

SITE PLAN & ARCHITECTURAL COMMISSION AGENDA AUGUST 4, 2017



Commission Members

Jim Quinn, Chair

Bill Chmelir, Vice Chair

Jeff Bender

Jim Catt

David Culbertson

Bob Neathamer

Marcy Pierce

Curtis Turner

Rick Whitlock

City Council Liaison - Dick Gordon

City Council Liaison Alt. - Tim D'Alessandro

Regular Commission meetings are held on
the first and third Fridays of every month

Beginning at 12:00 Noon

City of Medford

Council Chambers,

Third Floor, City Hall

411 W. 8th Street

Medford, OR 97501

(541) 774-2380



Site Plan and Architectural Commission

Agenda

Public Hearing

August 4, 2017

12:00 noon

Council Chambers, City Hall, Room 300

411 West Eighth Street, Medford, Oregon

-
10. Roll Call.
 20. Consent Calendar.
 - 20.1 **AC-17-018** Final Order for consideration of plans for the construction of a 32,000 square foot three story residential care facility to be located at 2180 Poplar Drive within the MFR-20 (Multi-Family Residential, 20 dwelling units per gross acre) zoning district (371W18C TL 1362); (Weatherly Inn Medford, LLC, Applicant; RJ Development, LLC, Agent; Dustin Severs, Planner).
 30. Minutes.
 - 30.1 Consideration for approval of minutes from the June 16, 2017, meeting.
 40. **Oral and Written Requests and Communications.**
Comments will be limited to 3 minutes per individual or 5 minutes if representing a group or organization. **PLEASE SIGN IN.**
 50. **Public Hearings.**
Comments are limited to a total of 10 minutes for applicants and/or their representatives. You may request a 5-minute rebuttal time. All others will be limited to 3 minutes per individual or 5 minutes if representing a group or organization. **PLEASE SIGN IN.**
 - 50.1 **AC-17-066** Consideration of plans for the development of 134 multi-family dwelling units totaling 185,024 square feet on a 7.9-acre tract of land located within the Stewart Meadows Village Planned Unit Development (PUD) bounded generally by Garfield Avenue and the realigned Myers lane within the SFR-10 (Single Family Residential, 10 dwelling units per gross acre) zoning district (371W31A TL 4000, 371W31D TL 200, 371W1D TL 1000 & 1001), together with consideration of a modification to a portion of the approved design guidelines for the PUD development. (KOGAP Enterprises, Applicant; Jim Maize & Associates, Agent; Dustin Severs, Planner.)
 60. **Written Communications.** None
 70. **Unfinished Business.** None
 80. **New Business.**
 90. **Report from the Planning Department.**
 100. **Messages and Papers from the Chair.**
 110. **Propositions and Remarks from the Commission.**
 120. **City Council Comments.**
 130. **Adjournment.**

BEFORE THE MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

STATE OF OREGON, CITY OF MEDFORD

IN THE MATTER OF SITE PLAN AND ARCHITECTURAL COMMISSION)
FILE AC-17-018 APPLICATION FOR PROJECT REVIEW SUBMITTED) ORDER
BY WEATHERLY INN MEDFORD, LLC.)

AN ORDER granting approval of plans for the construction of a 32,000 square foot three story residential care facility to be located at 2180 Poplar Drive within the MFR-20 (Multi-Family Residential, 20 dwelling units per gross acre) zoning district.

WHEREAS:

1. The Site Plan and Architectural Commission has duly accepted the application filed in accordance with the Land Development Code, Section 10.285.
2. The Site Plan and Architectural Commission has duly held a public hearing on the matter of an application of plans for the construction of a 32,000 square foot three story residential care facility to be located at 2180 Poplar Drive within the MFR-20 (Multi-Family Residential, 20 dwelling units per gross acre) zoning district, with a public hearing a matter of record of the Site Plan and Architectural Commission on May 19, 2017.
3. At the public hearing on said application, evidence and recommendations were received and presented by the Planning Department staff; and
4. At the conclusion of said public hearing, after consideration and discussion, the Site Plan and Architectural Commission, upon a motion duly seconded, granted approval and directed staff to prepare a final order with all conditions and findings set forth for the granting of approval.

THEREFORE LET IT BE HEREBY ORDERED that the application of Weatherly Inn Medford, LLC, stands approved subject to compliance with the conditions stated in the Commission Report dated May 19, 2017.

AND LET IT FURTHER BE OF RECORD that the action of the Site Plan and Architectural Commission approving this application is hereafter supported by the following findings:

- (a) That the proposed development, with the conditions of approval, complies with the applicable provisions of all city ordinances as determined by the staff review.

FINAL ORDER AC-17-018

(b) That the proposed development is compatible with uses and development that exist on adjacent land, based upon information provided in the Applicant's Questionnaire and presented at the public hearing.

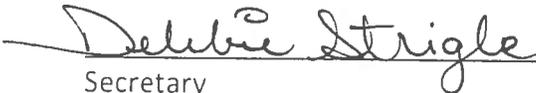
BASED UPON THE ABOVE, it is the finding of the Medford Site Plan and Architectural Commission that the project is in compliance with the criteria of Section 10.290 of the Land Development Code.

Accepted and approved this 4th day of August, 2017.

MEDFORD SITE PLAN AND ARCHITECTURAL COMMISSION

Site Plan and Architectural Commission Chair

ATTEST:


Secretary



COMMISSION REPORT

for a Type-C quasi-judicial decision: **Site Plan and Architectural Review**

PROJECT Weatherly Court Medford
Applicant: Weatherly Inn Medford, LLC.
Agent: RJ Development, LLC.

FILE NO. AC-17-018

DATE May 19, 2017

BACKGROUND

Proposal

Consideration of plans for the construction of a 32,000 square foot three story Residential Care Facility on a 1.53-acre lot located at 2180 Poplar Drive within the MFR-20 (Multi-Family Residential, 20 dwelling units per gross acre) zoning district.

Subject Site Characteristics

Zoning: MFR-20
GLUP: UH (Urban High Density Residential)
Use: Weatherly Inn Independent Living Community

Surrounding Site Characteristics

<i>North</i>	Zone: MFR-20 Use(s): Ivy Club Apartments
<i>South</i>	Zone: MFR-20 Use(s): Fountain Plaza Retirement
<i>East</i>	Zone: SFR-6 (Single-Family Residential, 6 dwelling units per gross acre) Use(s): Single-family homes
<i>West</i>	Zone: MFR-20 Use(s): Apartments

Related Projects

LDP-17-027	Partition
ZC-17-017	Change of Zone from MFR-20 to MFR-30

Applicable Criteria

MLDC Section: 10.290 – Site Plan & Architectural Review Criteria

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) The proposed development is compatible with uses and developments that exist on adjacent land; and*
- (2) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

ISSUES AND ANALYSIS

Project Summary

The subject site is the location of the Weatherly Inn Medford Independent Living Community - a residential care facility. The applicant is now requesting approval for the construction of a second residential care facility to be located on the vacant land to the north of the existing Weatherly Inn facility. The new residential care facility is proposed to be a three story building consisting of a first floor providing 30 memory care inpatient units, and second and third floors providing 48 units of assisted living.

On April 13, 2017, the applicant recently gained approval through the Planning Commission at to partition the northerly portion of the lot proposed to contain the new facility, and to rezone the existing parcel from MFR-20 to MFR-30. However, the Final Order of approval has yet to be adopted, as at the request of the applicant the formal adoption of the Final Order has been postponed to the July 27th hearing. Therefore, the site development review for the subject request is based on the approved tentative plat, and the site development standards applicable to the MFR-30 zoning district. The applicant will be required to gain official approval for both the partition and zone change (LDS-17-027 & ZC-17-17) prior to the issuance of a building permit for the proposed development.

Code References

Definitions applicable to the subject request are provided in MLDC 10.012, and read as follows:

Residential Care – Services such as supervision; protection; assistance while bathing, dressing, grooming or eating; management of money; transportation; recreation; and the providing of room

Long term care facility - A permanent facility with inpatient beds that provides medical services and/or treatment for two or more unrelated patients; includes skilled nursing facilities, which primarily provide skilled nursing care and related services for patients

who require medical or nursing care, or rehabilitation services for injured, disabled or sick persons; and intermediate care facilities, which provide, on a regular basis, health-related care and services to individuals who do not require the degree of care and treatment that a hospital or skilled nursing facility is designed to provide, but who, because of their mental or physical condition, require care and services above the level of room and board; adult foster care homes with residents over 60 years of age; and residential care facilities (having more than 15 residents).

Congregate living facility - Any institution, residential facility for elderly and disabled persons, or other place which undertakes to provide housing, meals and the availability of other supportive services.

Site Development Standards

SITE DEVELOPMENT TABLE

	REQUIRED	Proposed
Density	31 min./45 max.	48 units
Height	35 feet (max.)	35 feet
Lot Coverage	50%	49%
Setback (front)	20 foot (min.)	15 feet 100 feet
Setback (sides)	6 feet/14 feet (min.)	10 feet/14 feet
Setback (rear)	14 feet (min.)	20 feet

MLDC 10.708 titled General Exceptions to Residential Density, states the following:

(3) Congregate Living Facilities. For units in a congregate living facility that do not contain full kitchen or cooking facilities, each unit may be counted as 0.7 of a dwelling unit for purposes of calculating density. The living unit shall be counted as a full dwelling unit for purposes of calculating the parking requirement.

The 48 units proposed for assisted living do not contain full kitchen or cooking facilities within the individual units (Exhibit H). Accordingly, the exception to residential density provided in MLDC 10.708(3) for congregate living facilities is applicable to the subject development; reducing the effective density calculation to 34 units – meeting the allowed density for the size/zoning of the lot.

It can be found that the submitted site plan meets the site development standard requirements as found in Article V of the Medford Land Development Code.

Parking

PARKING TABLE

	Required	Provided
Total Spaces	46 min./54 max.	41
Accessible Spaces	2	4
Bicycle Spaces	2	4

The submitted site plan identifies a total of 41 parking spaces provided for the development including the requisite location, dimensions, and number of accessible and bicycle parking spaces, consistent with the parking requirements per MLDC 10.743-751. However, the submitted site plan fails to meet the minimum number of off-street parking spaces for automobiles per the Code.

MLDC 10.743(3) titled Exceptions to Required Off-street parking for Non-Residential Uses reads as follows:

The approving authority may allow exceptions to the number of parking spaces in Table 10.743-1 for specific uses without complying with Section 10.251 if they find that the applicant's detailed description of the proposed use demonstrates that the number of needed parking spaces is less than the minimum required or more than the maximum allowable based upon one or both of the following:

- (a) An explanation why the characteristics of the proposed use require a different off-street parking standard than what is otherwise required.*
- (b) An analysis providing parking data for the same business or a similar use within the city that demonstrates a need for a different off-street parking standard than what is otherwise required.*

The applicant has requested relief from meeting the minimum number of parking spaces for the proposed development (Exhibit S). In the email received by staff, the applicant addresses MLDC 10.743(3), explaining that the proposed use –memory care and assisted living – produces minimal traffic and trip generation due to the fact that many of the residents do not drive or own vehicles.

Staff is supportive of the applicants request for parking relief, concurring with the applicant's assessment that the proposed development's needed parking is less than the minimum required per the Code, and that the strict application of the code would result in excessive and unnecessary space dedicated to parking. It is further staff's view that the granting of relief can be made in keeping with the intent and purpose of the Code.

Decision: At the public hearing, the applicant noted that the site plan had been revised to reflect the required amount of parking. The reduction request was withdrawn.

Landscaping

LANDSCAPE TABLE - Frontage Landscaping (10.797)

	Required	Shown
Trees	4	4
Shrubs	22	22 +

LANDSCAPE TABLE -- Parking Area Planters (10.746(3))

	Required	Shown
Trees	5	13
Shrubs	10	10+

It can be found that the submitted Landscape Plan (Exhibit F) meets and/or exceeds both the frontage landscaping requirements along the property's frontage of Poplar Drive, and the parking area planter requirements for interior landscaping within the proposed parking area.

Street Dedications & Public Improvements

The subject site is fronted by Poplar Drive – classified as a major collector street – and currently measures at a width of 50 feet, containing curb and gutter and sidewalk. Per MLDC 10.428(3), major collector streets require a right-of-way width of 74 feet. Per the report provided by Public Works (Exhibit N), the applicant will be required to dedicate for public right-of-way sufficient width of land to comply with the 37 foot half-width of right-of-way. In order to comply with the half width of right-of-way required per the code, the applicant will need to dedicate 12 feet along the property's frontage of Poplar Drive. The applicant's final plat will be required to show a dedication of 12 feet along the property's frontage of Poplar Drive, and a building permit for the proposed development will not be issued prior to approval of the final plat.

Architecture

The applicant's submitted compatibility questionnaire (Exhibit M) describes the buildings proposed architecture as the following:

The proposed building's architecture features several different elements, such as a stepped-back roof and outdoor patio that create a very unique but cohesive addition to adjacent buildings and development. The exterior treatments will closely match the existing Weatherly Inn immediately south of the proposed building. Colors and finishes will remain constant between the two buildings creating a campus feeling for both developments.

To break up large facades and give relief to the building mass, we integrated various elements. We have included columns and balconies on the southern exterior as well as a bump out of a section at the second and third floors. We have also included Juliet balconies on the north and east sides of the building. Moreover, our design includes two different pane colors for the exterior that will contrast nicely while providing relief to the building's façade.

Bufferyard

Bufferyards are utilized in order to provide aesthetic separation between incompatible uses, and to minimize potential conflicts between the adjacent properties. The subject property is zoned multiple family, and abuts a single-family zoned property along its easterly border. Per MLDC 10.790(D), a Type A bufferyard consisting of a 6 foot concrete or masonry wall and 10 feet of landscaping composed of a variety of trees and shrubs sufficient to provide effective visual screening between the adjacent properties with dissimilar land uses, will be required of the subject development along its easterly lot line.

The submitted Landscape Plan (Exhibit F) identifies a 6 foot concrete or masonry wall along with a 10 foot bufferyard consisting of 8 conifer trees and 51 shrubs along the 167 feet of the property's easterly lot line, consistent with MLDC 10.790(D).

Concealments

The submitted site plan identifies a proposed trash receptacle enclosed and concealed with a concrete masonry wall consistent with the requirements of MLDC 10.781.

Facility Adequacy

Per the agency comments submitted to staff (Exhibits N-P), it can be found that there are adequate facilities to serve the proposed development.

Other Agency Comments

Rogue Valley International Airport: Requests an Avigation, Noise and Hazard Easement to be required as part of the permit process (Exhibit Q). In the 2010 LUBA decision on Michelle Barnes vs. City of Hillsboro and the Port of Portland, Nollan/Dolan findings are required to support the request (LUBA No. 2010-011). None were provided; therefore, a condition requiring compliance with the airport's request for an Avigation, Noise and Hazard Easement has not been included.

Oregon Department of Aviation (ODA): Requests that a FAA form 7460-1 be filed with the Department in order to determine if there is a hazard to air navigation (Exhibit R).

Committee Comments

No comments were received from committees such as BPAC.

FINDINGS OF FACT

MLDC 10.290

1. *The proposed development is compatible with uses and development that exist on adjacent land;*

The Commission can find that there is sufficient evidence contained in the Applicant's Questionnaire and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

2. *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit "A". This criterion is satisfied.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit M) and recommends the Commission adopt the findings as submitted.

ACTION TAKEN

Adopted the findings as recommended by staff and directed staff to prepare the Final Order of AC-17-018 per the staff report dated May 12, 2017, including Exhibits A through T.

EXHIBITS

- A Conditions of Approval, drafted May 12, 2017.
- B Overall Site Plan, received April 13, 2017.
- C Site Parking – North, received April 13, 2017.
- D Site Parking – South, received April 13, 2017
- E Site Details, received April 13, 2017.
- F Landscape Plan received May 8, 2017.
- G Elevation Plans (2) received February 6, 2017.
- H Floor Plans (3) received February 6, 2017.
- I Roof Plan, received February 6, 2017.
- J Lighting Plan, received February 6, 2017.
- K Grading/Drainage Plan, received February 6, 2017.
- L Preliminary Drainage Study, received February 6, 2017.
- M Applicant's Narrative, Questionnaire, and Findings of Fact, received February 6, 2017.
- N Public Works staff report, received April 26, 2017.
- O Medford Water Commission memorandum, received April 26, 2017.

- P Medford Fire Department report, received April 26, 2017.
- Q Rogue Valley International – Medford Airport email, received April 25, 2017.
- R Oregon Department of Aviation (ODA) email, received April 28, 2017.
- S Email from applicant requesting parking relief, received April 27, 2017.
- T SPAC application, received February 6, 2017.
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION

Jim Quinn, Chair

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:

May 19, 2017
June 2, 2017



Site Plan and Architectural Commission

Minutes

From Public Hearing on June 16, 2017

The regular meeting of the Site Plan and Architectural Commission was called to order at noon in the Council Chambers on the above date with the following members and staff in attendance:

Commissioners Present

Jim Quinn, Chair
Jim Catt
Dave Culbertson
Bob Neathamer
Marcy Pierce
Curtis Turner
Rick Whitlock
Dick Gordon, City Council Liaison

Staff Present

Kelly Akin, Assistant Planning Director
Eric Mitton, Senior Assistant City Attorney
Karl MacNair, Transportation Manager
Liz Conner, Planner II
Debbie Strigle, Recording Secretary

Commissioners Absent

Bill Chmelir, Vice Chair, Unexcused absence
Jeff Bender, Excused absence

10. Roll Call.
20. Consent Calendar/Written Communications. None.
30. Minutes.
30.1 The minutes for the June 2, 2017, meeting, were approved as submitted.
40. Oral and Written Requests and Communications. None.
50. Public Hearings.
Eric Mitton, Senior Assistant City Attorney, read the rules governing the public hearings.

New Business.

50.1 **AC-17-044** Consideration of a proposal to construct a 52,000 square foot mini-storage facility on 2.5 acres located between Nansen Drive and Bullock Road at 2884 Nansen Drive within the General Industrial (I-G) zone district. (371W188B TL 2800, 2801, 2801). (Barry Fronck, Applicant; Bill Philp, Agent).

Chair Quinn asked for any potential conflicts of interest, ex-parte communications, or site visits. Chair Quinn disclosed he had driven by the site.

Liz Conner, Planner II, read the approval criteria, and gave a PowerPoint presentation of the June 9, 2017, Staff Report. Staff recommended approval.

The public hearing was opened and the following testimony was given:

a) Bill Philp, agent for the applicant, requested rebuttal time if needed. He stated they concur with the staff report and agree to the staff recommendations and findings.

Commissioner Whitlock asked how the no on-site manager worked in terms of rentals. Mr. Philp answered the security system is key-coded at the gate and renting would be done through phone calls.

Commissioner Whitlock wanted to know what would be done with trash generated by irresponsible tenants since there is no trash receptacle proposed. Mr. Philp replied there will be a camera system set up and before the tenant is able to get their deposit back, they would have to remove all their trash.

The public hearing was closed.

Motion: Adopt the findings as recommended by staff and adopt the final order for approval of AC-17-044 per the Staff Report dated June 9, 2017, including Exhibits A through R, and including the following:

- Approve the applicant's request for no additional street connections or access ways in connection with maximum block length requirements. The Commission finds the requirements of §10.426 do not apply as their topographic constraints demonstrated by the applicant's supplemental findings and the requirements of §10.464(1)(e) do not apply as there are cross slopes in excess of 30% per the applicant's supplemental findings
- Approve the applicant's request to eliminate bicycle parking. The Commission finds the use does not typically generate bicycle traffic and in the event of customers accessing the storage unit by bicycle it would be similar to car traffic and they would use the drive aisle in front of the individual unit thereby reducing bicycle requirements to zero.
- Approve the applicant's request to modify the bufferyard requirements. The Commission finds the existing development's slopes, existing vegetation, and added landscaping will adequately buffer the use of the mini storage facility to the travel agency, property management office, and other uses nearby. The Commission also finds that the property abuts the I-L zone of adjacent properties. An adjacent use is a parking lot and these uses are sufficiently compatible so that the buffering otherwise required is not necessary.
- Approve the curb tight sidewalks along the frontage of Nansen Drive as justified in the staff report on page 11.

Moved by: Commissioner Whitlock

Seconded by: Commissioner Neathamer

Roll Call Vote: Motion passed, 7-0.

50.2 **AC-17-057** Consideration of an eight unit apartment complex on a 0.32 acre parcel approximately 150 feet east of the intersection of Table Rock Road, Merriman Road and Swing Lane at 766 Swing Lane, located within a Multi-Family Residential 20 (MRF-20) zoning district (372W13AC TL 2600). (Columbia Care Services, Applicant; C. Woodruff Construction LLC, Agent).

Ms. Conner gave a PowerPoint presentation of the June 9, 2017, Staff Report. Staff recommended approval.

Chair Quinn asked for any potential conflicts of interest, ex-parte communications, or site visits. There were none.

Commissioner Whitlock asked Mr. Mitton if he had an opportunity to review the density calculation/analysis that staff had come up with. Mr. Mitton replied he had not had the opportunity to

look at that before this meeting. He added he was comfortable with staff's calculation without a specific exception on this matter under the unique facts.

Commissioner Whitlock questioned the previous exceptions granted for the front setback and building coverage issues. Mr. Mitton said that under the unique circumstances based on the doctrine of equitable estoppel he felt this commission could grant the application as it was submitted without a formal exception and approve both the setback and building coverage issues. He said this was not a question of are these conditions satisfactory for the safety and convenience of the public, but the real question is actually the fee and paperwork associated with the exception. Because this issue of an exception was not brought to the applicant's attention, the applicant is relying on that prior exception. It would be an undue burden to switch that at this time.

Commissioner Whitlock needed clarification on page 75 of the staff report as to the reference made by the applicant's agent to building coverage and if he really meant density. Ms. Conner deferred the question to the applicant's agent but responded she had calculated the lot coverage as 40% and that's the maximum coverage permitted in the MFR-20 zone.

The public hearing was opened and the following testimony was given:

a) Cliff Woodruff, applicant's agent, stated they propose to copy what the existing application was in 2005. He said the landscaping maintenance would be done weekly by professionals.

Commissioner Whitlock asked for clarification if the reference made on page 75 of the staff report meant building coverage or did it really mean density? Mr. Woodruff said he believed that's referring to the square footage of how much property would be covered by the building. He added he was 90% sure what they're trying to do is duplicate what was there in 2005 and that was a building coverage issue, not a density issue at that time.

Commissioner Whitlock asked Ms. Conner if the development, as proposed, meets the building coverage percentage required by code. Ms. Conner answered yes and stated there would be no need to grant an exception related to building coverage.

The public hearing was closed.

Motion: Adopt the findings as recommended by staff and adopt the final order for approval of AC-17-057 per the Staff Report dated June 9, 2017, including Exhibits A through T, and including the following:

- Approve staff's density discussion and analysis that was placed in the record at page seven.
- Grant an exception related to the front setback requirements per the explanation and justification provided by Mr. Mitton.

Moved by: Commissioner Whitlock Seconded by: Commissioner Neathamer

Roll Call Vote: Motion passed, 7-0

60. Written Communications. None.

70. Unfinished Business. None.

80. New Business. None.

90. Report from the Planning Department.

90.1 Ms. Akin announced the Urban Growth Boundary hearing will be held before the County Board of Commissioners on Wednesday, June 21, 2017.

90.2 Ms. Akin stated there is no business scheduled for the July 7th and July 21st meetings. There is business scheduled for the August 4th meeting.

90.3 Ms. Akin reported that at their June 15th meeting City Council had heard a transportation facility improvement proposal to improve Foothills Road between Hillcrest and McAndrews. That hearing was continued.

90.4 Ms. Akin said City Council had approved a text amendment to increase the size of mobile food vendors.

Commissioner Whitlock said he wanted to make sure it was still on staff's radar to continue the discussion from last year regarding landscaping related to multi-family structures and improvements. He commented he would be interested in providing input on that subject.

