street for restaurant use, and other uses on the property, at no cost to the developer.

Sincerely Yours

David McFadden
Gas Facility Designer



580 Business Park Drive
Medford, OR. 97504
Cell 541-941-4055
Office 541-858-4740
Fax 509-777-5584

[For Information on Programs, Incentives and Cash Rebates for your Home, Rental or Business, visit](https://www.avistautilities.com/savings/rebates/Pages/default.aspx)
<https://www.avistautilities.com/savings/rebates/Pages/default.aspx>

Or call Energy Trust of Oregon @ 1-866-368-7878.

Avista Fuel Cost Calculator
<https://www.avistautilities.com/savings/suite/Pages/fuelcalculator.aspx>

This email (including any attachments) may contain confidential and privileged information, and unauthorized disclosure or use is prohibited. If you are not an intended recipient, please notify the sender and delete this email from your system. Thank you

CONFIDENTIALITY NOTICE: The contents of this email message and any attachments are intended solely for the addressee(s) and may contain confidential and/or privileged information and may be legally protected from disclosure. If you are not the intended recipient of this message or an agent of the intended recipient, or if this message has been addressed to you in error, please immediately alert the sender by reply email and then delete this message and any attachments.



RECEIVED
JAN 14 2020
PLANNING DEPT.



Oregon

Kate Brown, Governor

Department of Fish and Wildlife
Rogue Watershed District Office
1495 East Gregory Road
Central Point, OR 97502
(541) 826-8774
Fax (541) 826-8776

Jeffrey M. Luers
Two Oaks Studio
Landscape Architecture and Ecological Design
541-899-6895

RE: Riparian Reduction on Lazy Creek
Location: 2217 and 2301 E Barnett Rd, Medford OR 97530

Oregon Department of Fish and Wildlife (ODFW) was approached about reducing the 50 foot riparian buffer on Lazy Creek to 25 feet for the construction of apartment buildings and a restaurant on the lots located on 2217 and 2301 E Barnett Rd in Medford. As part of Medford's Riparian Ordinance the riparian buffer may be decreased "as long as equal or better protection of the riparian area will be ensured through a plan for restoration, enhancement or similar means" (10.927). Riparian vegetation is critical for fish and wildlife in the Rogue River valley in order to provide shade, bank stability and habitat structure. The current riparian buffer on Lazy Creek in these two lots are mostly devoid of vegetation and consist of a mowed field. Therefore, in order to enhance the riparian buffer, Mr. Luers proposed the reduced buffer be planted with native vegetation which will ultimately provide more shade and structure on Lazy Creek than its current condition. These plans include planting 11 large canopy trees in the riparian area as well a large number of flowering shrubs, these will provide shade, bank structure and habitat for other wildlife and pollinators. ODFW would recommend these plans for approval as a suitable enhancement in exchange for reducing the riparian buffer on Lazy Creek to 25 feet. The planting should be completed within one year of construction of construction on these two lots. In addition to the planting, ODFW would also expect the landowners to provide maintenance to the native plants which would include watering the plants for the first 3-5 years until they established, removal of invasive species and replanting as necessary. ODFW would like to remind the landowner and that the native plants in this buffer should not be removed in the future in accordance with the Medford Riparian Ordinance.

Please contact ODFW with any comments or concerns.

Sincerely,

Laura Street
Assistant District Fish Biologist
Oregon Department of Fish and Wildlife
1495 East Gregory Road
Central Point OR 97502
541-826-8774 x 224



//

EXHIBIT A

Prior Legal Descriptions

PRIOR to Lot Line Adjustments

Grantor's Parcel

Tax Lot 37-1W-32A-4300 (37-1W-29DC-9800)

Parcel II: BEGINNING AT THE NORTHEAST CORNER OF DONATION LAND CLAIM NO. 50 IN TOWNSHIP 37 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, JACKSON COUNTY, OREGON AND RUNNING THENCE SOUTH 0°01' EAST ALONG THE CENTER OF CRESTBROOK ROAD A DISTANCE OF 954.83 FEET TO AN INTERSECTION WITH THE TANGENT OF BARNETT ROAD; THENCE NORTH 76°56'30" EAST ALONG SAID CENTER LINE OF BARNETT ROAD A DISTANCE OF 826.69 FEET; THENCE NORTH 13°03'30" WEST 30.00 FEET TO A 5/8" X 30" IRON BAR MONUMENT FOR THE TRUE POINT OF BEGINNING.

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EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF MEDFORD, AN OREGON MUNICIPAL CORPORATION IN INSTRUMENT RECORDED JANUARY 16, 1998 AS DOCUMENT NO. 98-01753



APPROVED
City of Medford
Planning Department

DW 6.26.19

Grantee's Parcel

Tax Lot 37-1W-32A-4200 (37-1W-29DC-9700)

BEGINNING AT THE NORTHEAST CORNER OF DONATION LAND CLAIM NO. 50 IN TOWNSHIP 37 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, JACKSON COUNTY, OREGON AND RUNNING THENCE SOUTH 0°01' EAST ALONG THE CENTER OF CRESTBROOK ROAD A DISTANCE OF 954.83 FEET TO AN INTERSECTION WITH THE TANGENT OF BARNETT ROAD; THENCE NORTH 76°56'30" EAST ALONG SAID CENTER LINE OF BARNETT ROAD A DISTANCE OF 826.69 FEET; THENCE NORTH 13°03'30" WEST 30.00 FEET TO A 5/8" X 30" IRON BAR MONUMENT; THENCE NORTH 76°56'30" EAST ALONG THE NORTHERLY RIGHT OF WAY LINE OF BARNETT ROAD A DISTANCE OF 147.61 FEET TO A POINT FOR THE TRUE POINT OF BEGINNING. FROM THIS TRUE POINT OF BEGINNING THENCE CONTINUE ALONG THE NORTHERLY RIGHT OF WAY LINE OF BARNETT ROAD A DISTANCE OF 50.00 FEET; THENCE NORTH 215.89 FEET; THENCE SOUTH 83°30'46" WEST 50.00 FEET; THENCE SOUTH 219.5 FEET, MORE OR LESS TO THE TRUE POINT OF BEGINNING.

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Said parcel containing 5485 sq.ft., more or less. Basis of Bearings is grid north on the Oregon Coordinate Reference System (OCRS) Grants Pass – Ashland Zone.

EXHIBIT C

New Legal Descriptions

POST Lot Line Adjustment

Grantor's Parcel

**Property Line Adjustment, City of Medford File PLA#18-121
Adjusted Tax Lot 4300 (9800)**

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Property Line Adjustment, City of Medford File PLA#18-121
Adjusted Tax Lot 4200 (9700)

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Said parcel containing 16,005 sq.ft., more or less. Basis of Bearings is grid north on the Oregon Coordinate Reference System (OCRS) Grants Pass – Ashland Zone.

**RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:**

Rhine Cross Group, LLC
112 N. 5th St – Suite 200
Klamath Falls, OR 97601



Christine Walker, County Clerk for Jackson County, Oregon, certify
that the instrument identified herein was recorded in the Clerk
records
Christine Walker - County Clerk

**UNTIL A CHANGE IS REQUESTED,
ALL TAX STATEMENTS SHALL BE
SENT TO THE FOLLOWING
ADDRESS:**

LiJun Zhao, Et. Al.
1780 Kensington Place
McKinleyville, CA 95519

PROPERTY LINE ADJUSTMENT DEED

Hong Wu, as to an undivided 25% interest, LiJun Zhao, as to an undivided 50% interest, and Jiaqing Wu, as to an undivided 25% interest, as tenants by the common, Grantor, conveys to Hong Wu, as to an undivided 25% interest, LiJun Zhao, as to an undivided 50% interest, and Jiaqing Wu, as to an undivided 25% interest, as tenants by the common, Grantee, the real property situated in the SE1/4 of Section 29, and the NE1/4 of Section 32, Township 37 South, Range 01 West, W.M., Jackson County, Oregon, described in Exhibit "B" attached hereto.

This instrument is executed to accomplish a property line adjustment between Grantor's parcel described in Exhibit "A" attached hereto ("Grantor's Parcel"), as vested in Grantor pursuant that certain Statutory Warranty Deed recorded as Instrument No. 2018-005720, Jackson County Official Records, and Grantee's parcel described in Exhibit "A" attached hereto ("Grantee's Parcel"), as vested in Grantee pursuant to that certain Statutory Warranty Deed recorded as Instrument No. 2018-005714, Jackson County Official Records. The purpose of this adjustment is to enlarge Grantee's Parcel and reduce Grantor's Parcel by the sale of the property described in Exhibit "B" attached hereto. No new parcel shall be created by the execution of this instrument. The post adjustment size and configuration of Grantee's Parcel and Grantor's Parcel shall be as described in Exhibit "C" attached hereto.

Grantor's Parcel Tax Lot: 37-1W-32A-4300 (37-1W-29DC-9800)

Grantee's Parcel Tax Lot: 37-1W-32A-4200 (37-1W-29DC-9700)

The value for this conveyance is: \$1 and other true and valuable consideration

DW 06.26.19
APPROVED
City of Medford
Planning Department

ORS 93.040(1): BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010

Dated June 18, 2019.

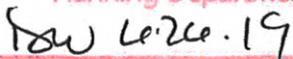
GRANTOR:



LiJun Zhao 

Hong Wu 

Jiaqing Wu

APPROVED
City of Medford
Planning Department


GRANTEE:

[Signature]

LiJun Zhao
[Signature]

Hong Wu
[Signature]

Jiaqing Wu

STATE OF OREGON)

)

County of Jackson)

BEFORE ME, the undersigned authority, on this day personally appeared LiJun Zhao, Hong Wu, and Jiaqing Wu, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this 18th day of June 2019.

(SEAL)

[Signature: Shannon Marie Carrillo]
NOTARY PUBLIC, STATE OF OREGON
Print name: Shannon Marie Carrillo
My commission expires: 01-08-23



APPROVED
City of Medford
Planning Department

Date: 2019.06.19

Aerial Map



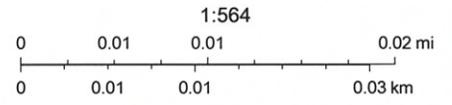
00201010E-20-011

FILE # # AC-20-010/E-20-011

EXHIBIT #
CITY OF MEDFORD

- 1/8/2020, 12:24:24 PM
- Owner Labels
- Occupant Labels
- Taxlots

RECEIVED
JAN 14 2020
PLANNING DEPT.



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community, City of

Medford Land Information system

12

DENSITY CALCULATION FORM

For all residential LDP, LDS, PUD, and AC Application Files

SQ FT 0
 AC 0

File No.	AC-20-010 & E-20-011
Planner	Steffen Roennfeldt
Date	February 25, 2020

GROSS ACREAGE	
Tax Lot Numbers 371W29DC9800	0.61 AC
	AC
	AC
	AC
	AC
	AC
Existing ROW to Centerline	- AC
Gross Acres	0.61 AC
Effective Acres (Gross - Subtracted)	0.25

SUBTRACTED ACREAGE	
Large Lots for Existing Development	0.36 AC
Reserved Acreage	AC
Other ¹	AC
	AC
	AC
	AC
	AC
Subtracted Acres	0.36 AC

DENSITY RANGE	
Zoning District	MFR-30
Density Range	
Minimum	20
Maximum	30
No. DU Proposed	5
No. DU Permitted Min.	5
No. DU Permitted Max.	8
Minimum	5.00
Maximum	7.50
Percentage of Maximum	66.67%
Less than 1 acre?	Yes
Updated	
Minimum Density	4

EXISTING R-O-W CALCULATION				
Street Name	LF	Width	SF	Acreage
E Barnett Rd			-	-
			-	-
			-	-
			-	-



¹ dedication, resource protection areas, common open space, other dedication areas, etc.

DENSITY CALCULATION FORM

For all residential LDP, LDS, PUD, and AC Application Files

SQ FT 0
 AC 0

File No.	AC-20-010 & E-20-011
Planner	Steffen Roennfeldt
Date	February 25, 2020

GROSS ACREAGE	
Tax Lot Numbers 371W29DC9800	0.37 AC
	AC
	AC
	AC
	AC
	AC
Existing ROW to Centerline	0.00 AC
Gross Acres	0.37 AC
Effective Acres (Gross - Subtracted)	0.37

SUBTRACTED ACREAGE	
Large Lots for Existing Development	 AC
Reserved Acreage	 AC
Other ¹	
	 AC
	 AC
	 AC
	 AC
	 AC
Subtracted Acres	- AC

DENSITY RANGE	
Zoning District	MFR-20
Density Range	
Minimum	15
Maximum	20
No. DU Proposed	6
No. DU Permitted Min.	6
No. DU Permitted Max.	7
Minimum	5.56
Maximum	7.41
Percentage of Maximum	80.99%
Less than 1 acre?	Yes
Updated	
Minimum Density	5

EXISTING R-O-W CALCULATION				
Street Name	LF	Width	SF	Acreage
E Barnett Rd	50.00	0.35	17.50	0.00
			-	-
			-	-
			-	-
			17.50	0.00

¹ Such as future ROW dedication, resource protection areas, common open space, other dedication areas, etc.



MEMORANDUM

To: Steffen Roennfeldt, Planner III
From: Liz Conner, Planner II, CFM
Date: April 8, 2020
Subject: AC-20-020/E-20-011 2217 & 2301 E Barnett Road

PROJECT DESCRIPTION

Consideration of a proposal for the construction of an approximately 3,500 square foot restaurant and 12 multiple family dwelling units on two parcels totaling 0.98 acres, located at 2217 & 2301 E Barnett Road within the C-S/P (Service Commercial & Professional Offices) and MFR-20 (Multiple Family Residential – 15 to 20 dwelling units per gross acre) and including an Exception request to the parking standards for multiple family residential dwellings (371W29DC9700 & 9800).

SITE CHARACTERISTICS

- Property zoned Commercial Service Professional (C-S/P)
- Lazy Creek located north of the northern property line
- Riparian Corridor located on the property
- Vacant lots
- Special Flood Hazard Area Zone AE with Base Flood Elevation
- FIRM Panel 41029C1979F (effective 05/03/2011)

FLOODPLAIN & RIPARIAN CORRIDOR REGULATIONS

The property is currently within a mapped AE zone with Base Flood Elevations. The designated floodway is contained within the structure north of the property. Per the National Flood Insurance Program Regulations, any vertical structures and utilities shall comply with 44 CFR 60.3(a),(b),(c), and (d) and MMC Section 9.706.

The Medford Floodplain regulations are found in Sections 9.701-9.707 of the Municipal Code. The sections pertaining to areas of special flood hazard with Base Flood Elevations (BFE) need to be reviewed and adhered to specifically, along with other relevant sections.

A Floodplain Development Permit is required prior to development in the Special Flood Hazard Areas (SFHA). *Development is broadly defined and includes, but is not limited to, grading, filling, paving, and construction of buildings.*

The northern 50 feet of the property located within the Riparian Corridor. It appears new encroachment into the Riparian Corridor will occur with the new multi-family structure which may require a Riparian Corridor Reduction or Deviation approval.

FLOODPLAIN MANAGER COMMENTS

Prior to any site development the applicant shall obtain approval of a Floodplain Development permit.

Submit a floodplain development application and fee along with submittal requirements identified in Section 9.705 (C). An Elevation Certificate (EC) is required with the submittal of building permits for new commercial structures located in the special flood hazard area (one at the time of building permit submittal, one during construction, and one prior to certificate of occupancy). As well as any flood proofing certifications that may be required.

Submit copies of all necessary permits from other governmental agencies from which approval is required prior to start of construction.

Construction shall be in compliance with applicable building and fire codes and floodplain regulations.

Expiration of Floodplain Permit

A floodplain Development Permit shall become invalid unless work is started within 180 days after its issuance. Extensions for periods of not more than 180 days each shall be requested in writing.

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | | |
|------------------------------------|--|---|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE)
Zone A, V, A99 |
| | | With BFE or Depth Zone AE, AO, AH, VE, AR |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X |
| | | Future Conditions 1% Annual Chance Flood Hazard Zone X |
| | | Area with Reduced Flood Risk due to Levee. See Notes. Zone X |
| | | Area with Flood Risk due to Levee Zone D |
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard Zone X |
| | | Effective LOMRs |
| GENERAL STRUCTURES | | Area of Undetermined Flood Hazard Zone D |
| | | Channel, Culvert, or Storm Sewer |
| | | Levee, Dike, or Floodwall |
| OTHER FEATURES | | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation |
| | | 17.5 Water Surface Elevation |
| | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| | | Jurisdiction Boundary |
| | | Coastal Transect Baseline |
| | | Profile Baseline |
| | | Hydrographic Feature |
| MAP PANELS | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |



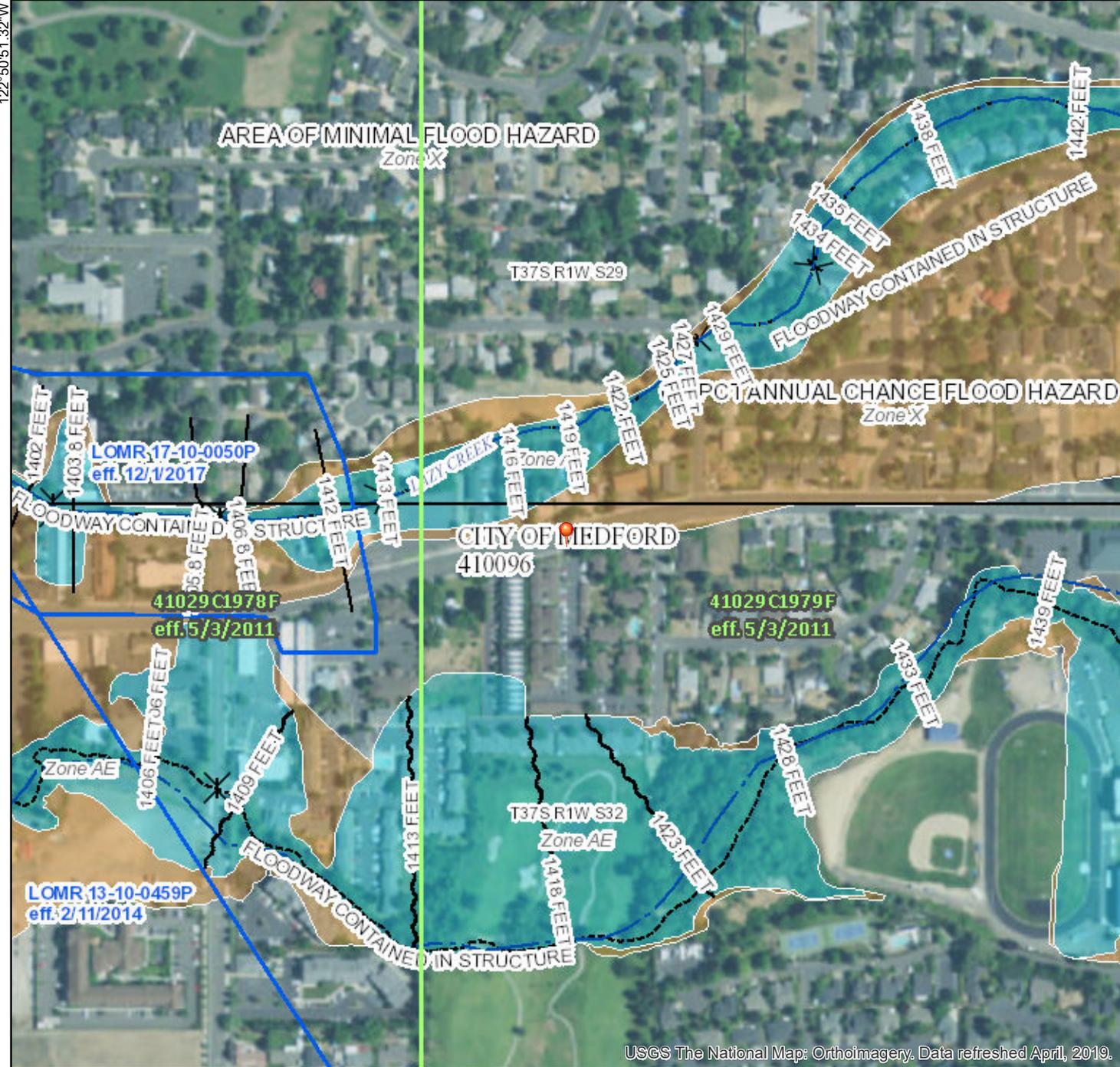
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 2/28/2020 at 5:38:28 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

42°19'12.05"N



USGS The National Map: Orthoimagery. Data refreshed April, 2019.

0 250 500 1,000 1,500 2,000 Feet 1:6,000131

42°18'45.45"N

122°50'13.87"W

122°50'51.32"W



STAFF REPORT

for a Type-III quasi-judicial decision: **Site Plan Review**

Project 1800 Knutson
Applicant: Nansen Investment Group; Agent: Todd Powell

File no. AC-20-037

To Site Plan & Architectural Commission *for 04/17/ 2020 hearing*

From Liz Conner, CFM Planner II

Reviewer Kelly Evans, Assistant Planning Director

Date April 8, 2020

BACKGROUND

Proposal

Consideration of a proposal for the construction of a 33,600 square foot metal commercial storage and office facility on a single 2.04 acre parcel located at 1170 Knutson Avenue in the I-G (General Industrial) zoning district (371W18BB TL 2600).

Vicinity Map



Subject Site Characteristics

GLUP	GI	General Industrial
Zoning	I-G	General Industrial
Overlay	A-C	Airport Area of Concern
Use	Vacant	

Surrounding Site Characteristics

<i>North</i>	Zone:	I-L (Light Industrial)
	Use:	Office Use
<i>South</i>	Zone:	I-G
	Use:	Auto Body/Paint Shop
<i>East</i>	Zone:	I-G
	Use:	Batting Cages/Office Park
<i>West</i>	Zone:	I-G
	Use:	Door Hardware Manufacturing

Related Projects

Rogue Valley Industrial Park Subdivision -1976

Applicable Criteria

Medford Municipal Code §10.200(E). Site Plan and Architectural Review Approval Criteria

(1) The Site Plan and Architectural Commission, SPAC – Type III Review, shall approve a site plan and architectural review application for a commercial or industrial development, if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

(a) The proposed development is compatible with uses and development that exist on adjacent land, and

(b) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in Section 10.186.

Approval Authority

This is a Type III land use decision. The Commission is the approving authority under MLDC 10.110(H).

Corporate Names

The Oregon Secretary of State website lists Robb Mayers as the registered agent for Nansen Investment Group and Outlier Construction, LLC.

ISSUES AND ANALYSIS

Background

The subject site is part of the Rogue Valley Industrial Park – Unit No. 2 subdivision that was platted in 1976. The site is vacant with one access to Knutson Avenue. There is an existing cross access easement in place that serves 1160 Knutson Avenue to the west.



Figure 1 – Aerial Photo

The subject building will be located along the west property boundary. Parking will be located on the west side of the building. A 20-foot wide drive aisle circles the building and will employ the shared access easement.

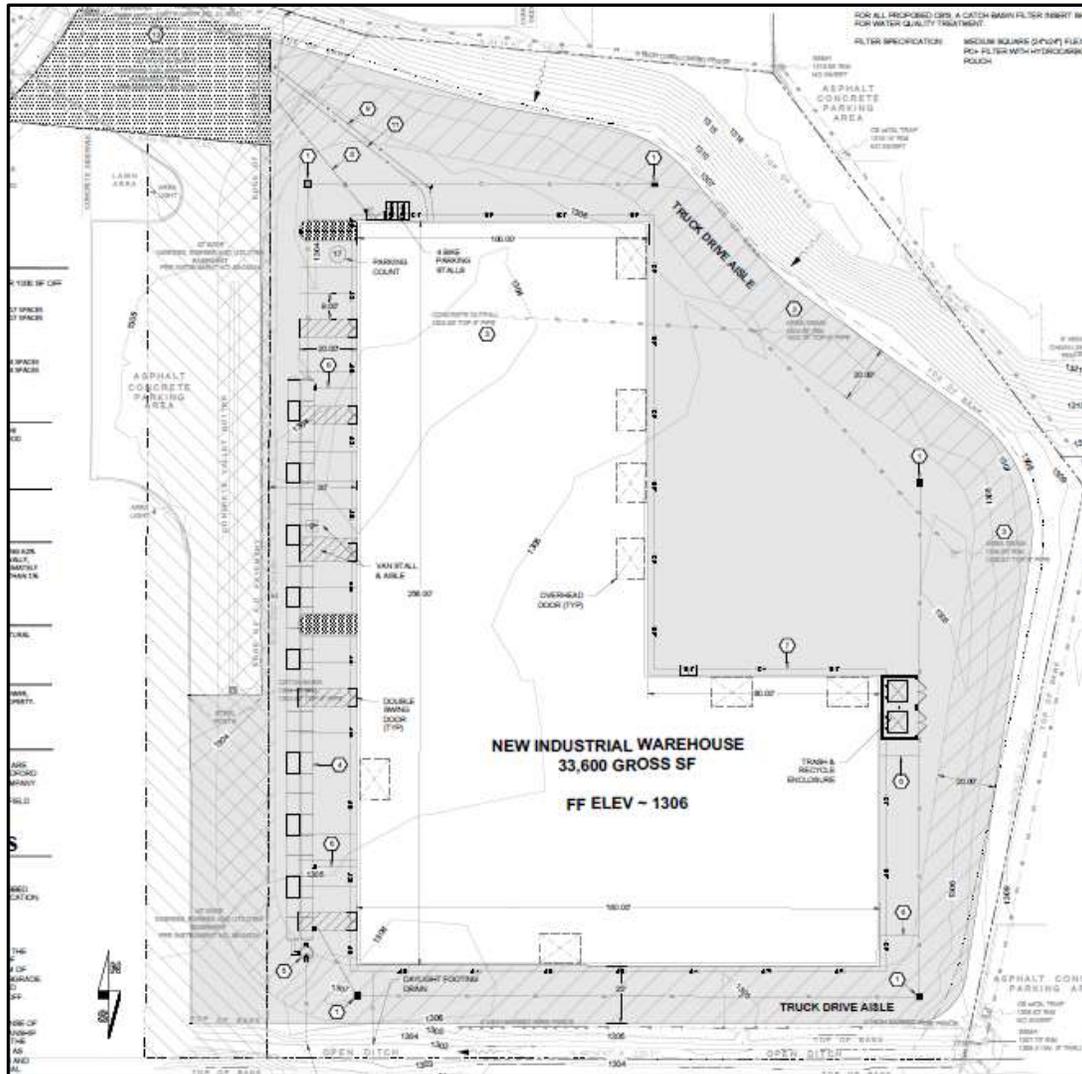


Figure 2 - Site Plan

Development Standards

The site development standards for industrial zoned land is found in MLDC Section 10.721. The table below demonstrates that the site meets the minimum requirements for development.

Commercial – Industrial Site Development Table (MLDC 10.721)

I-G Zone	Allowed/Required	Proposed
Height	85 feet (35 feet if located within 150 feet of a residential zone)	30 feet
Lot Coverage	90%	38%
Setback (front)	10 feet	50+ feet
Setback (rear and side yards)	5 feet	30 feet

As shown in the Site Development Table above, it can be found that the proposed building identified on the submitted site plan meets the bulk standards for the I-G zoning district as found in Article V of the Medford Land Development Code.