100. Messages and Papers from the Chair. None.

110. Propositions and Remarks from the Commission. None.

120. City Council Comments.

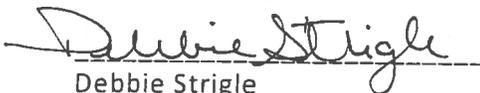
Commissioner Whitlock asked if staff was correct that the hearing for the Foothills Road improvement proposal had been continued. Council Member Gordon said yes and gave a brief report. He added there was just too much to deal with at one meeting. This is being continued to the July 6th City Council meeting.

Commissioner Culbertson gave a brief report from the Planning Commission's meeting they had on the Foothills Road improvement proposal. He said one of their main concerns was that once it becomes a city street then there's a public safety issue with having a solid median barrier which would leave some property owners with only having a right in, right out access.

130. Adjournment

130.1 The meeting was adjourned at approximately 12:50 p.m. The proceedings of this meeting were digitally recorded and are filed in the City Recorder's office.

Submitted by:



Debbie Strigle
Recording Secretary

Site Plan and Architectural Commission Chair

Approved: August 4, 2017



STAFF REPORT

for a Type-C quasi-judicial decision: **Site Plan and Architectural Review**

PROJECT Stewart Meadows Village
 Applicant: KOGAP Enterprises, Inc.
 Agent: Maize & Associates

FILE NO. AC-17-066

TO Site Plan and Architectural Review Commission *for August 4, 2017 hearing*

FROM Dustin Severs, Planner III

REVIEWER Kelly Akin, Assistant Planning Director

DATE July 27, 2017

BACKGROUND

Proposal

Consideration of plans for the development of 134 multi-family dwelling units totaling 185,024 square feet on a 7.9-acre tract of land located within the Stewart Meadows Village Planned Unit Development (PUD) bounded generally by Garfield Avenue and the realigned Myers Lane within the SFR-10 (Single Family Residential, 10 dwelling units per gross acre) zoning district, together with consideration of a modification to a portion of the approved design guidelines for the PUD development (371W31A TL 4000, 371W31D TL 200, 371W1D TL 1000 & 1001).

Subject Site Characteristics

Zoning: SFR-10
 Overlay: PD (Planned Development)
 GLUP: UR (Urban Residential)
 Use: Stewart Meadows Village – Planned Unit Development

Surrounding Site Characteristics (PUD boundary)

North Zone: I-G (General Industrial) & (Regional Commercial (C-R)
 Uses: Southern Oregon Sales Packing Company, Costelow’s Car Dealership.

South Zone: SFR-00 & Jackson County Exclusive Farm Use (EFU)
 Use: Harry & David

East Zone: C-R & I-G

Uses: Walmart Supercenter, National Guard Armory, Veterans Memorial Park, Holiday Inn Express, Rogue Credit Union, Hayes Oil Company, Central Oregon and Pacific Railroad.

West Zone: SFR-6, SFR-00, SFR-10, C-C, & Jackson County EFU
Uses: Stewart Meadows Golf Course

Applicable Criteria

MLDC Section: 10.290 – Site Plan & Architectural Review Criteria

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) The proposed development is compatible with uses and developments that exist on adjacent land; and*
- (2) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

ISSUES AND ANALYSIS

Project Summary

Project History

The Planning Commission approved the original Stewart Meadows Village Planned Unit Development (PUD), a mixed use commercial and residential community located on the old KOGAP mill site in South Medford, in November 2007. The approved Preliminary PUD plan consisted of approximately 650,000 square feet of retail and office space, and 297 single family residences and apartment units on 72 acres. The approval of an associated zone change resulted in a combination of zoning designations: C-C (Community Commercial), I-L (Light Industrial), and SFR-10 (Single Family Residential – 10 units per acre) (ZC-06-347). A 21-lot subdivision was also tentatively approved at that time. The approval of the preliminary PUD included a condition of approval that delegated authority to the Site Plan and Architectural Commission (SPAC) for the approval of site plan details for the development, including landscaping of the common areas and building design.

The Planning Commission approved revisions to the PUD in 2009 that included the realignment of Myers Lane to correctly align with Myers Lane south of Garfield Street, realignment of Hansen Creek through the project; increasing the overall net acreage of the PUD to 77.39 acres; adjustments to the cumulative acreages of the underlying zoning based on master plan design revisions; an improved internal circulation system; revised phasing plan; and the reduction in the overall number of residential units from 297 to 190, the reduction of the gross retail square

footage by 30,595 square feet, and reduction of the office square footage by 31,629 square feet. The revision also included a zone change that increased the area zoned SFR-10 by 2.05 acres and C-C by 2.94 acres. The overall I-L zoned area was reduced by 4.99 acres. A revised tentative subdivision plat reduced the number of lots from 21 to 18 and reconfigured the internal public street system.

A Final PUD Plan for Phase 1 was approved by the Planning Director in May 2012. This first phase plan approval was for the realignment and restoration of Hansen Creek through the project. The Site Plan and Architectural Commission approved the landscaping as required.

In August of 2013, the Planning Commission approved a second revision to the Planned Unit Development, which amended the design of the commercial streets internal to the site. The approved revision did not affect the required right-of-way widths; rather, it altered the approved street cross-section design. The purpose of the design is to provide improved facilities for bicyclists, pedestrians and motorists while treating a portion of the storm drainage runoff within the right-of-way.

In April of 2014, the applicant received approval from the Site Plan and Architectural Commission for the Stewart Meadows Village Design Guidelines (AC-14-009) to ensure design elements of the development have a consistent design statement and enhanced sense of place.

In June of 2016, the applicant received approval for a third revision to the Stewart Meadows Village PUD, including an expansion of the PUD boundary resulting in the area of the overall PUD increasing to 87.1 acres, and the addition of a proposed three-story 66,837 square foot medical office building to be located at the northeast corner of the site. Other approved revisions included the elimination of Ingmar Drive, modification of the standard design cross section of the Stewart Avenue sidewalk and landscape strip, a revision to the Stewart Meadows Village Design Guidelines, inclusion of a pedestrian promenade along the South Pacific Highway/railroad right-of-way, and a revision to the development phasing plan.

Also in June of 2016, the Site Plan and Architectural Commission approved the 66,837 square foot Providence medical office building, together with a modification to a portion of the approved design guidelines for the development.

In August of 2016, the applicant received approval from the Planning Commission for a zone change on 0.42 acres from I-L to I-G, and change of zone on 0.42 acres from G-I to I-L.

Finally, in April of 2017, the applicant received approval for a fourth revision to the Stewart Meadows Village PUD with an associated approval for several changes of zone. Additionally, the approval included the expansion of the PUD boundary, adding an additional 34.12 acres, increased the overall size of the PUD to 121 acres; the addition and modification of several buildings and uses, including the addition of 81 residential dwelling units; several modifications of Code standards including building height, allowed uses, parking, signage, and the relocation of land use designations; and relief from agricultural buffering. In their approval, the Planning Commission delegated the authority to SPAC to approve a second revision to the design guidelines for the PUD.

PROJECT HISTORY

FILE #	DATE	DESCRIPTION
PUD-06-141 ZC-06-347 LDS-06-348	November 2007	Approval of original preliminary approval of Stewart Meadows Village PUD, including a zone change and a 21-lot tentative subdivision Plat
PUD-06-141 ZC-09-005 LDS-08-161	March 2009	Approval of first PUD revision, including a zone change and a revised tentative plat reducing total lots from the 21 lots approved in 2006 tentative plat to 18 lots
AC-12-012	May 2012	Landscaping approval of Hansen Creek restoration
PUD-06-141	August 2013	Approval of second PUD revision amending design of commercial streets within the project
AC-14-009	April 2014	SPAC approval of design elements of PUD
PUD-16-037	June 2016	Approval of third PUD revision including the incorporation of additional property into the PUD
AC-16-044	June 2016	SPAC approval of 68,000 S.F. medical office building, and approval of revised design guidelines of the PUD.
ZC-16-066	August 2016	Zone Change
PUD-17-003 ZC-17-004	April 2017	Approval of fourth PUD revision, including the addition of property, and several changes of zone.

Project Update

The subject request will be the third construction phase to take place within the Stewart Meadows Village PUD. The realigned and restored Hanson Creek, as part of Phase 1A, was the first; and the Providence medical office building, as part of Phase 1B (currently under construction), was the second. The applicant is currently in the process of realigning Myers Lane from Stewart Avenue on the north to Garfield Street on the south, with the curb and gutter installation complete, and utility installation and pavement currently in the works. The realignment of Myers Lane will require the vacation of the old portion of Myers Lane being removed and incorporated into the subject request; an application for vacation has been submitted by the applicant (SV-17-069) and is scheduled for public hearing next month.

Current Proposal

The applicant is now seeking approval by SPAC for the first residential portion of the PUD, as part of Phases 1C, 1D, and 1E, as shown on the approved Preliminary PUD Plan (Exhibit L) and Phasing Plan (Exhibit M). This application also includes a request for the approval of a minor revision to previously-approved Design Guidelines, as the authority to approve the Design

Guidelines was delegated to SPAC by the Planning Commission in their approval of the latest PUD revision earlier this year (PUD-17-003).

The subject request will comprise a substantial part of the residential portion of the PUD, and will include 134 multi-family units totaling 185,024 square feet located on the southwesterly 7.9-acre portion of the PUD between Garfield Avenue and the realigned Myers Lane. The 134 units will be dispersed amongst 26 buildings: fifteen duplex buildings, consisting of two separate building styles; and eleven multiplex buildings, including seven 12-plex buildings (two styles), three 4-plex buildings, and one 8-plex building.

BUILDING SCHEDULE (EXHIBIT B)

BLDG TYPE	# BLDG	UNIT/ BLDG	UNIT AREA (3 BED)	UNIT AREA (1 BED)	UNIT AREA (1 BED)	GARAGE AREA (STORAGE)	BDLG AREA	BLDG TYPE TOTAL AREA
A	8	2	_____	1,200 S.F.	_____	312 S.F.	3,024 S.F.	24,192 S.F.
B	7	2	1,524 S.F.	_____	_____	576 S.F.	4,200 S.F.	29,400 S.F.
C	3	4	1,420 S.F.	_____	_____	440 S.F.	7,440 S.F.	22,320 S.F.
D	1	8	_____	1,086 S.F.	_____	_____	8,560 S.F.	8,560 S.F.
E	3	8	_____	1,086 S.F.	_____	_____	13,680 S.F.	41,040 S.F.
		4	_____	1,248 S.F.	_____	_____		
F	4	8	_____	1,379 S.F.	_____	75 S.F.	14,178 S.F.	56,712 S.F.
		4	_____	_____	636 S.F.	_____		
GARAGE BLDG	1	14	_____	_____	_____	2,800 S.F.	2,800 S.F.	2,800 S.F.
TOTAL								185,024 S.F.

Site Development Standards

SITE DEVELOPMENT TABLE

	REQUIRED	Proposed
Height	35 feet (max.)	34' 9" feet (highest proposed)
Lot Coverage	50% (max.)	38%
Setback (front)	15 foot (min.) Except 20 ft. for vehicular entrances to garages or carports	15 feet

Setback (sides)	4 feet Plus ½ ft. / each ft. in building height over 15 ft.	NA
Setback (rear)	8 feet	10 feet

Several existing lot lines within the project will need to be adjusted in order for the proposed buildings to comply with building setback requirements. The applicant has stipulated to obtain approval for the necessary property line adjustments, bringing the proposed buildings into compliance with the Code in regard to setback requirements, prior to the issuance of building permits. Said stipulation is included as a condition of approval.

It can be found that the submitted site plan can be made to comply with the site development standard requirements as found in Article V of the Medford Land Development Code with the imposition of the aforestated condition.

Access

Vehicular Access

The submitted site plan shows vehicular access to the subject site from Myers Lane at two driveway locations. The construction of the proposed driveway accesses will be required to comply with the access standards as found in MLDC 10.550.

Pedestrian Access

The submitted site plan shows an extensive network of pedestrian walkways accessed from the public sidewalk along Myers Lane and connecting each building entrance to one another.

Parking

PARKING TABLE

	Required	Provided
Total Spaces	216 min. /no max.	285
Accessible Spaces	7	10
Bicycle Spaces	1 per unit/134 spaces	0

The submitted site plan identifies a total of 285 parking spaces provided for the development, meeting the minimum number of off-street parking spaces, as well as the requisite location, dimensions, and number of accessible parking spaces, consistent with the parking requirements per MLDC 10.743-751.

Per MLDC 10.749, one bicycle space is required for each unit proposed for multi-family developments. The applicant's submitted site plan and *Findings of Fact and Conclusions of Law* do not address bicycle parking; however, staff did receive an email from the applicant's agent stating that the tenants will park their bicycles in their individual units, and that the applicant will also provide several bicycle parking spaces at the community building (Exhibit W).

As a condition of approval, the applicant will be required to submit a revised site plan showing the location of the requisite spaces dedicated for bicycle parking, consistent with the Code.

MULTIPLE FAMILY PARKING	
<u>PARKING TYPE</u>	<u># STALLS</u>
STANDARD	105
ACCESSIBLE	10
COMPACT	24
COVERED	32
TOTAL	159

TOWNHOUSES PARKING	
<u>PARKING TYPE</u>	<u># STALLS</u>
GARAGE	68
DRIVEWAY	44
SINGLE GARAGE	14
TOTAL	126

As shown in the tables above, many of the townhouse-style buildings (Building types A, B, and C) will come with private driveways and garages, while parking for the multi-family buildings (Building types D, E, and F) will consist mostly of open parking with a limited number of covered parking.

Landscaping

LANDSCAPE TABLE - Frontage Landscaping (10.797)

	Required	Shown
Trees	56	63
Shrubs	341	350

LANDSCAPE TABLE – Parking Area Planters (10.746(3))

	Required	Shown
Trees	15	22
Shrubs	30	75
Area	2,500 SQ FT.	4,770 SQ Ft.

It can be found that the submitted Landscape Plan (Exhibit D) meets and/or exceeds both the frontage landscaping requirements along the property's frontage of Myers Lane, and the parking area planter requirements for interior landscaping within the proposed parking areas.

Design Guidelines Revision

Included in the subject application is a request for a revision to the PUD's approved design guidelines. The Design Guidelines for the Stewart Meadows Village PUD were originally approved in 2014, and SPAC later approved a modification to a portion of the design guidelines in 2016. In their review of the PUD revision earlier this year, the Planning Commission delegated the authority to approve another minor revision to the design guideline to SPAC. The applicant has submitted the revised design guidelines (Exhibit V), and the applicant's Findings of Fact and Conclusions of Law (Exhibit P) includes an itemized list identifying 18 proposed revisions to the approved design guidelines. The proposed revisions include, but are not limited to, the inclusion into the design guidelines of the 34-acre tract that was incorporated into the PUD, as approved by the Commission earlier this year; the addition of Architectural Elements and Material Guidelines for new building types; and the elimination of signage, as a signage plan was approved by the Planning Commission (PUD-17-003).

Staff concurs with the applicant's findings that the proposed modifications to the design guidelines for the Stewart Meadows Village PUD continue to remain compatible with uses and development that exist on adjacent land, as well as the meet the intent of the PUD as approved.

Architecture

The applicant's submitted compatibility questionnaire (Exhibit O, pages 8-9) describes the proposed buildings architecture as the following:

This project will be the first residential building construction within the Stewart Meadows Village development.

The proposed residential apartment design concept is to create a fresh look at mixing the Northwest style meeting Mid-Century Modern styles; through the use of stained lap siding for traditional northwest architectural style; large/tall corner windows along with butterfly or winged roofs harken back to the 50's Mid-Century Modern period; and corrugated pre-finished steel siding and standing seam metal roofing adding the present design materials used on the new adjacent Providence Health Care Building". A consistent design style helps to tie the architecture of the development together.

Street Vacation

The submitted site plan identifies a portion of the residential development located over the old right-of-way of Myers Lane. As such, the applicant's *Findings of Fact and Conclusions of Law* state that the applicant will stipulate to the vacation of the Myers Lane right-of-way prior to the issuance of building permits, and said stipulation has been added as a condition of approval. An application for the vacation of the old right-of-way of Myers Lane has been submitted by the applicant and is scheduled for hearing before the Planning Commission on August 24, 2017.

Phasing

MLDC 10.292(2) states the following regarding the expiration of SPAC approval:

(2) When it is the developer's intent to complete an approved project in phases, the approving authority may authorize a time schedule for the issuance of building permits for a period exceeding one (1) year, but in no case shall the total time period for the issuance of building permits be greater than five (5) years without having to resubmit a new application for Site Plan and Architectural Commission review. Phases developed after the passage of one (1) year from approval of the Site Plan and Architectural Commission application will be required to modify the plans as necessary to avoid conflicts with changes in the *Comprehensive Plan* or this chapter.

As the PUD will be developed in Phases, the applicant requests that the Commission allow the max time schedule for the issuance of building permits of 5 years (Exhibit O, page 15).

Concealments

HVAC Screening

The submitted site plan identifies the Heating, Ventilation, Air Conditioning (HVAC) equipment concealed from view by a 30" screen, and screened under stairs, both consistent with the requirements of MLDC 10.782.

Trash Enclosure

The submitted site plan identifies a trash receptacle enclosed and concealed with a concrete masonry wall consistent with the requirements of MLDC 10.781.

Facility Adequacy

Per the agency comments submitted to staff (Exhibits P-R), included the Rogue Valley Sewer Services (RVSS) (Exhibit U), it can be found that there are adequate facilities to serve the proposed development.

Other Agency Comments

Jackson County Roads: Staff received an email from Jackson County Roads (Exhibit S) listing nine comments in regards to the former Myers Lane which was a County Local Road maintained by the County.

Committee Comments

No comments were received from committees such as BPAC.

FINDINGS OF FACT

MLDC 10.290

1. *The proposed development is compatible with uses and development that exist on adjacent land;*

The Commission can find that there is sufficient evidence contained in the Applicant's Questionnaire and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

2. *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

The Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit A. This criterion is satisfied.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit O) and recommends the Commission adopt the findings as modified by staff.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare the Final Order of AC-17-066 per the staff report dated July 27, 2017, including Exhibits A through W.

EXHIBITS

- A Conditions of Approval, drafted July 27, 2017.
- B Site Plan, received June 1, 2017.
- C Conceptual Drainage & Utility Plans, Grading Plans, and Details (7), received July 25, 2017.
- D Conceptual Planting Plan (3), received June 1, 2017
- E Building A: Cover, floor plan, roof plan and exterior elevations (2), received June 1, 2017.
- F Building B: Cover, floor plans (2), roof plan and exterior elevations (2), received June 1, 2017.
- G Building C: Cover, floor plans (2), roof plan and exterior elevations (3), received June 1, 2017.
- H Building D: Cover, floor plans (2), roof plan and exterior elevations (2), received June 1, 2017.
- I Building E: Cover, floor plans (2), roof plan and exterior elevations, received June 1, 2017.
- J Building F: Cover, floor plans (3), roof plan and exterior elevations (2), received June 1, 2017.
- K Building G: Cover, floor plans (2), roof plan and exterior elevations (2), received June 1, 2017.
- L Approved Preliminary PUD Plan, received June 1, 2017.
- M Proposed PUD master plan revisions – Phasing, received June 1, 2017.
- N Site Map, received June 1, 2017
- O Applicant’s Narrative, Questionnaire, and Findings of Fact, received June 1, 2017.
- P Public Works staff report, drafted July 12, 2017.
- Q Medford Water Commission memorandum, drafted July 11, 2017.
- R Medford Fire Department report, drafted July 12, 2017.
- S Jackson County Roads letter, received July 11, 2017.
- T Rogue Valley Sewer Service (RVSS) memo, received July 10, 2017.
- U Oregon Department of Aviation (ODA) email, received April 28, 2017.
- V Design Guidelines, received June 1, 2017.
- W Email from applicant’s agent addressing bicycle parking, received July 24, 2017.
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:

August 4, 2017

EXHIBIT A

Stewart Meadows Village
AC-17-066
Conditions of Approval
July 27, 2017

CODE REQUIRED CONDITIONS

The Commission accepts the applicant's stipulations as stated in the submitted *Findings of Fact and Conclusions of Law* (Exhibit P), and applies them as conditions except as modified.

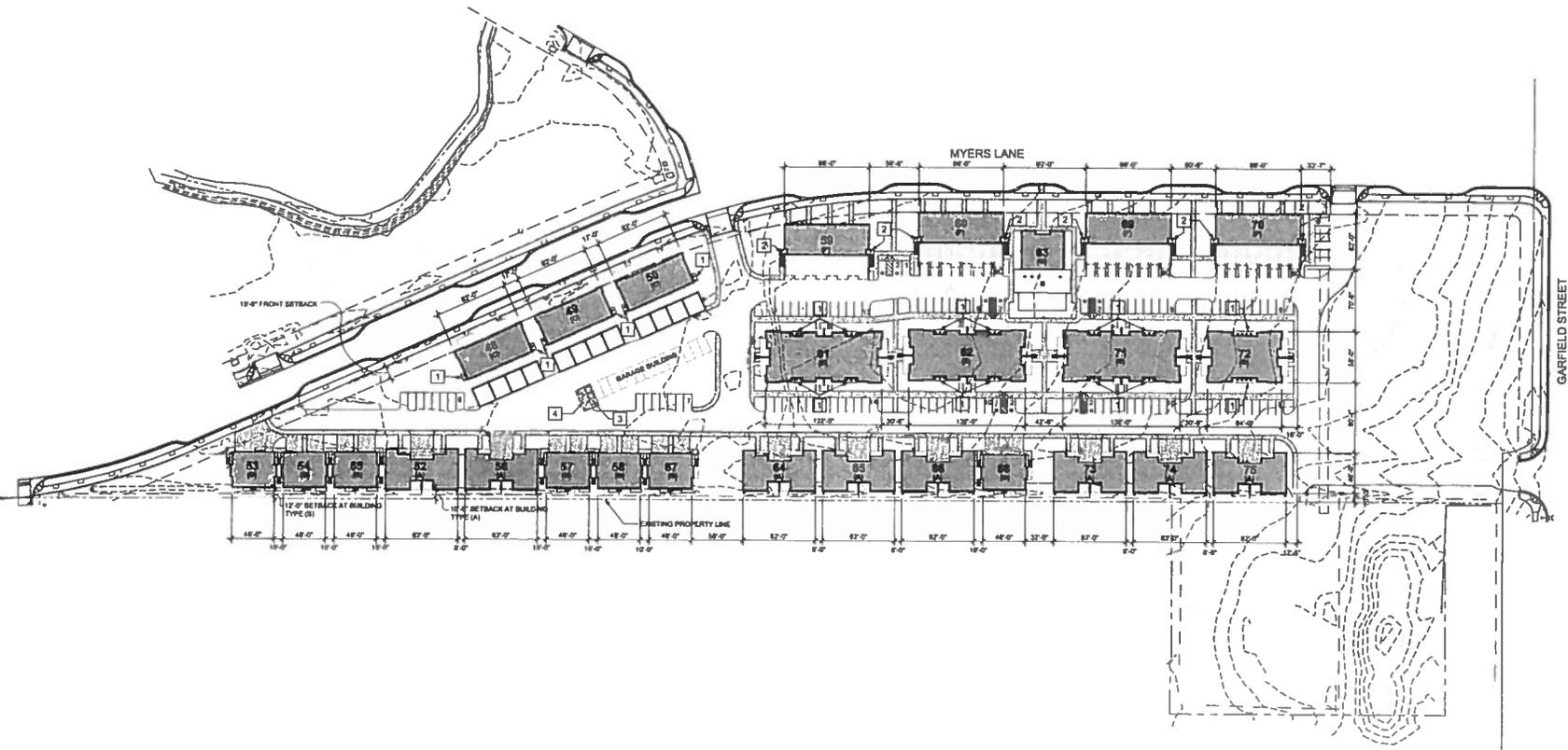
Prior to the issuance of a building permit for vertical construction, the applicant shall:

1. Comply with all conditions stipulated by the Medford Water Commission (Exhibit R).
2. Comply with all conditions stipulated by the Public Works Department (Exhibit Q).
3. Comply with all requirements of the Medford Fire Department (Exhibit S).
4. Comply with all conditions stipulated by the Rogue Valley Sewer Services (Exhibit V).
5. Comply with all requirements of the Jackson County Roads Department (Exhibit T).
6. Obtain approval for the vacation of the Myers Lane right-of-way (SV-17-069).
7. Obtain approval for Property Line Adjustments necessary to bring all proposed buildings into compliance with the building setback requirements as found in Article V of the Medford Land Development Code (MLDC).
8. Submit a revised site plan identifying the requisite number and location of bicycle parking spaces as outlined in MLDC 10.749.
9. Submit a revised site plan eliminating all non-permitted encumbrances from within the 15 foot Public Utility Easement (PUE) dedication.

CITY OF MEDFORD
EXHIBIT A
File # AC-17-066

This document and the plans and designs incorporated herein, are the property of Kistler+Small+White Architects and are to be used only for the project, in whole or in part, for any other project without the written authorization of Kistler+Small+White Architects.

CITY PLANNERS FOR EXHIBIT 17
FILE # AC17-066



SITE PLAN NOTES

- 30' HIGH HVAC EQUIPMENT SCREEN.
- HVAC EQUIPMENT SCREENED UNDER STAIRS.
- RASH AND RECYCLE ENCLOSURE.
- SPILT FACE CHALK WALLS WITH CHARCOAL CORRUGATED METAL BORG AT GATES.

MULTI FAMILY PARKING

PARKING TYPE	# STALLS	REMARKS
STANDARD	158	
ACCESSIBLE	10	
COMPACT	24	(20% MIN COUNT FOR PARKING PROVISIONS)
COVERED	32	
TOTAL	198	

TOWNHOUSES PARKING

PARKING TYPE	# STALLS	REMARKS
GARAGE	68	
DRIVEWAY	44	
SHOULDER GARAGE	11	
TOTAL	123	

BUILDING SCHEDULE

BUILDING TYPE	# BLDGS	UNITS/BLDG	UNIT AREA (2 BED)	UNIT AREA (1 BED)	GARAGE AREA (STORAGE)	BUILDING AREA	BUILDING TYPE TOTAL AREA	REMARKS
A	8	2	1,300 S.F.		312 S.F.	2,624 S.F.	24,182 S.F.	
B	7	2	1,334 S.F.		878 S.F.	4,300 S.F.	28,400 S.F.	
C	3	4	1,430 S.F.		440 S.F.	7,440 S.F.	22,356 S.F.	
D	1	8	1,088 S.F.			8,704 S.F.	8,704 S.F.	
E	3	3	1,288 S.F.			12,880 S.F.	41,040 S.F.	
F	4	1	1,348 S.F.			14,176 S.F.	56,712 S.F.	
GARAGE (MULTI-UNIT)	6	4	1,378 S.F.		173 S.F.	8,268 S.F.	8,268 S.F.	
TOTAL	1	14			620 S.F.	2,800 S.F.	2,800 S.F.	106,624 S.F.

SITE PLAN
 SCALE: 1" = 80'-0" (1/4" = 30')
 SCALE: 1" = 120'-0" (1/16" = 12')



kistler+small+white

88 WATER STREET
 SUITE 101
 ASHLAND, OR
 97520
 TEL.: 541-488-8390

PRELIMINARY
 THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION BIDDING, RECORDATION, CONVEYANCE OR OBTAINANCE OF A PERMIT
 SPAC

STEWART MEADOWS VILLAGE
 NEW DEVELOPMENT
 OWNER: KOGAP ENTERPRISES, INC.
 115 STEWART AVE # 202,
 MEDFORD, OR 97501

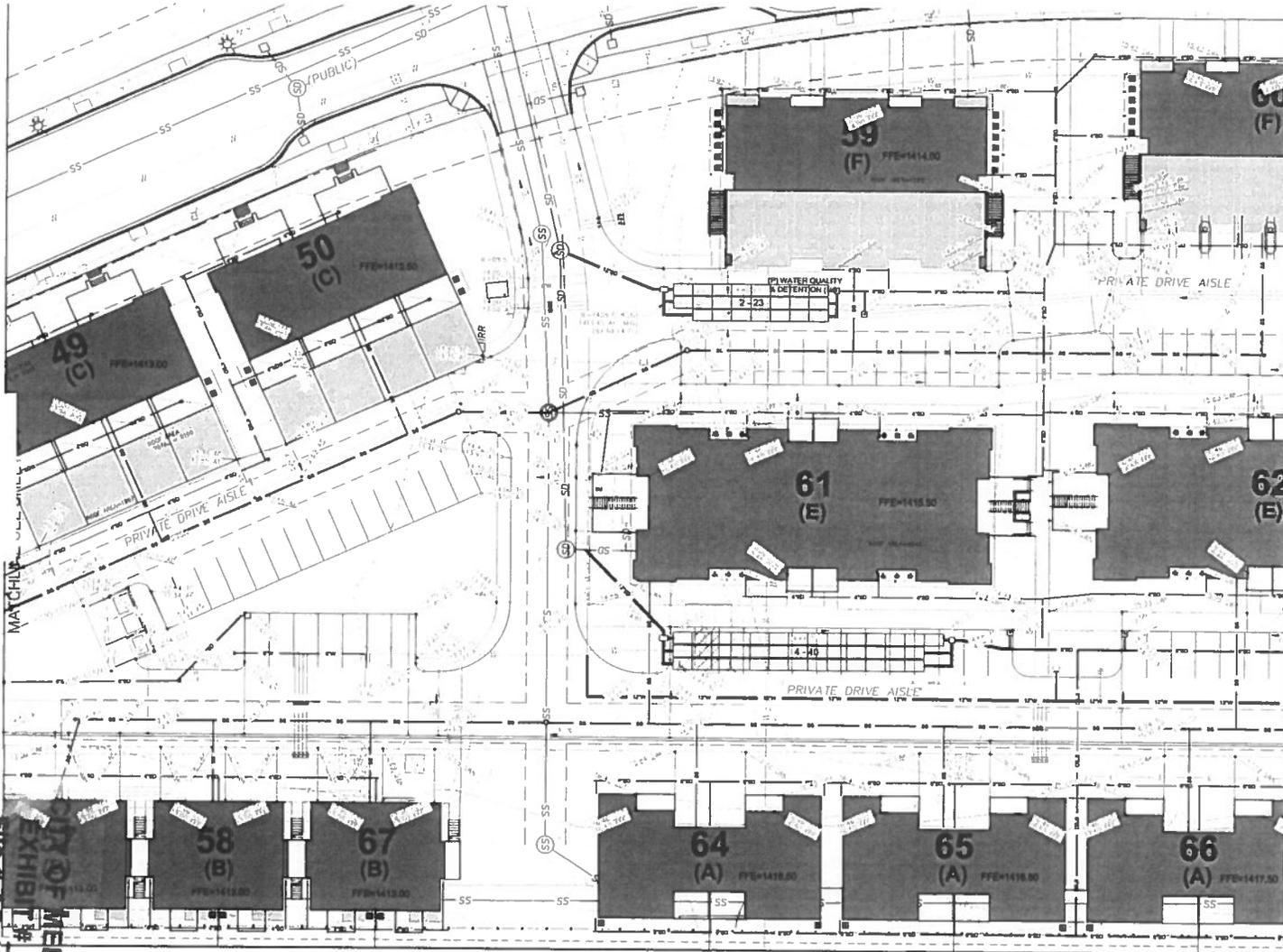
REVISIONS

SITE PLAN & ZONING SUMMARY

PROJECT: 17-022
 ISSUE DATE: 05-16-2017
 PLANING DEPT.
 JUN 01 2017

RECEIVED

OFFICE OF MEDFORD
EXHIBIT # C (2 of 7)
File # AC-17-066



MATCHLINE SEE SHEET C-3



PLANNING DEPT.

JUL 25 2017

RECEIVED

CALL BEFORE YOU DIG
1-800-332-2344
OR 503-948-3600 (MEDFORD) 503-475-7575
OREGON LAW REQUIRES YOU TO FOLLOW RULES
ADOPTED BY THE OREGON UTILITIES REGULATORY
COMMISSION. THESE RULES ARE SET FORTH BECAUSE
WE WANT TO BE THOROUGH AND WE DON'T WANT TO
WASTE YOUR TIME OR OURS. IF YOU HAVE ANY
QUESTIONS ABOUT THESE RULES, PLEASE CALL US AT 503-223-1887

- CONSTRUCTION NOTES:**
1. CONSTRUCT ASPHALT PAVEMENT SECTION PER DETAIL 1, THIS SHEET.
 2. CONSTRUCT 12" CONCRETE SECTION. SEE STRUCTURAL PLAN FOR REINFORCING AND SUBGRADE REQUIREMENTS.
 3. SAWCUT ASPHALT TO CLEAN CUT-LINE. SAND & SEAL NEW ASPHALT JOINT FOR SMOOTH EDGE TRANSITION.
 4. CONSTRUCT 6" CONCRETE EXTRUDED CURB
 5. CONTRACTOR TO REMOVE EXISTING X-RAILS
 6. PUMPS AND ALL ELECTRICAL BY OWNERS
 7. CONSTRUCT 12" CONCRETE SECTION. SEE STRUCTURAL PLAN FOR REINFORCING AND SUBGRADE REQUIREMENTS



PRELIMINARY
THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION BEARING RECORDATION CONVEYANCE OR ISSUANCE OF A PERMIT
50% CD

STEWART MEADOWS VILLAGE
NEW DEVELOPMENT
OWNER: KOGAP ENTERPRISES, INC.
115 STEWART AVE # 202, MEDFORD, OR 97501

REVISIONS

GRADING PLAN

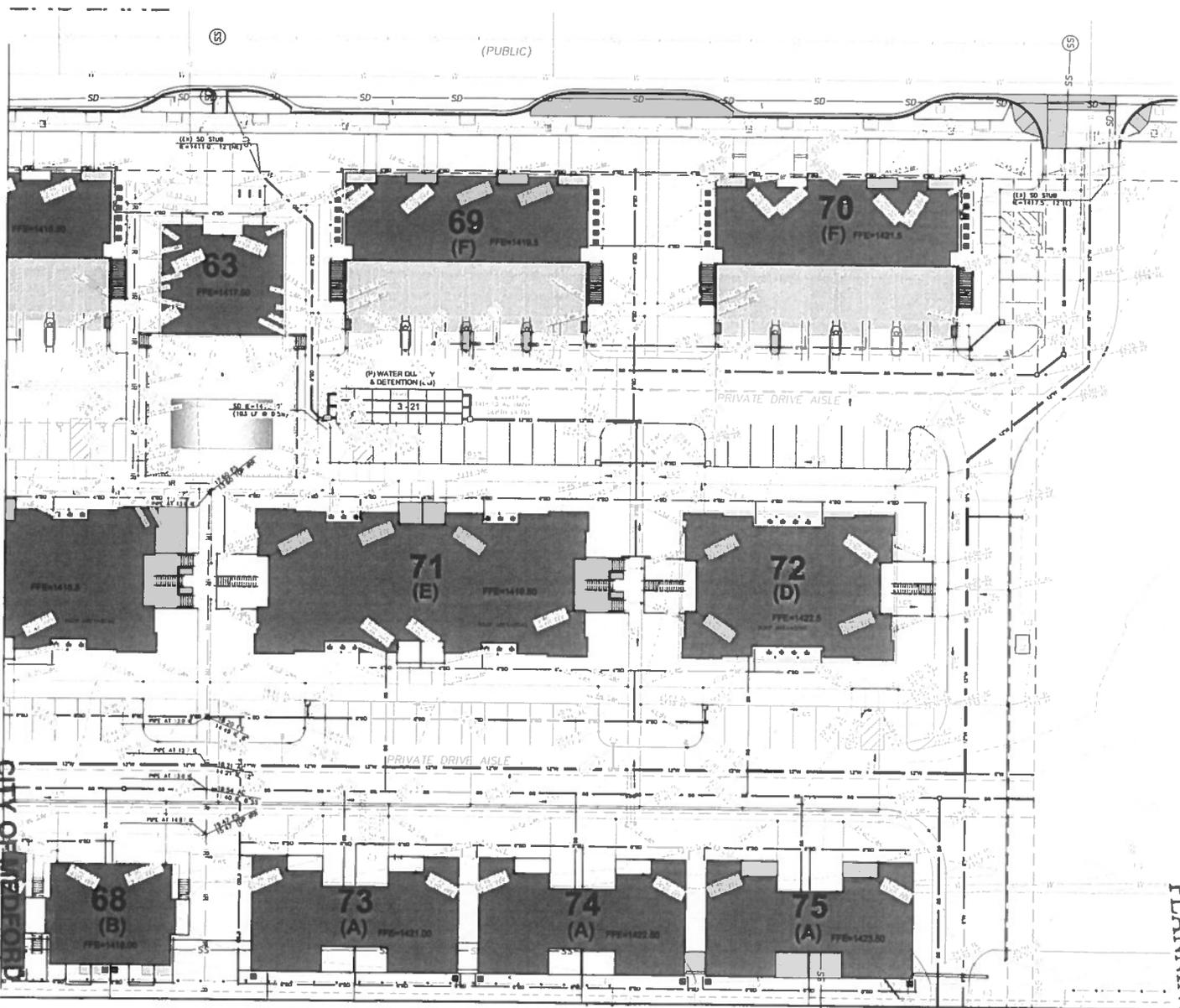
PROJECT 17 007
ISSUE DATE 07 20 17
SHEET

C-2

MATCHLINE SEE SHEET C-2

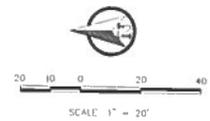
CITY OF MEDFORD

EXHIBIT # (357)



LEGEND - NEW CONSTRUCTION

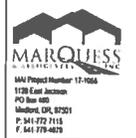
AC ASPHALT	CC1 CONCRETE SURFACE
CB CATCH BASIN	SS SANITARY SEWER
EX EXISTING	SDCD STORM DRAIN, CLEAN OUT
LF LINEAR FEET	TW TOP OF WALL
IE RIVER ELEVATION	BW BOTTOM OF WALL
TC TOP OF CURB	TOC TOP OF CRATE
GB GRADE BENCH	(P) PROPOSED
UNDERDRILL	(E) EXISTING
TOP OF SURFACE	(00.00) EXISTING GRADE
BOTTOM OF SURFACE	— SURFACE FLOW DIRECTION



PLANNING DEPT.

RECEIVED
JUL 25 2017

CALL BEFORE YOU DIG
1-800-332-2344
48 HOURS BEFORE BEGINNING EXCAVATION
OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY PUBLIC SAFETY CENTER. THESE RULES ARE SET FORTH IN OUR WEBSITE THROUGH OUR WEBSITE. TO OBTAIN COPIES OF THE RULES BY CALLING THE CENTER AT 503 232 1987



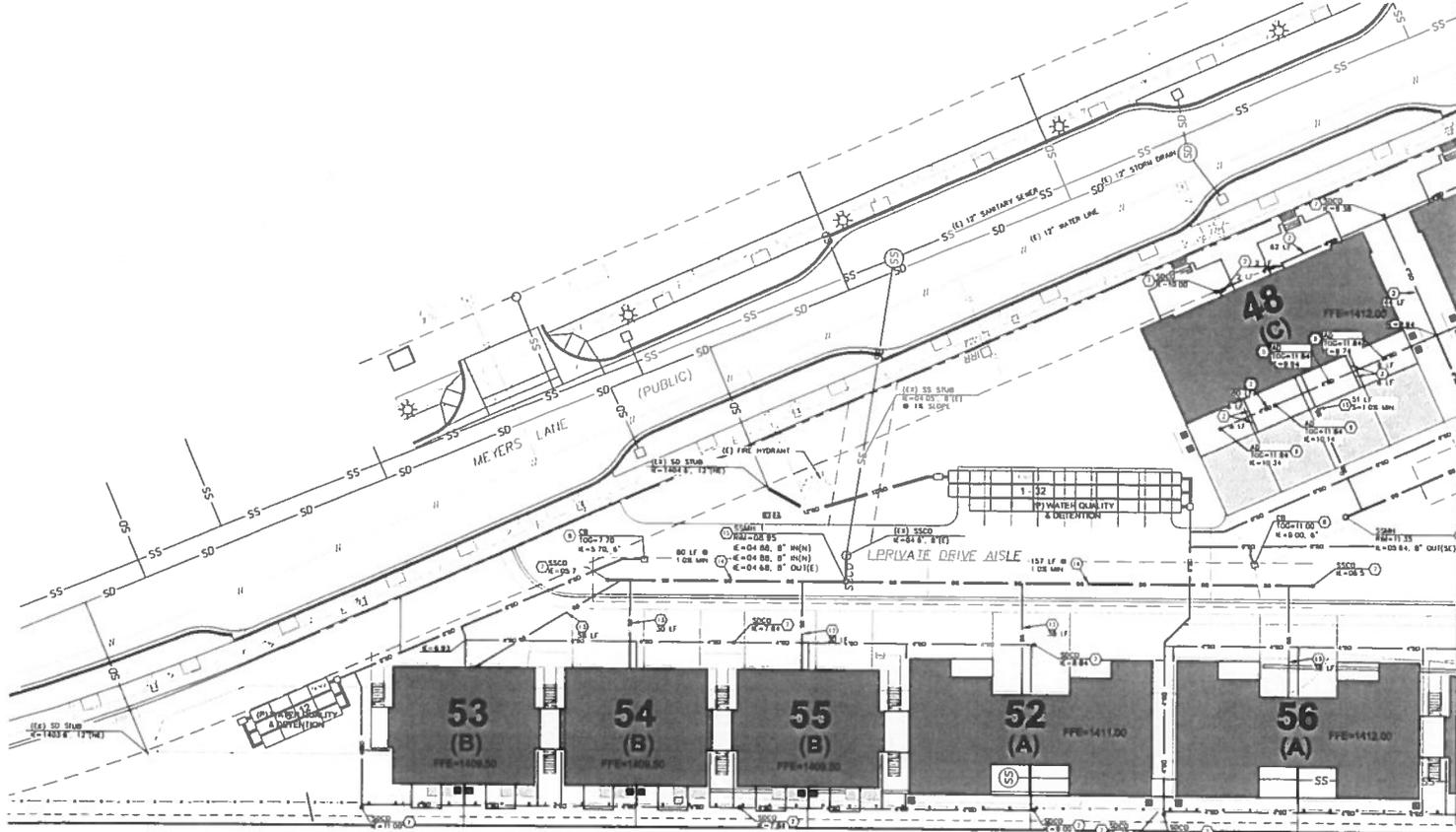
PRELIMINARY
THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION/ISSUING RECOMMENDATION CONFORMANCE ISSUANCE OF A PERMIT
50% CD

STEWART MEADOWS VILLAGE
NEW DEVELOPMENT
OWNER: KOGAP ENTERPRISES, INC.
115 STEWART AVE # 202,
MEDFORD, OR 97501

REVISIONS
GRADING PLAN

PROJECT 17-002
ISSUE DATE 07-20-17
SHEET

C-3



MATCHLINE SEE SHEET C-5

GENERAL NOTES - WATER

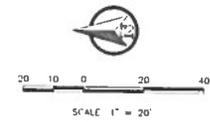
1. ALL WATER WORKS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT MEDFORD WATER COMMISSION STANDARD SPECIFICATIONS.
2. 18" DIA. BACKFILL TO TOP OF WATER MAINS AND FIRE HYDRANT RISKS SHALL BE COMPACTED IN ACCORDANCE WITH THE MEDFORD WATER COMMISSION STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL OR BACKFILL MATERIAL AND COMPACTOR SHALL MEET THE REQUIREMENTS OF THE CONTROLLING AGENCY.
3. WATER MAINS ARE TO BE INSTALLED WITH REFERENCE TO ALIGNMENT AND GRADE STATUS AND ONLY UPON NOTIFICATION OF THE MEDFORD WATER COMMISSION INSPECTOR.
4. APPROVED PLANS AND SPECIFICATIONS SHALL BE AVAILABLE AT SITE OF CONSTRUCTION AT ALL TIMES DURING CONSTRUCTION OF WATER FACILITIES.
5. THE CONTRACTOR SHALL ARRANGE A PRECONSTRUCTION CONFERENCE ON SITE WITH THE MEDFORD WATER COMMISSION ENGINEERING OFFICE AT LEAST 14 HOURS PRIOR TO START OF THE PROJECT. ABSOLUTELY NO WORK SHALL BE SCHEDULED OR ACCOMPLISHED BY THE MEDFORD WATER COMMISSION UNTIL THIS CONFERENCE HAS TAKEN PLACE. CONTRACTOR SHALL NOT CONTACT ANY OTHER DEPARTMENT OF THE MEDFORD WATER COMMISSION EXCEPT THE ENGINEERING OFFICE (7438) IN ARRANGING THIS CONFERENCE.
6. CONTRACTOR SHALL BE PRE-QUALIFIED WITH THE MEDFORD WATER COMMISSION.
7. MEDFORD WATER COMMISSION REQUIRES "POLY PGS" TO BE USED ON ALL NEWLY LAID WATER LINES. CONTRACTOR TO COORDINATE ALL WORK WITH MWC AS TO THE EXTENT OF MATERIALS PROVIDED AND WORK TO BE COMPLETED IN COORDINATION WITH MWC PERSONNEL.

GENERAL NOTES

1. CATCH BASINS SHALL HAVE A 12" SLUMP UNLESS OTHERWISE SHOWN.
2. ALL GRADE SHALL BE TRAFFIC RATED.
3. 12" PVC STORM DRAIN PIPE SHALL BE SDR 35, ASTM 3034.
4. ALL JOINTS IN MANHOLE MAN SHALL HAVE WATER-TIGHT JOINTS AND FITTINGS.
5. ALL ENDS OF STUBBED OUT STORM PIPE SHALL BE PLUGGED.
6. REFER TO ARCHITECTURAL DRAWINGS FOR ROOF DRAIN LOCATIONS.

CONSTRUCTION NOTES

1. *CAUTION* UTILITY CROSSING CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF PROBLEM EXISTS.
2. CONSTRUCT 4" PVC ROOF DRAIN LINE 5=1.0% (MIN.) SLOPE, TO INTO PROPOSED STORM DRAIN PIPE. SEE PLUMBING DRAWINGS FOR CONNECTION AT BUILDING TRENCH PER DETAIL 1, SHEET C-7.
3. CONSTRUCT 4" PVC FOUNDATION DRAIN LINE 5=1.0% (MIN.) SLOPE, TO INTO PROPOSED STORM DRAIN PIPE. SEE PLUMBING DRAWINGS FOR CONNECTION AT BUILDING TRENCH PER DETAIL 1, SHEET C-7.
4. CONSTRUCT 8" PVC STORM DRAIN LINE 5=1% (MIN.) SLOPE. TRENCH PER DETAIL 2, SHEET C-7.
5. CONSTRUCT 8" PVC STORM DRAIN LINE 5=1% (MIN.) SLOPE. TRENCH PER DETAIL 2, SHEET C-7.
6. CONSTRUCT 12" PVC STORM DRAIN LINE 5=1% (MIN.) SLOPE. TRENCH PER DETAIL 2, SHEET C-7.
7. CONSTRUCT STANDARD UTILITY CLEAN-OUT PER DETAIL 1, SHEET C-7.
8. CONSTRUCT STANDARD CATCH BASIN PER DETAIL 3, SHEET C-7.
9. CONSTRUCT AREA DRAIN, HDS SPC-D BASIN OR APPROVED EQUIVALENT.
10. CONSTRUCT TYPE 3 CATCH BASIN INLET STRUCTURE, PER OREGON STD DETAIL RD37B.
11. CONSTRUCT TYPE C-2 STORM DRAIN OUTLET STRUCTURE, PER OREGON STD DETAIL RD384.
12. CONSTRUCT STORMTECH SC-740 STORM MANAGEMENT CHAMBERS.
13. CONSTRUCT 4" PVC SANITARY SEWER LINE, CONNECT TO MAIN LNE WITH MANUFACTURED FITTING. SEE PLUMBING PLAN FOR CONNECTION AT BUILDING TRENCH PER DETAIL 2, SHEET C-7.
14. CONSTRUCT 8" PVC SANITARY SEWER LINE, SLOPE PIPE PER PLAN TRENCH PER DETAIL 2, SHEET C-7.
15. CONSTRUCT STANDARD 48" MANHOLE PER DETAIL 6, SHEET C-7.