Parking

Parking Table (MLDC 10.743-751)

	Required	Provided
Vehicle Spaces	17	17
Bicycle Spaces	4	4

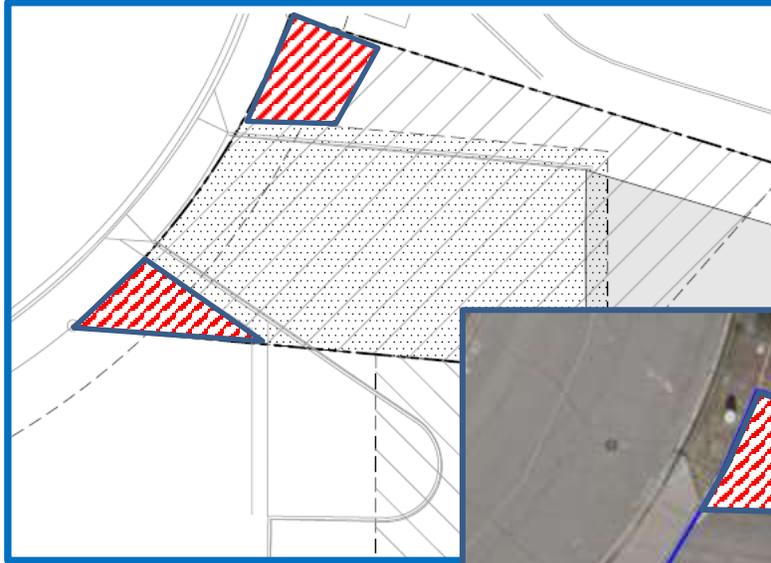
The project proposed to have 10 employees on the largest shift. The site meets the minimum requirements for off-street parking for industrial warehouse. The site plan (Exhibit B) identifies four bicycle parking spaces along the north side of the structure.

Landscaping

Frontage Landscaping (MLDC 10.797)

Knutson Avenue (45 feet)	Required	Shown
Trees	1	0
Shrubs	7	0

The site has approximately 45 feet of street frontage which requires a minimum of seven shrubs and one tree.



The landscape plan (Exhibit G) does not identify the required street frontage landscaping. A condition of approval has been included to install the required landscaping.

Figure 3- Landscape Plan

The aerial photo shows the area where frontage landscaping is required.



Pedestrian Access

There are no sidewalks on either side of the subject property. The Public Works report (Exhibit I) states that a five foot sidewalk and planter strip is required along Knutson Avenue. A condition of approval has been included to comply with the Public Works report.

Concealments

Trash Enclosure (MLDC 10.781)

The site plan (Exhibit B) identifies a trash enclosure on the east side of the structure. The site plan and the applicant's findings (Exhibit H) do not address the construction time for the trash enclosure. A condition of approval has been included for the trash enclosure to meet the requirements for materials in accordance with MLDC 10.781.

HVAC Equipment Concealment (MLDC 10.782)

The applicant's findings do not address the HVAC equipment. The elevations show a sloped roof, and it is undetermined whether the HVAC equipment is concealed. A

condition of approval has been included to demonstrate how all HVAC equipment is concealed.

Bufferyard

The subject site zoned I-G has an abutting property that is zoned I-L. The MLDC Sections 10.790-10.797 require a Type A bufferyard as shown in the table below.

Table 10.790-1. Bufferyard Standards—Zone to Zone

Subject Site Zoning	Zoning on Abutting Land										
	Vac	SFR	MFR	CS/P	C-N	C-C	C-R	C-H	I-L	I-G	I-H
SFR	-	-	-	-	-	-	-	-	-	-	-
MFR	1	A	-	-	-	-	-	-	-	-	-
CS/P	1	A	A	-	-	-	-	-	-	-	-
C-N	1	A	A	-	-	-	-	-	-	-	-
C-C	1	A	A	-	-	-	-	-	-	-	-
C-R	1	A	A	A	-	-	-	-	-	-	-
C-H	1	A	A	A	-	-	-	-	-	-	-
I-L	1	A	A	A	A	-	-	-	-	-	-
I-G	2	B	B	B	B	A	A	A	A	-	-
I-H	2	B	B	B	B	A	A	A	A	-	-

*Figure 5- Zone to Zone
 Bufferyard Standards*

A Type A bufferyard requires a 10 foot wide planted area with a six foot concrete or masonry wall.



Figure 6–Bufferyard location

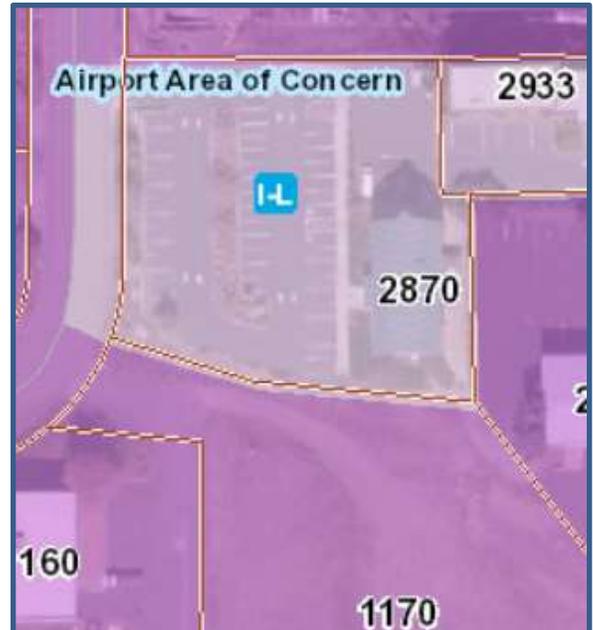


Figure 7–Zone Map excerpt

The applicant's site plan (Exhibit B) does not identify a Type A bufferyard along the north property line, but does identify an area that has slopes. The applicant's findings and questionnaire (Exhibit H) states that the slopes prohibit a bufferyard to be planted.

The approving authority has the discretion to make adjustments to the bufferyard requirements as stated in MLDC 10.790(E)(6).



Figure 8–Abutting Lot Slope

The street view image shows the steep bank between the subject property and the abutting property.

It is staff's opinion that relief to the bufferyard requirements may be granted for three reasons.

First, the abutting property has an established parking and maneuvering area along the area that would be buffered. The language in MLDC Section 10.790(E)(6)(b) specifies that buffers are not required between similar uses, such as parking lot to parking lot.

The second reason is that the development at 2870 Nansen Drive has mature landscaping in place as shown in the image below.



Figure 9-Aerial View of abutting property

Finally, as depicted in the photo showing the slope above, a buffer on the subject site would be ineffective. The adjacent site appears to be approximately 10 feet above the grade of the subject site. A six foot wall at the toe of the slope would not provide any meaningful separation between the uses.

Architecture

The applicant's findings state:

The proposed building is a modern pre-engineered metal building that has single sloping roofs. There will be a four foot CMU wainscot around the perimeter of the building. Above the CMU will be ribbed metal panel. There will be store front doors and windows at the front of the building where the offices are located and the main entrances.

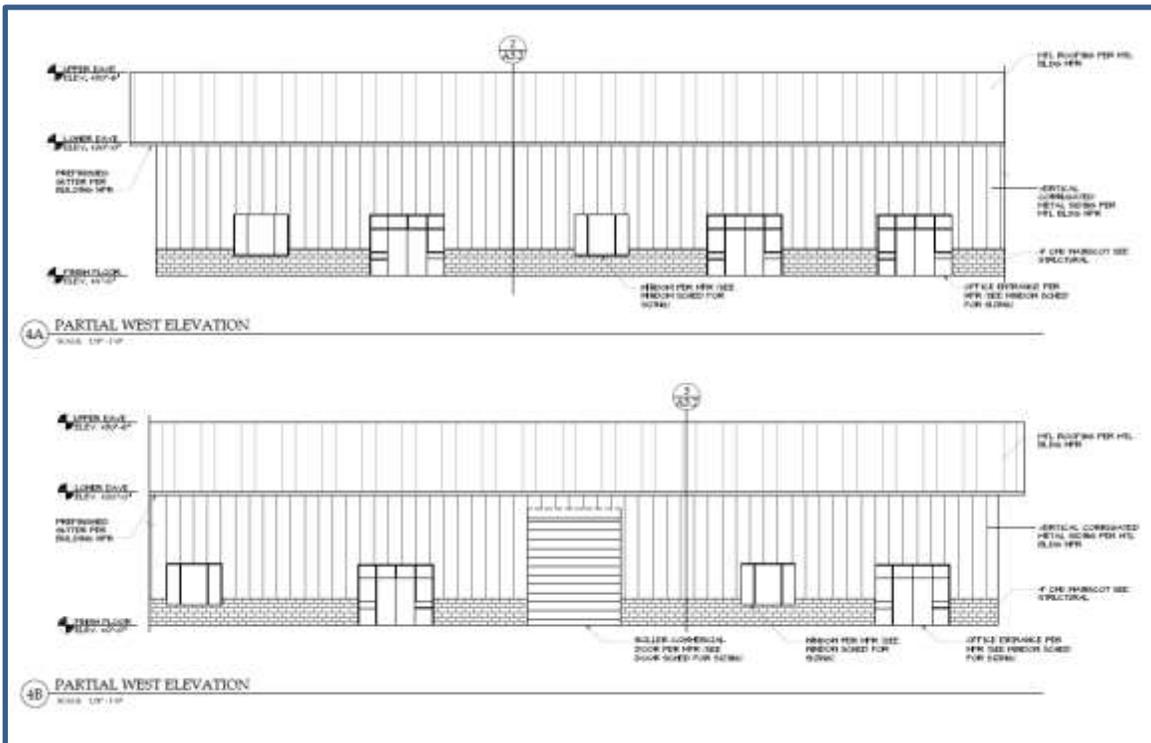


Figure 10- West Elevation

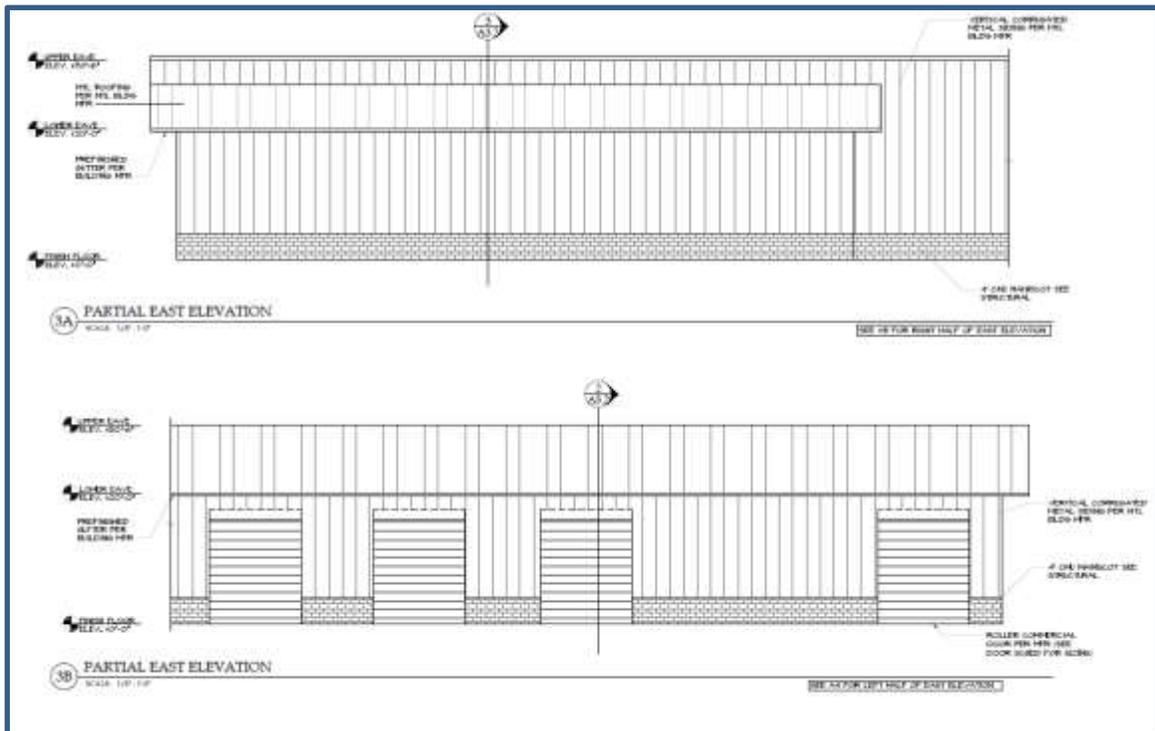


Figure 11- East Elevation

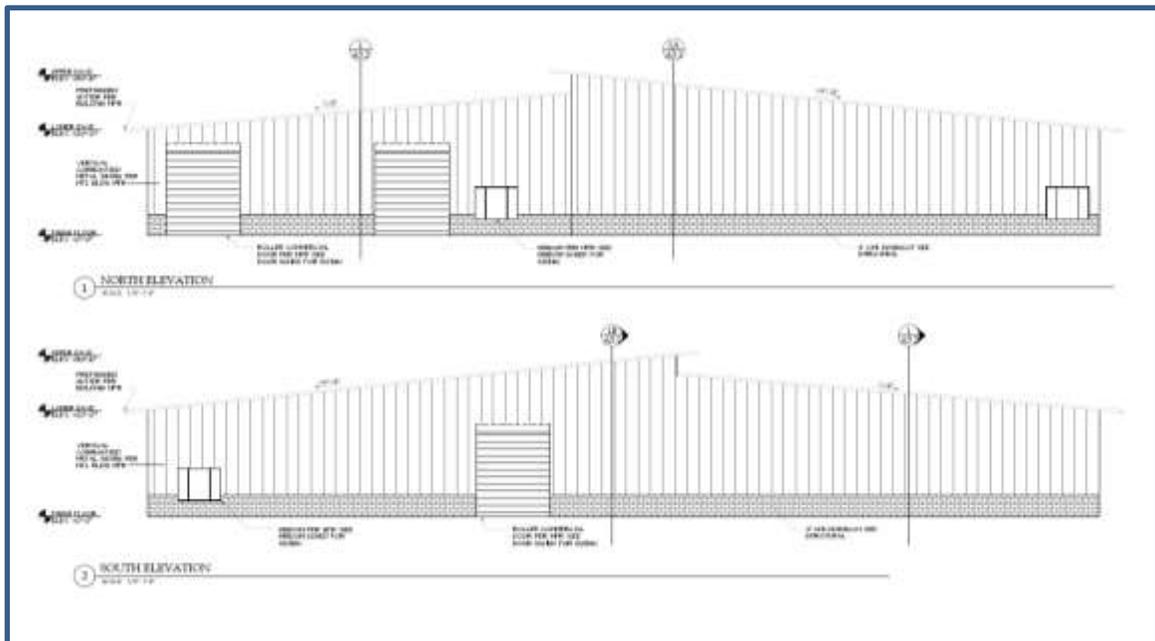


Figure 12- North & South Elevation

Department and Agency Comments (Exhibits I through N)

Comments were received from the Public Works Department, Fire Department, the Building Safety Department, Medford Water Commission, Jackson County Roads, and Oregon Department of Aviation, Jackson County Airport Authority, Rogue Valley Sewer Services. Conditions for compliance have been included where applicable.

Rogue Valley International – Medford Airport (Exhibit M)

Rogue Valley International Airport requests an Avigation, Noise and Hazard Easement to be required as part of the permit process. In the 2010 LUBA decision on Michelle Barnes vs. City of Hillsboro and the Port of Portland, Nollan/Dolan findings are required to support the request (LUBA No. 2010-011). None were provided; therefore, a condition requiring compliance with the airport's request for an Avigation, Noise and Hazard Easement has not been included.

The email also notes that “the applicant needs to contact the FAA regarding filing a Notice of Proposed Construction or Alteration”. As the requirement is to make contact, a condition of approval has not been included. The applicant has been advised of the FAA rule.

Committee Comments

No comments were received by committee, such as BPAC.

No other issues were identified by staff.

FINDINGS AND CONCLUSIONS

The applicant provided the required questionnaire as the basis for the Commission's findings. Staff has prepared the following for the Commission's consideration.

Medford Municipal Code §10.200(E). Site Plan and Architectural Review Approval Criteria

(1) The Site Plan and Architectural Commission, SPAC – Type III Review, shall approve a site plan and architectural review application for a commercial or industrial development, if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

(a) The proposed development is compatible with uses and development that exist on adjacent land, and

The Commission can find that there is sufficient evidence contained in the applicant's findings and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

(b) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in Section 10.186.

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A. This criterion is satisfied.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare the final order for approval of AC-20-037 per the staff report dated April 8, 2020, including:

- Exhibits A through N;
- A finding that the site is exempt from the bufferyard requirement based on the existing parking and maneuvering area on the abutting property, the existing landscaping on the abutting property, and the difference in site elevations.
- A condition requiring frontage landscaping on the frontage of Knutson Avenue in accordance with MLDC 10.797.
- A condition to include a detail of the trash receptacle concealment in accordance with MLDC 10.781.
- A condition to demonstrate compliance with the HVAC concealment requirement in accordance with MLDC 10.782

EXHIBITS

A	Conditions of Approval dated April 8, 2020
B	Site, Drainage and Utility Plan received February 10, 2020
C	Topographic Survey received February 10, 2020
D	Exterior Elevations received February 10, 2020
E	Floor Plan received February 10, 2020
F	Landscape Plan received February 10, 2020
G	Applicant's findings and conclusions received February 10, 2020
H	Public Works Report received March 25, 2020
I	Medford Building Department memo received March 25, 2020
J	Medford Water Commission memo received March 25, 2020
K	Jackson County Roads comments received March 16, 2020

- L Oregon Department of Aviation email received March 19, 2020
- M Jackson County Airport received March 16, 2020
- N Rogue Valley Sewer Services received March 12, 2020
Vicinity map

SITE PLAN & ARCHITECTURAL COMMISSION AGENDA:

APRIL 17, 2020

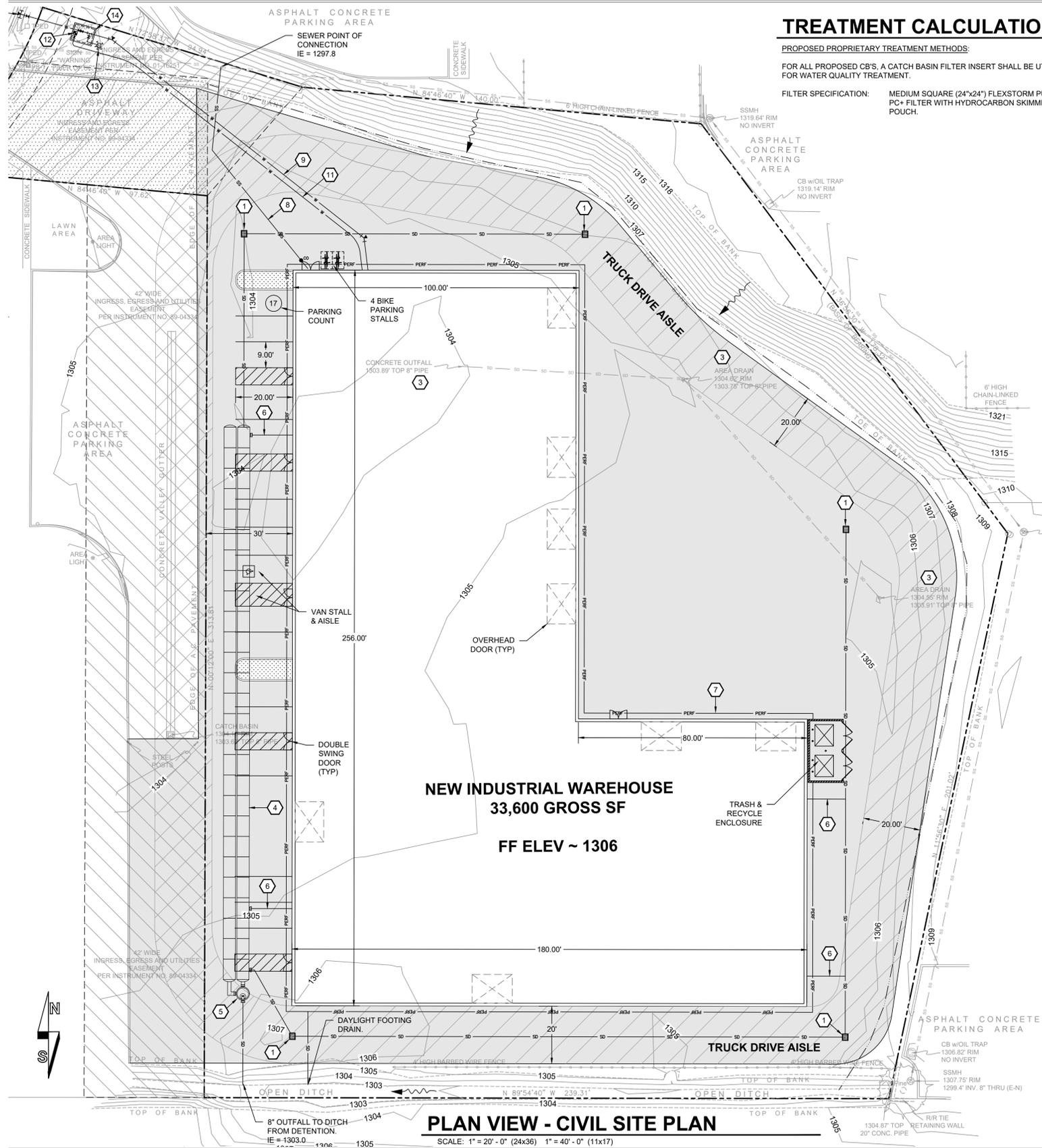
EXHIBIT A

Knutson Avenue
AC-20-037
Conditions of Approval
April 8, 2020

CODE REQUIRED CONDITIONS

Prior to the issuance of a building permit for vertical construction, the applicant shall:

1. Comply with all conditions stipulated by the Public Works Department (Exhibit H).
2. Comply with all conditions stipulated by the Medford Water Commission (Exhibit J).
3. Comply with all conditions stipulated by the Oregon Department of Aviation (Exhibit L).
4. Comply with all conditions stipulated by the Rogue Valley Sewer Services (Exhibit N).
5. Submit a landscape plan in accordance with MLDC 10.797 for the planter on Knutson Avenue along the street frontage.
6. Submit a detail demonstrating compliance with MLDC 10.781, Concealment of Trash Receptacles.
7. Submit revised elevations or details demonstrating compliance with MLDC 10.782, Concealment of HVAC Equipment.



PLAN VIEW - CIVIL SITE PLAN
SCALE: 1" = 20' - 0" (24x36) 1" = 40' - 0" (11x17)

TREATMENT CALCULATIONS

PROPOSED PROPRIETARY TREATMENT METHODS:
FOR ALL PROPOSED CB'S, A CATCH BASIN FILTER INSERT SHALL BE UTILIZED FOR WATER QUALITY TREATMENT.
FILTER SPECIFICATION: MEDIUM SQUARE (24"x24") FLEXSTORM PURE PC+ FILTER WITH HYDROCARBON SKIMMER POUCH.

DETENTION CALCULATIONS

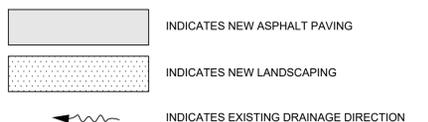
NOTE: A FULL STORMWATER MANAGEMENT REPORT WITH CALCULATIONS AND OSM MANUAL SHALL BE SUBMITTED DURING PREPARATION OF THE PROJECT CONSTRUCTION DOCUMENTS FOLLOWING PLANNING APPROVAL.
EX. DRAINAGE BASIN AREA: 1.6 ACRES
EXISTING CN: 80
EXISTING Tc: 26 MIN.
EXISTING RUNOFF (10 YR): 0.30 CFS
POST DEVELOPED BASIN AREA: 1.6 ACRES
POST DEVELOPED CN: 98
POST DEVELOPED Tc: 5 MIN
POST DEVELOPED RUNOFF: 1.12 CFS (UNDETAINED)
DETENTION:
STORAGE VOLUME REQUIRED: 4,800 CF
ORIFICE SIZE REQUIREMENT: 3.125"
PRELIMINARY PIPE SIZE: 36" ~ 48" ADS STORM PIPE
ALTERNATIVE VAULT SIZE: 10' x 120' x 4'
FINAL RELEASE RATE: 0.30 CFS

KEYNOTES

- 1 PROPOSED CATCH BASIN WITH FILTER INSERT
- 2 PROPOSED PVC 8" STORM DRAIN PIPE
- 3 REMOVE EXISTING STORM DRAIN INLET
- 4 PROPOSED UNDERGROUND STORM WATER DETENTION FACILITY
- 5 PROPOSED STORM WATER CONTROL STRUCTURE
- 6 4" ROOF DRAIN PIPE
- 7 PROPOSED 4" PERFORATED FOOTING DRAIN
- 8 PROPOSED SEWER SERVICE LATERAL
- 9 6" FIRE WATER LINE
- 10 PROPOSED FIRE HYDRANT
- 11 WATER SERVICE LINE
- 12 PROPOSED WATER METER
- 13 PROPOSED FDC
- 14 PROPOSED FIRE SERVICE VAULT

COVERAGE CALCULATIONS

TOTAL PROPERTY AREA: 88,883 SF = 2.04 AC
EXISTING IMPERVIOUS AREA: 2,830 SF (ASPHALT)
EXISTING PERVIOUS AREA: 86,053 SF
PROPOSED IMPERVIOUS AREA: 33,600 SF (ROOFTOPS)
38,135 SF (ASPHALT)
PROPOSED LANDSCAPE AREA: 247 SF (PLANTERS)
EXISTING OPEN SPACE TO REMAIN: 14,071 SF
PROPOSED IMPERVIOUS COVERAGE: (2,830 + 33,600 + 38,135) / 88,883 = 84%
PROPOSED PERVIOUS COVERAGE: 16%



GENERAL NOTES

1. SEE ARCHITECTURAL PLANS FOR BUILDING ELEVATIONS, EXTERIOR MATERIALS, AND EXTERIOR COLORS.
2. TOPOGRAPHIC LAND SURVEY WAS COMPLETED BY PARIANI LAND SURVEYING. SURVEY ELEMENTS SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. CONTACT JOHN PARIANI FOR A SIGNED SURVEY MAP OR FOR QUESTIONS REGARDING EXISTING CONDITIONS.

POWELL
engineering
+ consulting
221 N. Central Ave., PMB 221
Medford, OR 97501
541.613.0723 phone
www.powellengineeringconsulting.com

NANSEN INVESTMENT GROUP
INDUSTRIAL WAREHOUSE
MAP 37-1W-48-BB, TAX LOT 2600
NANSEN DRIVE, MEDFORD, OR

811
Know what's below.
Call before you dig.
VERIFY SCALES
ORIGINAL DRAWING
SHRINK ONE INCH
IF NOT ONE INCH ON THIS
SHEET, VERIFY SCALES
ACCORDINGLY

NO.	REVISION	DATE	BY
REVISED AS CONSTRUCTED BY			
CITY OF MEDFORD - ENGINEERING DEPARTMENT			
SITE, DRAINAGE, AND UTILITY PLAN			
	DRAWN BY: _____ DATE: _____ CHECKED BY: _____ DATE: _____ APPROVED: _____ DATE: _____ REVIEWED BY CITY TRANSPORTATION MANAGER: _____ DATE: _____ REVIEWED BY CITY ENGINEER: _____ DATE: _____ APPROVED BY ORDINANCE NO.: _____ DATE: _____	PROJECT NO.: _____ SHEET NO.: C3.0	

ted herein, as an instrument of professional service, shall remain the property of Powell Engineering and Consulting, and is not to be reproduced, published, or used in whole or in part, for any other project or purpose without the express written authorization of Powell Engineering and Consulting, LLC.



Topographic Survey

Located at:
the Northwest Quarter of the Northwest Quarter of Section 18,
Township 37 South, Range 1 West, Willamette Meridian,
City of Medford, Jackson County, Oregon

SURVEY BY:
Pariani Land Surveying
P.O. Box 551
Shady Cove, Oregon 97539

SURVEY FOR:
Outlier Construction
2594 E. Barnett Road
Medford, OR 97504

LEGEND:

CB	CATCH BASIN
FH	FIRE HYDRANT
FR	FIRE RISER
PB - T	PULLBOX - TELECOMMUNICATION
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
T PED	TELECOMMUNICATION PEDESTAL
WM	WATER METER
E	UNDERGROUND ELECTRICAL
G	GAS
SD	STORM DRAIN
SS	SANITARY SEWER
T	UNDERGROUND TELECOMMUNICATION
W	WATER

TITLE REPORT:

The following encumbrances noted in Ticor Title Company of Oregon, Public Record Report, Date Prepared February 11, 2019, Order No. 470319081226, either does not affect the subject property or is ambiguous in nature as to accurately draft on this plat.

- Item 1: City Liens, if any, in favor of the City of Medford.
- Item 2: Regulations, levies, liens, assessments, rights of way and easements for Rogue Valley Sewer Service District.
- Item 3: Regulations, including levies, liens, assessments, water and irrigation rights and easements for ditches and canals of the Rogue River Irrigation District.
- Item 4: Easement(s) for transmission and distribution of electricity, and for other purposes - Volume 309, Page 200.
- Item 5: Easement(s) for transmission and distribution of electricity, and for other purposes - Volume 384, Page 296.
- Item 6: Easement(s) for transmission and distribution of electricity, and for other purposes - Instrument No. 71-08832.
- Item 8: Covenants, conditions, restrictions and easements - Instrument No. 76-16849. Amendment(s)/Modification(s) of said covenants, conditions and restrictions - Instrument No. 76-22625.
- Item 9: Easement(s) for transmission and distribution of electricity, and for other purposes - Instrument No. 78-27048.

BASIS OF BEARINGS:

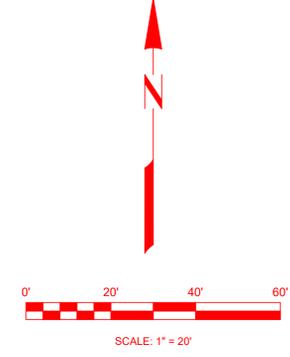
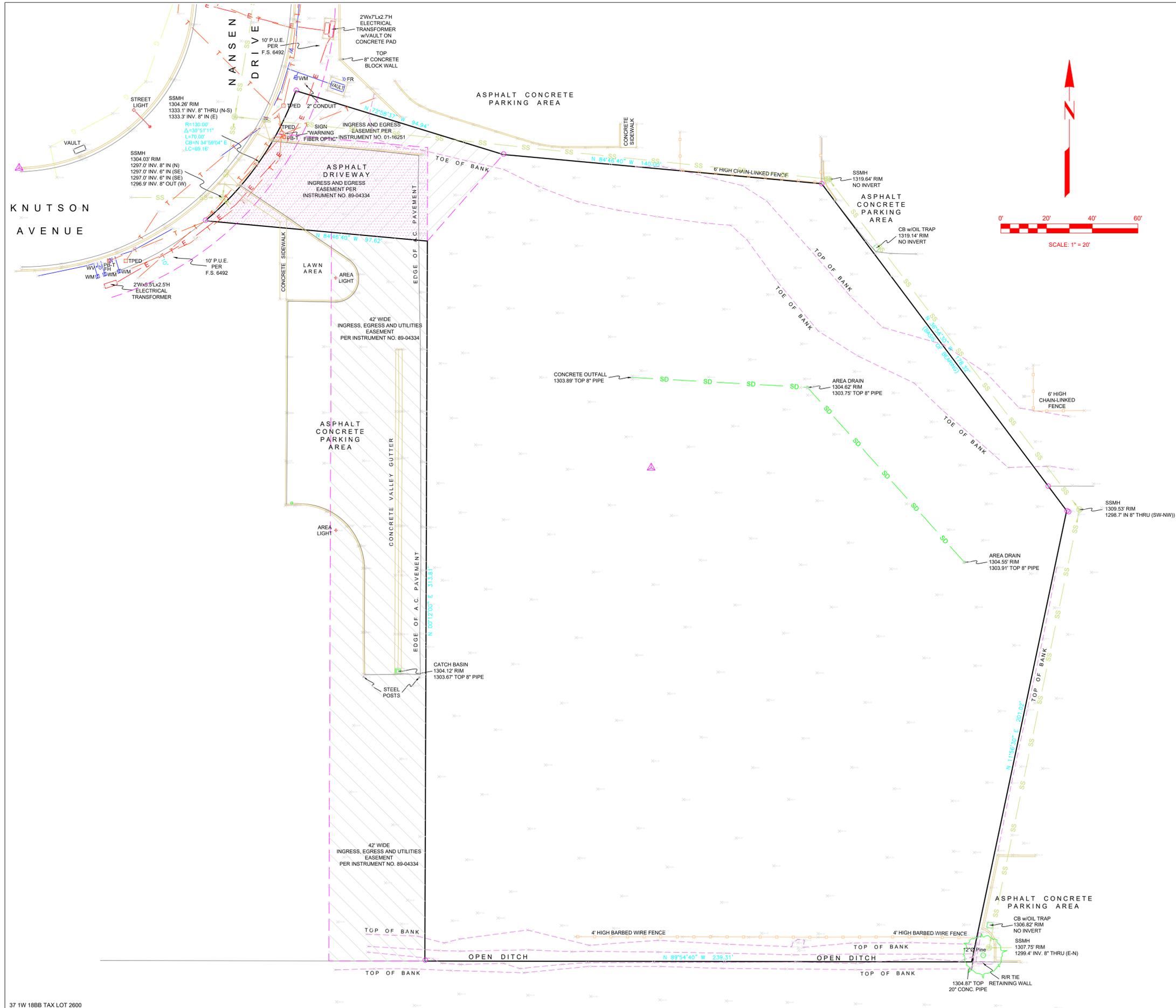
The Basis of Bearing for this survey is the Northeast monumented line of Adjusted Tax Lot 2600, having a record bearing of South 36°56'30" East, as shown on that Filed Survey 16724 with the Jackson County Surveyor's Office.

BENCHMARK:

City of Medford brass disc (A-208) in north curb of Knutson Avenue at the northeast return of Nansen Drive. Elevation: 1303.83 feet NGVD 1929.

NOTES:

1. The boundary shown hereon is from record data only and does not represent a field boundary resolution.
2. Underground utilities shown hereon are from field locations marked by others, physical features at ground level and record information from others.



Nansen Investment Group Site Survey			
Pariani Land Surveying			
P.O. Box 551 Shady Cove, OR 97539 541-890-1131			
Date: Feb. 15, 2019	Scale: 1" = 20'	Job No.: 2019-427	Sheet: C2.0

GENERAL NOTES
 1. SEE GC.1 FOR GENERAL NOTES.
 2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION OR FABRICATION.

This document, and the designs and ideas included herein, as an instrument of professional service, is the property of Structural Solutions, Inc. and may not be used in any form for any other project without the written consent of Structural Solutions, Inc.

STRUCTURAL SOLUTIONS, INC.
 3559 National Drive, Ste 103
 Medford, Oregon 97504
 P: 541-608-8117
 www.StructuralSolutionsInc.net

STRUCTURAL REGISTERED PROFESSIONAL ENGINEER
 58523
 JASON N. PRINS
 SEP 10, 2005
 EXPIRES: 12/31/20

NANSEN INVESTMENT GROUP
 NEW WAREHOUSE BUILDING

2600 NANSEN DR
 MEDFORD, OREGON 97504

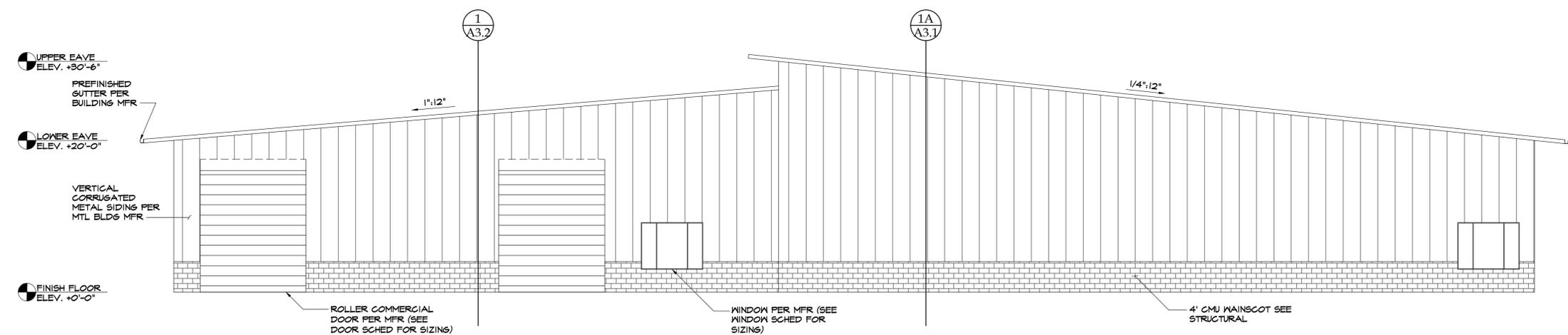
EXTERIOR ELEVATIONS

JOB NO.	296-19	REVISIONS
ISSUE DATE	03-18-20	
DRAWN	MSS	
CHECKED	JNP	
FILE NAME	A-MAIN	

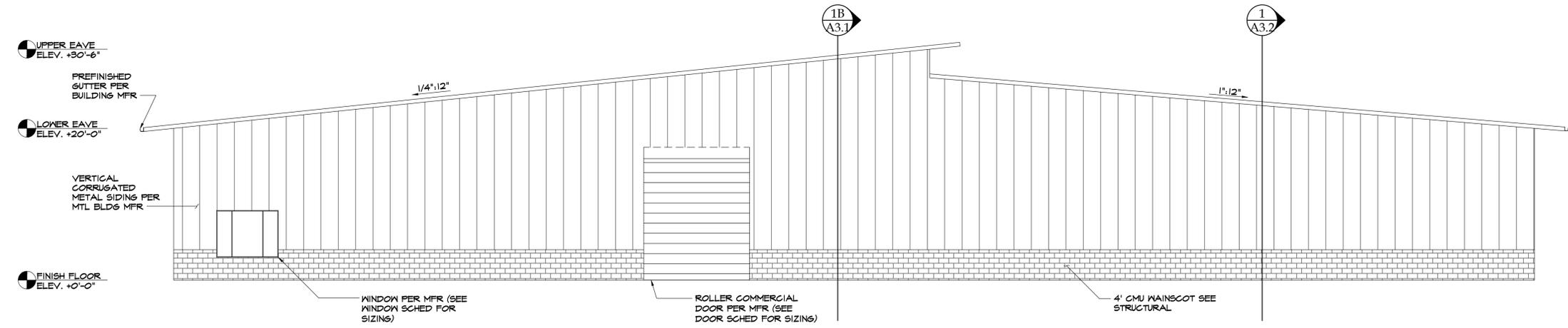
SHEET

A2.1

OF 14 SHEETS

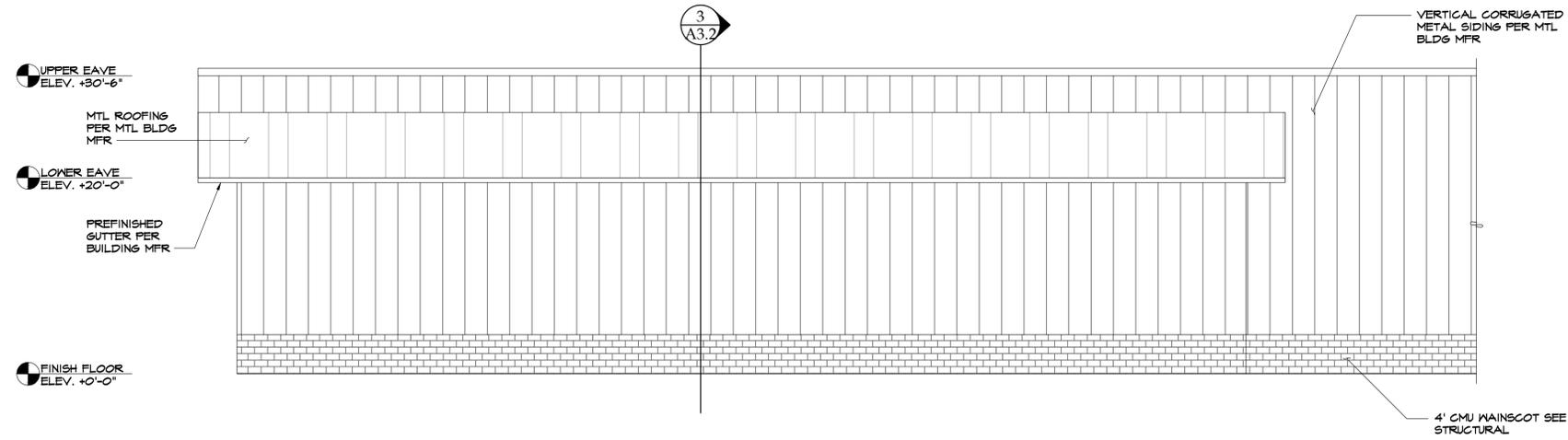


1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



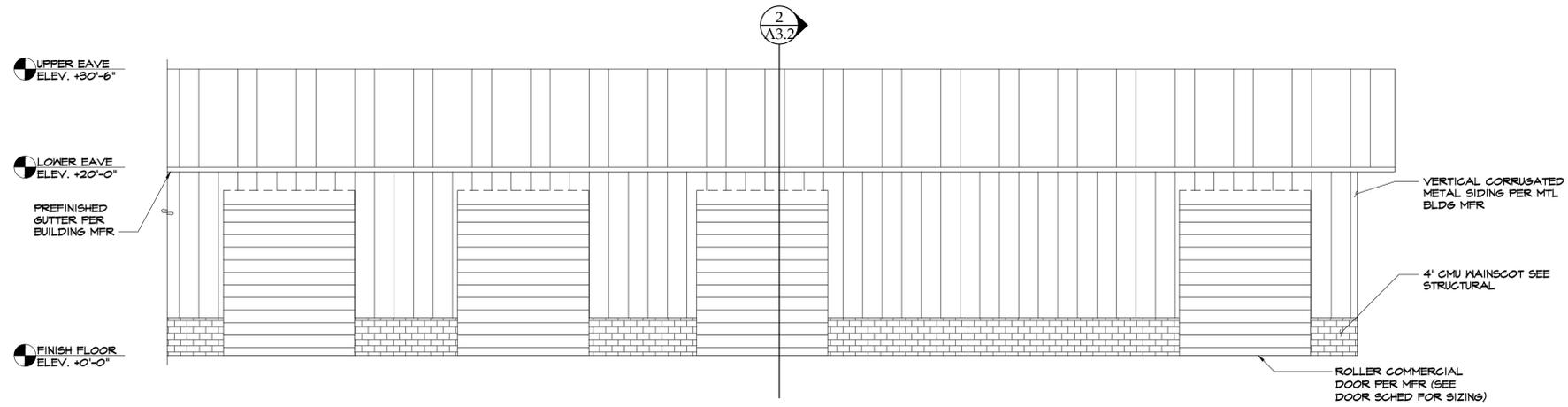
2 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

GENERAL NOTES
 1. SEE G-01 FOR GENERAL NOTES.
 2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION OR FABRICATION.



3A PARTIAL EAST ELEVATION
 SCALE: 1/8" = 1'-0"

SEE A5 FOR RIGHT HALF OF EAST ELEVATION



3B PARTIAL EAST ELEVATION
 SCALE: 1/8" = 1'-0"

SEE A4 FOR LEFT HALF OF EAST ELEVATION



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3559 National Drive, Ste 103
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NANSEN INVESTMENT GROUP
 NEW WAREHOUSE BUILDING
 2600 NANSEN DR
 MEDFORD, OREGON 97504

EXTERIOR ELEVATIONS

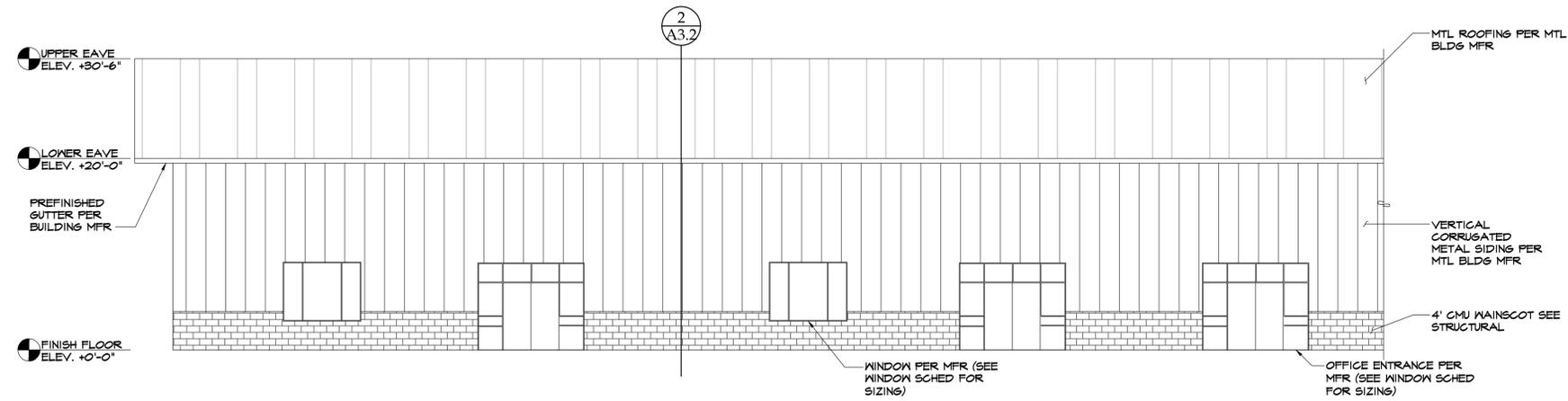
JOB NO.	296-19	REVISIONS
ISSUE DATE	03-18-20	
DRAWN	MSS	
CHECKED	JNP	
FILE NAME	A-MAIN	

SHEET

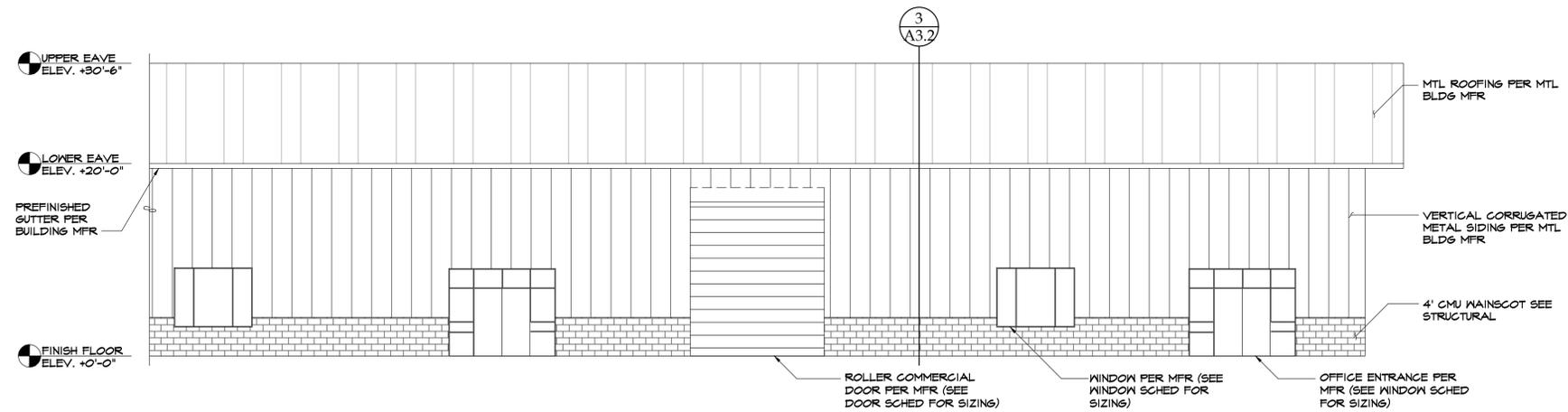
A2.2

OF 14 SHEETS

GENERAL NOTES
 1. SEE 601 FOR GENERAL NOTES.
 2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION OR FABRICATION.



4A PARTIAL WEST ELEVATION
 SCALE: 1/8" = 1'-0"



4B PARTIAL WEST ELEVATION
 SCALE: 1/8" = 1'-0"



NANSEN INVESTMENT GROUP
 NEW WAREHOUSE BUILDING

2600 NANSEN DR
 MEDFORD, OREGON 97504

EXTERIOR ELEVATIONS

JOB NO.	296-19	REVISIONS
ISSUE DATE	03-18-20	
DRAWN	MSS	
CHECKED	JNP	
FILE NAME	A-MAIN	



SHEET

A2.3

OF 14 SHEETS

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OUTLIER
CONSTRUCTION CO.

841 O'HARE PKWY #100
MEDFORD OR, 97504
541 622 2040

R.A.L.

NANSEN WAREHOUSE

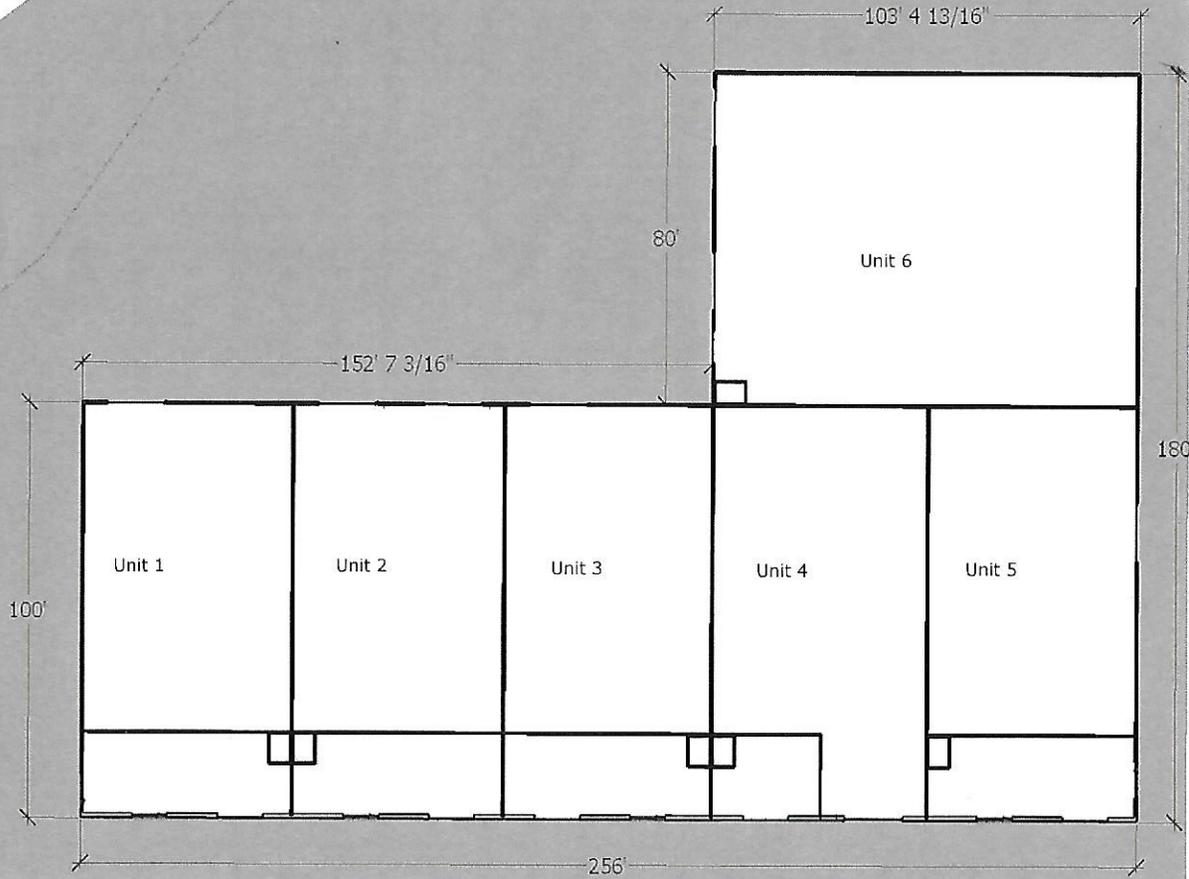
FLOOR PLAN

D8.01

RECEIVED

FEB 10 2020

PLANNING DEPT.



CITY OF MEDFORD
EXHIBIT #
FILE # AC-20-037



14

Section 1 narrative:

1800 Knutson is a commercial storage/ office facility for businesses. Our plan is to have 3-5 businesses rent spaces that will consist of a small office with restroom and large warehouse portion in the rear. The typical lease would be a contractor or shipping/ supplier company. With our proximity to I5 and the airport it is perfect for shipping or transport.

Section 2 Compatibility

A. Existing businesses in the area are:

- Bell Hardware at 1160 Knutson. This is a door and hardware supplier. They have small office portion and showroom and large warehouse for shipping and supply of doors and hardware. Their building is concrete tilt up. The building is painted grey and has black storefront windows.
- Workspace at 1163 Knutson. This is a office furniture supply company. They have 2 small offices and a large warehouse. This is their distribution center for their business with offices in Jacksonville. Their building is a pre-engineered metal building with a CMU office attached. The building is metal wall panels and the color is white.
- Rubicon investments at 2870 Nansen. This is a developer with properties they manage up and down the West coast. Their building is all offices. They are in a restored wood framed barn. It has wood siding and a comp shingle roof. The siding is tan with a green trim.
- American leak detection 2821 Bullock rd. This is a plumbing contractor service. They have a small office and large warehouse. They are in a pre-engineered metal building. It has metal wall panels and a metal roof. The walls panels are white in color.

- B. 1800 Knutson is a pre-engineered metal building, we have single slope roofs for a modern but classic look. We have a CMU wainscot around the perimeter to break up all the metal panel and give the building a more refined look.
- C. The design is a modern pre-engineered metal building. It has single sloping roofs. Roofs will be standing seam ribbed panels. There will be a 4' CMU wainscot around the perimeter of the building. Above the SMU will be a ribbed metal panel. There will be storefront doors and windows at the front of the building where the offices are located. There will be a canopy above the main entrance doors to the offices. There will be overhead doors and man doors at the rear of the building for the warehouse portion. The CMU will break up the expanse of metal panels on the façade as well the as storefront, canopies and doors.
- D. The building fronts the street and main entrance to the site. The main road will also circle the property allowing traffic access to rear of building and back around to the front main entrance. Parking for pedestrians and employees will be at he fronts of the building off the main entrance allowing easy to access offices. The road around the rear will allow access to trucks for deliveries at the rear.
- a. There are no transit stops within 600 feet.
- E. The pedestrian facilities on site are parking at the front of the building and a large paved area at the rear of the building. There is easy access to the city sidewalks and surrounding buildings.