LEGEND - NEW CONSTRUCTION

AC ASPHALT	CCI CONCRETE SURFACE
CB CATCH BASIN	SS SANITARY SEWER
EX EXISTING	SSCO STORM DRAIN, CLEAN OUT
LF LINEAR FEET	GRT TOP OF GRADE
IE INVERT ELEVATION (P)	PROPOSED
TC TOP OF CURB (E)	EXISTING
CB GRADE BREAK (00 00)	EXISTING GRADE
UG UNDERGROUND	← SURFACE FLOW DIRECTION

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 CALL BEFORE YOU DIG
 1-800-332-2044
 48 HOURS BEFORE BEGINNING EXCAVATION
 OPERATOR MUST FOLLOW LINES
 AND/OR MARKERS TO PREVENT DAMAGE TO
 CENTER OF GRADE. MARKERS SHALL BE SET FOR EACH
 DETAILED SECTION OF THE PROJECT. THE MARKERS
 SHALL BE SET BY CALLING THE CENTER
 OF GRADE SERVICE LINE.



PRELIMINARY
 THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS THE CONTRACTOR HAS RECEIVED THE APPROVED ISOLATION OF A PERMIT
 50% CD

STEWART MEADOWS VILLAGE
 NEW DEVELOPMENT
 OWNER: KOGAP ENTERPRISES, INC
 115 STEWART AVE # 202, MEDFORD OR 97501

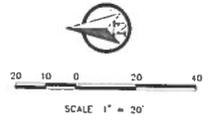
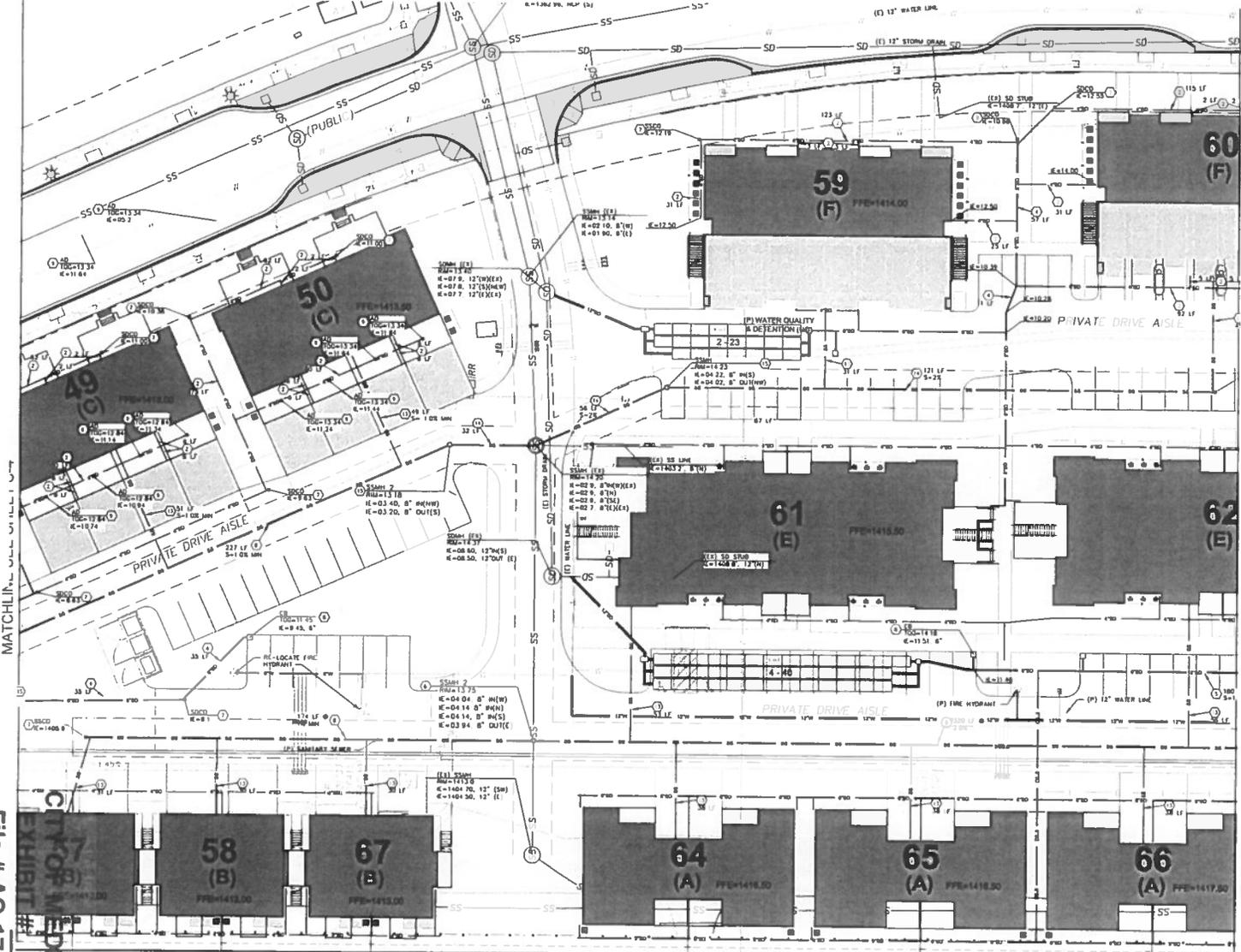
REVISIONS

DRAINAGE & UTILITY PLAN

PROJECT 17-002
 ISSUE DATE 07-20-17
 SHEET

C-4

OFFICE
 140577
 AC-17-066



LEGEND - NEW CONSTRUCTION

AC ASPHALT	CCT CONCRETE SURFACE
CB CATCH BASIN	SS SANITARY SEWER
EX EXISTING	SDCC STORM DRAIN, CLEAN OUT
LF LINEAR FEET	GR1 TOP OF GRATE
IE INVERT ELEVATION	(P) PROPOSED
T: TOP OF CURB	(E) EXISTING
GR GRADE BREAK	(00 00) EXISTING GRADE
UG UNDERGROUND	← SURFACE FLOW DIRECTION



PRELIMINARY
 THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS RECORDATION, CONVEYANCE, ISSUANCE OF A PERMIT
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MEDFORD, OR 97501

**STEWART MEADOWS VILLAGE
 NEW DEVELOPMENT**
 OWNER: KOGAP ENTERPRISES, INC
 115 STEWART AVE # 202.

REVISIONS

DRAINAGE & UTILITY PLAN

PROJECT 17 002
 ISSUE DATE 07 17 17
 SHEET

C-5

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PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE / CONDITION
LARGE TREES	FABY	EUROPEAN BEECH	1.75" CAL. BAB
	GYDR	KENTUCKY COFFEE TREE	1.75" CAL. BAB
	QUCO	RED OAK	1.75" CAL. BAB
	QUCO	CORK OAK	1.75" CAL. BAB
	ZELC	SILVER LINDEN	1.75" CAL. BAB
MEDIUM TREES	ACTR	SHAWTUNG MAPLE	1.75" CAL. BAB
	CEJA	JAPANESE HORSEBAM	1.75" CAL. BAB
	CEJA	SUGAR HAZELBERRY	1.75" CAL. BAB
	HYST	HATSUBA TREE	1.75" CAL. BAB
	TICO	LITTLELEAF LINDEN	1.75" CAL. BAB
SMALL TREES	CECA	EASTERN REDBUD	1.75" CAL. BAB
	KOPA	GOLDEN RAIN TREE	1.75" CAL. BAB
	MAMA	JAMUN MAAGA	1.75" CAL. BAB
	MAMI	MADONNA FLOWERING CRABAPPLE	1.75" CAL. BAB
	MAMI	PRANFIRE CRAB FLWD CRABAPPLE	1.75" CAL. BAB
SHRUBS	ACCI	VINE MAPLE	8.0AL @ 8" O.C.
	ARUN	COMPACT STRAWBERRY TREE	1.0AL @ 8" O.C.
	AZEV	AZALEA EV YRND CRIMSON	3.0AL @ 3" O.C.
	BERO	ROSE GLOW BARBERRY	1.0AL @ 4" O.C.
	BEWM	WM PINK BARBERRY	1.0AL @ 4" O.C.

KEY	BOTANICAL NAME	COMMON NAME	SIZE / CONDITION
GROUND COVERS, PERENNIALS & ORNALS	ARUV	ARIZONA SANDWORT	1.0AL @ 4" O.C.
	GAJI	GALIA LINDENHOFER	1.0AL @ 3" O.C.
	GAJA	GERANIUM	1.0AL @ 3" O.C.
	HESE	HELIOTROPIS	1.0AL @ 3" O.C.
	HEHY	HEMEROCALLIS	1.0AL @ 3" O.C.
STORMWATER INFILTRATION FACILITY GRASSES, SEDGES & FORBS	CAAN	CAREX ANNECTANS	SEED
	CAPR	CAREX PRINIS	SEED
	CASC	CAREX SCOPARIA	SEED
	ELR	ELYSIUM REPENS	SEED
	SCAT	SCIRPUS ATROVIRENS	SEED

LANDSCAPE SUMMARY

DESCRIPTION	PROPOSED	REQUIRED
OVERALL SITE:	7.8 ACRES / 344,134 SQ FT	
TOTAL LANDSCAPE AREA:	2.38 ACRES / 102,818 SQ FT	
TOTAL % OF LANDSCAPE COVERAGE:	26%	
TOTAL % OF LANDSCAPE IN HIGH WATER USE LANDSCAPING:	18%	
FRONTAGE LANDSCAPING:		
STREET:	MEYERS LANE	
FEET:	1,387 LF (1,150 LF LESS DRIVES)	
# TREES:	63	55
# SHRUBS:	300	341
PARKING LOT LANDSCAPING:		
113 PARKING STALLS (40'x60')	TREES: 22	15
	SHRUBS: 75	30
LANDSCAPE AREA:	4,770 SQ FT	2,500 SQ FT

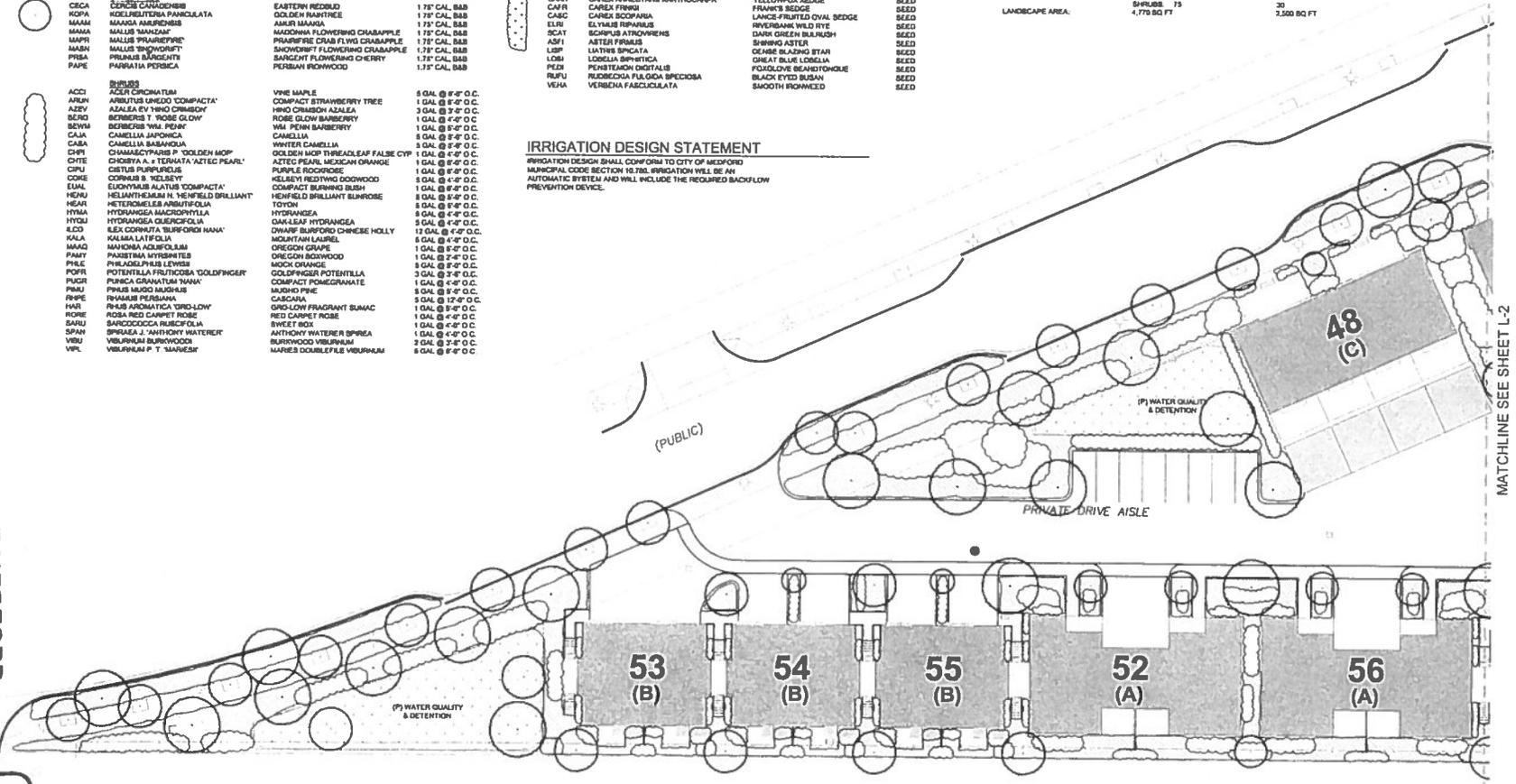
IRRIGATION DESIGN STATEMENT

IRRIGATION DESIGN SHALL CONFORM TO CITY OF MEDFORD MUNICIPAL CODE SECTION 18.788. IRRIGATION WILL BE AN AUTOMATIC SYSTEM AND WILL INCLUDE THE REQUIRED BACKFLOW PREVENTION DEVICE.

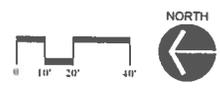
Page 37

CITY OF MEDFORD
 EXHIBIT # D (1 of 3)
 File # AC-17-066

APPLICANTS
 EXHIBIT
 "7/3"



CONCEPT PLANTING PLAN - NORTH



CowryPardee
 LANDSCAPE ARCHITECTS
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 SCHEMATIC DESIGN

STEWART MEADOWS VILLAGE
 NEW DEVELOPMENT
 OWNER: KOGAP ENTERPRISES, INC.
 115 STEWART AVE # 202
 MEDFORD, OR 97501

CONCEPT PLANTING PLAN - NORTH

PROJECT 17-022
 ISSUE DATE 05-18-17
 SHEET L-1

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SCHEMATIC DESIGN

STEWART MEADOWS VILLAGE
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OWNER: KOGAR ENTERPRISES, INC
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MEDFORD, OR 97501

REVISIONS
CONCEPT PLANTING PLAN - MIDDLE

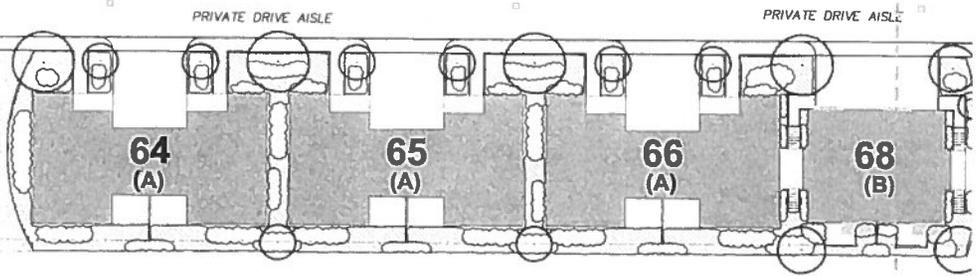
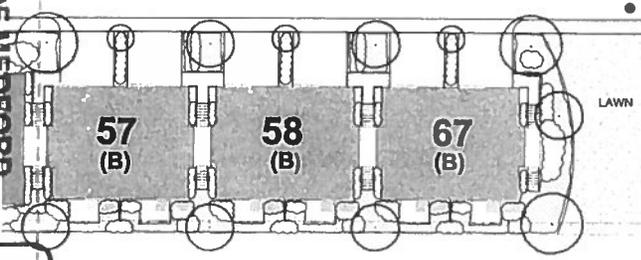
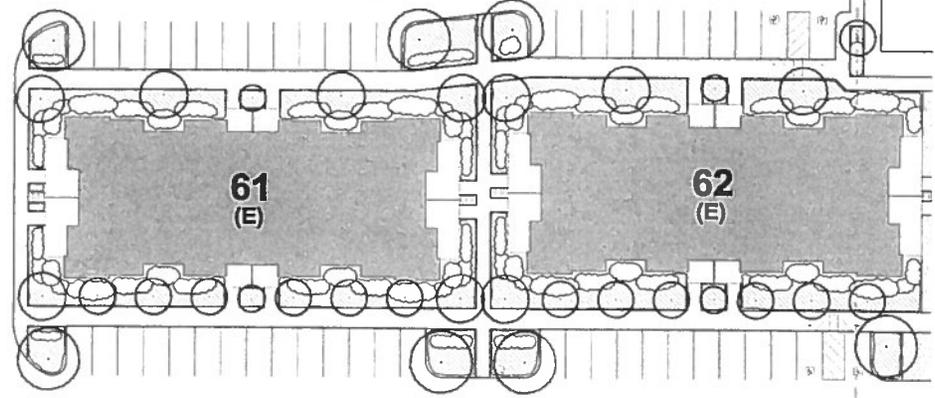
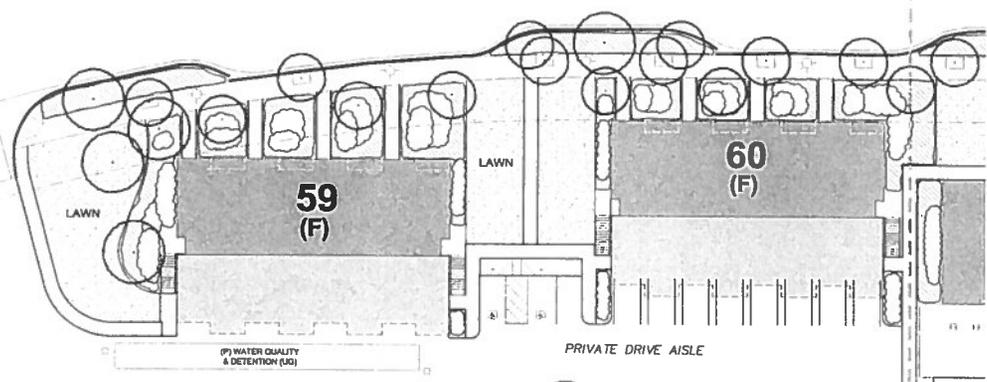
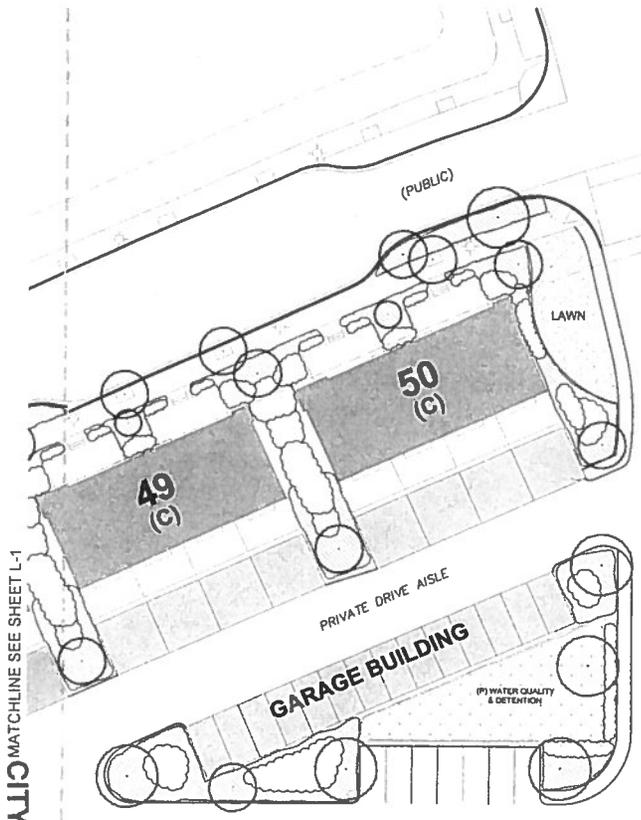
PROJECT 17.002
ISSUE DATE 05-18-17
SHEET

L-2

Page 38

CITY OF MEDFORD
EXHIBIT # D 2553
File # AC-17-066

APPLICANTS
EXHIBIT
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CONCEPT PLANTING PLAN - MIDDLE



CITY OF MEDFORD
EXHIBIT #
File # AC-17-066

55

Covey/Pazdee
 LANDSCAPE ARCHITECTS
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 Medford, OR 97501
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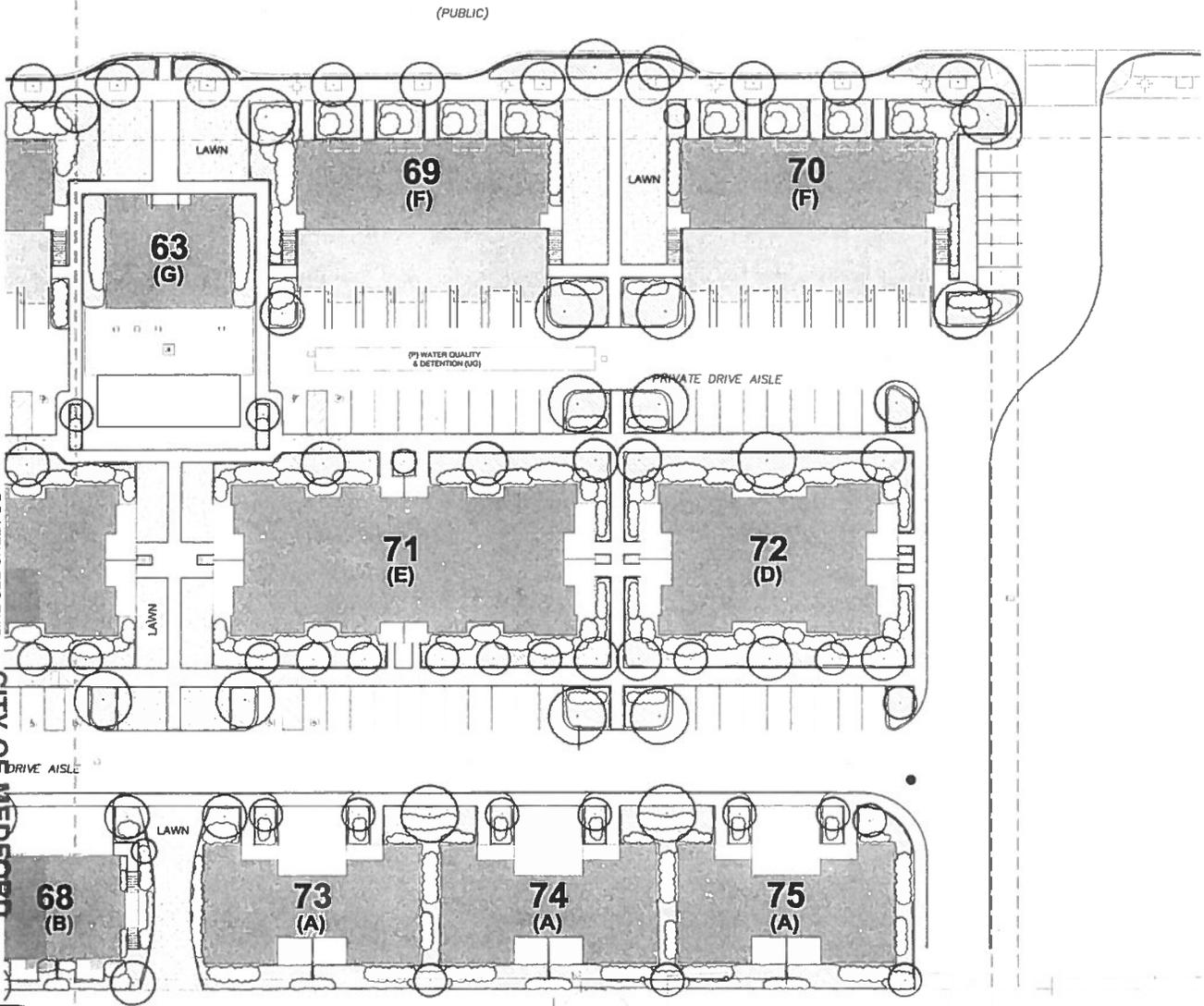
STEWART MEADOWS VILLAGE
 NEW DEVELOPMENT
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 115 STEWART AVE # 202,