7

- F. There will be parking at the front of the building off the main drive to the building. The road circles the building allowing access around the perimeter of the building. The pedestrians and employees will be able to access all areas around the building with ease.
- G. There is no existing trees or vegetation on site as the site is currently a large gravel lot.
- H. Stormwater detention will be underground storage for storm water treatment.
- I. Landscaping will be at the parking along the front of the building for employee parking as required by code. The landscaping will improve the look of the building from the street.
- J. There will be down lit exterior lighting at all doors to the building and on site for security. Light fixtures will only be downcast so light pollution will diminish the night sky view.
- K. There will be a monument sign at the street that will have the building address and a slot for each business name on the sign. The building will have the address and suite numbers at each business storefront.
- L. The site is currently fence on all sides. We will remove the fence from the front of the site to make it more welcoming and allow for better traffic flow. We will keep the fencing at the perimeter for security. The fence is 6' tall chain link fencing.
- M. The business is similar to the other businesses in the area and the only noise will be truck and car traffic.
- N. This project provides a much-needed commercial real estate segment. With the legalization of marijuana and hemp warehouse space has become hard to get. The location of this property is centrally located not only for Medford but also for the valley. Right now to get space like this you need to go to West Medford or White city. This property is close to the airport and I-5 helping businesses to be more efficient and help reduce their carbon footprint not having to travel as much.
- O. None
- P. None



PUBLIC WORKS DEPARTMENT STAFF REPORT

1170 Knutson Avenue (TL 2600)

New Commercial Office/Storage Building (Nansen Investment Group)

Project: Consideration of a proposal for the construction of a 33,600 square foot metal commercial storage and office facility on a single 2.04 acre parcel.

Location: Located at 1170 Knutson Avenue in the I-G (General Industrial) zoning district (371W18BB TL 2600).

Applicant: Applicant, Nansen Investment Group; Agent, Todd Powell; Planner, Liz Conner.

NOTE: The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention, if applicable.
- Completion of all public improvements, if required. The Applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements shall be approved by the Public Works Engineering Division prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas
- Verification by the design Engineer that the stormwater quality and detention system was constructed per the approved plan, if applicable.
- Completion of all public improvements, if applicable.



A. STREETS

1. Dedications

Knutson Avenue is considered Legacy Streets per Medford Land Development Code (MLDC) 10.427(D). Proposed conditions of approval for land use actions which contain legacy streets shall be subject to review and recommendation by the City Engineer. The applicant shall be required to have a conference with the City Engineer prior to submitting land use applications containing legacy streets; the City Engineer shall produce a memorandum summarizing the meeting and legacy street standards that would apply to the land use application and this memorandum shall be submitted as an exhibit with the land use application. If a deviation from the City Engineer's recommendation is requested by the applicant, the applicant shall provide written findings (see criteria under MLDC 10.427(D)(1)(a-e).

Knutson Avenue is classified as a Commercial streets within the MLDC 10.430. The Developer shall dedicate for public right-of-way, sufficient width of land along the frontage to comply with the half width of right-of-way, which is 31.5-feet, unless otherwise recommended through the Legacy Street Memorandum. **The Developer's surveyor shall verify the amount of additional right-of-way required.**

In accordance with MLDC 10.471, **the property owner shall dedicate a 10-foot wide public utility easement (PUE)** adjacent to the right-of-way line along this Developments frontage to Knutson Street.

The right-of-way and easement dedications shall be submitted directly to the Engineering Division of the Public Works Department. The submittal shall include: the right-of-way and easement dedication, including an exhibit map; a copy of a current Lot Book Report, Preliminary Title Report, or Title Policy; a mathematical closure report (if applicable), and the Planning Department File Number; for review and City Engineer acceptance signature prior to recordation by the applicant. Releases of interest shall be obtained by holders of trust deeds or mortgages on the right-of-way and PUE area.

2. Public Improvements

a. Public Streets

Knutson Avenue – All street section improvements have been completed including pavement, curb and gutter and street lights. **No additional public improvements are required, aside from 5-foot sidewalk with planter strip.**

b. Street Lights and Signing

No additional street lights or signs are required.



The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer's contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided by Medford Public Works Department and paid for by Developer.

c. Pavement Moratoriums

There is no pavement cutting moratorium currently in effect along this developments frontage to Knutson Avenue.

3. Section 10.668 Analysis

To support a condition of development that an Applicant dedicate land for public use or provide a public improvement, the Medford Code requires a nexus and rough proportionality analysis which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

10.668 Limitation of Exactions

Notwithstanding any other provisions of this Chapter 10, an Applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless:

(1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose and that there is a rough proportionality between the burden of the exaction on the Developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or

(2) a mechanism exists and funds are available to fairly compensate the Applicant for the excess burden of the exaction to the extent that it would be a taking.

1. Nexus to a legitimate government purpose

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, emergency services and pedestrians. Further, these rights-of-way are used to provide essential services such as sanitary sewer, domestic water and storm drains to serve the developed parcels. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

2. Rough proportionality between the dedications and improvements, and the impacts of development.



No mathematical formula is required to support the rough proportionality analysis. Furthermore, benefits to the development resulting from the dedication and improvements when determining “rough proportionality” have been considered, including but not limited to: increased property values, intensification of use, as well as connections to municipal services and the transportation network.

As set forth below, the dedications and improvements recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development.

Knutson Avenue:

The additional right-of-way will provide a planter strip and sidewalk on Knutson Avenue. The planter strip moves pedestrians a safe distance from the edge of the roadway. Knutson Avenue is a 25 mile per hour facility. Knutson Avenue will be the primary routes for pedestrians traveling to and from this development. The development shall construct approximately 40 linear feet of sidewalk along the frontage of the property along Knutson Avenue. All developments in Medford are required to construct their frontage sidewalk and therefore this is roughly proportional.

Local street right-of-way dedication and construction requirements identified by the Public Works Department and required by the City are the minimum required to protect the public interest and are necessary for additional or densification of development in the City without detracting from the common good enjoyed by existing properties. Developments are required to provide all internal local streets and half-street improvements to abutting streets, including associated right-of-way dedications, to ensure that new development and density intensification provides the current level of urban services and adequate street circulation is maintained.

Dedication of the Public Utility Easement (PUE) will benefit development by providing public utility services, which are out of the roadway and more readily available to each lot or building being served. The additional traffic of all modes of travel generated by this proposed development supports the dedication and improvements for all modes of travel and utilities. As indicated above, the area required to be dedicated for this development is necessary and roughly proportional to that required in similar developments to provide a transportation system that meets the needs for urban level services.

B. SANITARY SEWERS

This site lies within the Rogue Valley Sewer Service (RVSS) area. The Developer shall contact RVSS for conditions of connection to the sanitary sewer collection system. The Developer shall provide one separate individual service lateral to each tax lot or ensure that each tax lot is served by an individual service lateral.



C. STORM DRAINAGE

1. Drainage Plan

For any site work, a comprehensive drainage plan showing the entire project site with sufficient spot elevations to determine direction of runoff to the proposed drainage system, and also showing elevations on the proposed drainage system, shall be submitted with the first building permit application for approval.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

A Site/Utility Plan shall be submitted with the building permit application to show the location of existing or proposed stormdrain lateral/s for the site.

All private stormdrain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

2. Grading

For any site work, a comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729.

4. Verification

Upon completion of the project, and prior to certificate of occupancy of the building, the Developer's design Engineer shall verify that the construction of the stormwater quality and detention system was constructed per plan. Verification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

5. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater



shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

D. GENERAL CONDITIONS

1. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way.

Contractors proposing to do work on public streets (including street lights), sewers, or stormdrain shall 'prequalify' with the Engineering Division prior to starting work.

2. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

3. System Development Charges (SDC)

Buildings in this development are subject to system development charges (SDCs). All SDC fees shall be paid at the time individual building permits are issued.

Prepared by: Jodi K Cope

Reviewed by: Doug Burroughs



SUMMARY CONDITIONS OF APPROVAL

1170 Knutson Avenue (TL 2600)

New Commercial Office/Storage Building (Nansen Investment Group)

AC-20-037

A. Streets

1. Street Dedications to the Public:

- **Knutson Avenue** – Dedicate additional right-of-way unless otherwise recommended through the Legacy Street Memorandum.
- Dedicate 10-foot Public Utility Easement (PUE) along the respective frontage.

2. Improvements:

Public Streets

- **Knutson Avenue** – 5-foot sidewalk with planter strip.

Lighting and Signing

- No additional street lights are required.

Other

- No pavement moratorium currently in effect along this frontages to Knutson Avenue.

B. Sanitary Sewer:

- The site is situated within the RVSS area.

C. Storm Drainage:

- Provide a comprehensive grading and drainage plan if site work is to be done.
- Provide water quality and detention facilities, calculations and O&M Manual.
- Provide engineers verification of stormwater facility construction.
- Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

- = City Code Requirement
- = Discretionary recommendations/comments

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.





MEMORANDUM

To: Liz Conner, Planning Department
From: Chad Wiltrout, Building Department (541) 774-2363
CC: Nansen Investment Group, Agent LLC; Agent, Calvin Martin
Date: 3/25/2020
Subject: AC-20-037

Please Note:

This is not a plan review. Unless noted specifically as Conditions of Approval, general comments are provided below based on the general information provided; these comments are based on the 2019 Oregon Structural Specialty Code (OSSC) unless noted otherwise. Plans need to be submitted and will be reviewed by a commercial plans examiner, and there may be additional comments.

Fees are based on valuation. Please contact Building Department front counter for estimated fees at (541) 774-2350 or building@cityofmedford.org.

For questions related to the Conditions or Comments, please contact me, Chad Wiltrout, directly at (541) 774-2363 or chad.wiltrout@cityofmedford.org.

General Comments:

1. For list of applicable Building Codes, please visit the City of Medford website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Design Criteria" on left side of screen and select the appropriate design criteria.
2. All plans are to be submitted electronically. Information on the website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Electronic Plan Review (ePlans)" for information.





3. A site excavation and grading permit will be required if more than 50 cubic yards is disturbed.
4. A separate demolition permit will be required for demolition of any structures not shown on the plot plan.

Comments:

5. An Oregon licensed design professional in responsible charge shall be named for this project at time of application submittal. This individual shall be responsible for the coordination of all construction documents for the project including deferred submittals, shop drawings, reports, analyses and other pertinent documentation.
6. A code analysis to address the minimum requirements for FLS, structural, plumbing fixtures, handicap accessibility, fire protection systems etc. shall be provided by Oregon licensed design professionals.
7. All building and building appurtenance construction documents shall be sealed by an Oregon licensed design professional in accordance with OAR 671.020 and OAR 672.020.
8. A geo-technical report per 1803.5.11- 1803.6 OSSC shall be provided for the proposed construction.
9. Special inspections shall be performed in accordance with chapter 17 OSSC.
10. If conditioning the building, Oregon Building Codes Division provides 2 options for meeting energy code requirements for new construction. There are several forms, and detailing requirements needed to show compliance depending on which code path you choose. Please visit the Oregon BCD website for details/requirements.
11. A detailed site plan showing accessibility requirements for each facility along with connecting routes shall be submitted for review. See also facility accessibility requirements per 1108.3 OSSC





BOARD OF WATER COMMISSIONERS

Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: AC-20-037

PARCEL ID: 371W18BB TL 2600

PROJECT: Consideration of a proposal for the construction of a 33,600 square foot metal commercial storage and office facility on a single 2.04 acre parcel located at 1170 Knutson Avenue in the I-G (General Industrial) zoning district (371W18BB TL 600). Applicant, Nansen Investment Group; Agent, Todd Powell; Planner, Liz Conner

DATE: March 25, 2020

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. Installation of a "looped" 8-inch water line is required around the proposed building to provide fire protection water via 4 (four) required fire hydrants per Medford Fire Department. Water Line shall be located in proposed on-site paved travel lanes, and not under proposed parking spaces.
4. The proposed Fire Service Vault and Fire Department Connection (FDC) are required to be located near the site entrance.
5. Dedication of a 10-foot wide (minimum) access and maintenance easement to MWC over all water facilities located outside of public right-of-way is required. Easement shall be submitted to MWC for review and recordation prior to construction.
6. Static water pressure is expected to be 85 psi. See attached document from the City of Medford Building Department on "Policy on Installation of Pressure Reducing Valves".
7. If a well is located on this parcel it will be required to be abandoned per State of Oregon water Resources Department regulations per Oregon Water Resources Department Chapter 690 Division 220.

Continued to Next Page





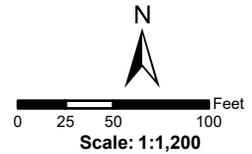
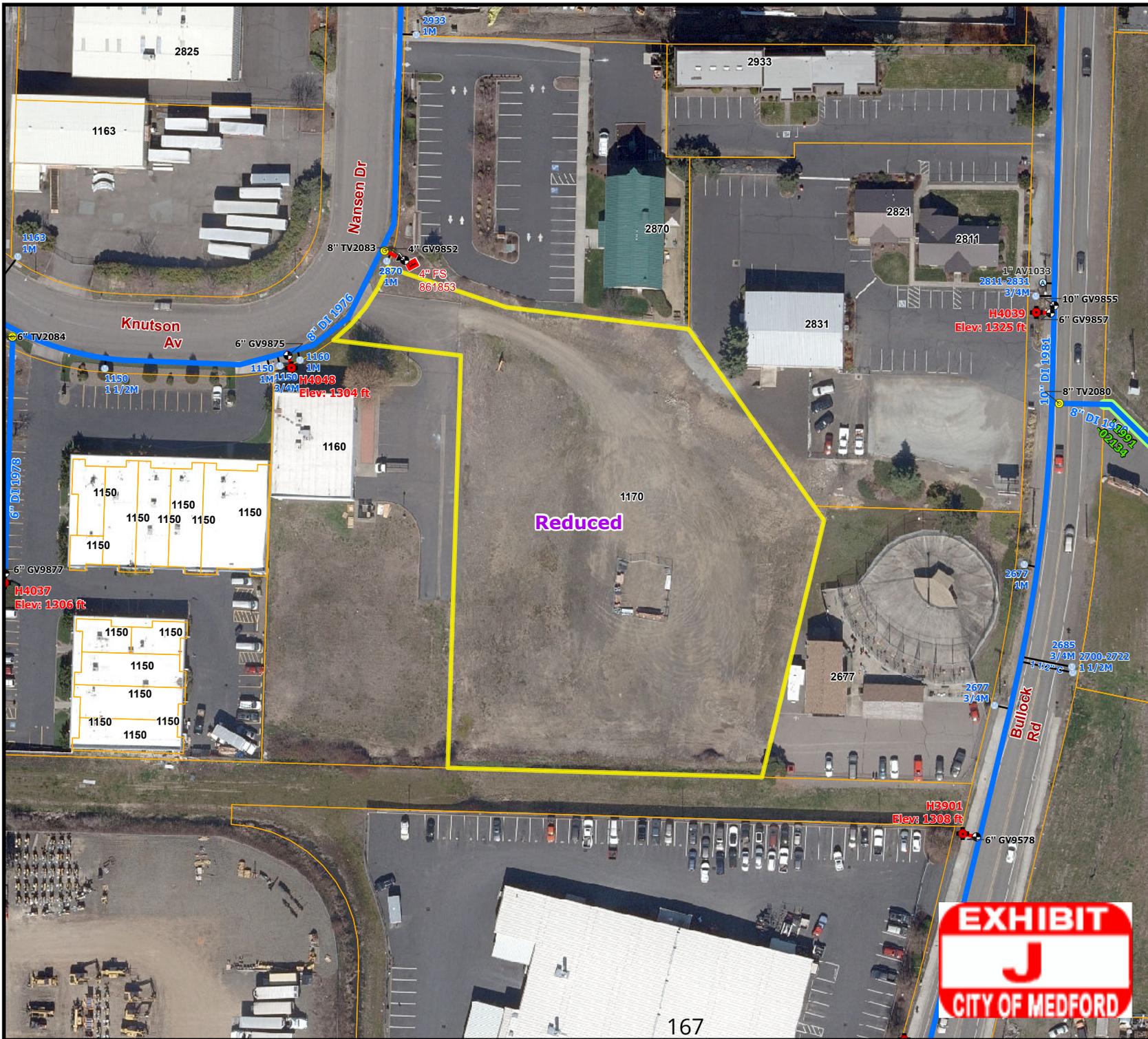
Continued from Previous Page

8. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35> .
9. A "Summer" Fire Hydrant flow test is required for the design of the proposed fire sprinkler system for this project. Fire Hydrant Flow Testing to be performed during our "Summer" operating season which extends from mid-July to the end of September.

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is required. (See Condition 3 above)
3. Static water pressure is approximately 85 psi. (See Condition 6 above)
4. Access to MWC water lines is available. There is an existing 8-inch water line in Knutson Avenue.





Water Facility Map
City of Medford
Planning Application:
AC-20-037
(371W18BB2600)
Mar 25, 2020

Legend

- Air Valve
- Sample Station
- Fire Service
- Hydrant
- Reducer
- Blow Off
- Plugs-Caps

Water Meters:

- Active Meter
- On Well
- Unknown
- Vacant

Water Valves:

- Butterfly Valve
- Gate Valve
- Tapping Valve

Water Mains:

- Active Main
- Abandoned Main
- Reservoir Drain Pipe
- Pressure Zone Line

Boundaries:

- Urban Growth Boundary
- City Limits
- Tax Lots

MWC Facilities:

- Control Station
- Pump Station
- Reservoir



Date: 3/12/2020
 Path: \\medfordwater.org\public\Files\Shared\Departments\GIS\Mapping\Projects\LD Map_Makeup\LD Map_Makeup.aprx

EXHIBIT
J
CITY OF MEDFORD

From: [David I. Searcy](#)
To: [Liz A. Conner](#)
Subject: AC-20-037
Date: Friday, March 27, 2020 1:37:47 PM

Hi Liz-

Happy Friday! Rodney got me the landscape plan for the project. Since there is less than 1,500 square feet of landscape, I guess they don't have to follow the code. That said, I would recommend for the long term benefit of the site that they put root barrier on the three sides of the trees that abut to paving, since they aren't going to put in structural soil. It will save what are likely to be concrete curbing. The root barrier only needs to be 12" or 18" deep and none on the building side to allow the roots to spread. Let me know if you have any questions or comments.

David Searcy
Conservation Coordinator
Medford Water Commission
200 S. Ivy St. Room 177
Medford OR 97501
Cell 541.292.0755
Desk 541.774.2435
<http://www.medfordwater.org/>
<https://www.facebook.com/medfordwater/>

“The past is behind, learn from it.”
“The future is ahead, prepare for it.”
“The present is here, live it.”
Thomas S. Monsoon

ALWAYS erase e-mail addresses included in messages before you forward them to your friends...Also, use the Bcc format (blind carbon copy) when you send out messages to multiple addressees ...**Stomp out SPAM!** Thank you. *If you wish to be dropped from my email list, please inform me.*



JACKSON COUNTY

Roads

Roads
Engineering

Chuck DeJanvier
Construction Engineer

200 Antelope Road
White City, OR 97503
Phone: (541) 774-6255
Fax: (541) 774-6295
dejanvca@jacksoncounty.org

www.jacksoncounty.org

March 16, 2020

Attention: Liz Conner
Planning Department
City of Medford
200 South Ivy Street, Lausmann Annex, Room 240
Medford, OR 97501

RE: Consideration of a proposal for a warehouse on
Knutson Avenue – a city-maintained road
Planning File: AC-20-037

Dear Liz:

Thank you for the opportunity to comment on the consideration of a proposal for the construction of a 33,600 square foot metal commercial storage and office facility on a single 2.04-acre parcel located at 1170 Knutson Avenue in the General Industrial (I-G) zoning district (37-1W-18BB TL 2600). Jackson County Roads has no comment:

If you have any questions or need further information feel free to call me at 774-6255.

Sincerely,

Chuck DeJanvier, PE
Construction Engineer



From: [THOMPSON Seth](#)
To: [Liz A. Conner](#)
Cc: todd@powellengineeringconsulting.com
Subject: ODA Comment: AC-20-037
Date: Thursday, March 19, 2020 12:33:57 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[FAA Form 7460-1.pdf](#)

Thank you for providing the opportunity for the Oregon Department of Aviation (ODA) to comment on File Number: AC-20-037.

The ODA has determined that a FAA FORM 7460-1 will need to be completed by the applicant for the proposed construction.

The completed FAA FORM 7460-1 must be submitted to the ODA.

I have attached a FAA FORM 7460-1 for reference.

Please let me know if you have any questions.

Best regards,

Seth Thompson

OREGON DEPARTMENT OF AVIATION
AVIATION PLANNER



OFFICE 503-378-2529 CELL 503-507-6965
EMAIL seth.thompson@aviation.state.or.us
3040 25TH STREET SE, SALEM, OR 97302
WWW.OREGON.GOV/AVIATION



From: [Amber Judd](#)
To: [Liz A. Conner](#)
Subject: File No. AC-20-037 Project Name: Office Space, Storage, & 6 Dwelling Units
Date: Monday, March 16, 2020 11:51:25 AM

<EXTERNAL EMAIL **Click Responsibly!**>

Elizabeth,

The Airport requests an Avigation, Noise and Hazard Easement be a requirement of this project. In addition, due to the proximity to the Airport, the applicant needs to contact the FAA regarding filing a 7460-1 Notice of Proposed Construction or Alteration. The FAA contact is: Paul Holmquist, phone (206) 231-2990.

I have inserted some information below from the FAA's website:

The requirements for filing with the Federal Aviation Administration for proposed structures vary based on a number of factors: height, proximity to an airport, location, and frequencies emitted from the structure, etc. For more details, please reference CFR Title 14 Part 77.9.

You must file with the FAA at least 45 days prior to construction if:

- Your structure will exceed 200 ft above ground level
- Your structure will be in proximity to an airport and will exceed the slope ratio
- Your structure involves construction of a traverseway (i.e. highway, railroad, waterway, etc...) and once adjusted upward with the appropriate vertical distance would exceed a standard of 77.9(a) or (b)
- Your structure will emit frequencies, and does not meet the conditions of the FAA Co-location Policy
- Your structure will be in an instrument approach area and might exceed part 77 Subpart C
- Your proposed structure will be in proximity to a navigation facility and may impact the assurance of navigation signal reception
- Your structure will be on an airport or heliport
- Filing has been requested by the FAA

If you require additional information regarding the filing requirements for your structure, please identify and contact the appropriate FAA representative using the Air Traffic Areas of Responsibility map for Off Airport construction, or contact the FAA Airport Region/District Office for On Airport construction.

Results

You exceed the following Notice Criteria:

Your proposed structure is in proximity to a navigation facility and may impact the assurance of navigation signal reception. The FAA, in accordance with 77.9, requests that you file.

The FAA requests that you file.



Thank you,

Amber Judd

Director of Finance and Administration

Rogue Valley International-Medford Airport (MFR)



1000 Terminal Loop Parkway, Suite 201

Medford, Oregon 97504

541-776-7222





ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 97502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

March 12, 2020

City of Medford Planning Department
200 S. Ivy Street
Medford, Oregon 97501

Re: Office, Storage, 6 Dwelling Units (Map 371W18B, TL 2600)

ATTN: Liz,

The subject property is within the RVSS service area. There is an 8 inch sewer main on the adjacent property along the east and north property boundary as shown on the submitted site plan. Sewer service for proposed development can be had by a new sewer tap as generally shown on the site plan. Tap permits are issued by RVSS and sewer connection permit will be issued by the City of Medford. Sewer System Development Charges will be owed to RVSS.

Rogue Valley Sewer Services requests that approval of this application be subject to the following conditions:

1. All development must be designed and constructed per RVSS standards.
2. The applicant must submit architectural drawings to RVSS for the calculation of System Development Charges.
3. The applicant must obtain a sewer tap permit from RVSS and pay related development fees prior to the issuance of building permits.

Please feel free contact me with any questions.

Sincerely,

Nicholas R. Bakke, P.E.
District Engineer





Project Name:

**Office Space, Storage,
& 6 Dwelling Units**

Map/Taxlot:

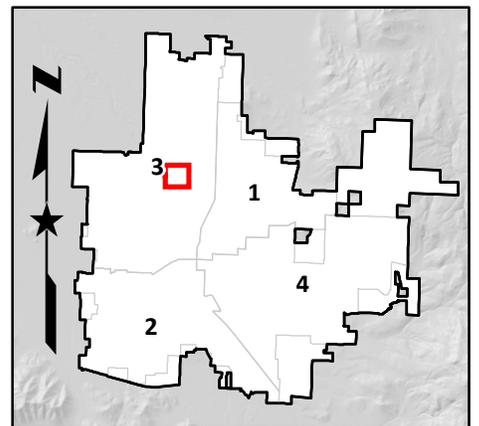
**371W18BB TL 2600
1800 Knutson Avenue**

Legend

-  Subject Area
-  Tax Lots



2/12/2020 194



STAFF REPORT

for a Type-III quasi-judicial decision: **Site Plan and Architectural Review**

Project Braun Brush
Applicant and Agent: JB Steel, Inc.

File no. AC-20-038

To Site Plan and Architectural Review Commission *for 04/17/2020 hearing*

From Steffen Roennfeldt, Planner III

Reviewer Kelly Evans, Assistant Planning Director

Date April 8, 2020

BACKGROUND

Proposal

Consideration of a proposal to construct an approximately 7,500 square foot single-story warehouse on a 6.54 acre parcel located at 1525 N Central Avenue in the General Industrial (I-G) zoning district (372W24701).

Vicinity Map



Subject Site Characteristics

GLUP	HI	Heavy Industrial
Zoning	I-G	General Industrial
Overlay	AC	Airport Area of Concern
	I-00	Limited Industrial
Use	Vacant	

Surrounding Site Characteristics

<i>North</i>	Zone:	I-G & I-L (Light Industrial)
	Use:	Vacant
<i>South</i>	Zone:	I-H (Heavy Industrial)
	Use:	Timber Products
<i>East</i>	Zone:	C-R (Regional Commercial)
	Use:	Northgate Commercial development
<i>West</i>	Zone:	GI (Jackson County General Industrial Zoning)
	Use:	Timber Products

Related Projects

LDP-08-025	2-lot Partition
ZC-08-026	Zone Change from County Zoning to General Industrial

Applicable Criteria

Medford Municipal Code §10. 200(E)(1) – Site Plan & Architectural Review Criteria

(E) Site Plan and Architectural Review Approval Criteria (Type II & III).

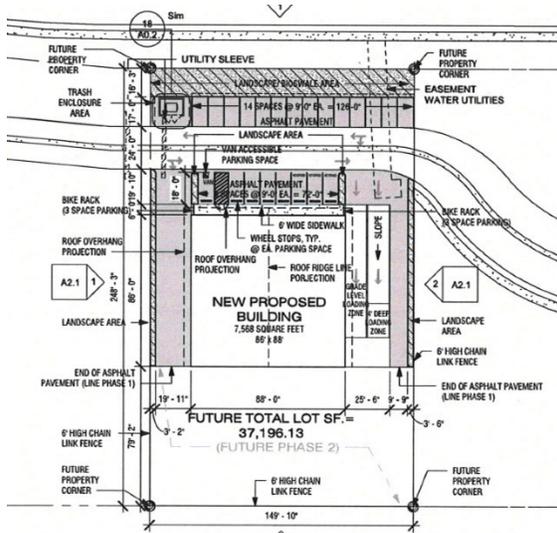
(1) The Site Plan and Architectural Commission, SPAC – Type III Review, shall approve a site plan and architectural review application for a commercial or industrial development, if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

(a) The proposed development is compatible with uses and development that exist on adjacent land, and

(b) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in Section 10.186.

parcel, the completion of a Partition application is not necessary and, therefore, was not included as a condition of approval.

Proposed Building



The proposed development consists of a 7,568 square foot, single-story warehouse. The development will include an office area, break room, conference room, bathrooms and a light-duty manufacturing warehouse, as well as a 1,400 square foot, second-story mezzanine.

Included in the development are two loading docks along the east side; one at grade level as well as a 4-foot depressed loading area for larger trucks.

The site is served by a 24-foot wide private road extending to the subject site from North Central Avenue.

Development Standards

Site Development Table

I-G	Allowed/Required	Proposed
Height	85 feet	22 feet
Lot Coverage	90%	20.3% (proposed partition)
Setback (front)	10 feet	77 feet
Setback (rear and side yards)	1 foot	19'-11" (west - proposed partition) 35'-3" (east - proposed partition) 79'-2" (south)
Minimum Lot Area	10,000 square feet	37,196 (proposed)
Minimum Lot Width	70 feet	149'-10" (proposed)
Minimum Lot Depth	100 feet	248'-3" (proposed)
Minimum Lot Frontage	70 feet	149'-10" (proposed)

As shown in the Site Development Table above, it can be found that the proposed building identified on the submitted site plan, meets the bulk standards for the I-G

zoning district as found in Article V of the Medford Land Development Code for the existing parcel dimensions, as well as the proposed parcel.

Parking

Parking Table (MLDC 10.743-751)

	Required	Provided
Vehicle Spaces	22	22
Bicycle Spaces	5	5

The submitted site plan shows a total of 22 parking stalls, meeting the minimum required as per MLDC 10.743(1). The site plan also shows the requisite number of handicap spaces and bicycle spaces, as per MLDC 10.746(8)(a) and 10.748, respectively.

Landscaping

Frontage Landscaping (MLDC 10.797)

	Required	Shown
Trees	4	4
Shrubs	22	?

The applicant’s submitted landscape plan (Exhibit G) shows landscaping along the site’s frontage with the existing private street, meeting the minimum required number of trees. The amount of shrubs is not identified on the plans. It will be a condition of approval to submit a revised landscape plan showing the required number of trees and shrubs, meeting all requirements of MLDC 10.780 including the following:

- Structural soil for the two island planter trees,
- the “ground cover” is not named, and
- the plant botanical names are missing.

Pedestrian Access (MLDC 10.772-776)

The site plan shows the proposed structure directly adjacent to the abutting street. A six-foot sidewalk in front of the structure will serve as the required pedestrian connection which is consistent with the standards found in MLDC 10.772-776.

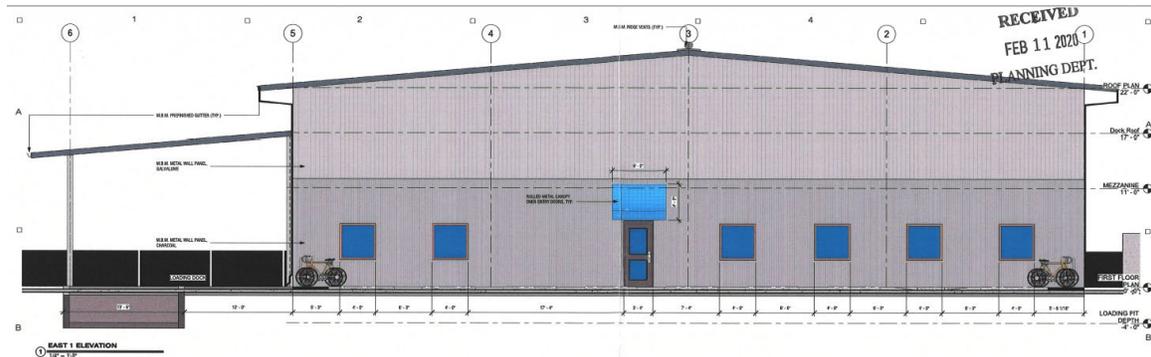
Concealments

Trash Enclosure (MLDC 10.781)

The applicant's site plan shows a trash enclosure located at the northwest corner of the building, and the submitted findings state that a CMU wall is proposed to screen trash dumpster.

Proposal meets Code requirements, as per MLDC 10.781.

Architecture



Per the applicant's findings, *the architectural composition of the proposed building mass has been articulated in a manner intended to mitigate the perceived mass of the structure and yet retain an industrial character. A variety of architectural elements and exterior finish materials are intended to soften the presence of the structure and to contribute appropriately to the surrounding architectural context.*

The proposed building is a pre-engineered steel structure with traditional pre-finished metal siding on the sides and rear of the building. The front of the building will be dedicated to waiting areas, office spaces, and related support activities. The front of the building is galvalume panels above 12 feet and colored metal panels below 12 feet that gives the proposed building a clean appearance and is in keeping with the structures across North Central Ave. Entries and feature windows have been articulated with human scale elements.

Other Agency Comments

Rogue Valley Sewer Services (RVSS) (Exhibit O)

The subject property is within RVSS service area. As a condition of approval, the applicant will be required to comply with the conditions of RVSS.

Jackson County Roads (Exhibit N)

Jackson County Roads had no comments and deferred to ODOT. No comments were received from ODOT at the time this staff report was prepared.

Oregon Department of State Lands (DSL) (Exhibit R)

The DSL responded to a Wetlands Land Use Notification (WLUN) by staff with a WLUN Response form. The response states that there may be wetlands or other features on the property that are subject to the State Removal-Fill Law. An onsite inspection by a qualified wetland consultant is recommended prior to site development to determine if the site has wetlands or other waters that may be regulated. As a condition of approval, the applicant will be required to comply with the conditions by DSL.

Rogue Valley International – Medford Airport (Exhibit Q)

Rogue Valley International Airport requests an Avigation, Noise and Hazard Easement to be required as part of the permit process. In the 2010 LUBA decision on Michelle Barnes vs. City of Hillsboro and the Port of Portland, Nollan/Dolan findings are required to support the request (LUBA No. 2010-011). None were provided; therefore, a condition requiring compliance with the airport’s request for an Avigation, Noise and Hazard Easement has not been included.

Committee Comments

No comments were received from committees such as BPAC.

No other issues were identified by staff.

FINDINGS OF FACT

1. *The proposed development is compatible with uses and development that exist on adjacent land;*

The Commission can find that there is sufficient evidence contained in the applicant’s findings and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

2. *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A. This criterion is satisfied.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit H) and recommends the Commission adopt the findings as recommended by staff.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare the final order for approval of AC-20-038 per the staff report dated April 8, 2020, including Exhibits A through S.

EXHIBITS

- A Conditions of Approval, dated April 8, 2020
- B Site Plan, received February 11, 2020
- C Floor Plan, received February 11, 2020
- D Roof Plan, received February 11, 2020
- E Elevations, received February 11, 2020
- F Details, received February 11, 2020
- G Landscape Plan, received February 11, 2020
- H Applicant's Findings and Conclusions, received February 11, 2020
- I Public Works Report, dated March 25, 2020
- J Building Department Memo, dated March 23, 2020
- K Medford Water Commission Memo, dated March 25, 2020
- L Fire Department Memo, dated March 20, 2020
- M City Surveyor Memo, dated March 12, 2020
- N Jackson County Roads Memo, dated March 16, 2020
- O RVSS Memo, dated March 13, 2020
- P Email from Oregon Department of Aviation, received March 19, 2020
- Q Email from Medford Airport, received March 16, 2020
- R WLUN Response from DSL, dated March 25, 2020
- S Property Deed, received March 18, 2020
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA: APRIL 17, 2020

EXHIBIT A

Braun Brush
AC-20-038
Conditions of Approval
April 8, 2020

CODE REQUIRED CONDITIONS

Prior to the issuance of a building permit for vertical construction, the applicant shall:

1. Submit a revised landscape plan meeting all requirements of MLDC 10.780 including the following corrections:
 - a. Identify the number of shrubs,
 - b. Structural soil for the two island planter trees
 - c. Name of the 'ground cover', and
 - d. Identify the plant botanical names.
2. Comply with all conditions stipulated by the Public Works Department (Exhibit I).
3. Comply with all conditions stipulated by the Medford Water Commission (Exhibit K).
4. Comply with all requirements of the Medford Fire Department (Exhibit L).
5. Comply with all requirements of RVSS (Exhibit O).
6. Comply with all requirements by the Department of State Lands (Exhibit R).

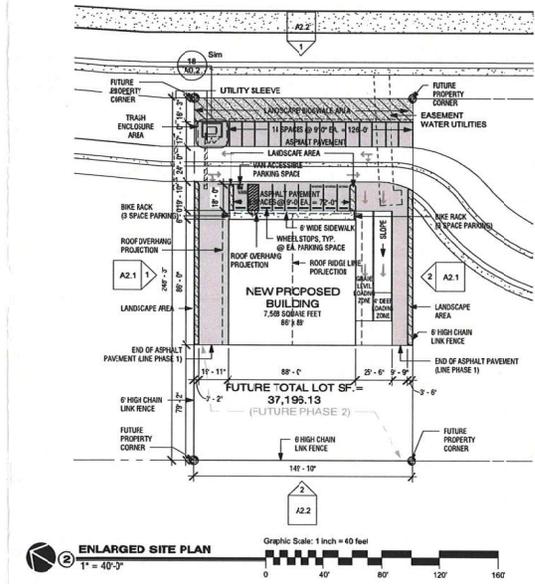
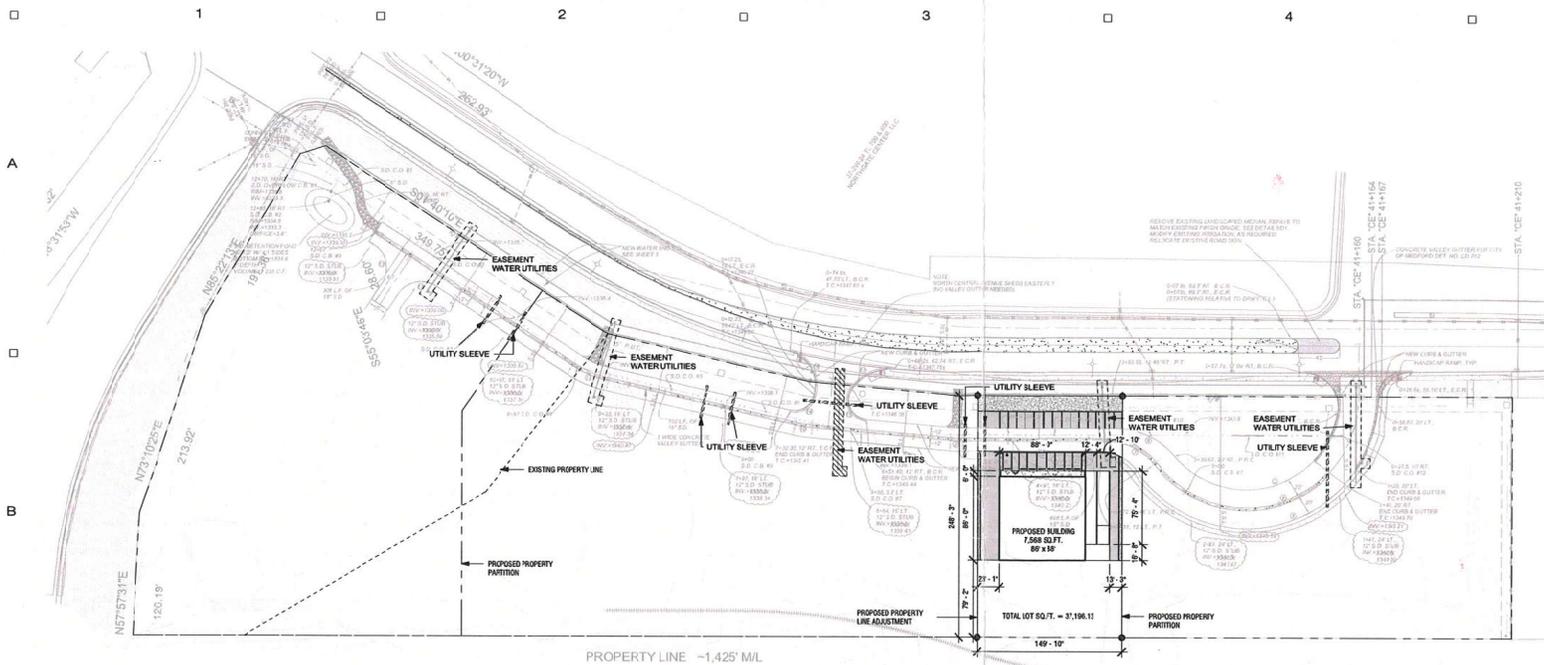


EXHIBIT B
CITY OF MEDFORD

RECEIVED
FEB 11 2020
PLANNING DEPT.



ARCHITECTURE
PLANNING
190 North Ross Lane, Medford, Oregon
P.O. Box 4460, 97501
Office: 541.773.8525 Fax: 541.773.8529
Email: gcaperna@caperna.net
Home: 541.981.5154, Colorado: 924.2478
Oregon: 503.764.9925, Washington: 314.70
Member American Institute of Architects



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JB STEEL INC.
COMMERCIAL & INDUSTRIAL
P.O. Box 440, 180 North Ross Lane
Medford, Oregon 97501
Office: 541.773.8252 Fax: 541.773.8232
CEX No. 123002
Web: www.jbsteelinc.com

braunbrush
braunbrush®
Division of Specialty Services Since 1975
THE BRAUN BRUSH COMPANY
CLIENT:

BRAUN BRUSH
PROJECT LOCATION:
1325 NORTH CENTRAL AVE
MEDFORD, OR 97504
TAX MAP 35-29-24-24, EXH. LOT 707

No.	Date	Description

ISSUE: 02/08/2020
PROJECT NO.: 28-47-1-D
DRAWN BY: NILMANPR
CHECKED BY: GRC

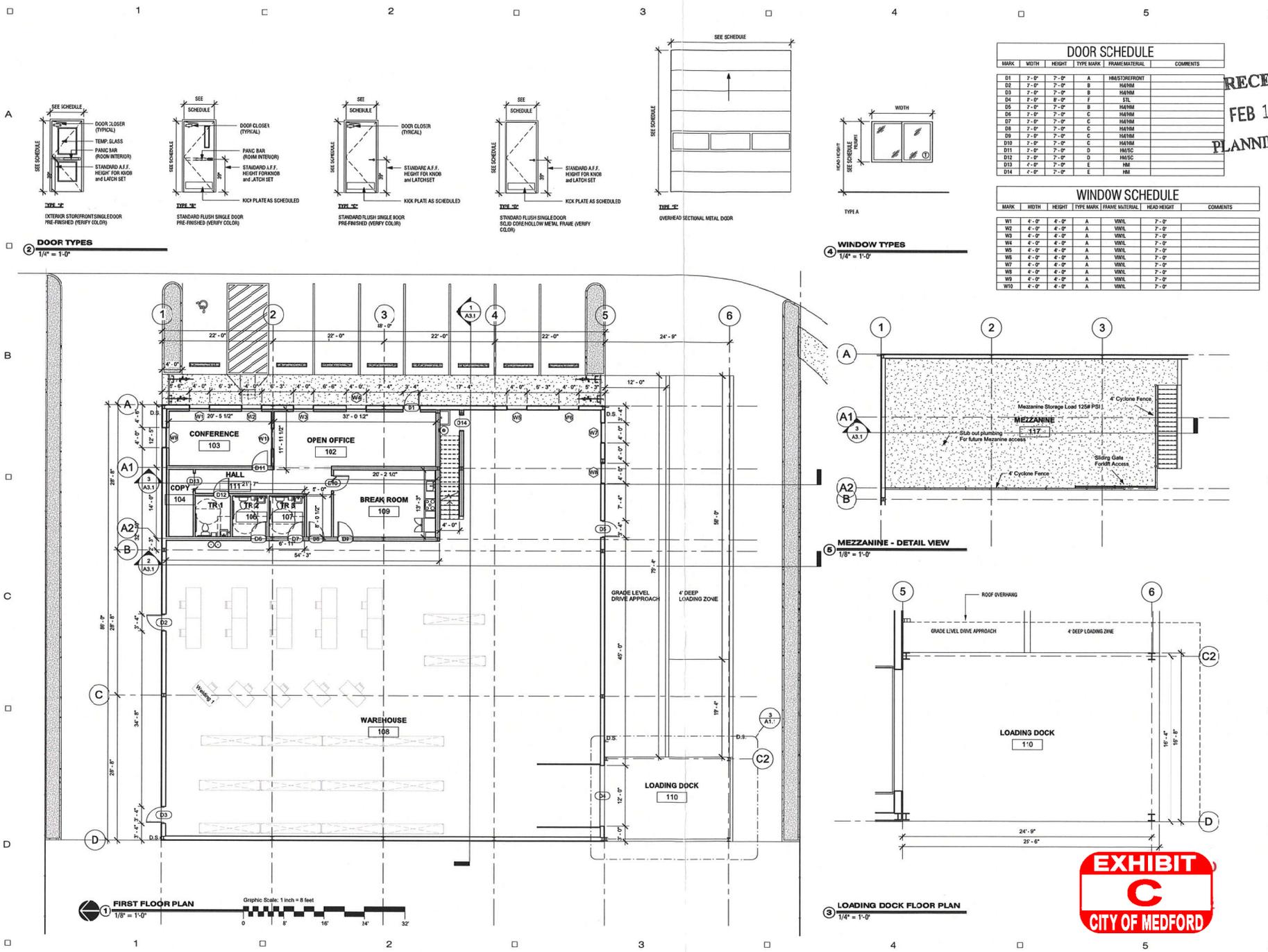
APPROVED
SHEET TITLE:
OVERALL SITE PLAN

PLT DATE:
2/7/2020 3:58:16 PM

A0.1

Project Status

FILE NAME: 27720200 3:58:16 PM
W:\Design Projects\00-CURRENT PROJECTS\Braun\Rev\Braun_Braun_020720.dwg



RECEIVED BY R. CAPRINA
ARCHITECT
FEB 11 2020
PLANNING DEPT

STAMP
REGISTERED ARCHITECT
STATE OF OREGON
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JB. STEEL INC.
COMMERCIAL & INDUSTRIAL
P O Box 440, 180 North Ross Lane
Medford Oregon 97501
Office: 541.753.8205 Fax: 541.773.6523
CEX No. 13392
Web: www.jbsteelinc.com

BRAUN BRUSH
CLIENT: THE BRAUN BRUSH COMPANY
PROJECT LOCATION: 1325 NORTH CENTRAL AVE
184 MAP 35-294-24 (TXL LOT 70)

No.	Date	Description

ISSUE: 02/08/2020
PROJECT NO: 2947-19
DRAWN BY: NLM/MNPR
CHECKED BY: GRC

APPROVED
SHEET TITLE: FLOOR PLAN
PLT DATE: 2/7/2020 3:10:18 PM
A1.1
Project Status



ROOF PLAN GENERAL NOTES:

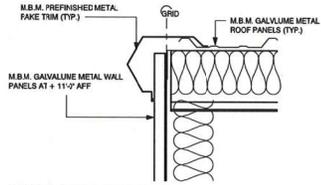
THIS ROOF PLAN IS FOR INFORMATIONAL PURPOSES ONLY. SEE P.E.M.B. DRAWINGS FOR ACTUAL ROOF SHEETING, TRIM LAYOUT, AND ASSOCIATED DETAILS. P.E.M.B. DRAWING TAKE PRECEDENCE OVER THIS PLAN.

ROOF PLAN LEGEND:

4" D.S. 4" DOWN SPOUT U.N.O.

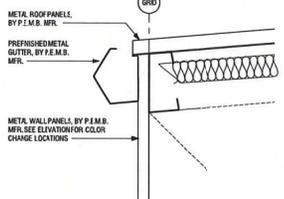
1:12 SLOPE ROOF DIRECTION OF ARROW

M.E.M. MECHANICAL ITEMS - SEE MECHANICAL DRAWINGS



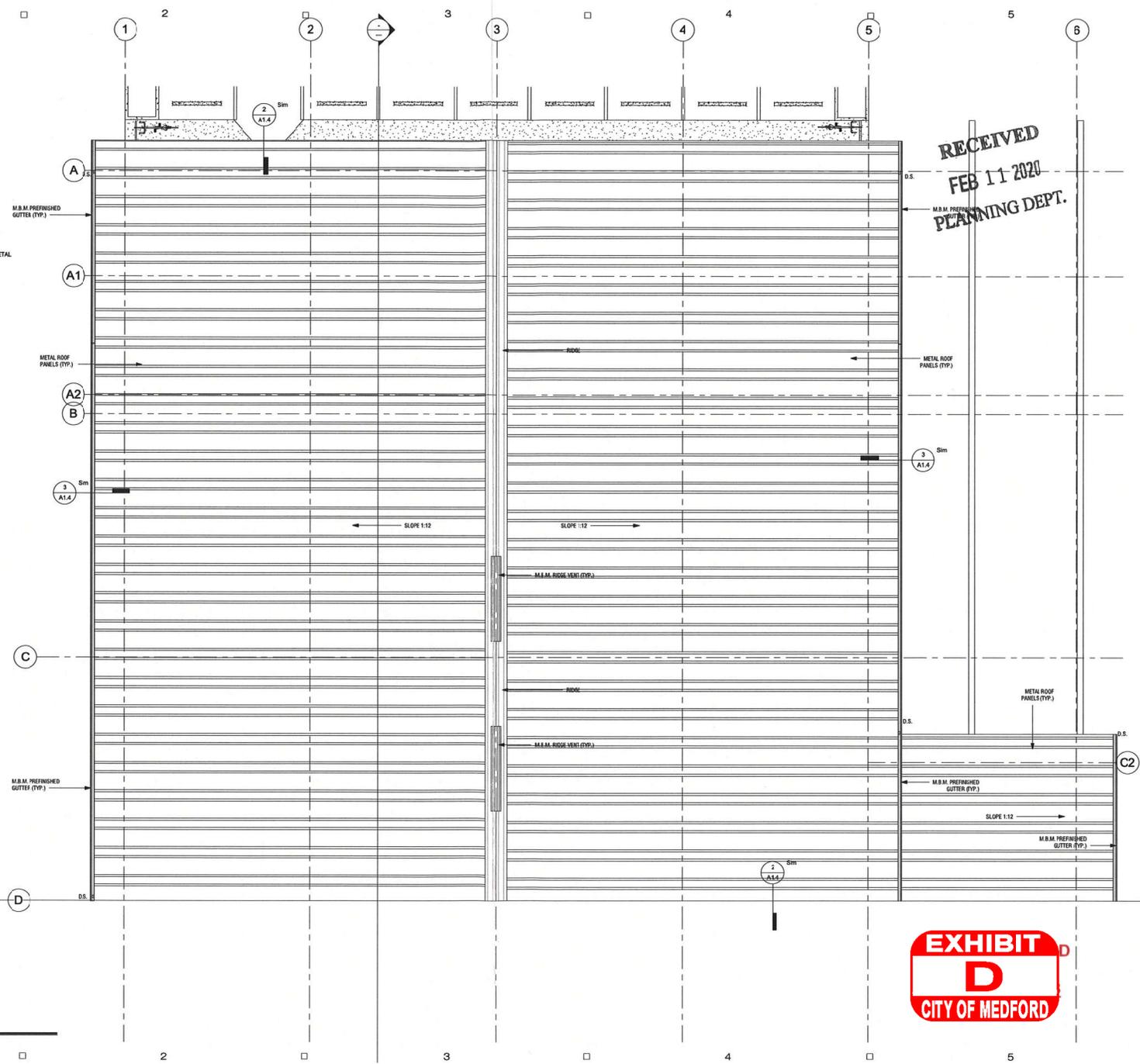
TYPICAL METAL RAKE TRIM

1 1/2" = 1'-0"



TYPICAL METAL ROOF GUTTER

1 1/2" = 1'-0"



1 ROOF PLAN
3/16" = 1'-0"

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FEB 11 2020
PLANNING DEPT.