REVISIONS

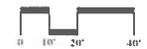
CONCEPT PLANTING PLAN - SOUTH

PROJECT 17-002
 ISSUE DATE 05-16-17
 SHEET

L-3



CONCEPT PLANTING PLAN - SOUTH ①
 1" = 20' @ 24" x 36"



Page 39

CITY OF MEDFORD
 EXHIBIT # D (3 of 3)
 File # AC-17-066

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 "7/3/3"

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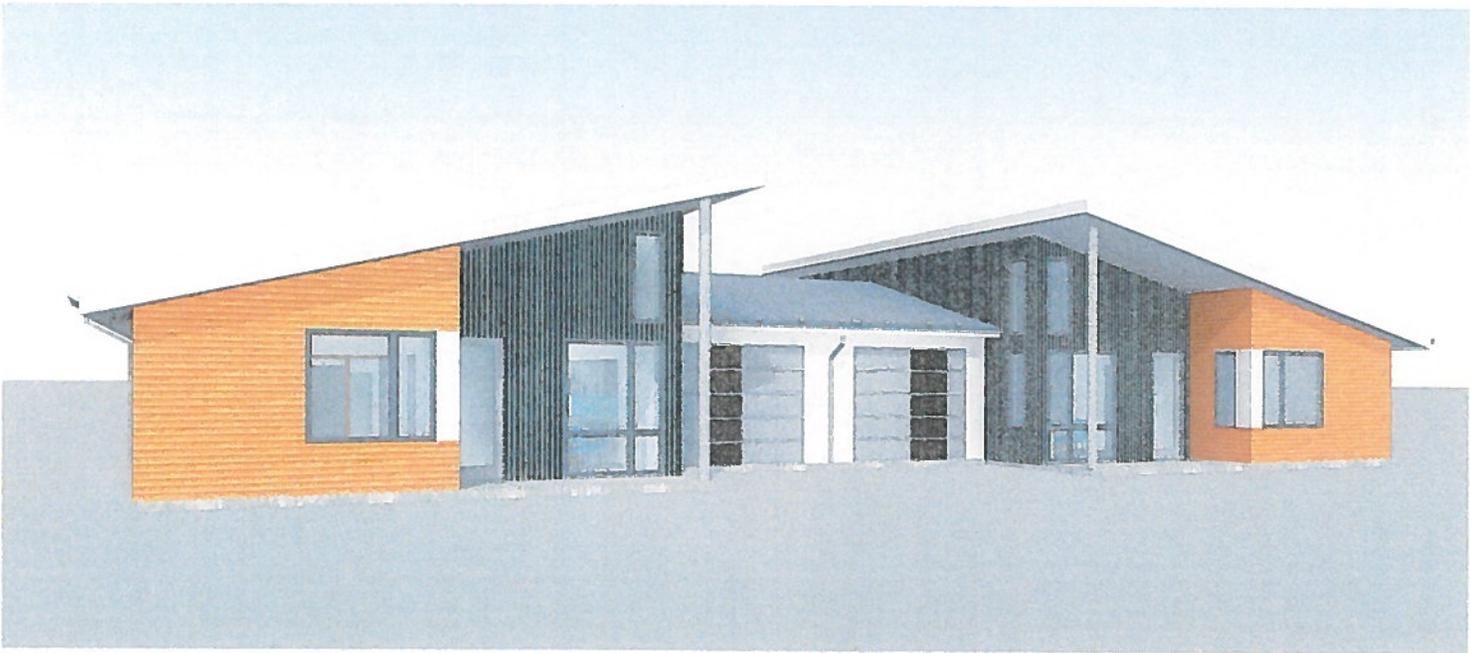
STEWART MEADOWS VILLAGE: BLDG A
KOGAP ENTERPRISES INC.



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STEWART MEADOWS VILLAGE: BLDG A

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PROJECT NO: 17-002
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CITY OF MEDFORD
EXHIBIT # E (1 of 5)
File # AC-17-066

APPLICANT'S
EXHIBIT
GA
1/5



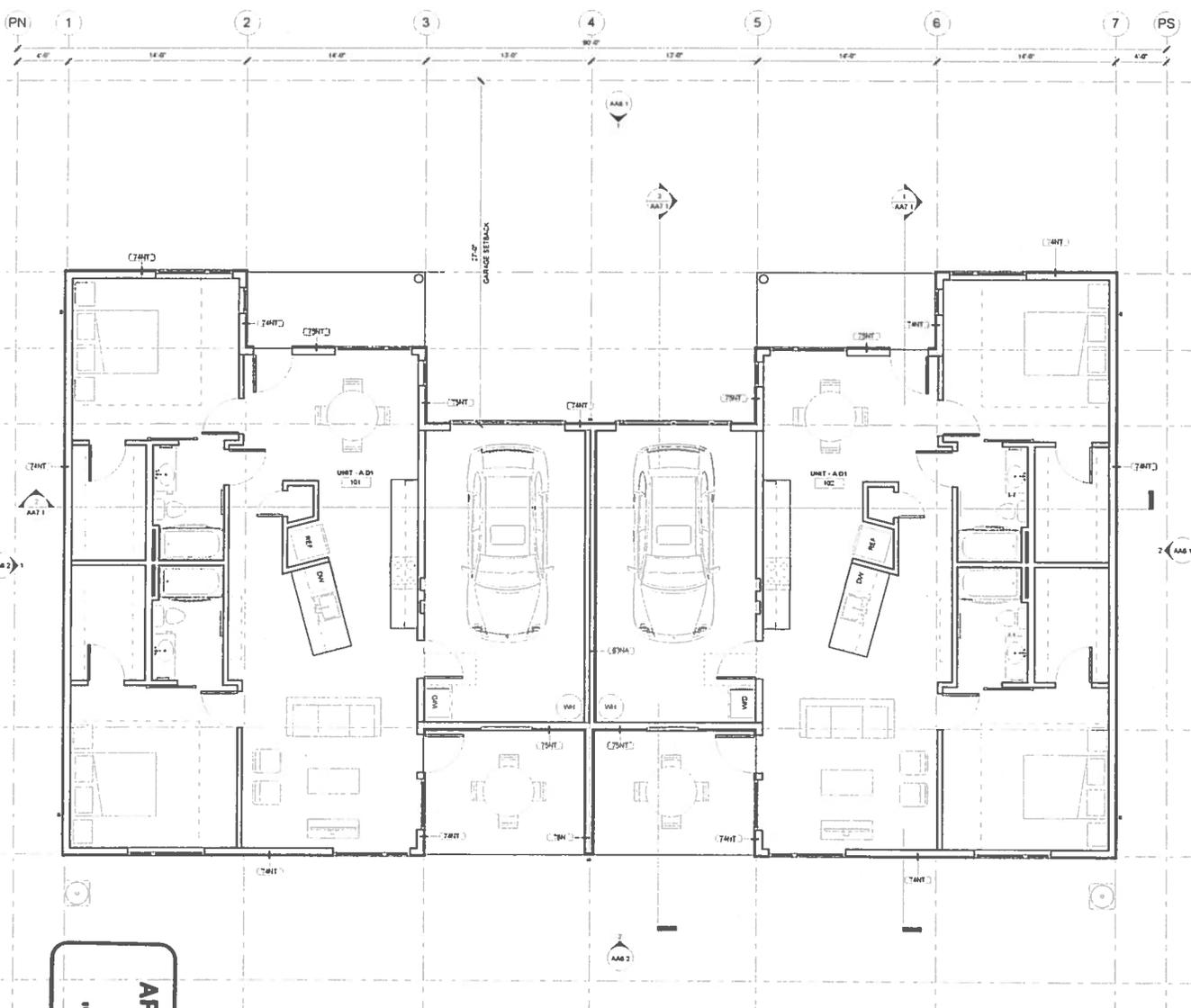
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GENERAL NOTES - FLOOR PLANS

- A. FLOOR PLAN KEYNOTES APPLY TO SHEETS A3 & A3.1. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.
- B. ARCHITECTURAL REFERENCE ELEVATION 100'-0" = 333.33' ON SURVEY AND CIVIL DOCUMENTS.
- C. SEE A1 & A1.1 FOR ASSEMBLIES AND DIMENSION SET POINTS.
- D. DIMS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT.
- E. REFERENCE SHEET AXLS FOR DETAILS OF TRANSITIONS BETWEEN FLOORING MATERIALS.
- F. FURNITURE, FIXTURES, AND EQUIPMENT SHOWN FOR REFERENCE ONLY.
- G. REFERENCE SHEET AXLS FOR ROOM FINISH INFORMATION.
- H. CLEAR DISTANCE AT HINGE SIDE OF ALL DOOR JAMBS ARE TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
- I. WINDOW OPENING DIMENSIONS SHOWN ARE TO THE ROUGH OPENING. REFER TO SPECIFIC DETAILS FOR REQUIRED CLEARANCES FROM THE ROUGH OPENING TO THE WINDOW UNIT.

KEYNOTES - FLOOR PLANS



PLAN - LEVEL 1
1/4" = 1'-0" (1) ⊕

APPLICANT'S
EXHIBIT
"CA 2/5"

CITY OF MEDFORD
EXHIBIT # E 12055
File # AC-17-066

STEWART MEADOWS VILLAGE: BLDG A

KOGAP ENTERPRISES INC.
115 STEWART AVE MEDFORD #202, OR 97501

PLAN - LEVEL 1
PROJECT NO: 17-032
ISSUE DATE: 05 18 2017
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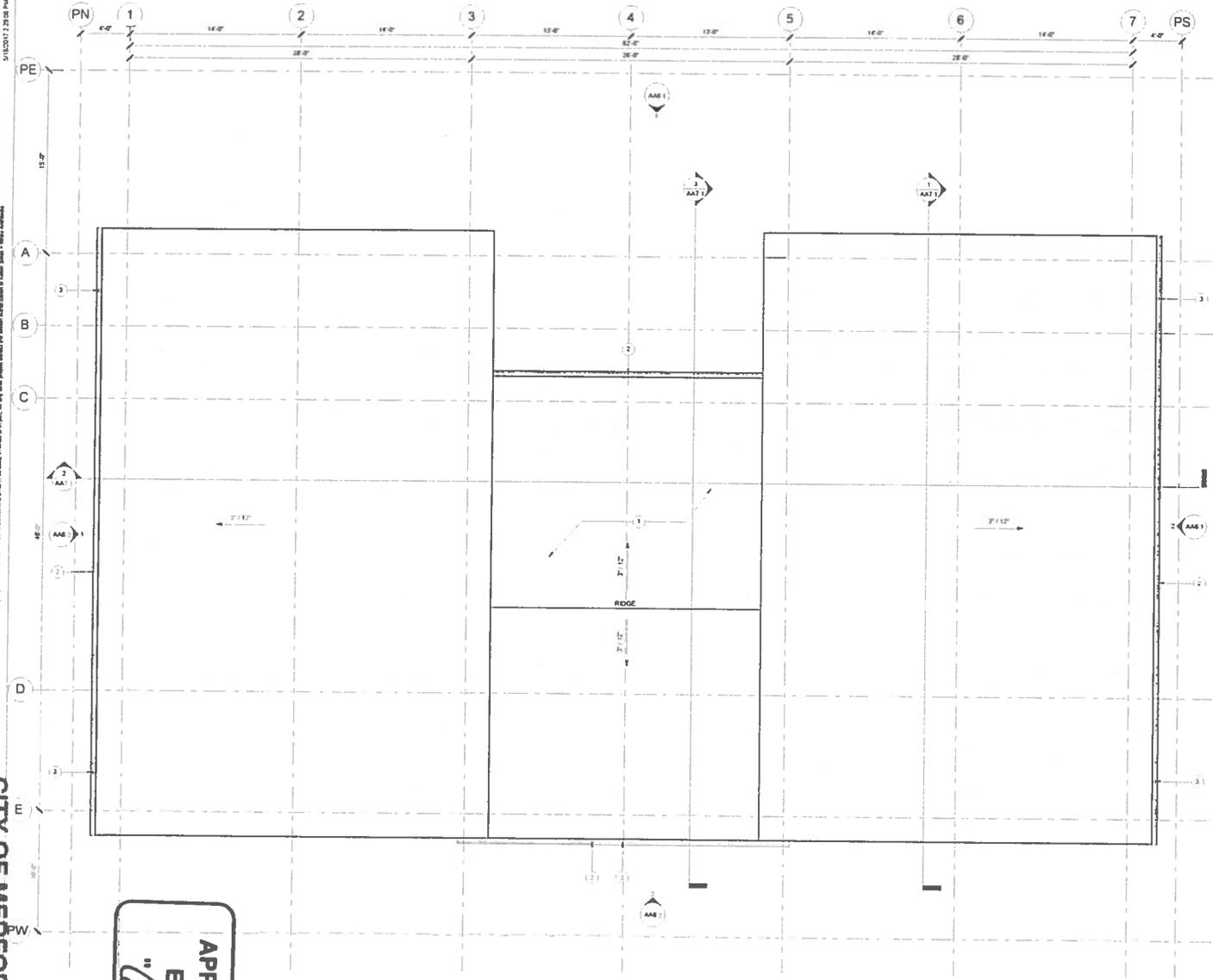
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GENERAL NOTES - ROOF PLAN

- A ROOF PLAN KEYNOTES APPLY TO SHEETS AS X. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B ARCHITECTURAL REFERENCE ELEVATION 107.4' = XXX A.X. ON SURVEY AND CIVIL DOCUMENTS
- C SEE A1 X FOR ASSEMBLIES
- D GRIDS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT.

KEYNOTES - ROOF PLAN

- 1 07 41 13 - STANDING SEAM METAL ROOF
- 2 07 62 00 - GUTTER
- 3 07 62 00 - DOWNSPOUT



PLAN - ROOF 1 1/4" = 1'-0"

STEWART MEADOWS VILLAGE: BLDG A

KOGAP ENTERPRISES INC.
115 STEWART AVE MEDFORD #202, OR 97501

REVISIONS

ROOF PLAN

PROJECT NO 17-002
ISSUE DATE 05 18 2017
SHEET

AA3.2

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File # AC-17-066

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STEWART MEADOWS VILLAGE; BLDG A

KOGAP ENTERPRISES INC.
115 STEWART AVE #202 MEDFORD, OR 97501

REVISIONS

EXTERIOR ELEVATIONS

PROJECT NO 17-002
ISSUE DATE 05 18 2017
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AA6.1

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GENERAL NOTES - EXT ELEVATIONS

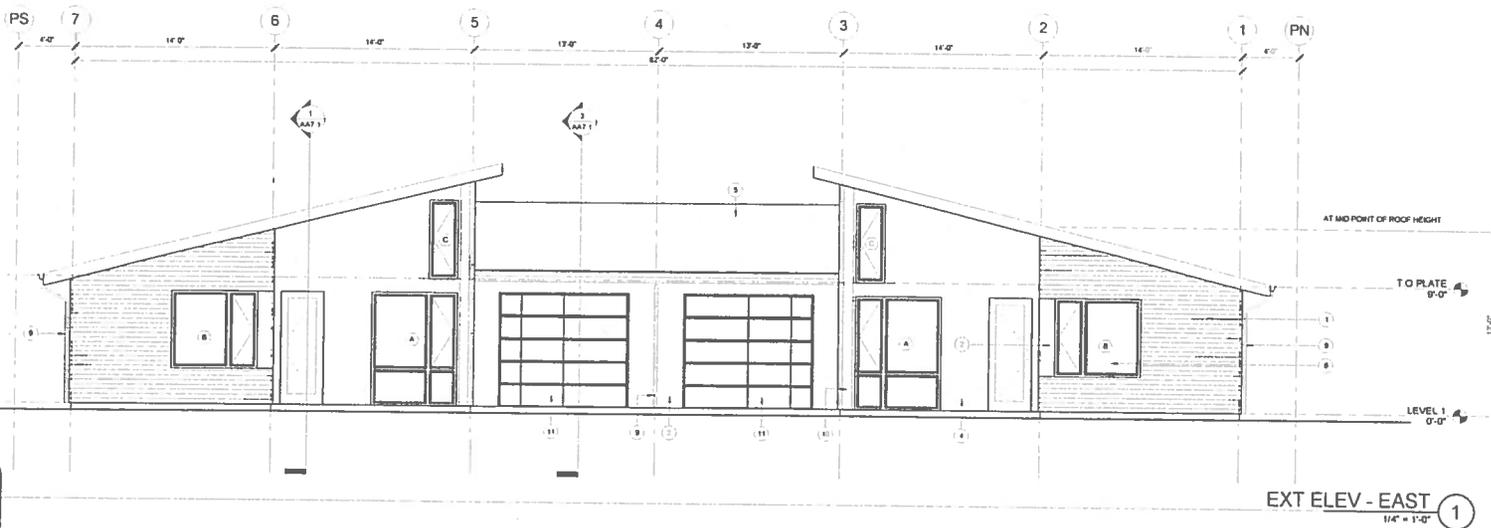
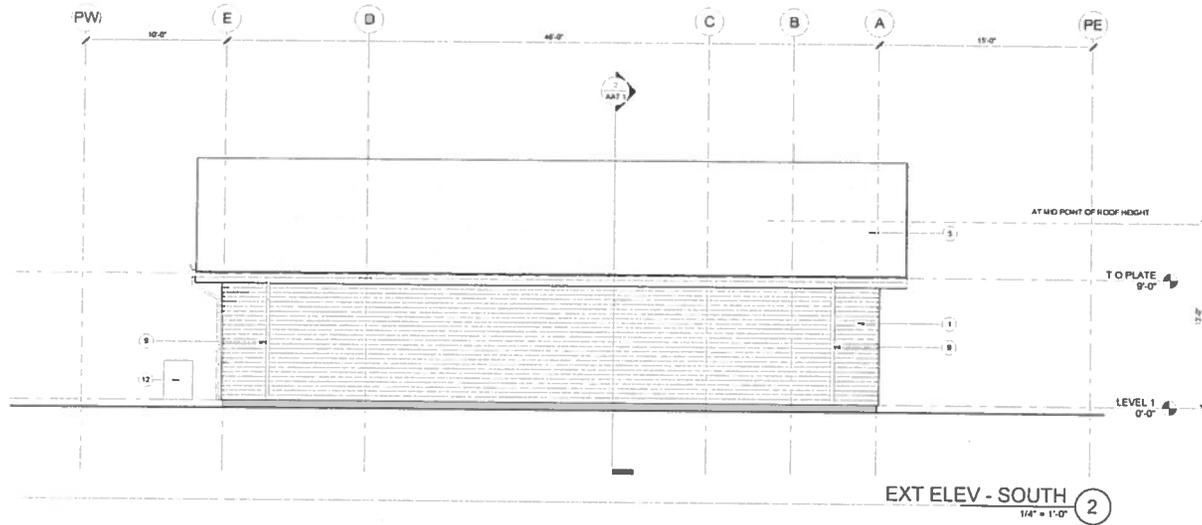
A. ELEVATION KEYNOTES APPLY TO SHEETS AA.3 - AA.6. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED

B. SEE A1 X FOR WALL ASSEMBLIES

C. GRIDS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT

KEYNOTES - EXTERIOR ELEVATIONS

- 1 07 48 AB - FIBER CEMENT LAP SIDING SMOOTH SURFACE W/ C TO WEATHER
- 2 07 46 46 - FIBER CEMENT PANEL SIDING SMOOTH SURFACE
- 4 07 42 13 - CORRUGATED METAL WALL PANELS
- 5 07 41 13 - STANDING SEAM METAL ROOF PANELS
- 8 08 53 00 - VINYL WINDOWS
- 9 07 62 00 - DOWNPOUT
- 10 05 50 00 - STEEL COLUMN
- 11 08 38 13 - SECTIONAL GARAGE DOOR
- 12 23 00 00 - AIR CONDITIONING UNIT



CITY OF MEDFORD
EXHIBIT # E (4 of 5)
File # AC-17-066

APPLICANT'S
EXHIBIT
"04" "4"
/5

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GENERAL NOTES - EXT ELEVATIONS

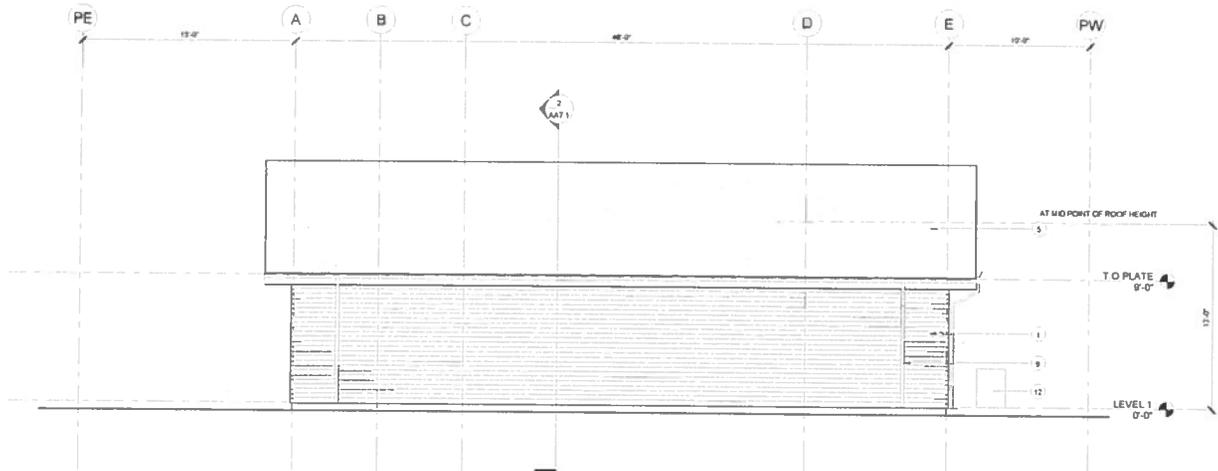
A ELEVATION KEYNOTES APPLY TO SHEETS AS R. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED

B SIDE A1 X FOR WALL ASSEMBLIES

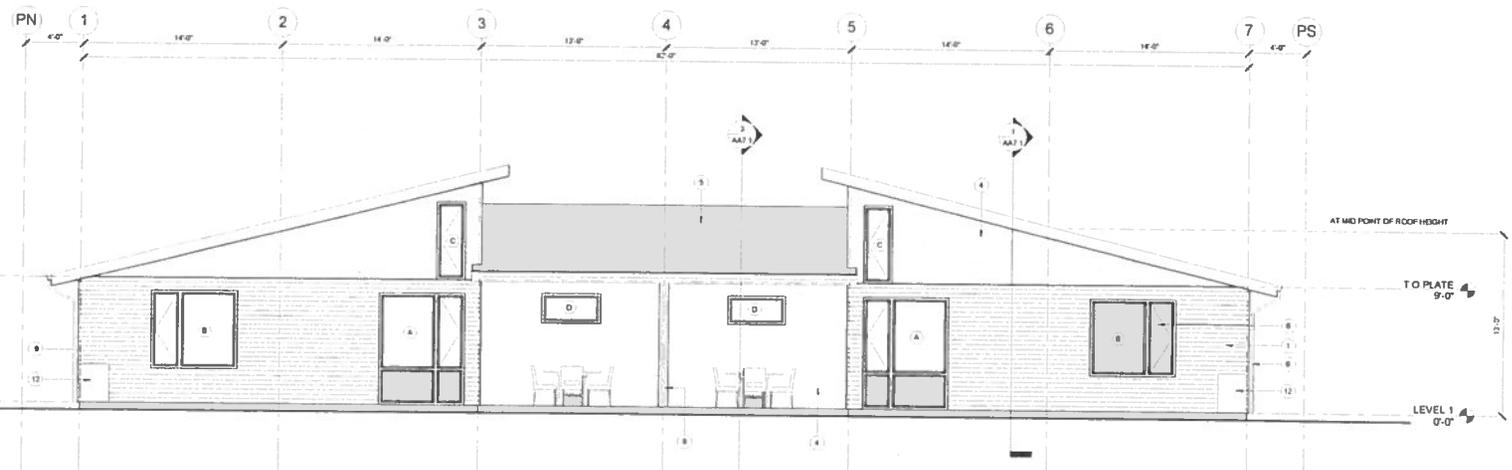
C GRIDB ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT

KEYNOTES - EXTERIOR ELEVATIONS

- 1 07 48 48 - FIBER CEMENT LAP SIDING, SMOOTH SURFACE W/ 4" TO WEATHER
- 2 07 48 48 - FIBER CEMENT PANEL SIDING, SMOOTH SURFACE
- 4 07 42 13 - CORRUGATED METAL WALL PANELS
- 5 07 41 13 - SHANDING SEAM METAL ROOF PANELS
- 8 08 31 00 - VINYL WINDOW
- 9 07 82 00 - DOWNSPOUT
- 10 03 05 00 - STEEL COLUMN
- 11 08 38 13 - SECTIONAL GARAGE DOOR
- 12 23 00 00 - AIR CONDITIONING UNIT



EXT ELEV - NORTH ①
1/4" = 1'-0"



EXT ELEV - WEST ②
1/4" = 1'-0"

STEWART MEADOWS VILLAGE: BLDG A

REVISIONS

KOGAP ENTERPRISES INC
115 STEWART AVE #202 MEDFORD, OR 97501

EXTERIOR ELEVATIONS

PROJECT NO 17-002
ISSUE DATE 05 16 2017
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AA6.2

CITY OF MEDFORD

EXHIBIT # _____

File # AC-17-066

17

CITY OF MEDFORD
EXHIBIT # 5 of 5
File # AC-17-066

APPLICANTS
EXHIBIT #
"OA" 5/5

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STEWART MEADOWS VILLAGE: BLDG B

KOGAP ENTERPRISES INC.



STEWART MEADOWS VILLAGE
BLDG B
115 STEWART AVE
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STEWART MEADOWS VILLAGE: BLDG B
KOGAP ENTERPRISES, INC
115 STEWART AVE #202 MEDFORD, OR 97501

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PROJECT NO: 17-066
PROG DATE: 05-18-2017
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Page 45

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APPLICANT'S
EXHIBIT
"GB" 1/16

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ISSUANCE OF A PERMIT

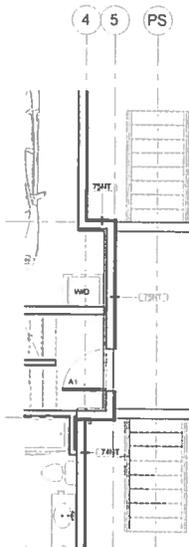
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GENERAL NOTES - FLOOR PLANS

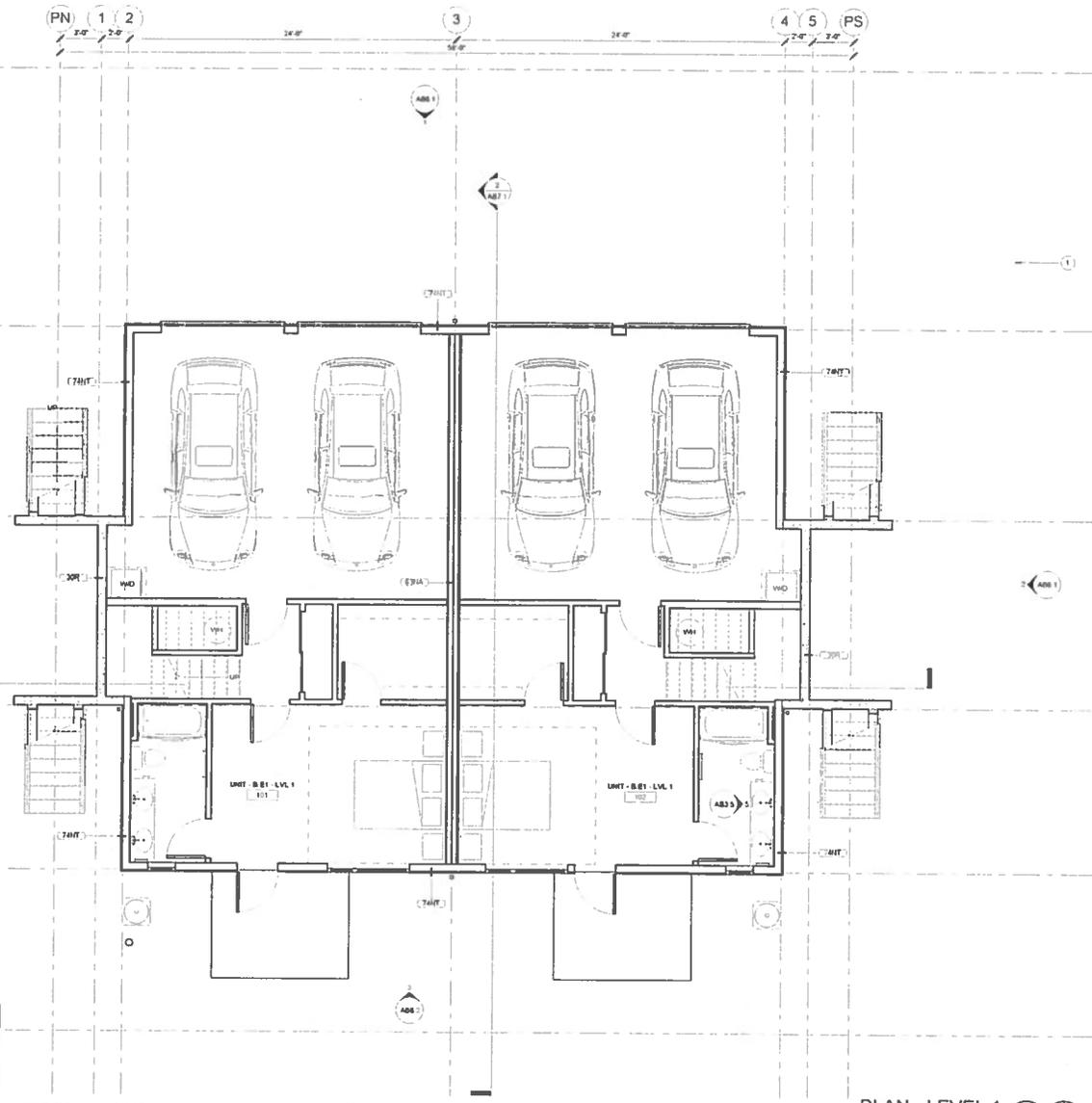
- A. FLOOR PLAN KEYNOTES APPLY TO SHEETS A3.1 - A3.3. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.
- B. ARCHITECTURAL REFERENCE ELEVATION 100'-0" = ASX 2X ON SURVEY AND CIVIL DOCUMENTS.
- C. SEE A1.3 FOR ASSURANCES AND DIMENSION SET POINTS.
- D. CHECKS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT.
- E. REFERENCE SHEET A3.1 FOR DETAILS OF TRANSITIONS BETWEEN FLOORING MATERIALS.
- F. FURNITURE, FIXTURES, AND EQUIPMENT SHOWN FOR REFERENCE ONLY.
- G. REFERENCE SHEET A3.1 FOR ROOM FINISH INFORMATION.
- H. CLEAR DISTANCE AT INSIDE SIDE OF ALL DOOR JAMBS ARE TO BE 4" FROM ADJOINING WALL, UNLESS NOTED OTHERWISE.
- I. WINDOW OPENING DIMENSIONS SHOWN ARE TO THE ROUGH OPENING. REFER TO SPECIFIC DETAILS FOR REQUIRED CLEARANCES FROM THE ROUGH OPENING TO THE WINDOW UNIT.

KEYNOTES - FLOOR PLANS

- 1. ALIGH



PLAN - LANDING 2
1/4" = 1'-0"



PLAN - LEVEL 1 1
1/4" = 1'-0"

STEWART MEADOWS VILLAGE - BLDG B

KOGAP ENTERPRISES INC
115 STEWART AVE #202 MEDFORD, OR 97501

REVISIONS

PLAN - LEVEL 1

PROJECT NO 17-002
ISSUE DATE 05 18 2017
SHEET

AB3.1

CITY OF MEDFORD
EXHIBIT #
File # AC-17-066

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APPLICANTS
EXHIBIT # 2/c

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EXHIBIT # F (256)

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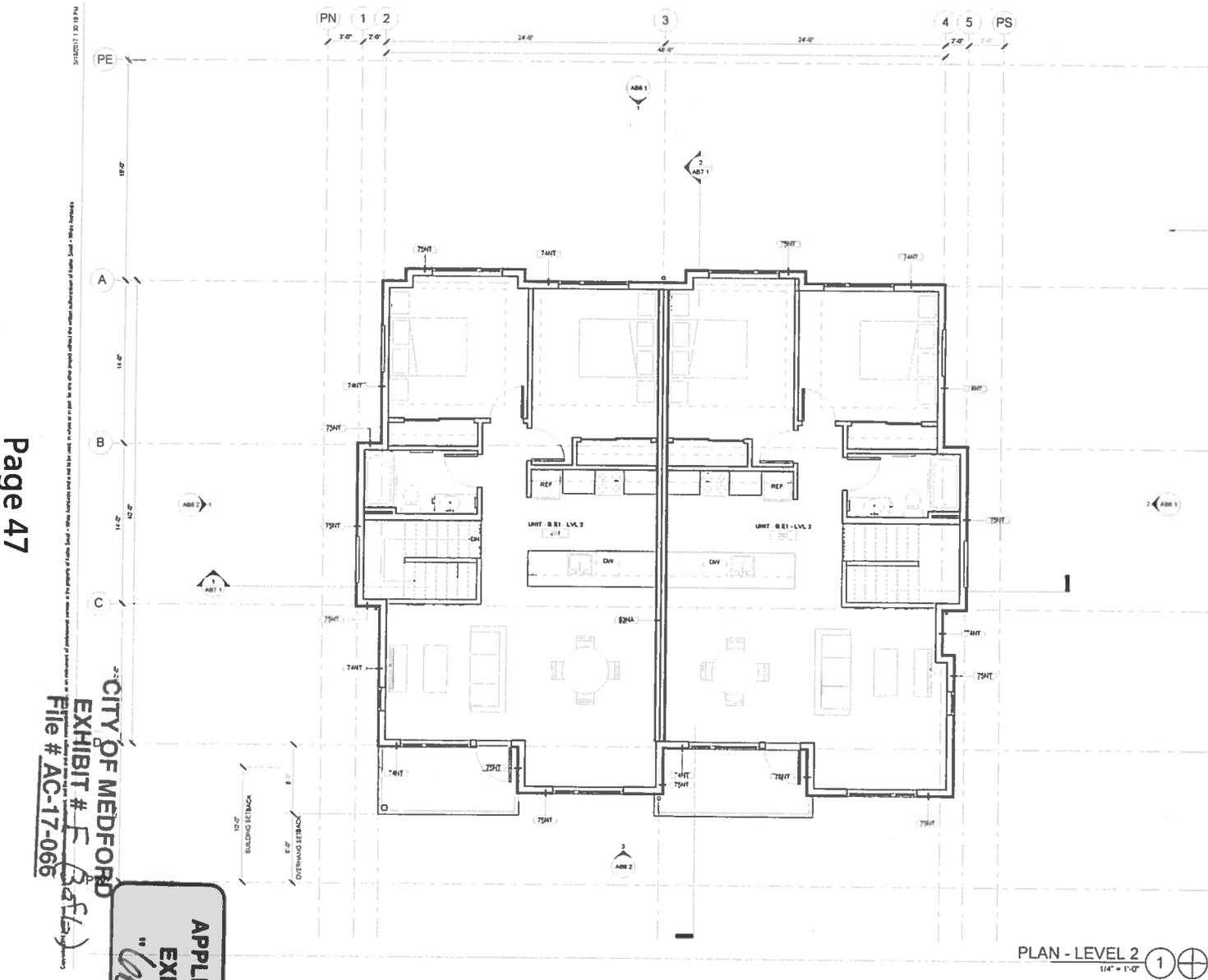
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GENERAL NOTES - FLOOR PLANS

- A FLOOR PLAN KEYNOTES APPLY TO SHEETS AS X. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEET'S EXCEPT THOSE NOTED.
- B ARCHITECTURAL REFERENCE ELEVATION 100'-0" = 333.33' ON SURVEY AND CIVIL DOCUMENTS.
- C SEE A1 X FOR ASSEMBLIES AND DIMENSION SET POINTS.
- D DIMS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT.
- E REFERENCE SHEET AX1X FOR DETAILS OF TRANSITIONS BETWEEN FLOORING MATERIALS.
- F FURNITURE, FIXTURES AND EQUIPMENT SHOWN FOR REFERENCE ONLY.
- G REFERENCE SHEET AX1X FOR ROOM FINISH INFORMATION.
- H CLEAR DISTANCE AT HINGE SIDE OF ALL DOOR JAMBS ARE TO BE 4" FROM ADJOINING WALL UNLESS NOTED OTHERWISE.
- I WINDOW OPENING DIMENSIONS SHOWN ARE TO THE ROUGH OPENING REFER TO SPECIFIC DETAIL FOR REQUIRED CLEARANCES FROM THE ROUGH OPENING TO THE WINDOW UNIT.

KEYNOTES - FLOOR PLANS

- 1 ALIGN



PLAN - LEVEL 2
1/4" = 1'-0"

STEWART MEADOWS VILLAGE: BLDG B
KOCAP ENTERPRISES INC.
115 STEWART AVE #202 MEDFORD OR 97501

PLAN - LEVEL 2

PROJECT NO 17-002
ISSUE DATE 05 18 2017
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AB3.2

CITY OF MEDFORD
EXHIBIT #
File # AC-17-066

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CITY OF MEDFORD
EXHIBIT # 5
File # AC-17-066

APPLICANT'S
EXHIBIT 3/6
[Signature]

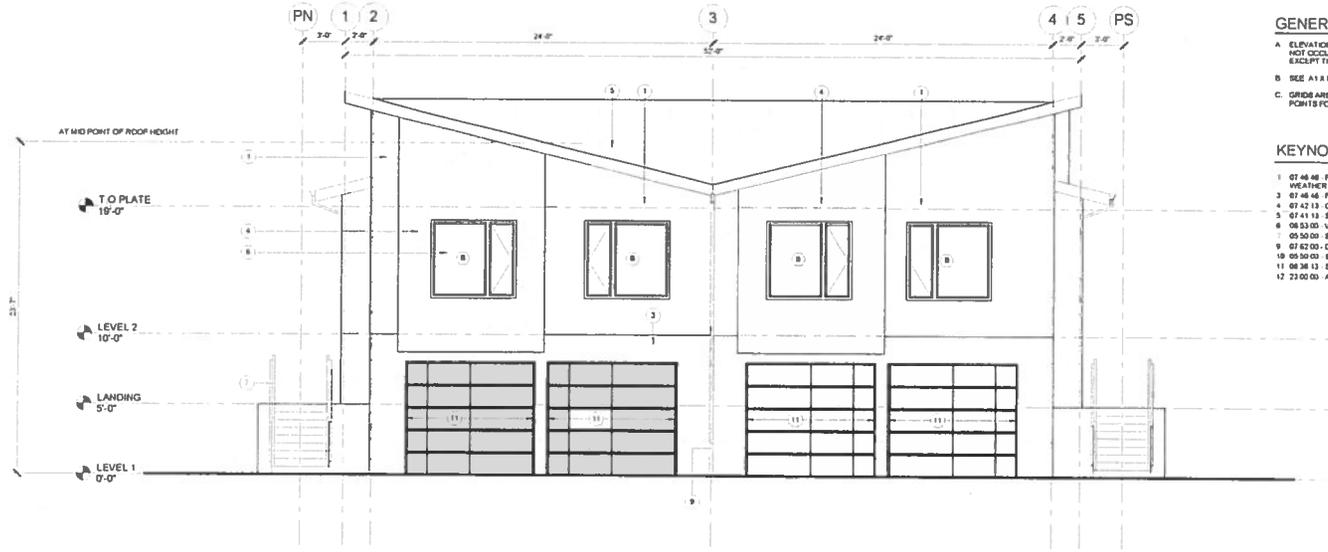
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GENERAL NOTES - EXT ELEVATIONS

- A. ELEVATION KEYNOTES APPLY TO SHEETS AS X / AS X. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B. SEE A11 A FOR WALL ASSEMBLIES
- C. GRIDS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT

KEYNOTES - EXTERIOR ELEVATIONS

- 1 07 48 48 FIBER CEMENT LAP SIDING, SMOOTH SURFACE W/ 4" TD WEATHER
- 3 07 48 48 FIBER CEMENT BELLY BAND
- 4 07 42 13 CORRUGATED METAL WALL PANELS
- 5 07 41 13 STANDING BEAM METAL ROOF PANELS
- 6 08 03 00 VINYL WINDOWS
- 8 05 50 00 STEEL GUARDRAIL WITH EXPANDED METAL PANELS
- 9 07 02 00 DOWNROPE
- 10 05 50 00 STEEL COLUMN
- 11 08 38 13 SECTIONAL GARAGE DOOR
- 12 23 00 00 AIR CONDITIONING UNIT



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STEWART MEADOWS VILLAGE: BLDG B

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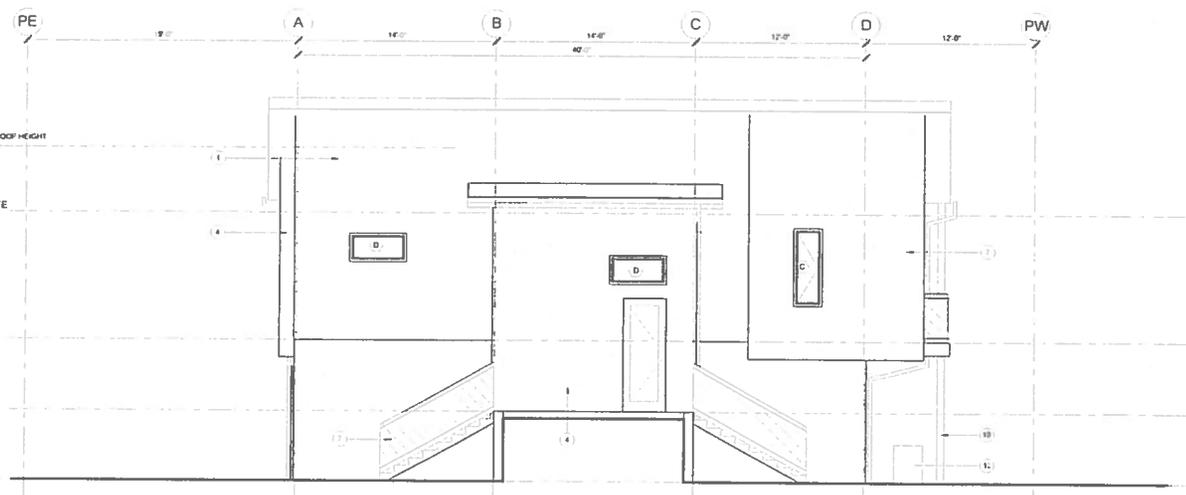
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EXTERIOR ELEVATIONS

PROJECT NO 17-002
ISSUE DATE 05 18 2017
SHEET

AB6.1

EXT ELEV - EAST 1
1/4" = 1'-0"



EXT ELEV - SOUTH 2
1/4" = 1'-0"

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GENERAL NOTES - EXT ELEVATIONS

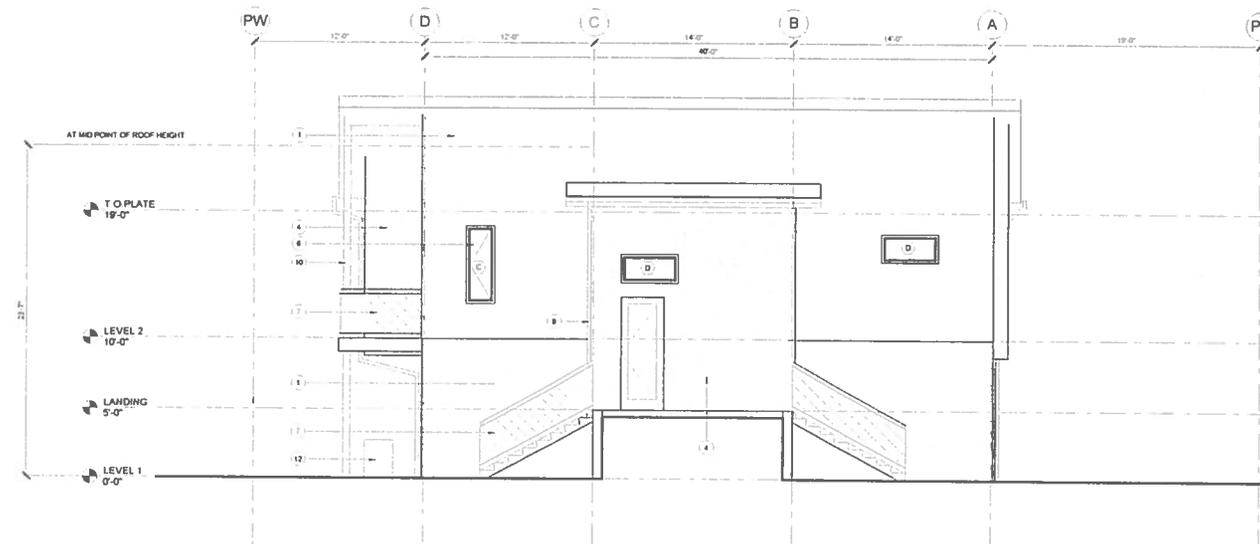
- A. ELEVATION KEYNOTES APPLY TO SHEETS AB 6.1 - AB 6.4. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B. SEE A1.4 FOR WALL ASSEMBLIES
- C. GRIDS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT

KEYNOTES - EXTERIOR ELEVATIONS

- 1 07 48 48 - FIBER CEMENT LAP SIDING, SMOOTH SURFACE W/ 4" TO WEATHER
- 3 07 45 48 - FIBER CEMENT BELLY BAND
- 4 07 42 13 - CORRUGATED METAL WALL PANELS
- 5 07 41 13 - STANDARD BEAM METAL ROOF PANELS
- 8 06 53 00 - VINYL WRINDOCS
- 7 05 50 00 - STEEL QUADRIFUR, WITH EXPANDED METAL PANELS
- 8 07 62 00 - DOWNPOUT
- 10 02 50 00 - STEEL COLUMNS
- 11 06 38 13 - SECTIONAL GARAGE DOOR
- 12 23 00 00 - AIR CONDITIONING UNIT



EXT ELEV - WEST 3
1/4" = 1'-0"



EXT ELEV - NORTH 1
1/4" = 1'-0"

STEWART MEADOWS VILLAGE: BLDG B

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EXTERIOR ELEVATIONS

PROJECT NO. 17-022
ISSUE DATE: 05 18 2017
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AB6.2

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EXHIBIT #

File # AC-17-066

73

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EXHIBIT # 5 (6 of 6)
File # AC-17-066

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PROJECT NO: 17-002
ISSUE DATE: 01/18/2017
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EXHIBIT
"GC" 1/4

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EXHIBIT #
File # AC-17-066

GENERAL NOTES - ROOF PLAN

- A. ROOF PLAN KEYNOTES APPLY TO SHEETS A1 X. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B. ARCHITECTURAL REFERENCE ELEVATION 100'-0" = ASS. X/F ON SURVEY AND CIVIL DOCUMENTS
- C. SEE A1 X FOR ASSEMBLIES
- D. GRIDS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT

KEYNOTES - ROOF PLAN

- 1 07 41 12 STANDING SEAM METAL ROOF
- 2 07 62 00 GUTTER
- 3 07 62 00 DOWNSPOUT



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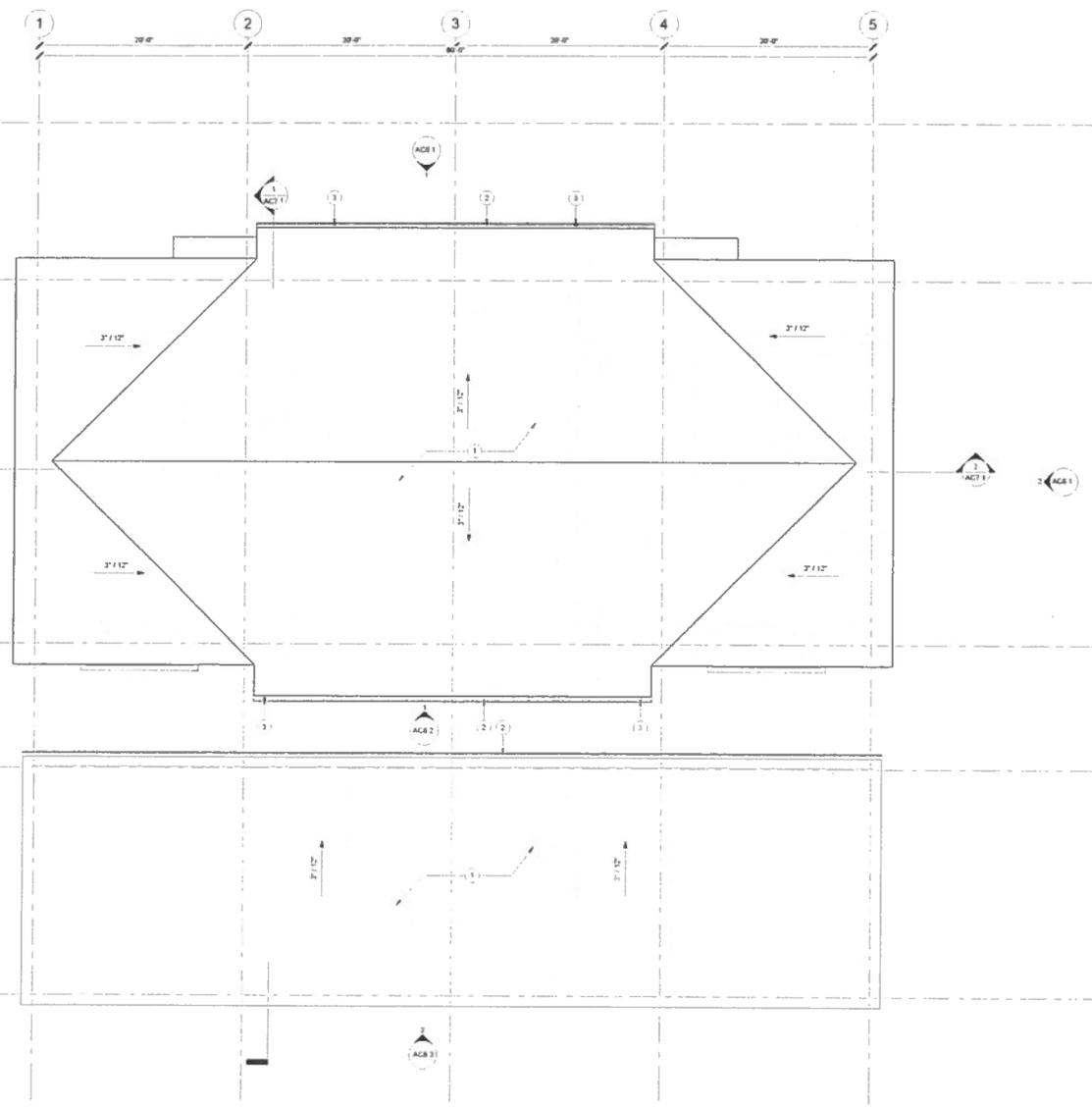
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ROOF PLAN

PROJECT NO. 17-002
 ISSUE DATE 09/18/2017
 SHEET

AC3.3

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PLAN - ROOF
 3/16" = 1'-0" 1 ⊕

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File # AC-17-066

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 "66C" #47

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GENERAL NOTES - EXT ELEVATIONS

- A. ELEVATION KEYNOTES APPLY TO SHEETS AS R. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B. SEE A13 FOR WALL ASSEMBLIES
- C. GRID# ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT

KEYNOTES - EXTERIOR ELEVATIONS

- 1 07 48 48 FIBER CEMENT LAP SIDING SMOOTH SURFACE w/ F TO WEATHER
- 2 07 48 48 FIBER CEMENT PANEL SIDING SMOOTH SURFACE
- 3 07 48 48 FIBER CEMENT BELLY BAND
- 4 07 42 13 CORRUGATED METAL WALL PANELS
- 5 07 41 13 BEAMING BEAM METAL ROOF PANELS
- 6 06 53 03 VINYL WINDOWS
- 9 07 82 03 DOWNSPOUT
- 11 06 38 13 SECTIONAL GARAGE DOOR
- 12 23 00 03 AIR CONDITIONING UNIT



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KOGAP ENTERPRISES INC
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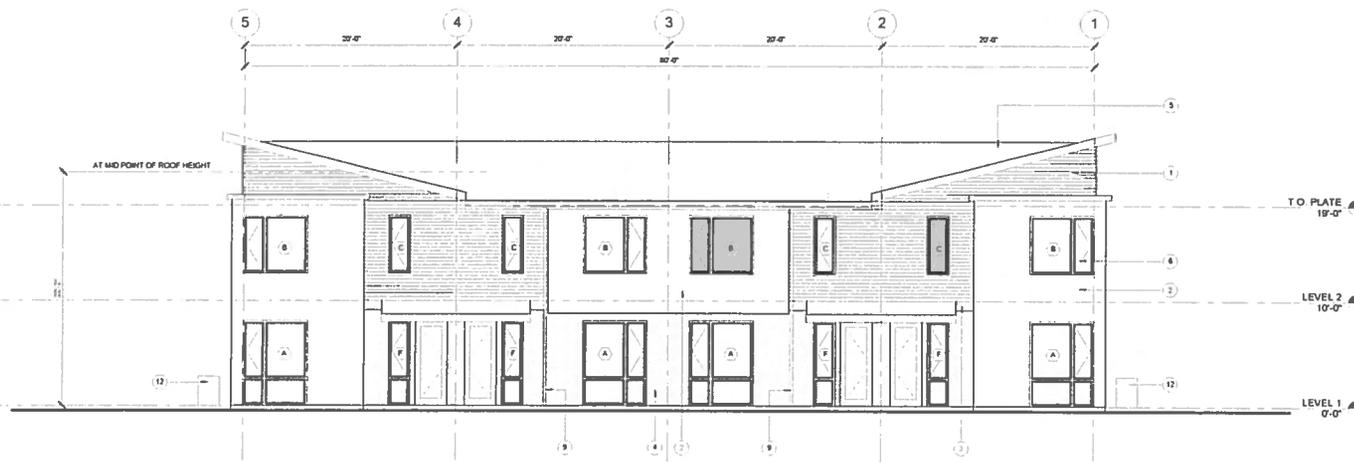
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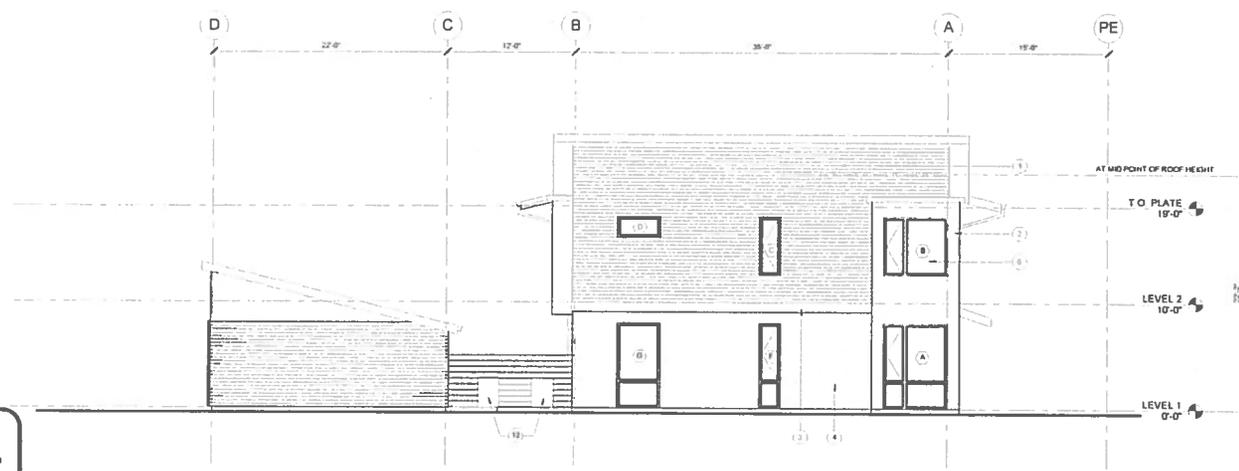
AC6.1

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EXHIBIT #
File # AC-17-066

28



EXT ELEV - EAST
3/16" = 1'-0" 1



EXT ELEV - SOUTH
3/16" = 1'-0" 2

APPLICANTS
EXHIBIT
"AC" 5/4

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GENERAL NOTES - EXT ELEVATIONS

- A. ELEVATION KEYNOTES APPLY TO SHEETS A&K. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B. SEE A1 & FOR WALL ASSEMBLIES
- C. GRIDS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT.

KEYNOTES - EXTERIOR ELEVATIONS

- 1 07 48 48 - FIBER CEMENT LAP BOND, SMOOTH SURFACE W/ 4" TO WEATHER
- 2 07 48 48 - FIBER CEMENT PANEL, BOND, SMOOTH SURFACE
- 3 07 48 48 - FIBER CEMENT BELLY BAND
- 4 07 42 12 - CORRUGATED METAL WALL PANELS
- 5 07 41 13 - STANDING SEAM METAL ROOF PANELS
- 6 08 53 00 - VINYL WINDOWS
- 9 07 42 00 - DOWNSPOUT
- 11 06 38 13 - SECTIONAL GARAGE DOOR
- 12 23 00 00 - AIR CONDITIONING UNIT

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Small
white

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EXTERIOR ELEVATIONS

PROJECT NO: 17-002
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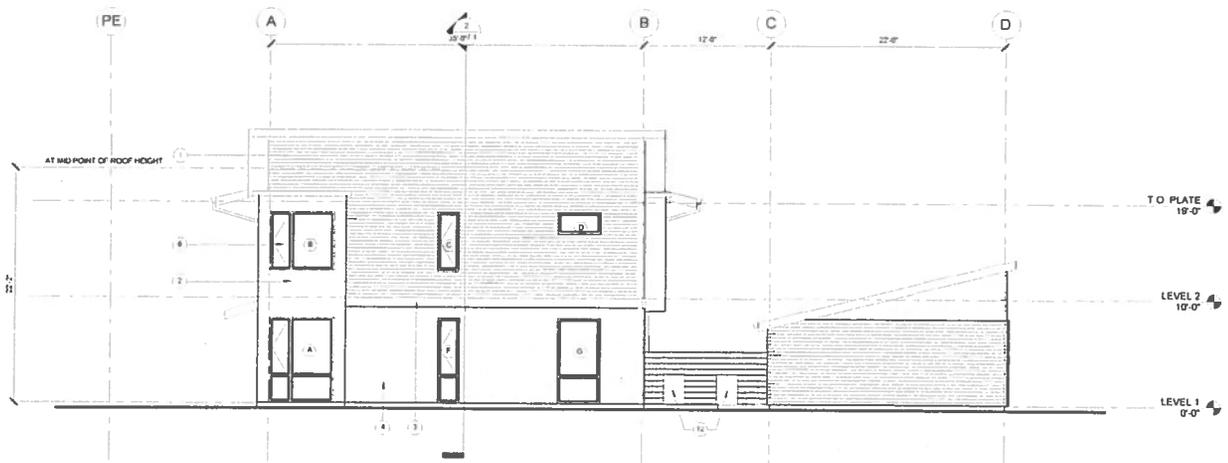
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EXHIBIT # _____
File # AC-17-066

29



EXT ELEV - WEST
3/16" = 1'-0" 1



EXT ELEV - NORTH
3/16" = 1'-0" 2

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CITY OF MEDFORD
EXHIBIT # 6 (5 OF 7)
File # AC-17-066

APPLICANTS
EXHIBIT
"AC 17"

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 Plot Scale: 3/16" = 1'-0"
 Plot Size: 11.00 x 17.00
 Plot Orientation: Landscape
 Plot Color: Black
 Plot Lineweight: 0.20
 Plot Linetype: Solid
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 Plot Font Color: Black
 Plot Font Size: 10
 Plot Font Weight: Normal
 Plot Font Style: Regular
 Plot Font Orientation: Horizontal
 Plot Font Angle: 0
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 Plot Font Size: 10
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 Plot Font Style: Regular
 Plot Font Orientation: Horizontal
 Plot Font Angle: 0

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small
white
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97102
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GENERAL NOTES - EXT ELEVATIONS

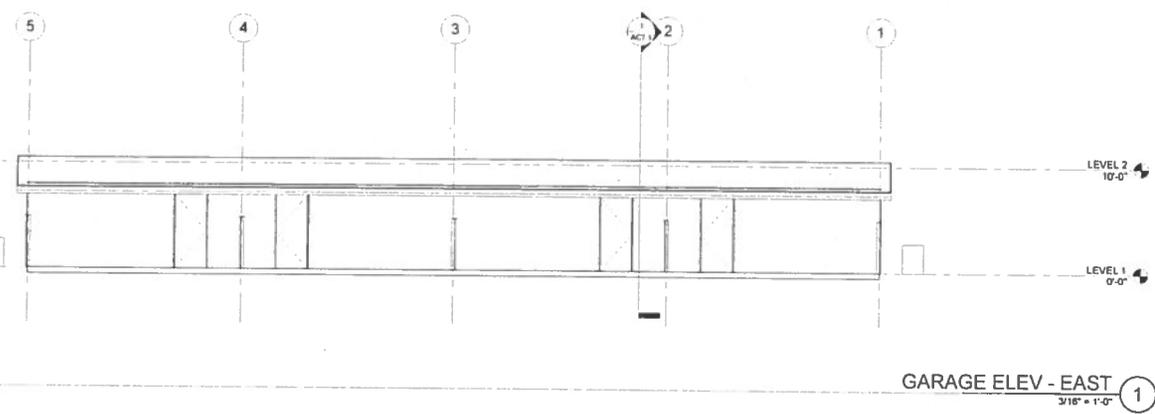
- A. ELEVATION NOTES APPLY TO SHEETS A6.2 - A6.6. ALL NOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B. SEE A1 X FOR WALL ASSEMBLIES
- C. GRID AND FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT

KEYNOTES - EXTERIOR ELEVATIONS

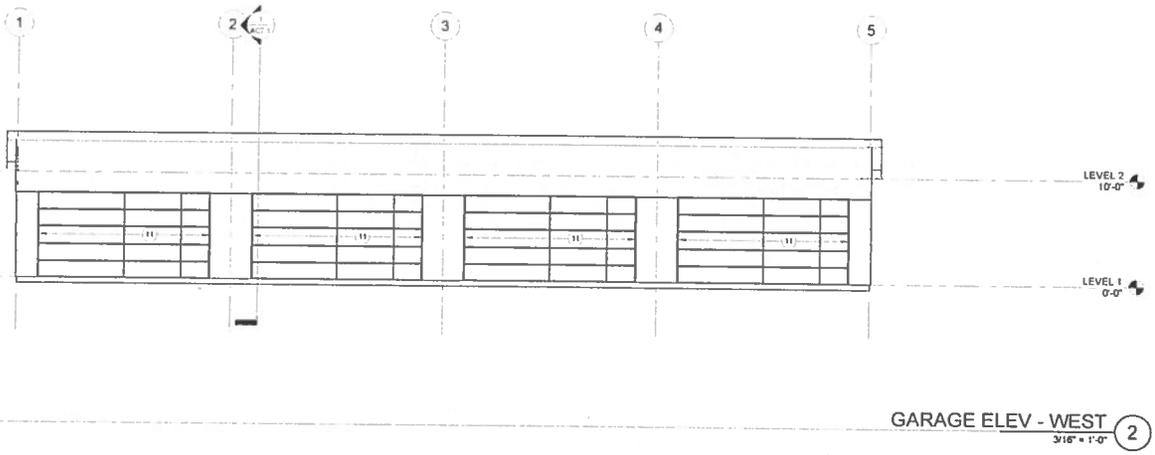
- 1 07 48 48 FIBER CEMENT LAP SIDING SMOOTH SURFACE W/ 4" TO WEATHER
- 2 07 48 48 FIBER CEMENT PANEL SIDING SMOOTH SURFACE
- 3 07 48 48 FIBER CEMENT BELLY BRAND
- 4 07 42 12 CORRUGATED METAL WALL PANELS
- 5 07 41 13 STANDING SEAM METAL ROOF PANELS
- 6 08 53 00 VINYL WINDOWS
- 9 07 42 00 DOWNSPOUT
- 11 08 38 13 SECTIONAL GARAGE DOOR
- 12 23 00 00 AIR CONDITIONING UNIT

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GARAGE ELEV - EAST ①
3/16" = 1'-0"



GARAGE ELEV - WEST ②
3/16" = 1'-0"

STEWART MEADOWS VILLAGE: BLDG C
KOGAP ENTERPRISES, INC.
115 STEWART AVE #202 MEDFORD, OR 97501

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EXTERIOR ELEVATIONS

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STEWART MEADOWS VILLAGE: BLDG D

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GENERAL NOTES - FLOOR PLANS

- A. FLOOR PLAN KEYNOTES APPLY TO SHEETS A3 & A3.2. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.
- B. ARCHITECTURAL REFERENCE ELEVATION 102'-0" = 328.33' ON SURVEY AND CIVIL DOCUMENTS.
- C. SEE A1.1 FOR ASSEMBLIES AND DIMENSION SET POINTS.
- D. ORDS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT.
- E. REFERENCE SHEET AXES FOR DETAILS OF TRANSITIONS BETWEEN FLOORING MATERIALS.
- F. FURNITURE, FIXTURES, AND EQUIPMENT SHOWN FOR REFERENCE ONLY.
- G. REFERENCE SHEET AXES FOR ROOM FINISH INFORMATION.
- H. CLEAR DISTANCE AT INSIDE SIDE OF ALL DOOR JAMBS ARE TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
- I. WINDOW OPENING DIMENSIONS SHOWN ARE TO THE ROUGH OPENING. REFER TO SPECIFIC DETAILS FOR REQUIRED CLEARANCES FROM THE ROUGH OPENING TO THE WINDOW UNIT.

KEYNOTES - FLOOR PLANS

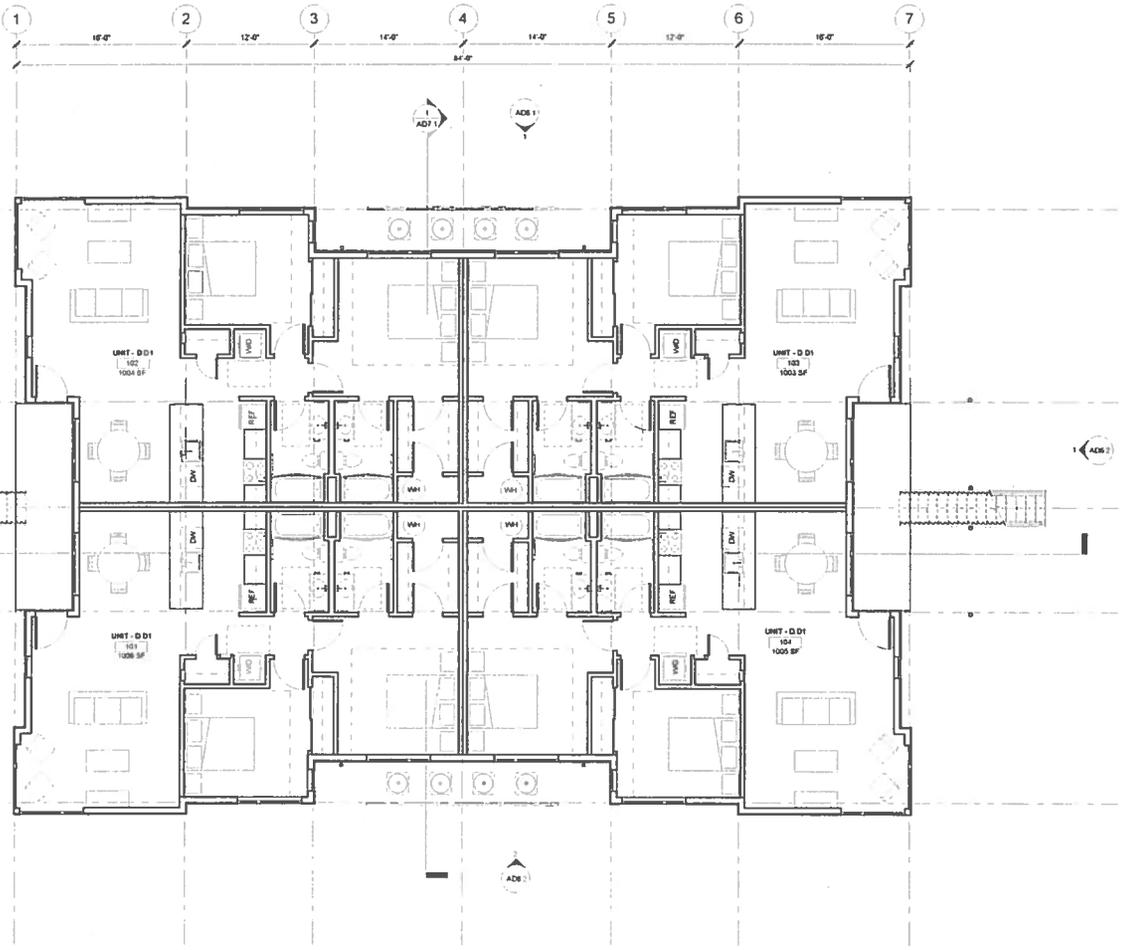


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PLAN - LEVEL 1
PROJECT NO: 17-003
ISSUE DATE: 05 18 2017
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AD3.1



PLAN - LEVEL 1
3/16" = 1'-0" 1

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EXHIBIT # *10D 2/16*

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GENERAL NOTES - FLOOR PLANS

- A FLOOR PLAN KEYNOTES APPLY TO SHEETS A3 X A3. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.
- B ARCHITECTURAL REFERENCE ELEVATION 107'-0" = 3243.3" ON SURVEY AND CIVIL DOCUMENTS.
- C SEE A1 X FOR ASSEMBLIES AND DIMENSION SET POINTS.
- D GRIDS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT!
- E REFERENCE SHEET AXXX FOR DETAILS OF TRANSITIONS BETWEEN FLOORING MATERIALS.
- F FURNITURE, FIXTURES, AND EQUIPMENT SHOWN FOR REFERENCE ONLY.
- G REFERENCE SHEET AXXX FOR ROOM FINISH INFORMATION.
- H CLEAR DISTANCE AT INHIBIT SIDE OF ALL DOOR JAMBS ARE TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
- I WINDOW OPENING DIMENSIONS SHOWN ARE TO THE ROUGH OPENING REFER TO SPECIFIC DETAILS FOR REQUIRED CLEARANCES FROM THE ROUGH OPENING TO THE WINDOW UNIT.