GARY R. CAPERNA ARCHITECT
ARCHITECTURE PLANNING
190 North Ross Lane, Medford, Oregon
P.O. Box 4460 97501
Office: 541.773.3225 Fax: 541.773.6523
Email: garycaperna@caperna.net
Toll-free: 800.548.2424 Colorado: 303.424.4242
Oregon: 503.754.1478 Washington: 1.425.388.1111
Member American Institute of Architects

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REGISTERED ARCHITECT
GARY R. CAPERNA
STATE OF OREGON
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JB STEEL INC.
COMMERCIAL & INDUSTRIAL
P.O. Box 4460, 190 North Ross Lane, Medford, Oregon 97501
Office: 541.773.3225 Fax: 541.773.6523
CEN No. 153902
Web: WWW.JBSTEELINC.COM

BRAUN BRUSH
braunbrush®
Member of Specialty Products since 1979
CLIENT: THE BRAUN BRUSH COMPANY
PROJECT LOCATION:
255 SOUTH 10TH AVE
MEDFORD, OR 97501
TAX MAP 37-294-24, TAX LOT 701

No.	Date	Description

ISSUE: 02/08/2020
PROJECT NO: 2847-19
DRAWN BY: NPS
CHECKED BY: GRC

APPROVED
SHEET TITLE:
ROOF PLAN

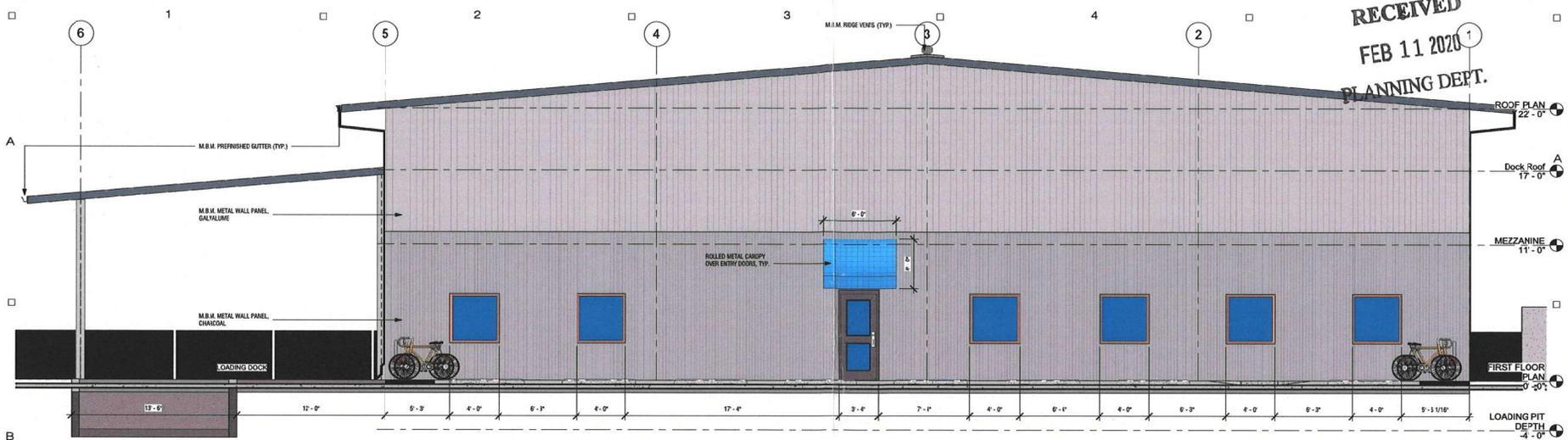
PLAT DATE:
2/7/2020 3:10:19 PM

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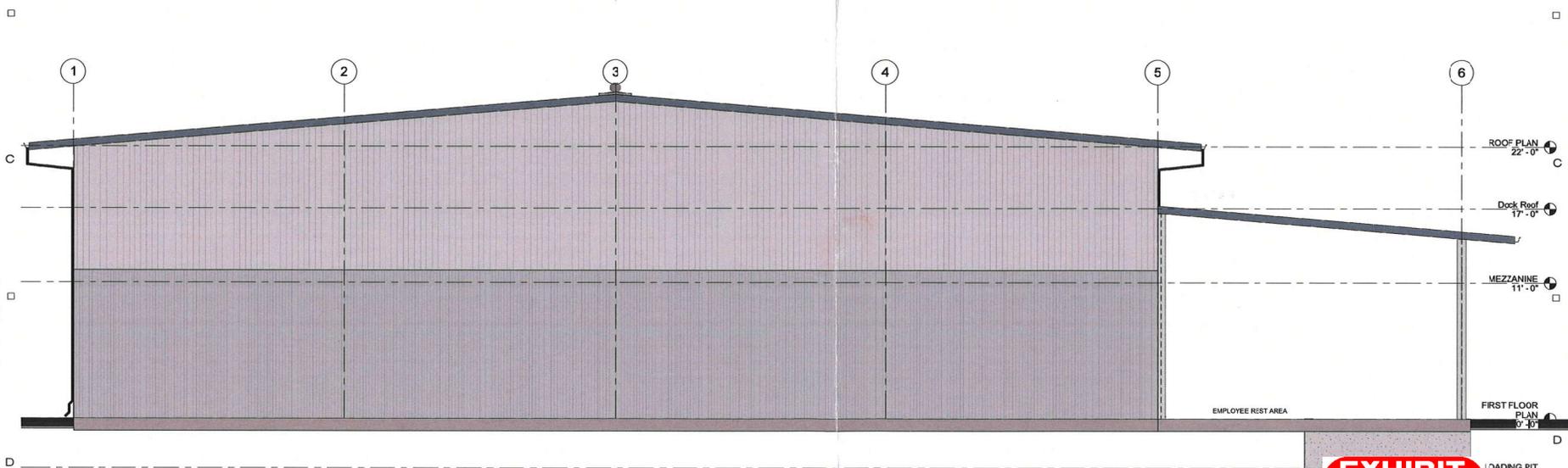
Project Status

EXHIBIT D
CITY OF MEDFORD

NPS 2/7/2020 3:10:19 PM W:\Design\Projects\60-CURRENT PROJECTS\Braun Brush\Revit\Braun Brush 020720.rvt



1 EAST 1 ELEVATION
1/4" = 1'-0"



2 WEST 1 ELEVATION
1/4" = 1'-0"

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GARY R. CAPERNA
ARCHITECT
ARCHITECTURE
PLANNING
100 North Ross Lane, Medford, Oregon
P.O. Box 440, 97501
Office: 541.773.8325 Fax: 541.773.8323
Email: gcaperna@caperna.net
Mobile: 408.581.5158, Colorado: 402.924
Oregon: 503.7, Washington: 519.70
Member American Institute of Architects

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J.B. STEEL INC.
COMMERCIAL & INDUSTRIAL
P O Box 440, 100 North Ross Lane
Medford, Oregon 97501
Office: 541.773.8325 Fax: 541.773.8323
Cell: 408.581.5158
Web: WWW.JBSTEELINC.COM

PROJECT: BRAUN BRUSH
braunbrush®
Member of Specialty member since 1975
THE BRAUN BRUSH COMPANY
CLIENT:
PROJECT LOCATION:
1525 NORTH CENTRAL AVE
MEDFORD, OR 97504
TEL: 541.773.2700 FAX: 541.773.2701

No.	Date	Description

ISSUE: 02/09/2020
PROJECT NO: 2047-19
DRAWN BY: NIPR
CHECKED BY: GRC

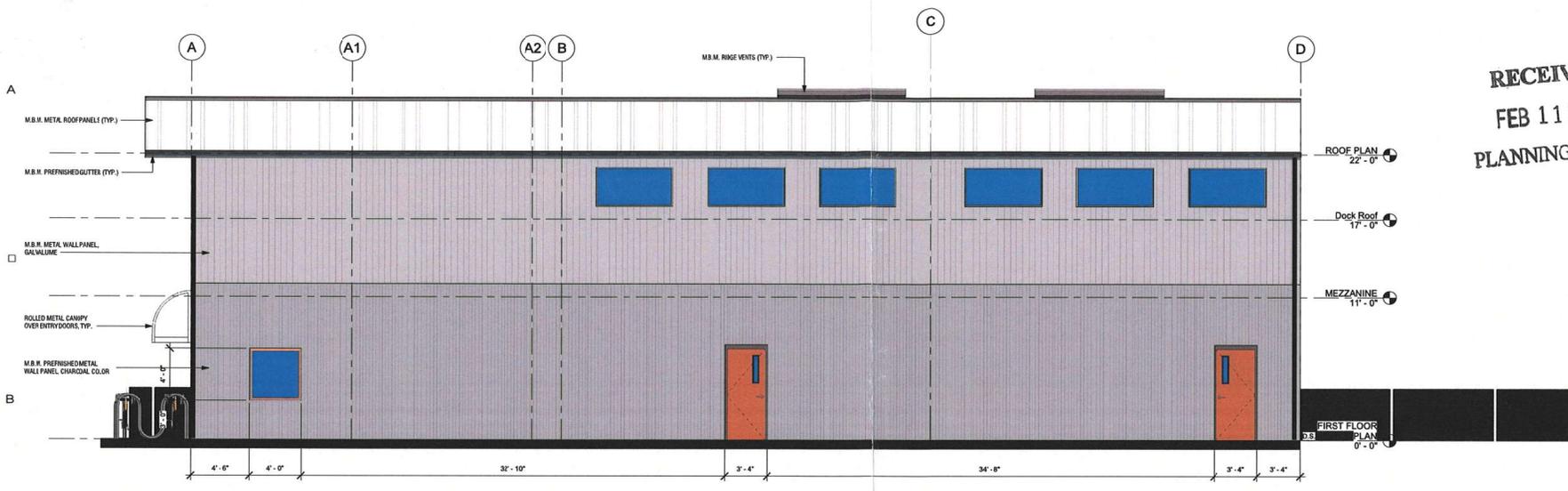
APPROVED
SHEET TITLE:
EXTERIOR ELEVATIONS
PLOT DATE:
2/7/2020 3:10:24 PM

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Project Status

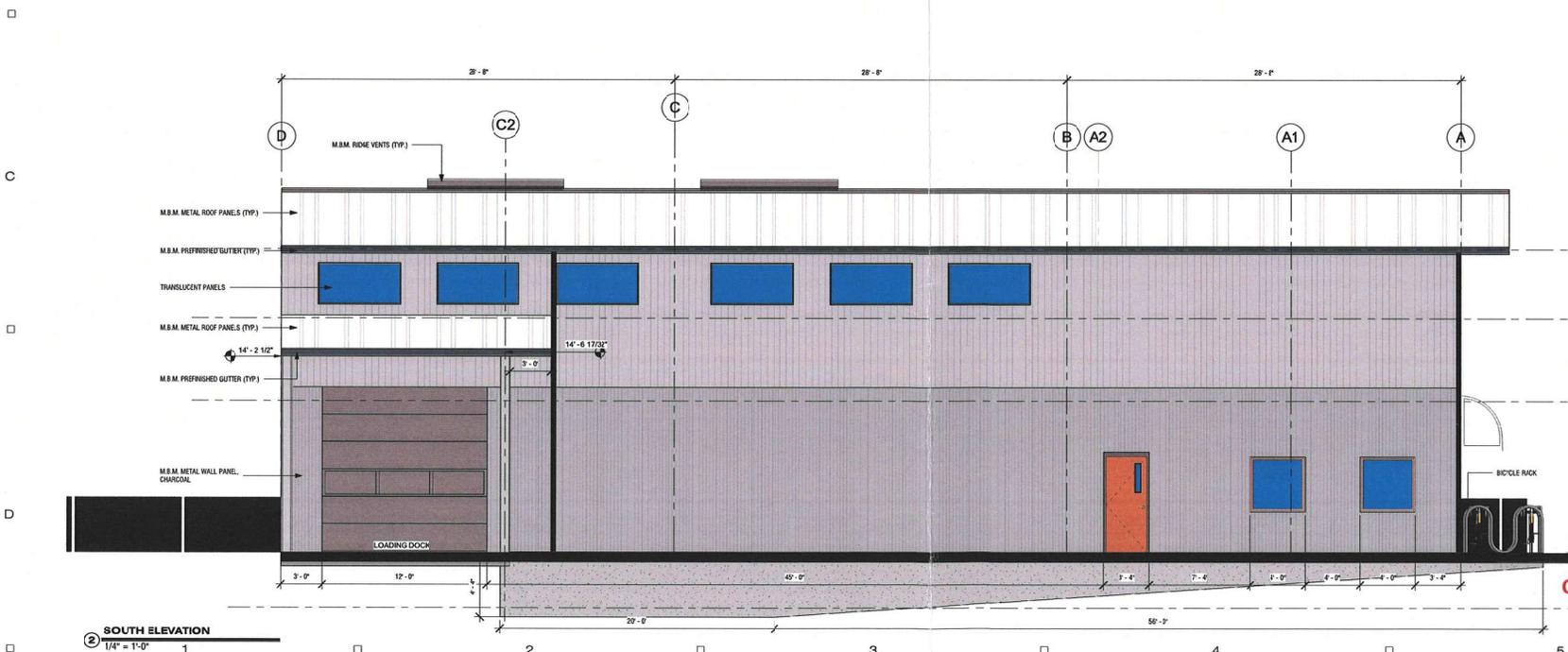
EXHIBIT
E
CITY OF MEDFORD

DATE: 2/7/2020 3:10:24 PM
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1 2 3 4 5



1 NORTH ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

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GARY R. CAPERNA ARCHITECT
ARCHITECTURE PLANNING
190 North Ross Lane, Medford, Oregon
P.O. Box 4460, 97501
Office: 541.773.8255, Fax: 541.773.6522
Email: garycaperna@charter.net
Holds: AR 58153L, Colorado 424248
Oregon 5347, Washington 11470
Member American Institute of Architects

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REGISTERED ARCHITECT
STATE OF OREGON
GARY R. CAPERNA
1/11/2020

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JB STEEL INC.
COMMERCIAL & INDUSTRIAL
P.O. Box 4460, 190 North Ross Lane
Medford, Oregon 97501
Office: 541.773.8255, Fax: 541.773.6522
Toll Free: 1.800.451.2200
Web: WWW.JBSTEELINC.COM

BRAUN BRUSH
Member of Specialty Builders Since 1975
CLIENT: THE BRAUN BRUSH COMPANY
PROJECT LOCATION: 1325 NORTH CENTRAL AVE
MEDFORD, OREGON 97504
ISSUE: 02/08/2020
PROJECT NO: 2847-1B
DRAWN BY: NFR
CHECKED BY: GRC

No.	Date	Description

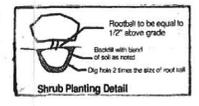
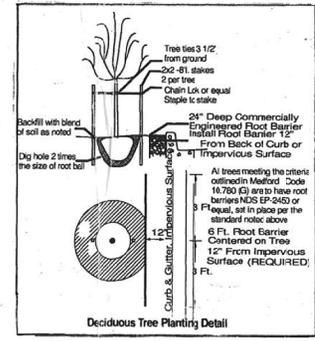
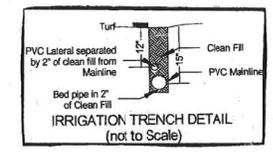
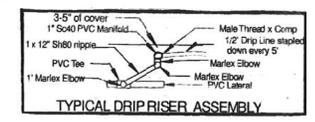
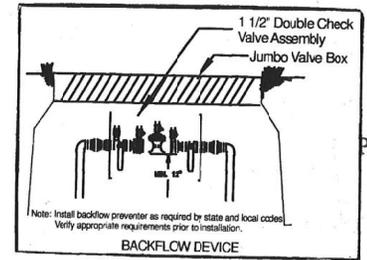
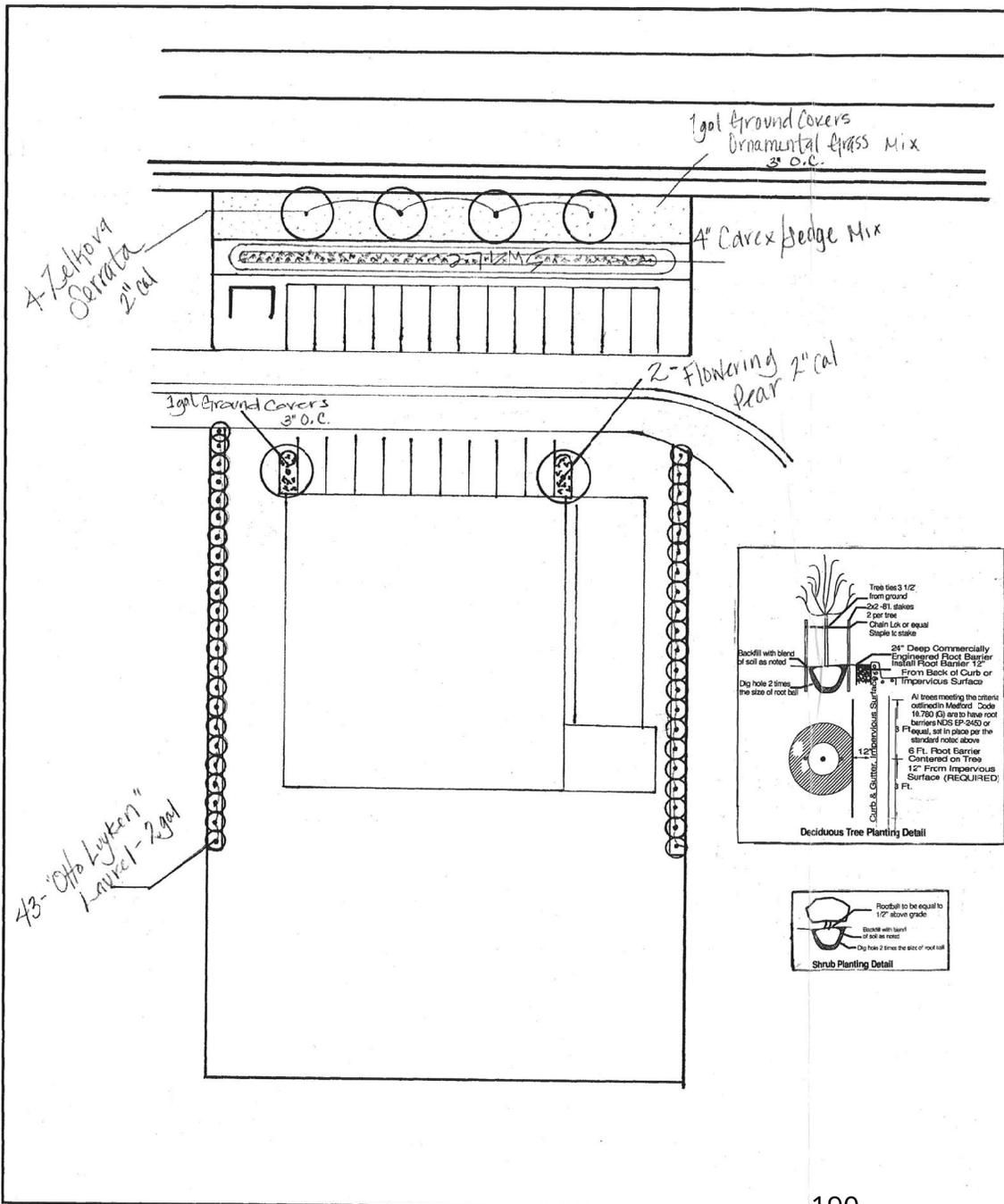
APPROVED
SHEET TITLE:
EXTERIOR ELEVATIONS
PLOT DATE:
2/7/2020 3:10:21 PM

CITY OF MEDFORD
EXHIBIT #
FILE # AC-20-038

A2.1
Project Status

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 PLANNING DEPT.



Notes:
 • Total Landscape Area +/- 5344 Sq. Ft.
 • Soil Preparation Shall meet/exceed Section 10.780 (4)(c)(9)(b) Medford Code
 • Percent High Water Use 0.00%

EXHIBIT
G
 CITY OF MEDFORD

100-222017/LCB 2664

Figueras's Landscaping & Construction, LLC

SCALE: 1" = 20'	APPROVED BY: <i>Camilo Figueras</i>	DRAWN BY: <i>HF</i>
DATE: 12/3/19		REVISED:
Braun Brush		
Acting Figueras	LCB 15868	DRAWING NUMBER: L.1

City of Medford Site Plan and Architectural Review Narrative

For a brush manufacturing facility:

braunbrush®

Makers of Specialty brushes Since 1875

Project Address: 1525 North Central Ave
Medford, Oregon 97501

Tax Map: 37-2W-24, Tax Lot 701

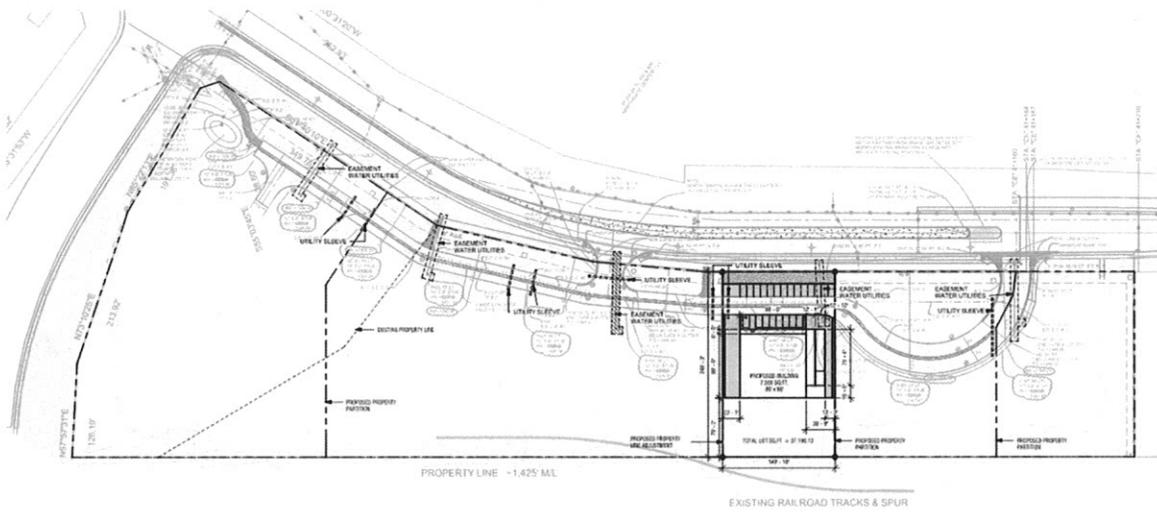


Braun Brush Facility Perspective.

SECTION I - Narrative

The tax lot 701, a 6.39-acre parcel, is intended to have a Property Line Adjustment in the future, generating the proposed lot size illustrated in this application and the submitted documents. It is also the intention for this project to have a Property Partition be requested to generate a lot of 37, 196.13 square feet for the purpose of this proposal.

8



Overall Site Plan for Braun Brush Facility.

Braun Brush intends to construct an approximately 7,568 square foot single story warehouse located at 1525 North Central Ave., in Medford, Oregon. The facility will house an open office area, break room, conference room, bathrooms for the office area, bathroom for the warehouse area, a light duty manufacturing warehouse, as well as a 1,400 square foot second story light storage mezzanine. The footprint of the facility will be 88 feet by 86 feet. The tallest portion of the structure is approximately 26'. The Southwest corner of the facility features a loading dock with two loading zones; one at grade level, to the immediate South side of the building, adjacent to that is a 4-foot-deep depressed loading for larger trucks.

The site is fully serviced by roads and utility infrastructure including electricity, gas, telephone, water, and sanitary sewer. Presently, the parcel is vacant. The subject parcel, tax lot 701, is fully served by public utilities. Currently, there are four (4) fire hydrants located at approximately 200 to 300 foot apart along the existing interior private street parallel to North Central Ave. this places a fire hydrant at the South-East corner of the property.

Dedication:

The configuration of North Central Ave. is one approximately 12'-0" travel lane in each direction with a median configuration in the center line, that turns into a turning lane when approaching the intersection with Rossanley DR., and midway to E. McAndrews Road. The road also includes bicycle lanes on both sides of the road. The West side of North Central Ave. has been developed with an approximately 3-foot-wide planter located immediately at the back of the curb with an approximately 5-foot-wide sidewalk located behind the planter.

Parking:

The proposed site plan intends to provide twenty-two (22) parking spaces for the facility, twenty-one standard parking spaces, and one ADA parking space (Van Accessible). The twenty-two-total number of onsite parking spaces satisfies the 0.2 and 0.3 parking spaces per 1,000 square foot plus one parking space per employee on the largest shift for the Industrial or Warehouse use, found in the City of Medford Municipal Code, Site Development Standards, Table 10.743-1 – City of Medford Minimum and Maximum Parking Standards.

Per section 10.748 of the Medford Municipal Code, Site Development Standards, the site requires the provision of five bicycle parking spaces for the Braun Brush facility, calculated at 20% of the number of spaces provided for automobiles. In response to this requirement the site plan shows one 1 "U" shaped inverted bicycle rack that accommodates 5 bicycles. The site plan also depicts a concrete block trash enclosure and partially fenced (chain link) surrounding three (3) sides of the property.

Landscaping:

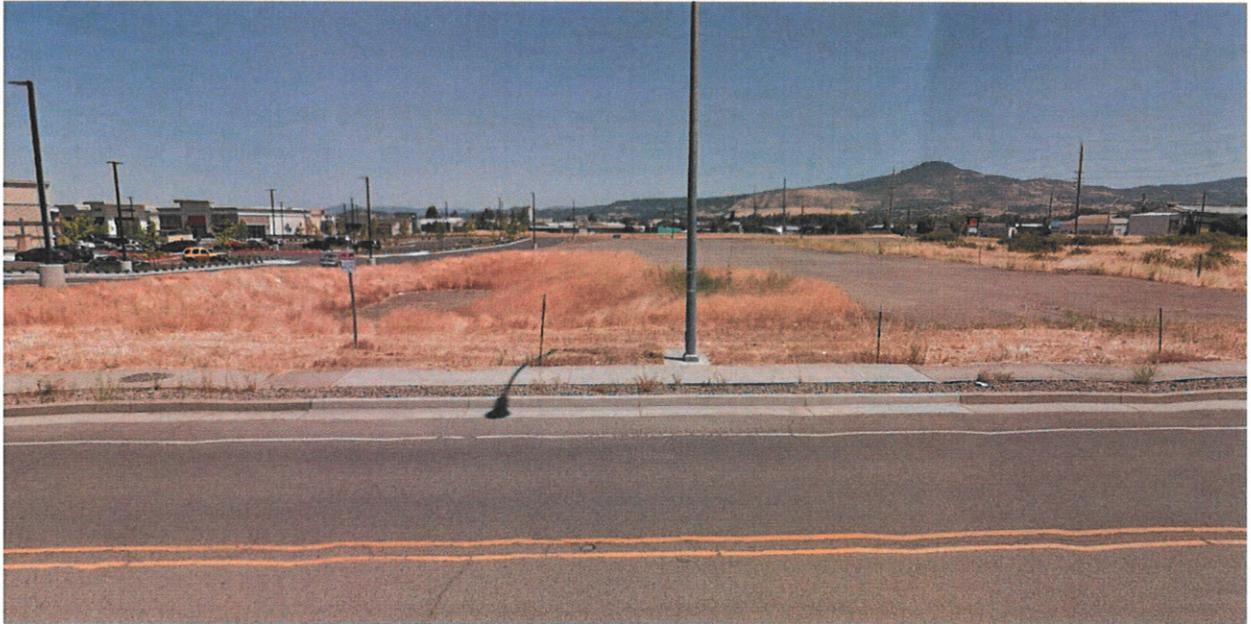
Frontage landscaping and a landscaped planter strip is proposed along North Central Avenue in accordance with 10.780 and 10.797 City of Medford Municipal Code requirements. This application intends to propose the installation of four (4) trees and fifteen (15) shrubs in compliance with section 10.797 of the City of Medford Municipal Code, Front yard Landscaping Requirements.



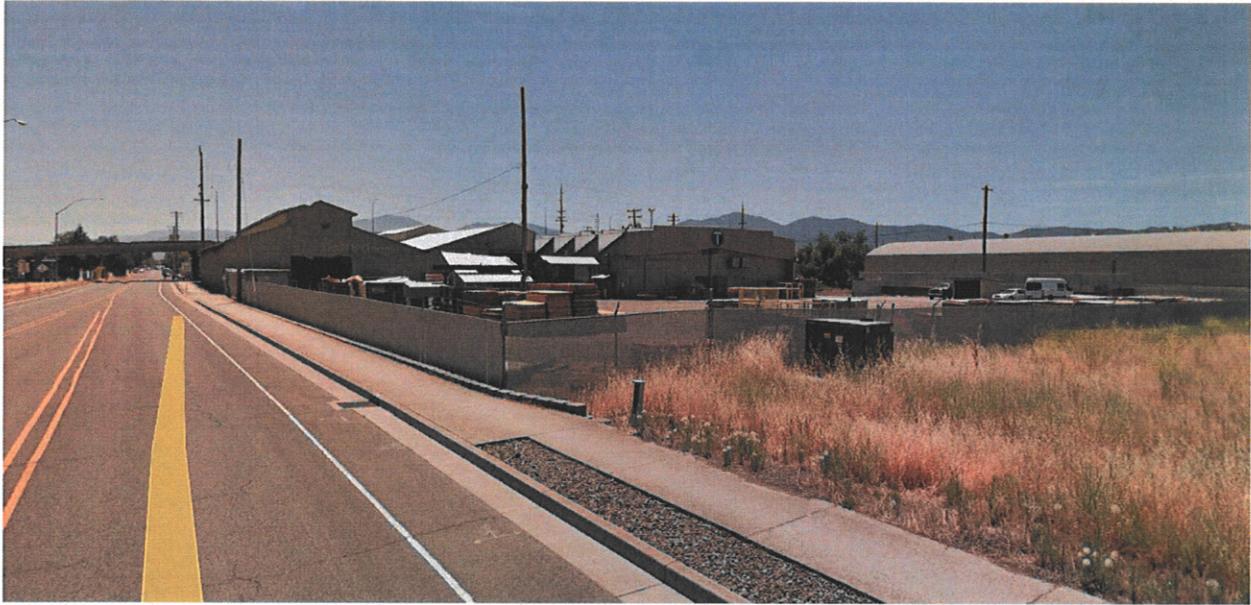
Aerial view looking at the vicinity of North Central Ave at the project site.



Street view looking west from Central Ave at the project site.



Street view looking at the vacant parcel across North Central Ave east from the project.



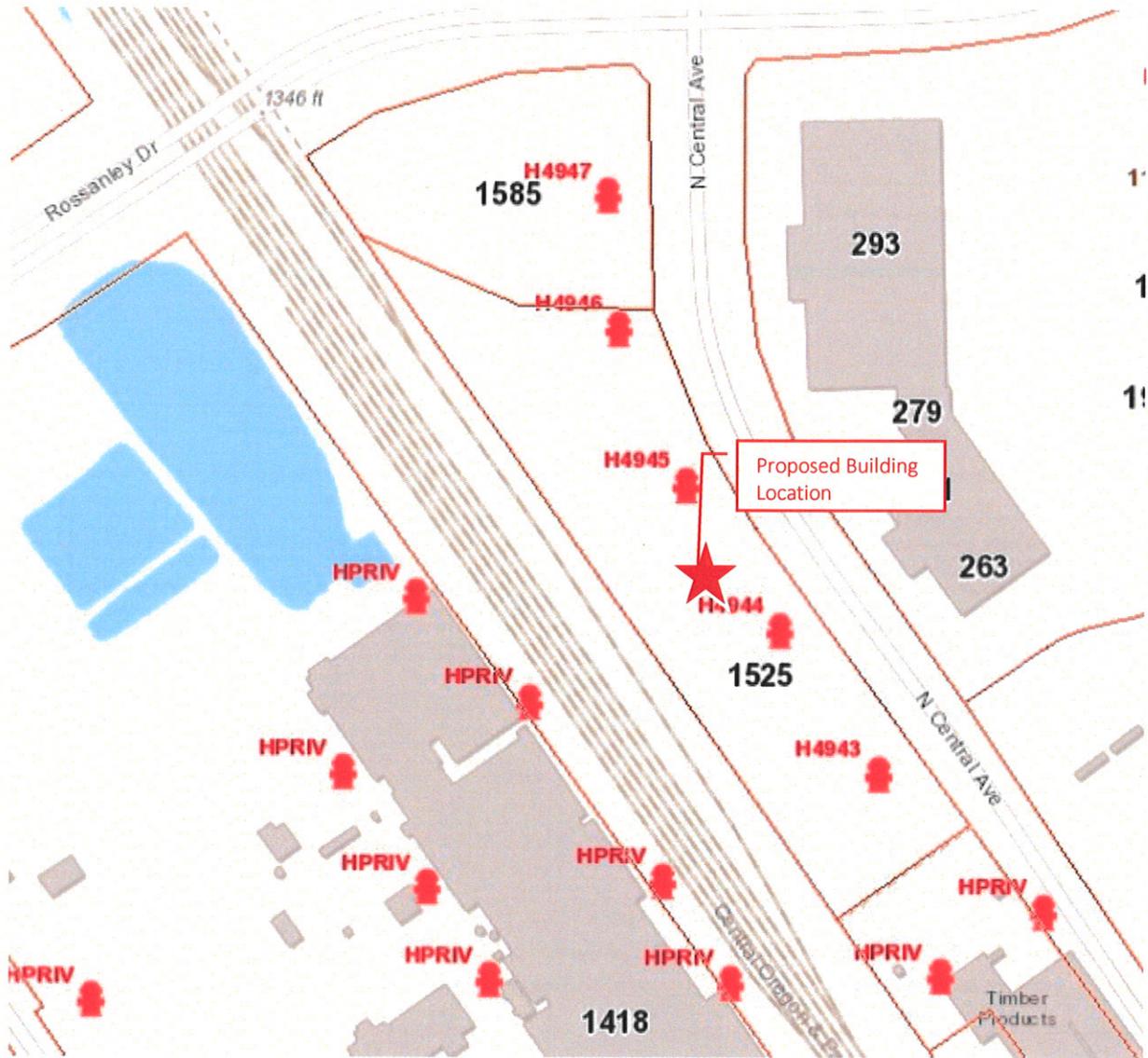
Street view looking south toward Timber Products from the project.



Street view looking north east toward Marshalls/Field and Stream/Dicks Sporting Goods from the project.



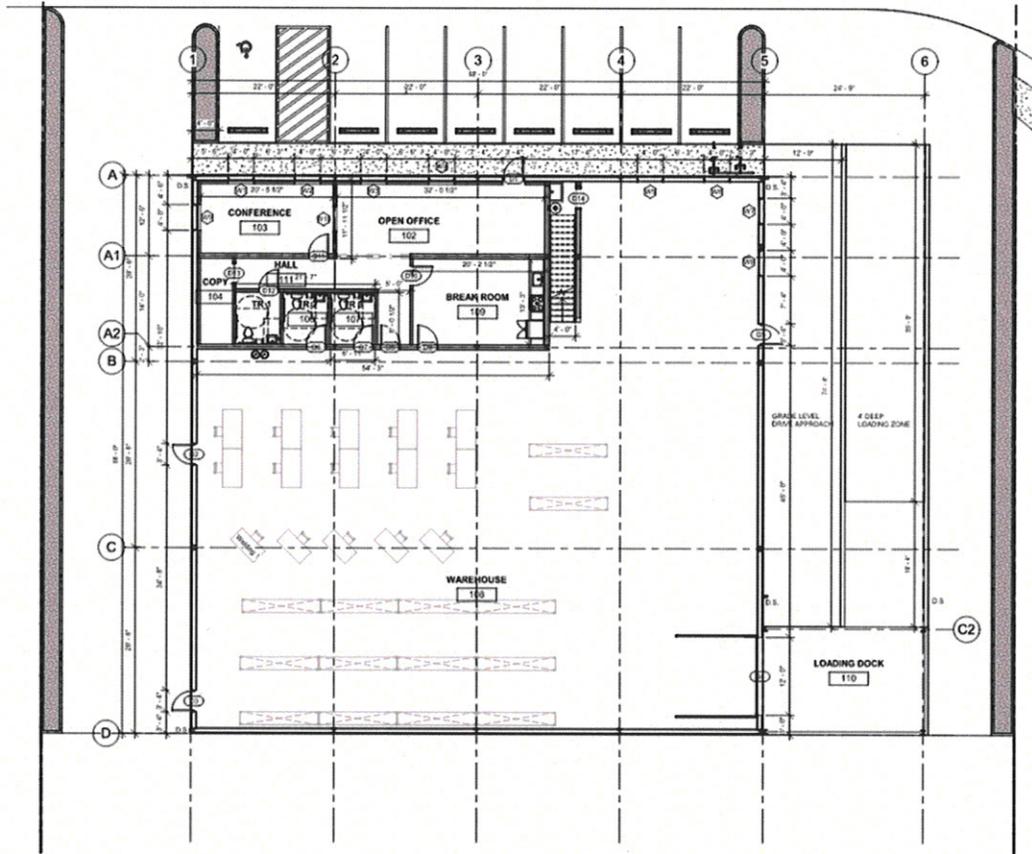
Storm drain location in North Central Ave. and Rossanley Dr.



Locations of existing onsite fire hydrants.

Trash enclosure:

The proposed site plan depicts a new CMU enclosed trash enclosure located at the North-East corner of the property, located immediately behind the frontage landscaping and bioswale at the North-East side of the property. The enclosure will be constructed from split face concrete masonry units with an opaque painted metal gate assembly.

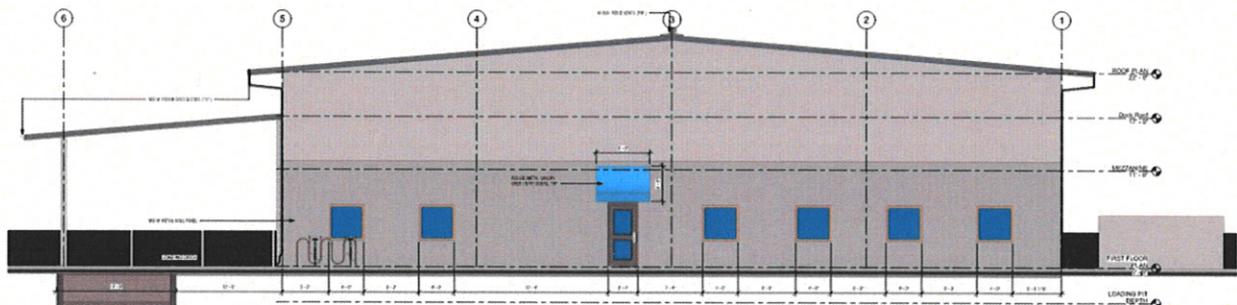


Floor plan of proposed facility.

Architecture:

The architectural composition of the proposed building mass has been articulated in a manner intended to mitigate the perceived mass of the structure and yet retain an industrial character. A variety of architectural elements and exterior finish materials are intended to “soften” the presence of the structure and to contribute appropriately to the surrounding architectural context.

The proposed building for Braun Brush will be located approximately 83’ from the East property line, 79’ from the West (rear) property line, 13’ from the South property line, and 23’ from the North property line. The proposed structure is intended for the exclusive use as a manufacturing and warehouse facility.



East elevation facing North Central Avenue.

SECTION II - Compatibility: Criterion No. 1

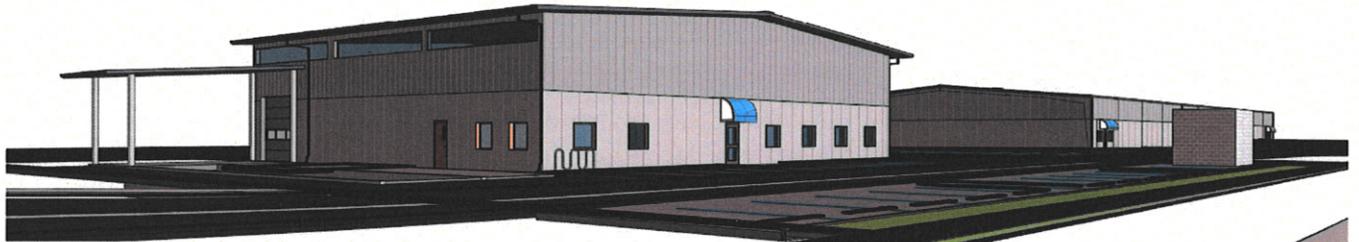
Note: The questions from the Site Plan and Architectural Review application are written below in full in italics. The Applicant response follows each question.

A. List existing uses and development adjacent to your project site. Along with this list, describe the architecture (materials, colors, etc.) age, and condition of the adjacent buildings (you may use photographs to supplement this information).

Adjacent development can be classified as heavy industrial, railroad, and big box commercial structures. Existing buildings tend to be single-storied and yet somewhat tall. Typical exterior materials include painted concrete masonry unit construction at the big box retail structures, and painted wood siding over timber frame construction at the Industrial lumber mill. The Timber products lumber mill appears to have been constructed in the 1950's and the big box retail structures have been built in the last ten years (see images above).

B. Describe the building architecture and exterior treatments in your proposal, and how they fit with and complement adjacent buildings and development.

The proposed building is a pre-engineered steel structures with traditional pre-finished metal siding on the sides and rear of the building. The front of the building will be dedicated to waiting areas, office spaces, and related support activities. The front of the building is galvalume panels above 12'-0" and colored metal panels bellow 12'-0", that gives the proposed building a clean appearance and is in keeping with the image of the structures across North Central Ave. Entries and feature windows have been articulated with human scale elements.



Perspective view of proposed building.

PALLETE OF EXTERIOR MATERIALS AND PAINT COLORS

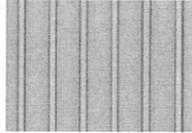
Base Building color: Charcoal (SIG 200)



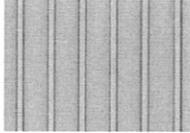
Trim at building corners, doors, windows, downspouts, etc.: Charcoal (SIG 200)



Accent Color: Galvalume, Gray



Roof Color: Galvalume, Gray



- C. *Describe the proposed architecture and exterior treatments that break up large facades and give relief to the building mass.*

As stated above, the proposed building structure presents a relatively small presence when juxtaposed with the massiveness of the Timber Products lumber mill to the south and the big box structures to the east. The east elevation has been articulated using a formal metal panel, with a change of metal panel (color and design) at 12'-0", and the use of a canopy to mark the entrance of the facility. The entry canopy will present shadows that will soften the impact of a large unadorned façade, and the material change within the wall paneling will establish a decorum appropriate for addressing public street.

- D. *Describe how the placement and orientation of the proposed building(s) relate(s) to the street facilities, and how this orientation promotes a more pedestrian-friendly site design.*

The subject parcel is not only small, but it is also rather narrow when its length is compared to its width. The internal functions of the building and the geometry of the site dictates a rectangular building footprint with vehicular and pedestrian access organized on the east side of the building. Pedestrian access from the public way (North Central Ave) to the proposed structure is straight forward and direct, but, by necessity, occurs in tandem with the limited onsite vehicular maneuvering areas.

- a. *If the site lies within 600-feet of an existing or planned transit stop, as designated by the Transportation System Plan (TSP), describe compliance with the standard 10.808, New Commercial and Institutional Development.*

The proposed development on this site is not located within 600 feet of an existing or proposed transit stop and consequently is not subject to the requirements of 10.808.

- E. *Describe the pedestrian facilities and amenities to your site (usable outdoor space, benches, etc.) and how they will function for pedestrians.*

Due to the limited possibilities of this less than 1-acre parcel, there are limited significant pedestrian amenities provided on the site. The site plan does, however, indicate a sidewalk set back from the roadway by an approximately 8' wide planter strip which serves to provide separation of the pedestrian from the vehicular roadway traffic. The configuration of the public sidewalk and the planter strip is consistent with the nearby development. A 5'

wide pedestrian walkway ties the building entrance to the public way. Other than the connection to the sidewalk along North Central Avenue, there are no opportunities to provide pedestrian access to the adjacent properties.

- F. *Describe vehicle and pedestrian access to the site, and how it relates internally on the site, and to adjacent sites.*

This proposal intends to utilize the existing private street and the installed underground infrastructure. The existing approach at the private street was constructed approximately fifteen years ago and was designed in conformance with the industrial zone development standards in effect at the time of construction.

- G. *Describe if and how the proposed plan is sensitive to retaining any existing trees or significant native vegetation on the site. Should existing trees be preserved, a Tree Protection Plan shall be included in this application*

There are no significant trees or site features existing on the subject parcel. Any new trees planted will be along the street landscape frontage will conform to the City of Medford frontage landscape requirements. A Tree Protection Plan will not be required.

- H. *Describe storm water detention facilities on the site (underground storage, surface ponds, etc.). If these facilities will be landscaped areas, describe how the proposed landscaping will be integrated with other landscaping on the site.*

The construction of the private street required the construction of a detention basin dedicated to the impervious surface created by the street construction. At the time of the private street construction, storm water pipes and laterals were installed and intended to serve the future site development. There are no existing storm water detention facilities on vacant portions of the site. Most of the runoff from the newly created impervious roof surface and paved parking areas will be collected in a bioswale located in the frontage landscaping of the property, on the East side of the proposed facility Braun Brush. The bioswale will also collect and treat storm water runoff generated by the perpendicular parking adjacent to the frontage landscaping. The bioswale will serve to clean and detain the storm water runoff. Control structures at the low end of the bioswale will limit the storm water outflow which will be restricted to meet City of Medford maximum flow requirements as it is directed through the control structure and introduced into the public system. Every effort has been made to develop a sustainable storm water management system that will utilize BMP's (Best Management Practices) to ensure a superior quality storm water management system.

- I. *Describe how your proposed landscaping design will enhance the building and other functions on the site.*

The proposed landscape plan endeavors first to satisfy the front yard and planter strip requirements as defined in the City of Medford LDO, and second, to augment the storm water management system. The landscaping includes the required front yard planter with an integral bioswale and minor internal planter areas. The proposed impervious hardscape

and new roof area represents nearly 30% of the entire lot and, consequently, require a significant amount of landscaped bioswale. The required frontage landscape strip will also function as a bioswale that treats the storm water runoff from the parking spaces that abut the frontage landscaping.

- J. *Describe how your exterior lighting illuminates the site and explain how the design of fixtures does not diminish a view of the night sky, or produce glare on adjacent properties, consistent with the standards of 10. 764.*

The proposed exterior lighting is limited to wall mounted LED fixtures specifically designed to eliminate glare beyond the property lines. All exterior lighting will be either located and/or directed away from adjacent properties to avoid glare and light pollution.



Lithonia OLWX1 40 watt LED wall mounted light

- K. *Describe any proposed signage, and how it will identify the location of the occupant and serve as an attractive complement to the site.*

A wall mounted back lit sign displaying the company logo will be installed on the east elevation facing North Central Avenue. Provisions will be made for a future monument sign located at the north east corner of the property. Permits for the monument will be pursued under a separate application.



Braun Brush logo (basis of proposed wall mounted sign).

- L. *Explain any proposed fencing, including its purpose, and how you have incorporated it as a functional, attractive component of your development. (See Sections 10.731-10.733).*

The proposed development will be fenced along portions of the north, south and west property lines. The proposed chain link fence will be 6 feet tall and comply with all requirements of Section 10.732 of the City of Medford Municipal Code.

- M. *Explain how any potential noise generated by future occupants will be mitigated on the proposed site, consistent with the standards of 10.752-10.761*

Noise generated by activity on the site will comply with the requirements listed in 10.752 through 10.761. This project does not propose uses or activities on the site that are not consistent with the existing activities in the neighborhood or with the activities implied by the zoning designation of the subject parcel.

N. Explain anything else about your project that adds to the compatibility of the project with adjacent development and uses.

The proposed use is compatible with adjacent development and consistent with the intent of the City of Medford Comprehensive plan. Additionally, the proposed development attempts to achieve the industrial use and character intended by the underlying zoning designation. The character and quality of the neighborhood will be enhanced by this project and is in keeping with the industrial character of the neighborhood.

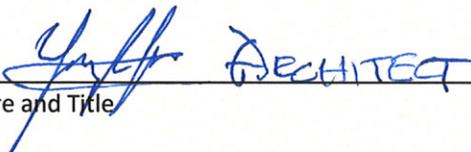
O. List and explain any exceptions or modifications requested and provide reasons for such.

No exceptions or modifications to the Land Development Code are sought for the proposed project.

SECTION II -- Code Compliance: Criterion No. 2

Refer to information filled in on SPAC application.

Prepared by:



Signature and Title

Gary R. Caperna, AIA
Name (Please Print)

PUBLIC WORKS DEPARTMENT STAFF REPORT

1525 North Central Avenue (TL 701) New Warehouse Building (Braun Brush)

Project: Consideration of a proposal for an approximately 7,500 square foot single story warehouse on a 6.54 acre parcel.

Location: Located at 1525 N Central Avenue in the General Industrial (I-G) zoning district (372W24701).

Applicant: Applicant & Agent, JB Steel Inc.; Planner, Steffen Roennfeldt.

NOTE: The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention, if applicable.
- Completion of all public improvements, if required. The Applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements shall be approved by the Public Works Engineering Division prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas
- Verification by the design Engineer that the stormwater quality and detention system was constructed per the approved plan, if applicable.
- Completion of all public improvements, if applicable.

A. STREETS

1. Dedications

North Central Avenue classified as a Minor Arterial street within the Medford Land Development Code (MLDC), Section 10.428. **No additional right-of-way will be required.**

Railroad is under the jurisdiction of the **Central Oregon and Pacific Railroad (CORP)**. The Developer shall contact CORP to see if additional right-of-way is required.

A 15-foot wide public utility easement (PUE) adjacent to the right-of-way line has already been dedicated along this developments frontage as part of Partition Plat P-11-2009.

2. Public Improvements

a. Public Streets

North Central Avenue – All street section improvements have been completed including pavement, curb and gutter, sidewalks and street lights. **No additional street improvements are required.**

Railroad is under the jurisdiction of the CORP. The Developer shall contact CORP to see if any additional improvements are required.

NOTE: All projects subject to Site Plan and Architectural Review shall be required per MLDC 10.501 (6), as a condition of approval, to repair all frontage sidewalks as determined by the Engineering Division. When attached as a condition of approval of a Site Plan and Architectural. Review application the sidewalk maintenance procedures set forth in Chapter 3, Section 3.025, Notice on Hearing of City Repair of Sidewalks, through 3.035, Notice of Sidewalk Repair, are hereby superseded.

b. Street Lights and Signing

No additional street lights or signs are required.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer's contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided by Medford Public Works Department and paid for by Developer.

c. Pavement Moratoriums

There is no pavement cutting moratorium currently in effect along this developments frontage to North Central Avenue.

B. SANITARY SEWERS

This site lies within the Rogue Valley Sewer Service (RVSS) area. The Developer shall contact RVSS for conditions of connection to the sanitary sewer collection system. The Developer shall provide one separate individual service lateral to each tax lot or ensure that each tax lot is served by an individual service lateral.

C. STORM DRAINAGE

1. Drainage Plan

A comprehensive drainage plan showing the entire project site with sufficient spot elevations to determine direction of runoff to the proposed drainage system, and also showing elevations on the proposed drainage system, shall be submitted with the first building permit application for approval.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

A Site/Utility Plan shall be submitted with the building permit application to show the location of existing or proposed stormdrain lateral/s for the site.

All private storm drain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729.

4. Verification

Upon completion of the project, and prior to certificate of occupancy of the building, the Developer's design Engineer shall verify that the construction of the stormwater quality and detention system was constructed per plan. Verification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

5. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater

shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

D. GENERAL CONDITIONS

1. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans.

Contractors proposing to do work on public streets (including street lights), sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings that have been approved by the City of Medford Engineering Division.

For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and storm drain mains be inspected by video camera prior to acceptance of these systems by the City.

Where applicable, the Developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

2. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

3. System Development Charges (SDC)

Buildings in this development are subject to system development charges (SDCs). All SDC fees shall be paid at the time individual building permits are issued.

Prepared by: Jodi K Cope
Reviewed by: Doug Burroughs

**SUMMARY CONDITIONS OF APPROVAL
1525 North Central Avenue (TL 701)
New Warehouse Building (Braun Brush)**

AC-20-038

A. Streets

1. Street Dedications to the Public:

- No addition right-of-way or Public Utility Easement (PUE) dedications are required with this application.

2. Improvements:

Public Streets

- No additional improvements are required with this application.

Lighting and Signing

- No additional street lights are required with this application.

Other

- No pavement moratorium currently in effect along this frontage to North Central Avenue.

B. Sanitary Sewer:

- The site is situated within the RVSS area.

C. Storm Drainage:

- Provide a comprehensive grading and drainage plan.
- Provide water quality and detention facilities, calculations and O&M Manual.
- Provide engineers verification of stormwater facility construction.
- Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

- = City Code Requirement
- = Discretionary recommendations/comments

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.

MEMORANDUM

To: Steffen Roennfeldt, Planning Department
From: Chad Wiltrout, Building Department (541) 774-2363
CC: JB Steel, Inc., Applicant and Agent
Date: March 23, 2020
Subject: AC-20-038_Braun Brush_1525 N. Central Ave.

Please Note:

This is not a plan review. Unless noted specifically as Conditions of Approval, general comments are provided below based on the general information provided; these comments are based on the 2019 Oregon Structural Specialty Code (OSSC) unless noted otherwise. Plans need to be submitted and will be reviewed by a commercial plans examiner, and there may be additional comments.

Fees are based on valuation. Please contact Building Department front counter for estimated fees at (541) 774-2350 or building@cityofmedford.org.

For questions related to the Conditions or Comments, please contact me, Chad Wiltrout, directly at (541) 774-2363 or chad.wiltrout@cityofmedford.org.

General Comments:

1. For list of applicable Building Codes, please visit the City of Medford website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Design Criteria" on left side of screen and select the appropriate design criteria.
2. All plans are to be submitted electronically. Information on the website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Electronic Plan Review (ePlans)" for information.
3. A site excavation and grading permit will be required if more than 50 cubic yards is disturbed.



4. A separate demolition permit will be required for demolition of any structures not shown on the plot plan.

Comments:

1. Per application this would be a mixed use occupancy B and S-1. There is not required separation, however, type of construction is per Table 506.2. Will need to identify at time of submittal occupancy type.
2. Per Section 903.2.9 and fire department building may require to be sprinkled.
3. The building and building appurtenances shall be designed by an Oregon licensed design professional in accordance with 107.1 OSSC. A design professional of responsible charge shall be required to oversee this project in accordance with 107.3.4 OSSC.
4. ADA accessibility for the site and the building shall be addressed in detail to show compliance with Chapter 11 OSSC and 2009 ANSI A117.1
5. A code analysis providing occupant load, means of egress plan, type of construction, use/occupancy classification, occupant load, fire protection systems, mixed occupancies, plumbing fixtures, etc. will be required.
6. Special inspections are required for this project in accordance with Chapter 17 OSSC.
7. Oregon Building Cods Division provides 2 options for meeting energy code requirements for new construction. There are several forms and detailing requirements needed to show compliance depending on which code path you choose. Please visit the Oregon BCD website for details/requirements.
8. A geotechnical analysis is required for this project in accordance with 1803.5 OSSC.
9. Proposed construction in proximity to fire separation distance line shall comply with Table 602 and code section 705 of the OSSC.



BOARD OF WATER COMMISSIONERS

Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: AC-20-038

PARCEL ID: 372W24 TL 701

PROJECT: Consideration of a proposal for an approximately 7,500 square foot single story warehouse on a 6.54 acre parcel located at 1525 N Central Avenue in the General Industrial (I-G) zoning district (372W24701); Applicant & Agent, JB Steel Inc.; Planner, Steffen Roennfeldt.

DATE: March 25, 2020

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. Installation of a new domestic water service is required for this proposed development. The proposed water meter is required to be installed near the existing fire hydrant at the west end of the 8-inch water line. (*This is the 2nd fire hydrant from the site entrance.*)
3. Dedication of a 10 foot wide (minimum) access and maintenance easement to MWC over all water facilities located outside of public right-of-way is required. Easement shall be submitted to MWC for review and recordation prior to construction.
4. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35> .
5. Static water pressure is expected to be near 105 psi. Installation of Pressure Reducing Valve (PRV) is required per Uniform Plumbing Code. See attached document from the City of Medford Building Department on "Policy on Installation of Pressure Reducing Valves".
6. Applicant and/or their Civil Engineer shall coordinate with MWC engineering staff for Fire Hydrant flow testing for design of potential fire sprinkler system for this building.

Continued to Next Page

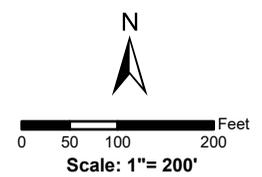
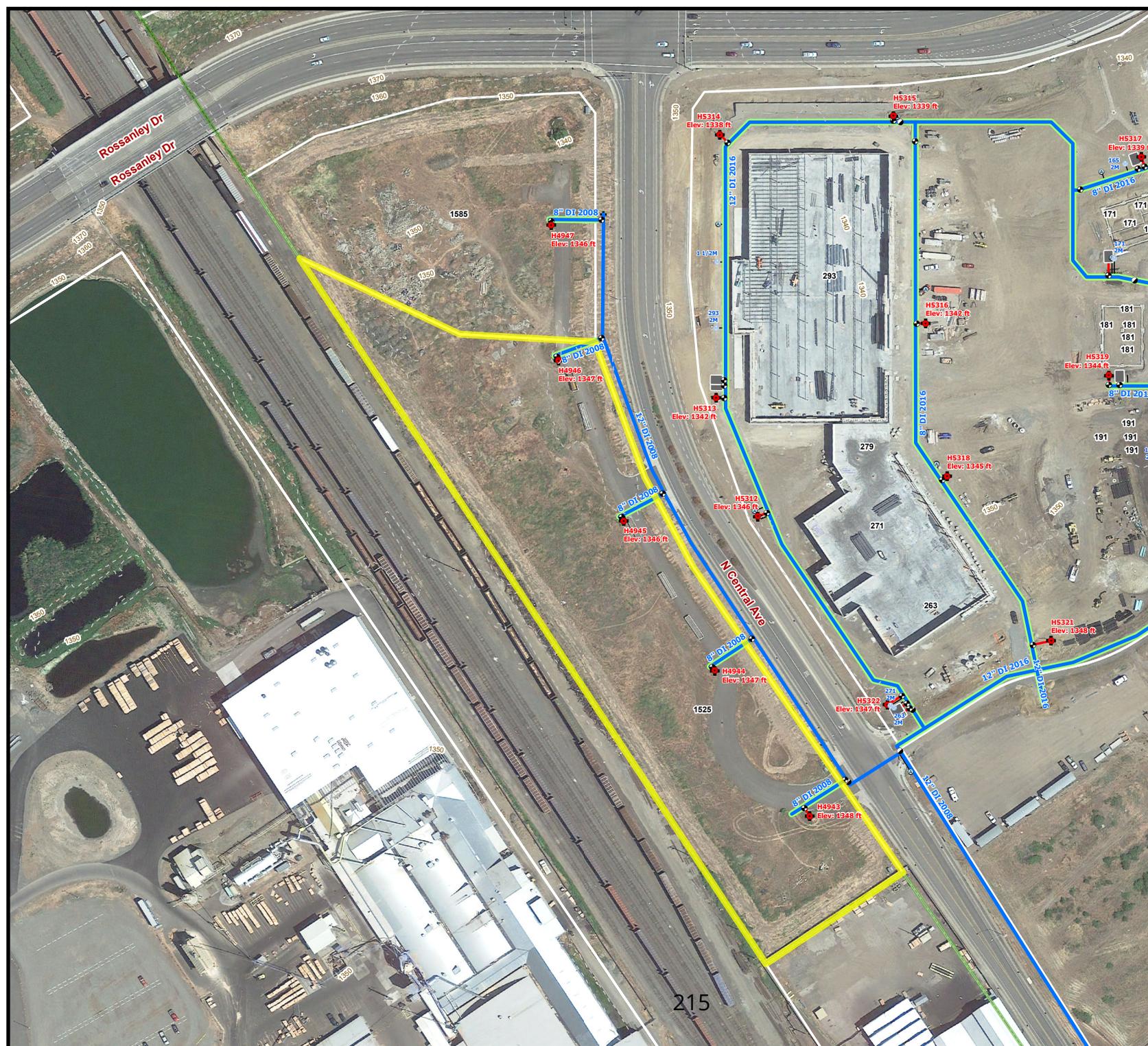




Continued from Previous Page

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is not required.
3. MWC-metered water service does NOT exist to this property. (See Condition 2 above)
4. Approximate static water pressure is 105 psi. (See Condition 5 above)
5. Access to MWC water lines is available. There is an existing 12-inch waterline located in the public right-of-way of N Central Avenue, with 8-inch water lines that extend across the "onsite" paved access drive to the "future" sites.
6. There is a total five (5) 8-inch water line stubs with existing fire hydrants installed at the west end of each Fire Hydrant lateral.



**Water Facility Map
for
AC-20-038
(Braun Brush)**

Legend

- Air Valve
- Sample Station
- Fire Service
- Hydrant
- Reducer
- Blow Off
- Plugs-Caps

Water Meters:

- Active Meter
- On Well
- Unknown
- Vacant

Water Valves:

- Butterfly Valve
- Gate Valve
- Tapping Valve

Water Mains:

- Active Main
- Abandoned Main
- Reservoir Drain Pipe
- Pressure Zone Line

Boundaries:

- Urban Growth Boundary
- City Limits
- Tax Lots

MWC Facilities:

- Control Station
- Pump Station
- Reservoir



This map is based on a digital database compiled by Medford Water Commission from a variety of sources. Medford Water Commission cannot accept responsibility for errors, omissions, or positional accuracy. There are no warranties, expressed or implied.
Date: 3/24/2020
Path: R:\Departments\GIS\MapDocs\Roads\MWD\Roads\AC038_Plan_Multi-Layered-3-12-20.aprx

Medford Fire-Rescue Land Development Report

Review/Project Information

Reviewed By: Kleinberg, Greg

Review Date: 3/20/2020
Meeting Date: 3/25/2020

LD File #: AC20038

Planner: Steffen Roennfeldt

Applicant: Applicant & Agent, JB Steel Inc.

Site Name: N/A

Project Location: 1525 N Central Avenue

ProjectDescription: 7,500 square foot single story warehouse on a 6.54 acre parcel

Specific Development Requirements for Access & Water Supply

Conditions

Reference	Comments	Description
OFC 508.5	The one fire hydrant at the southeast corner of the building is required and will have to be relocated near that location.	<p>When fire hydrants are required, the approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site. In addition, blue reflective fire hydrant markers are required to be installed on the road surface to identify fire hydrant locations at night.</p> <p>Plans and specifications for fire hydrant system shall be submitted to Medford Fire-Rescue for review and approval prior to construction. Submittal shall include a copy of this review (OFC 501.3).</p>

OFC
503.4

Parking shall be marked/posted as prohibited along the fire lanes.

Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).

Where parking is prohibited for fire department vehicle access purposes, NO PARKING-FIRE LANE signs shall be spaced at minimum 50' intervals along the fire lane (minimum 75' intervals in 1 & 2 family residential areas) and at fire department designated turn-around's. The signs shall have red letters on a white background stating "NO PARKING-FIRE LANE" (See handout).

For privately owned properties, posting/marking of fire lanes may be accomplished by any of the following alternatives to the above requirement (consult with the Fire Department for the best option):

Alternative #1:

Curbs shall be painted red along the entire distance of the fire department access. Minimum 4" white letters stating "NO PARKING-FIRE LANE" shall be stenciled on the curb at 25-foot intervals.

Alternative #2:

Asphalt shall be striped yellow or red along the entire distance of the fire department access. The stripes shall be at least 6" wide, be a minimum 24" apart, be placed at a minimum 30-60 degree angle to the perimeter stripes, and run parallel to each other. Letters stating "NO PARKING-FIRE LANE" shall be stenciled on the asphalt at 25-foot intervals.

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths (20' wide) and clearances (13' 6" vertical) shall be maintained at all times (OFC 503.4; ORS 98.810-12).

This restriction shall be recorded on the property deed as a requirement for future construction.

A brochure is available on our website at:

<http://www.ci.medford.or.us/Files/Fire%20Lane%20Brochure.pdf>

OFC 3201

High-piled storage requirements.

A maximum of 500 sq. ft. of high-piled combustible storage area is allowed without additional requirements. High-piled storage constitutes storage heights over 12' for normal combustibles or storage heights over 6' for certain high-hazard commodities. If the threshold is exceeded, the additional requirements of Oregon Fire Code Chapter 32 must be met (Additional fire protection and building design features for high piled storage).

Construction General Information/Requirements

Development shall comply with access and water supply requirements in accordance with the Oregon Fire Code in affect at the time of development submittal. Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (fire hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on information provided only.

Design and installation shall meet the Oregon requirements of the International Fire, Building, Mechanical Codes and applicable NFPA Standards.

Medford Fire-Rescue, 200 S Ivy St. Rm 180, Medford OR 97501 541-774-2300

www.medfordfirerescue.org



MEMORANDUM

Subject Legal Description
File no. AC-20-038
To Jon Proud, Engineering
From Steffen Roennfeldt, Planning Department
Date March 12, 2020

Please verify the attached legal description covering the below subject at your earliest convenience. See attached map.

1. AC-20-038
Applicant/Agent: JB Steel

Steffen, The attached deed and description (copy is reduced and missing information but is retrievable from JC clerks office as document JCOR 2003-07958) is a description of the property before it was partitioned by partition map P-11-2009, LDS-08-025 survey number 20345. The subject area shown on the attached vicinity map is parcel 1 of said partition map, not the entire area described in the attached description.
Thanks, Jon 4-3-20

cp

Attachments:

Vicinity Map, Legal description

2:30

10
11

Until a change is requested all tax statements shall be sent to the following address:

BLACK SILVER LLC.
PO BOX 4460
MEDFORD, OR 97501

Escrow No. AP0753340
Title No. _____

WARRANTY DEED

MEDITE CORPORATION, A DELAWARE CORPORATION, Grantor(s) hereby grant, bargain, sell, warrant and convey to: **BLACK SILVER LLC** Grantee(s) and grantee's heirs, successors and assigns the following described real property, free of encumbrances except as specifically set forth herein in the County of JACKSON and State of Oregon, to wit:
SEE EXHIBIT A WHICH IS MADE A PART HEREOF BY THIS REFERENCE
1-042912-7 372W24 TL 700

SUBJECT TO: all those items of record and those apparent upon the land, if any, as of the date of this deed and those shown below, if any:
RESERVING UNTO GRANTOR - SEE ATTACHED EXHIBIT 'B' HERETO AND MADE A PART HEREOF

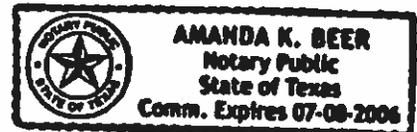
and the grantor will warrant and forever defend the said premises and every part and parcel thereof against the lawful claims and demands of all persons whomsoever, except those claiming under the above described encumbrances.

The true and actual consideration for this conveyance is \$650,000.00 which IS PART OF A IRC SECTION 1031 TAX DEFERRED EXCHANGE ON BEHALF OF THE GRANTEE.

THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES AND TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES AS DEFINED IN ORS 30.930.

Dated this 5th day of February, 2003

MEDITE CORPORATION, A DELAWARE CORPORATION
BY: J. MARK HOLLINGSWORTH, VICE PRESIDENT/GENERAL COUNSEL



State of Texas
County of Dallas

This instrument was acknowledged before me on February 15, 2003 by J. MARK HOLLINGSWORTH VICE PRESIDENT/GENERAL COUNSEL OF MEDITE CORPORATION, A DELAWARE CORPORATION.

Amanda K Beer
(Notary Public)

My commission expires 7-8-2006

Oregon; thence East 1272.47 feet; thence South 2433.58 feet to the most Southerly corner of that tract of land described in Instrument No. 99-21525, Official Records, Jackson County, Oregon, being situated on the Easterly right-of-way line of the Central Oregon and Pacific Railroad, for the POINT OF BEGINNING; thence, along said railroad right-of-way, North 35°08'29" West 1425.27 feet to the Southerly right-of-way of that tract of land acquired by the State of Oregon, by and through it's Department of Transportation by Circuit Court Final Judgment, Case No. 994180E2; thence, along said acquired right-of-way, the following courses: North 57°57'31" East 126.19 feet; thence North 73°10'25" East 213.92 feet; thence North 85°22'13" East 191.36 feet; thence South 55°03'45" East 28.60 feet; thence South 01°40'10" East 349.75 feet; thence South 22°00'28" East 215.29 feet; thence South 30°03'59" East 154.10 feet; thence South 35°09'47" East 572.15 feet to the Northerly boundary of that tract of land described in Instrument No. 93-38893, Official Records, Jackson County, Oregon; thence, along said Northerly boundary, South 54°49'31" West 248.45 feet to the Point of Beginning.

2

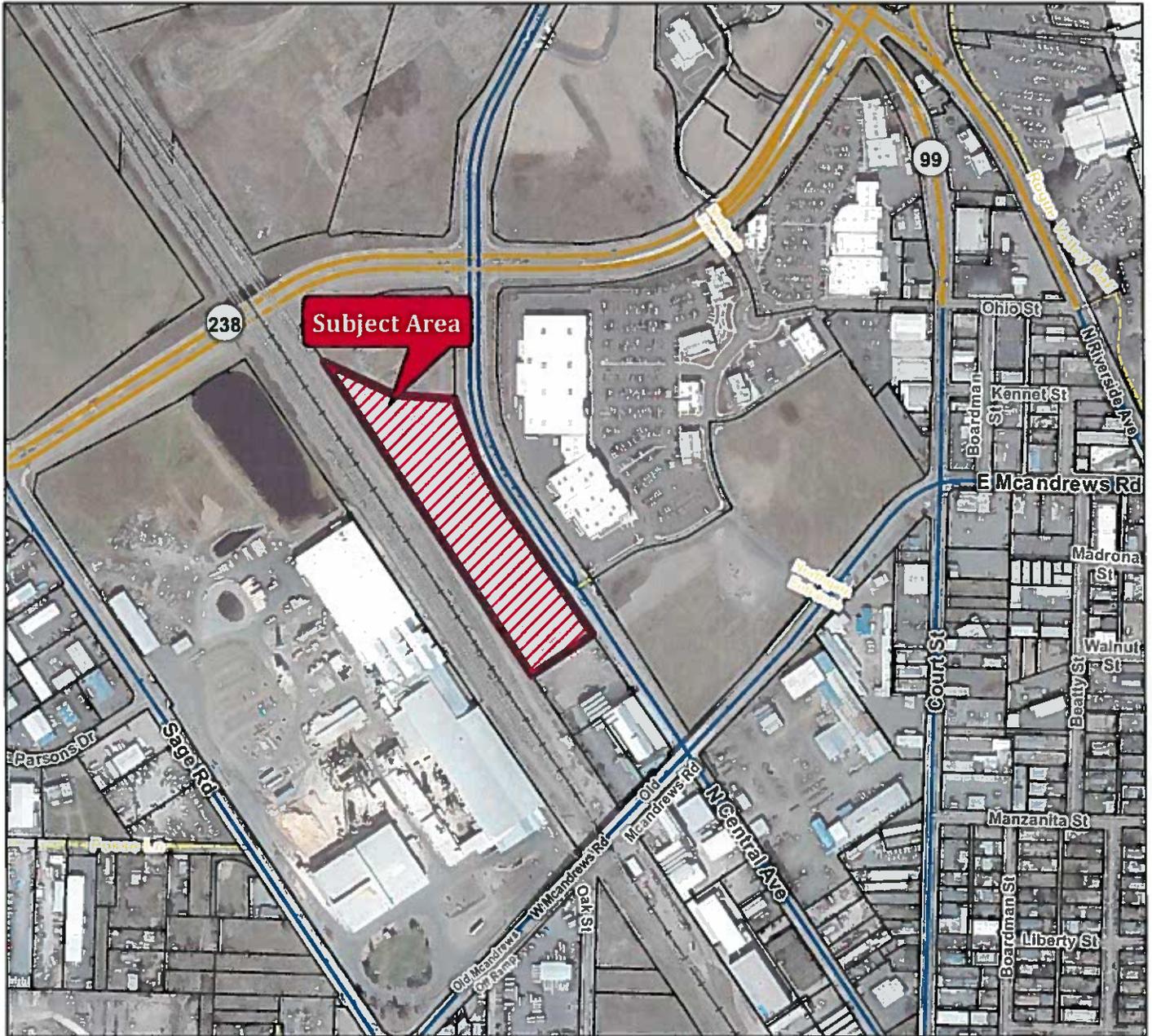
property. Such easement to be available for the extension of same to development of the four parcels comprising the former Medite mill site, consisting of the property generally described as of this date as Township 37 South, Range 2 West, Willamette Meridian 24, Tax Lots 600, 500, 400, 101, 700, 800 and 900 and 37 South, Range 2 West, Willamette Meridian 24AB, Tax Lot 500. This easement shall be perpetual and binding on the heirs, successors and assigns of the benefited and burdened parcels described above; PROVIDED HOWEVER, that this easement shall terminate upon the dedication of a 15-foot public utility easement to the City of Medford over the same property if required in conjunction with the subsequent development of the property.

Together with a non-exclusive 15-foot public utility easement adjacent to all existing public streets bordering Medite property described as Township 37 South, Range 2 West, Willamette Meridian 24, Tax Lot 800 & 900. and 37 South, Range 2 West, Willamette Meridian 24AB TL 500.

Jackson County, Oregon
Recorded
OFFICIAL RECORDS

FEB 10 2003
2:30 PM
[Signature]
COUNTY CLERK

3



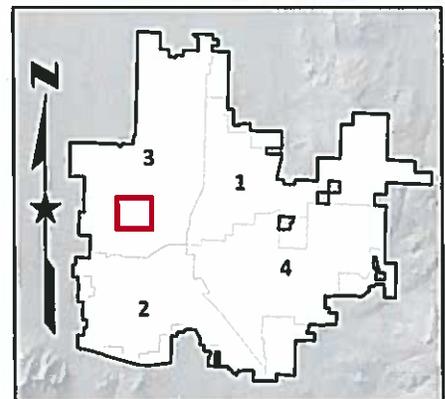
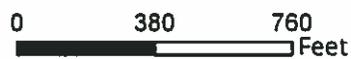
Project Name:
**Braun Brush
Warehouse**

Map/Taxlot:
**372W24 TL 701
1525 N Central Avenue**

Legend

-  Subject Area
-  Tax Lots

2/12/2020





JACKSON COUNTY

Roads

Roads
Engineering

Chuck DeJanvier
Construction Engineer

200 Antelope Road
White City, OR 97503
Phone: (541) 774-6255
Fax: (541) 774-6295
dejanvca@jacksoncounty.org

www.jacksoncounty.org

March 16, 2020

Attention: Steffen Roennfeldt
Planning Department
City of Medford
200 South Ivy Street, Lausmann Annex, Room 240
Medford, OR 97501

RE: Consideration of a proposal for a warehouse on
North Central Avenue – a city-maintained road
Just south of Highway 238 – an ODOT-maintained road
Planning File: AC-20-038

Dear Steffen:

Thank you for the opportunity to comment on the consideration of a proposal for an approximately 7,500 square foot single story warehouse on a 6.54-acre parcel located at 1525 North Central Avenue in the General Industrial (I-G) zoning district (37-2W-24 TL 701). Jackson County Roads has the following comment:

1. Please contact the Oregon Department of Transportation for comments.

If you have any questions or need further information feel free to call me at 774-6255.

Sincerely,

Chuck DeJanvier, PE
Construction Engineer



ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 97502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

March 13, 2020

City of Medford Planning Department
200 S. Ivy Street
Medford, Oregon 97501

Re: Braun Brush (Map 372W24, TL 701)

ATTN: Liz,

The subject property is within the RVSS service area. There is an 8 inch sewer main adjacent to the property along Central Avenue and six 4 inch services stubbed to lot. Sewer service for proposed development can be had by connecting to the existing service fronting the proposed development. The sewer connection permit will be issued by the City of Medford. However, Sewer System Development Charges will be owed to RVSS.

Rogue Valley Sewer Services requests that approval of this application be subject to the following conditions:

1. All development must be designed and constructed per RVSS standards.
2. The applicant must submit architectural drawings to RVSS for the calculation of System Development Charges.
3. The applicant must pay related development fees prior to the issuance of building permits.

Please feel free contact me with any questions.

Sincerely,

Nicholas R. Bakke, P.E.
District Engineer



From: [THOMPSON Seth](#)
To: [Steffen K. Roennfeldt](#)
Subject: ODA Comment: AC-20-038
Date: Thursday, March 19, 2020 1:53:49 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)

<EXTERNAL EMAIL **Click Responsibly!**>

Good afternoon,

Thank you for allowing the ODA to comment on AC-20-038.

The ODA has no comment.

Best regards,

Seth Thompson
OREGON DEPARTMENT OF AVIATION
AVIATION PLANNER



OFFICE 503-378-2529 **CELL** 503-507-6965

EMAIL seth.thompson@aviation.state.or.us

3040 25TH STREET SE, SALEM, OR 97302

WWW.OREGON.GOV/AVIATION

From: [Amber Judd](#)
To: [Steffen K. Roennfeldt](#)
Subject: File No. AC-20-087 Project Name: Braun Brush
Date: Monday, March 16, 2020 11:52:39 AM

<EXTERNAL EMAIL **Click Responsibly!**>

Steffen,

The Airport requests an Avigation, Noise and Hazard Easement be a requirement of this project. In addition, due to the proximity to the Airport, the applicant needs to contact the FAA regarding filing a 7460-1 Notice of Proposed Construction or Alteration. The FAA contact is: Paul Holmquist, phone (206) 231-2990.

I have inserted some information below from the FAA's website:

The requirements for filing with the Federal Aviation Administration for proposed structures vary based on a number of factors: height, proximity to an airport, location, and frequencies emitted from the structure, etc. For more details, please reference CFR Title 14 Part 77.9.

You must file with the FAA at least 45 days prior to construction if:

- Your structure will exceed 200 ft above ground level
- Your structure will be in proximity to an airport and will exceed the slope ratio
- Your structure involves construction of a traverseway (i.e. highway, railroad, waterway, etc...) and once adjusted upward with the appropriate vertical distance would exceed a standard of 77.9(a) or (b)
- Your structure will emit frequencies, and does not meet the conditions of the FAA Co-location Policy
- Your structure will be in an instrument approach area and might exceed part 77 Subpart C
- Your proposed structure will be in proximity to a navigation facility and may impact the assurance of navigation signal reception
- Your structure will be on an airport or heliport
- Filing has been requested by the FAA

If you require additional information regarding the filing requirements for your structure, please identify and contact the appropriate FAA representative using the Air Traffic Areas of Responsibility map for Off Airport construction, or contact the FAA Airport Region/District Office for On Airport construction.

Results

You exceed the following Notice Criteria:

Your proposed structure is in proximity to a navigation facility and may impact the assurance of navigation signal reception. The FAA, in accordance with 77.9, requests that you file.

The FAA requests that you file.

Thank you,

Amber Judd

Director of Finance and Administration

Rogue Valley International-Medford Airport (MFR)



1000 Terminal Loop Parkway, Suite 201

Medford, Oregon 97504

541-776-7222



Wetland Land Use Notice Response

Response Page

Department of State Lands (DSL) WN#*
WN2020-0192

Responsible Jurisdiction

Staff Contact Steffen Roennfeldt	Jurisdiction Type City	Municipality Medford
Local case file # AC-20-038	County Jackson	

Activity Location

Township 37S	Range 02W	Section 24	QQ section	Tax Lot(s) 701
------------------------	---------------------	----------------------	-------------------	--------------------------

Street Address
1525 N Central Ave
Address Line 2

City
Medford

Postal / Zip Code
97501

State / Province / Region
OR

Country
Jackson

Latitude
42.340

Longitude
-122.886

Wetland/Waterway/Other Water Features

There are/may be wetlands, waterways or other water features on the property that are subject to the State Removal-Fill Law based upon a review of wetland maps, the county soil survey and other available information.

Your Activity

An onsite inspection by a qualified wetland consultant is recommended prior to site development to determine if the site has wetlands or other waters that may be regulated. The determination or delineation report should be submitted to DSL for review and approval. Approved maps will have a DSL stamp with approval date and expiration date.

Applicable Oregon Removal-Fill Permit Requirement(s)



- A state permit is required for 50 cubic yards or more of fill removal or other ground alteration in wetlands, below ordinary high water of waterways, within other waters of the state, or below highest measured tide.

Closing Information



Additional Comments

Based on review of mapping submitted, the proposed project ("New 7,500 sq. ft. warehouse") may impact jurisdictional wetlands of the state. If placement (fill), removal or movement of material is anticipated to be 50 cubic yard or greater for construction of the warehouse, then a wetland delineation is recommended for the parcel. The delineation report should be submitted to DSL for review and approval/concurrence.

This is a preliminary jurisdictional determination and is advisory only.

This report is for the State Removal-Fill law only. City or County permits may be required for the proposed activity.

- A Federal permit may be required by The Army Corps of Engineers: (503)808-4373

Contact Information

- For information on permitting, use of a state-owned water, wetland determination or delineation report requirements please contact the respective DSL Aquatic Resource, Proprietary or Jurisdiction Coordinator for the site county. The current list is found at: <http://www.oregon.gov/dsl/ww/pages/wwstaff.aspx>
- The current Removal-Fill permit and/or Wetland Delineation report fee schedule is found at: <https://www.oregon.gov/dsl/WW/Documents/Removal-FillFees.pdf>

Response Date

3/25/2020

Response by:

Grey Wolf

Response Phone:

503-986-5321

2:30

10
11

Until a change is requested all tax statements shall be sent to the following address:

BLACK SILVER LLC.
PO BOX 4460
MEDFORD, OR 97501

Escrow No. AP0753340
Title No. _____

RECEIVED
MAR 18 2020
PLANNING DEPT.

WARRANTY DEED

MEDITE CORPORATION, A DELAWARE CORPORATION,
Grantor(s) hereby grant, bargain, sell, warrant and convey to:
BLACK SILVER LLC

Grantee(s) and grantee's heirs, successors and assigns the following described real property, free of encumbrances except as specifically set forth herein in the County of JACKSON and State of Oregon, to wit:
SEE EXHIBIT A WHICH IS MADE A PART HEREOF BY THIS REFERENCE
1-042912-7 372W24 TL 700

SUBJECT TO: all those items of record and those apparent upon the land, if any, as of the date of this deed and those shown below, if any:
RESERVING UNTO GRANTOR - SEE ATTACHED EXHIBIT 'B' HERETO AND MADE A PART HEREOF

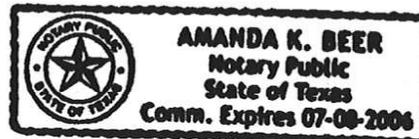
and the grantor will warrant and forever defend the said premises and every part and parcel thereof against the lawful claims and demands of all persons whomsoever, except those claiming under the above described encumbrances.

The true and actual consideration for this conveyance is \$650,000.00 which IS PART OF A IRC SECTION 1031 TAX DEFERRED EXCHANGE ON BEHALF OF THE GRANTEE.

THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES AND TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES AS DEFINED IN ORS 30.930.

Dated this 5th day of February, 2003

MEDITE CORPORATION, A DELAWARE CORPORATION
BY: J. MARK HOLLINGSWORTH, VICE PRESIDENT/GENERAL COUNSEL



State of Texas
County of Dallas

This instrument was acknowledged before me on February 5, 2003 by J. MARK HOLLINGSWORTH VICE PRESIDENT/GENERAL COUNSEL OF MEDITE CORPORATION, A DELAWARE CORPORATION.

Amanda K Beer
(Notary Public)

My commission expires 7-8-2006

CITY OF MEDFORD
EXHIBIT # _____
File # _____
EXHIBIT S
CITY OF MEDFORD

Oregon; thence East 1272.47 feet; thence South 2433.58 feet to the most Southerly corner of that tract of land described in Instrument No. 99-21525, Official Records, Jackson County, Oregon, being situated on the Easterly right-of-way line of the Central Oregon and Pacific Railroad, for the POINT OF BEGINNING; thence, along said railroad right-of-way, North $35^{\circ}08'29''$ West 1425.27 feet to the Southerly right-of-way of that tract of land acquired by the State of Oregon, by and through it's Department of Transportation by Circuit Court Final Judgment, Case No. 994180E2; thence, along said acquired right-of-way, the following courses: North $57^{\circ}57'31''$ East 126.19 feet; thence North $73^{\circ}10'25''$ East 213.92 feet; thence North $85^{\circ}22'13''$ East 191.36 feet; thence South $55^{\circ}03'45''$ East 28.60 feet; thence South $01^{\circ}40'10''$ East 349.75 feet; thence South $22^{\circ}00'28''$ East 215.29 feet; thence South $30^{\circ}03'59''$ East 154.10 feet; thence South $35^{\circ}09'47''$ East 572.15 feet to the Northerly boundary of that tract of land described in Instrument No. 93-38893, Official Records, Jackson County, Oregon; thence, along said Northerly boundary, South $54^{\circ}49'31''$ West 248.45 feet to the Point of Beginning.

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property. Such easement to be available for the extension or addition to development of the four parcels comprising the former Medite mill site, consisting of the property generally described as of this date as Township 37 South, Range 2 West, Willamette Meridian 24, Tax Lots 600, 500, 400, 101, 700, 800 and 900 and 37 South, Range 2 West, Willamette Meridian 24AB, Tax Lot 500. This easement shall be perpetual and binding on the heirs, successors and assigns of the benefited and burdened parcels described above; PROVIDED HOWEVER, that this easement shall terminate upon the dedication of a 15-foot public utility easement to the City of Medford over the same property if required in conjunction with the subsequent development of the property.

Together with a non-exclusive 15-foot public utility easement adjacent to all existing public streets bordering Medite property described as Township 37 South, Range 2 West, Willamette Meridian 24, Tax Lot 800 & 900. and 37 South, Range 2 West, Willamette Meridian 24AB TL 500.

Jackson County, Oregon
Recorded
OFFICIAL RECORDS

FEB 10 2003
2:30 PM
[Signature]
COUNTY CLERK

3



Project Name:

**Braun Brush
Warehouse**

Map/Taxlot:

**372W24 TL 701
1525 N Central Avenue**

Legend

-  Subject Area
-  Tax Lots