KEYNOTES - FLOOR PLANS

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STEWART MEADOWS VILLAGE: BLDG D

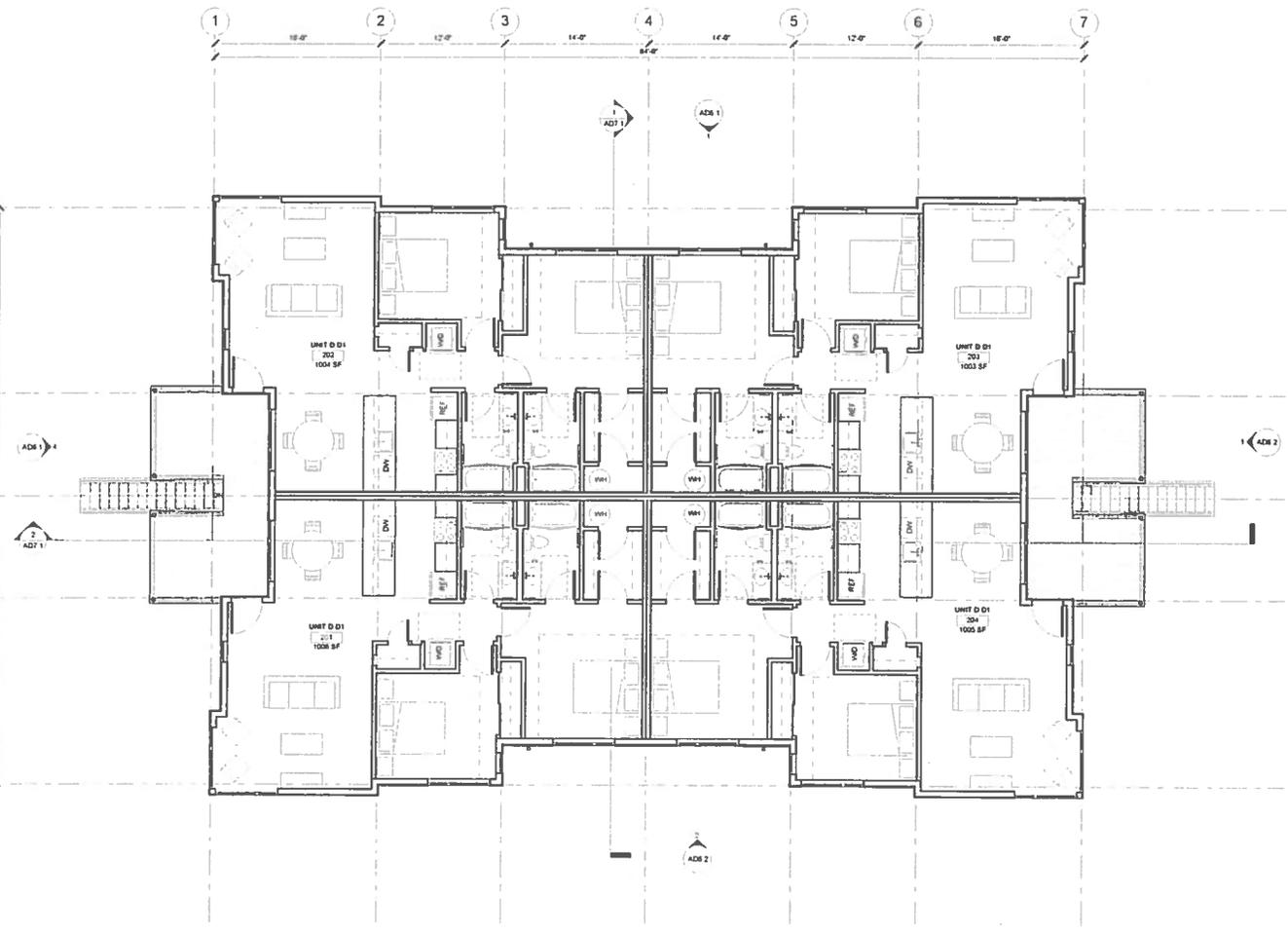
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PLAN - LEVEL 2

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SHEET:

AD3.2



PLAN - LEVEL 2
3/16" = 1'-0" 1 ⊕

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EXHIBIT # *3/6*

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GENERAL NOTES - ROOF PLAN

- A. ROOF PLAN KEYNOTES APPLY TO SHEETS A3 & ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.
- B. ARCHITECTURAL REFERENCE ELEVATION 107'-0" = 328.33' ON SURVEY AND CIVIL DOCUMENTS
- C. SEE A1 & FOR ASSEMBLIES
- D. GRID IS FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT

KEYNOTES - ROOF PLAN

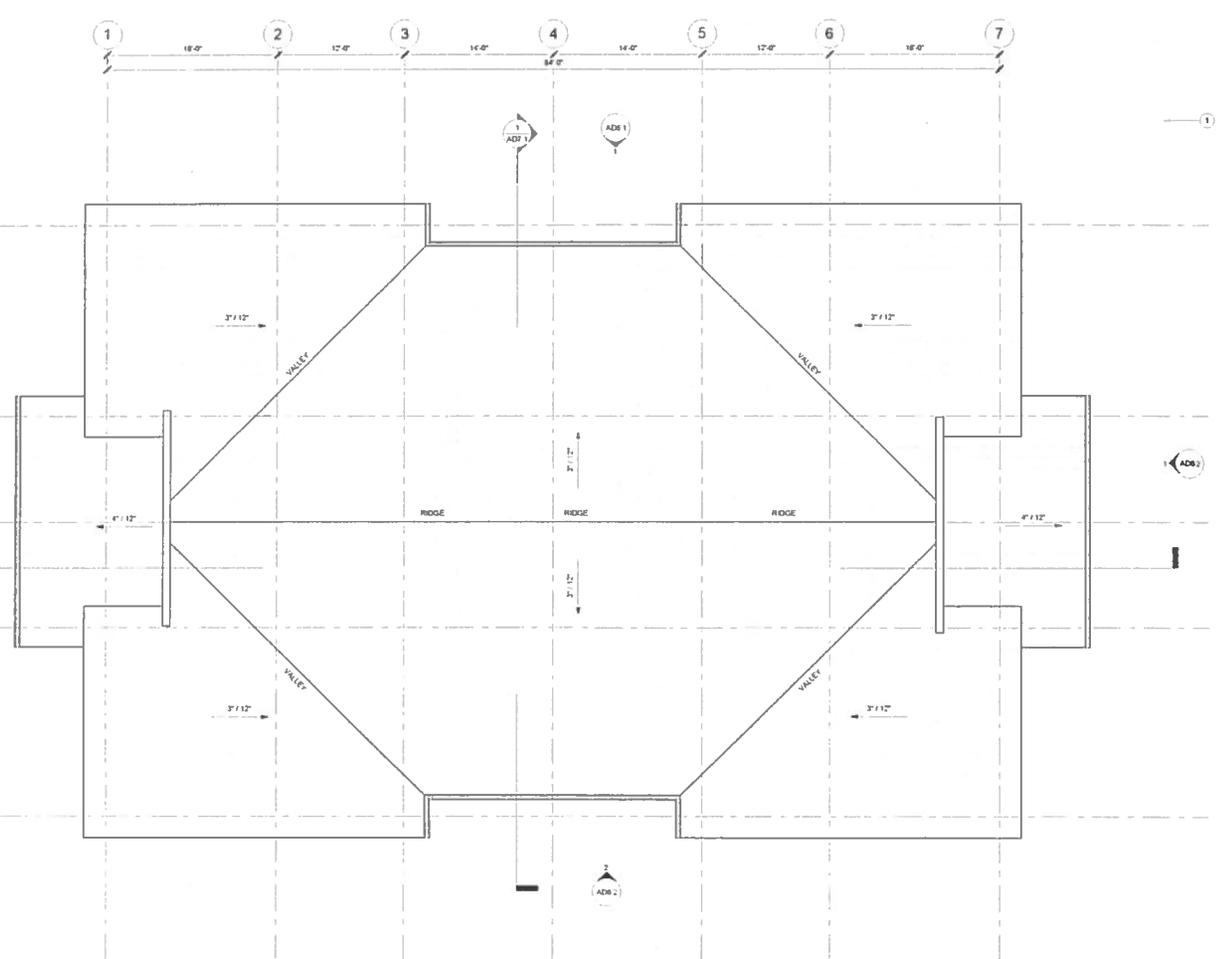
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ROOF PLAN
PROJECT NO: 17-002
ISSUE DATE: 05 18 2017
SHEET:
AD3.3



PLAN - ROOF 1/8" = 1'-0" 1

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EXHIBIT # 4/6
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EXHIBIT # 4/6
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GENERAL NOTES - EXT ELEVATIONS

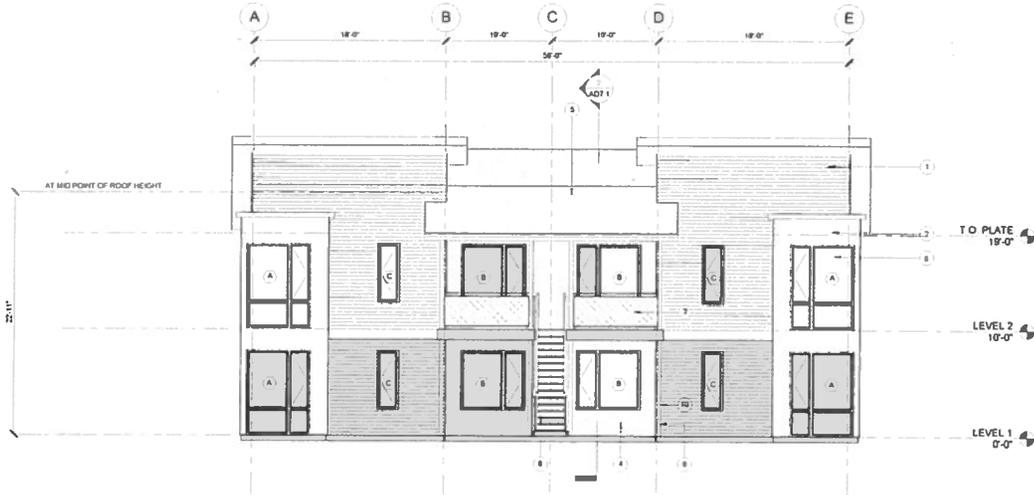
- A ELEVATION KEYNOTES APPLY TO SHEETS A8 X, AS X. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B SEE A1 X FOR WALL ASSEMBLIES
- C GRID# ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT

KEYNOTES - EXTERIOR ELEVATIONS

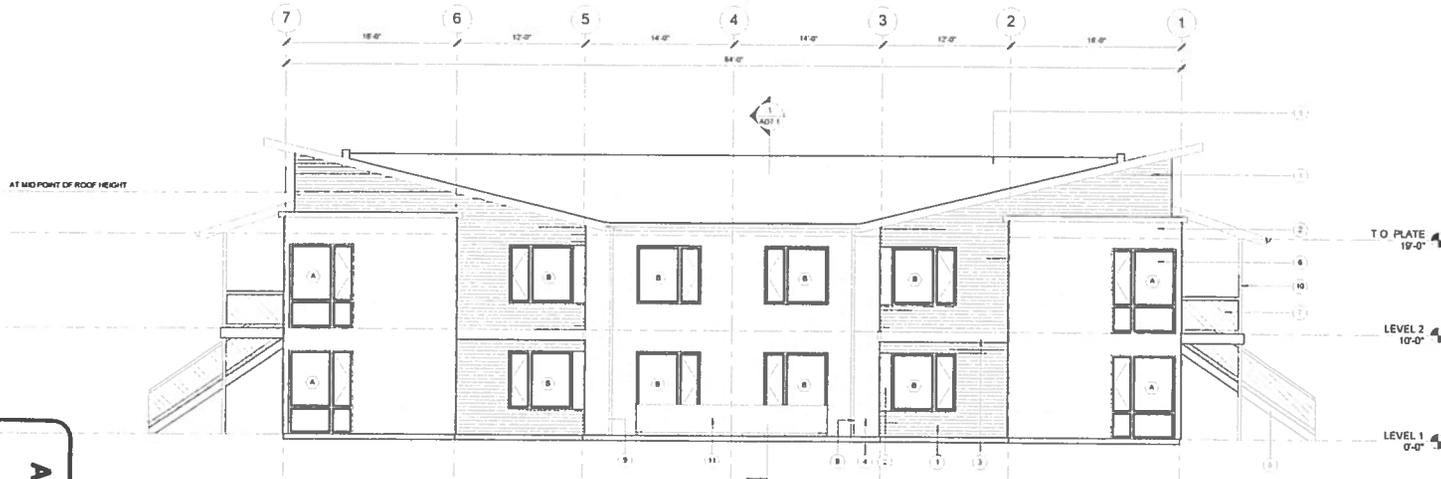
- 1 07 48 48 FIBER CEMENT LAP SIDING, SMOOTH SURFACE W/ 4" TO WEATHER
- 2 07 48 48 FIBER CEMENT PANEL SIDING, SMOOTH SURFACE
- 3 07 48 48 FIBER CEMENT BELLY BAND
- 4 07 42 13 CORRUGATED METAL WALL PANELS
- 5 07 41 13 STANDING SEAM METAL ROOF PANELS
- 6 08 53 00 VINYL WINDOWS
- 7 05 50 00 STEEL CHAIRMAIL WITH EXPANDED METAL PANELS
- 8 05 50 00 STEEL STAIR W/ CONCRETE TREADS
- 9 07 62 00 DOWNPOUT
- 10 05 50 00 STEEL COLUMN
- 11 26 00 00 CORRUGATED PANEL MECHANICAL SCREEN

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 TEL. 541 488 8200

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EXT ELEV - NORTH ④
3/16" = 1'-0"



EXT ELEV - EAST ①
3/16" = 1'-0"

STEWART MEADOWS VILLAGE: BLDG D
 KOGAP ENTERPRISES, INC.
 115 STEWART AVE #202 MEDFORD, OR 97501

REVISIONS
 EXTERIOR ELEVATIONS
 PROJECT NO. U 002
 ISSUE DATE 05 18 2017
 SHEET
 AD6.1

CITY OF MEDFORD
 EXHIBIT #
 File # AC-17-066

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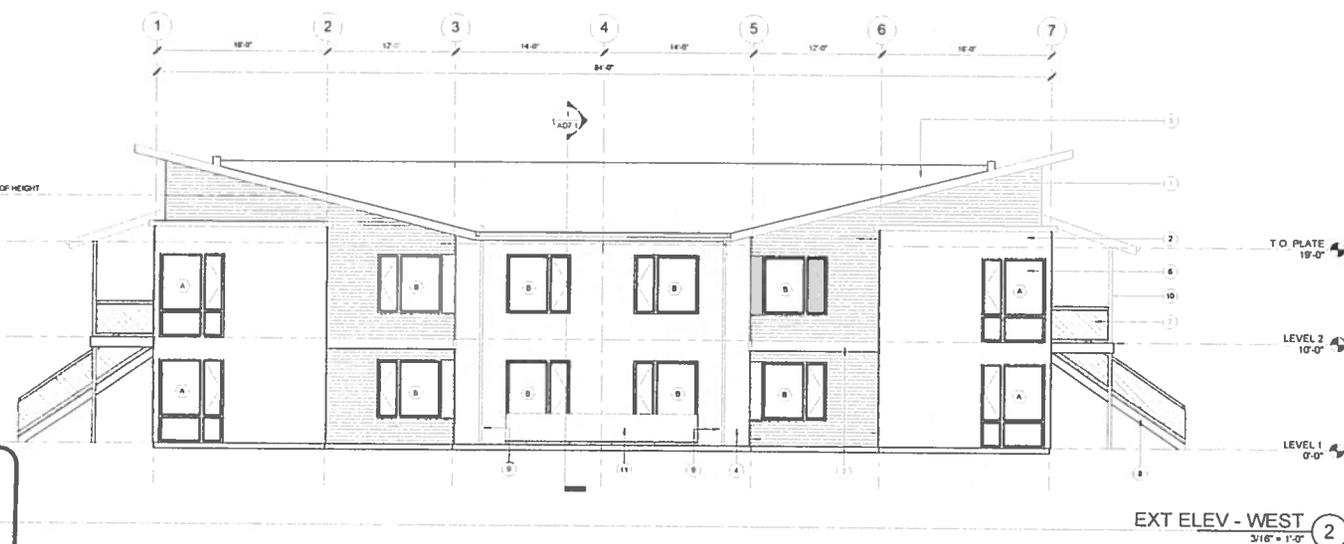
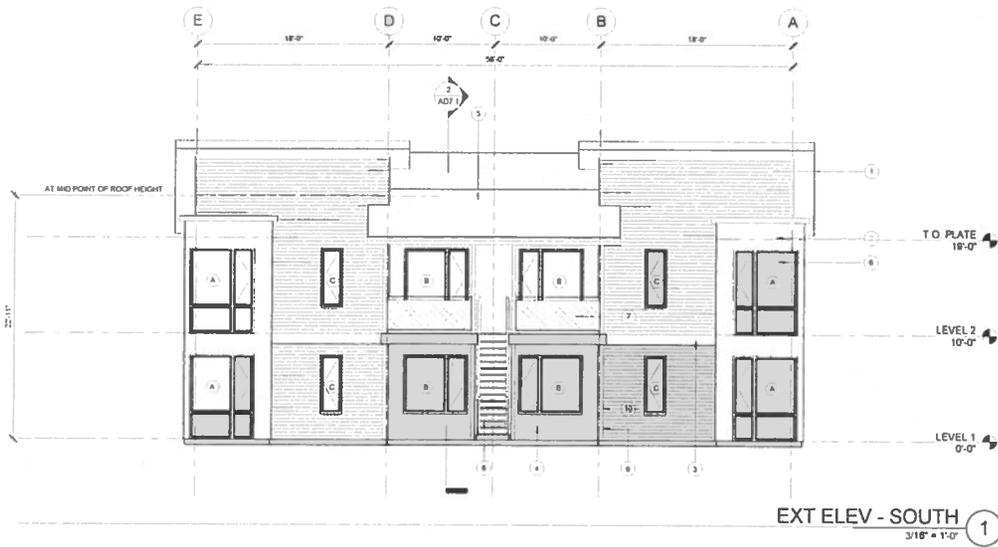
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GENERAL NOTES - EXT ELEVATIONS

- A. ELEVATION KEYNOTES APPLY TO SHEETS AS A. AS A. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B. SEE A1.X FOR WALL ASSEMBLIES
- C. ORDERS ARE FOR REFERENCE ONLY. CONTRACTOR TO RET. CONTROL POINTS BY OR LAYOUT

KEYNOTES - EXTERIOR ELEVATIONS

- 1 07 48 46 - FIBER CEMENT LAP SIDING, SMOOTH SURFACE W/ 4" TO WEATHER
- 2 07 48 46 - FIBER CEMENT PANEL SIDING, SMOOTH SURFACE
- 3 07 48 46 - FIBER CEMENT BELLY BAND
- 4 07 42 13 - CORRUGATED METAL WALL PANELS
- 5 07 41 13 - STANDING SEAM METAL ROOF PANELS
- 6 08 53 00 - WYFL WINDOWS
- 7 09 50 00 - STEEL GUARDRAIL WITH EXPANDED METAL PANELS
- 8 09 50 00 - STEEL STAIR W/ CORNERS 18 TREADS
- 9 07 62 00 - DOWNPOUT
- 10 09 50 00 - STEEL COLUMN
- 11 26 00 00 - CORRUGATED PANEL MECHANICAL SCREEN



STEWART MEADOWS VILLAGE: BLDG D

KOGAP ENTERPRISES INC.
115 STEWART AVE #202
MEDFORD, OR 97501

REVISIONS
EXTERIOR ELEVATIONS

PROJECT NO: 17-002
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SHEET

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STEWART MEADOWS VILLAGE: BLDG E

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COVER

PROJECT NO: 17-002
ISSUE DATE: 06 13 2017
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GENERAL NOTES - FLOOR PLANS

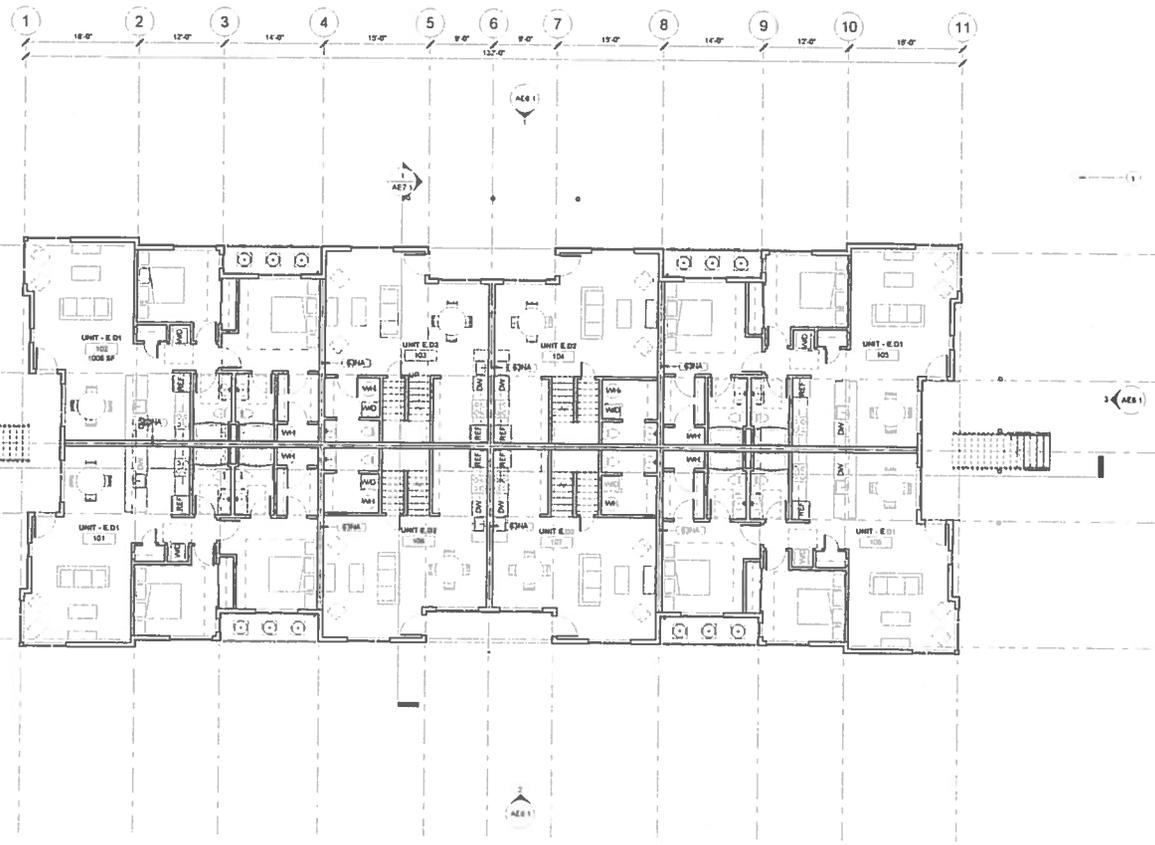
- A FLOOR PLAN KEYNOTES APPLY TO SHEETS A3 X. A3 X. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
 - B ARCHITECTURAL REFERENCE ELEVATION 102'-0" ± ASX XX' ON SURVEY AND CIVIL DOCUMENTS
 - C SIZE A1 X FOR ASSEMBLES AND DIMENSION SET POINTS
 - D GREEN ARE FOR REFERENCE ONLY - CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT
 - E REFERENCE SHEET AXXX FOR DETAILS OF TRANSITIONS BETWEEN FLOORING MATERIALS
 - F FURNITURE, FIXTURES, AND EQUIPMENT SHOWN FOR REFERENCE ONLY
 - G REFERENCE SHEET AXXX FOR ROOM FINISH INFORMATION
 - H CLEAR DISTANCE AT HINGE SIDE OF ALL DOOR JAMBS ARE TO BE 2" FROM ADJOINING WALL, UNLESS NOTED OTHERWISE
 - I WINDOW OPENING DIMENSIONS SHOWN ARE TO THE ROUGH OPENING REFER TO SPECIFIC DETAILS FOR REQUIRED CLEARANCES FROM THE ROUGH OPENING TO THE WINDOW UNIT
- KEYNOTES - FLOOR PLANS
- 1 ALKOI

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PLAN - LEVEL 1
1/8" = 1'-0"

STEWART MEADOWS VILLAGE: BLDG E

KOGAP ENTERPRISES INC.
115 STEWART AVE #202 MEDFORD, OR 97501

PLAN - LEVEL 1

PROJECT NO 17-002
ISSUE DATE 05 18 2017
SHEET

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City of Medford - Planning Dept. - 17-002

File # AC-17-066

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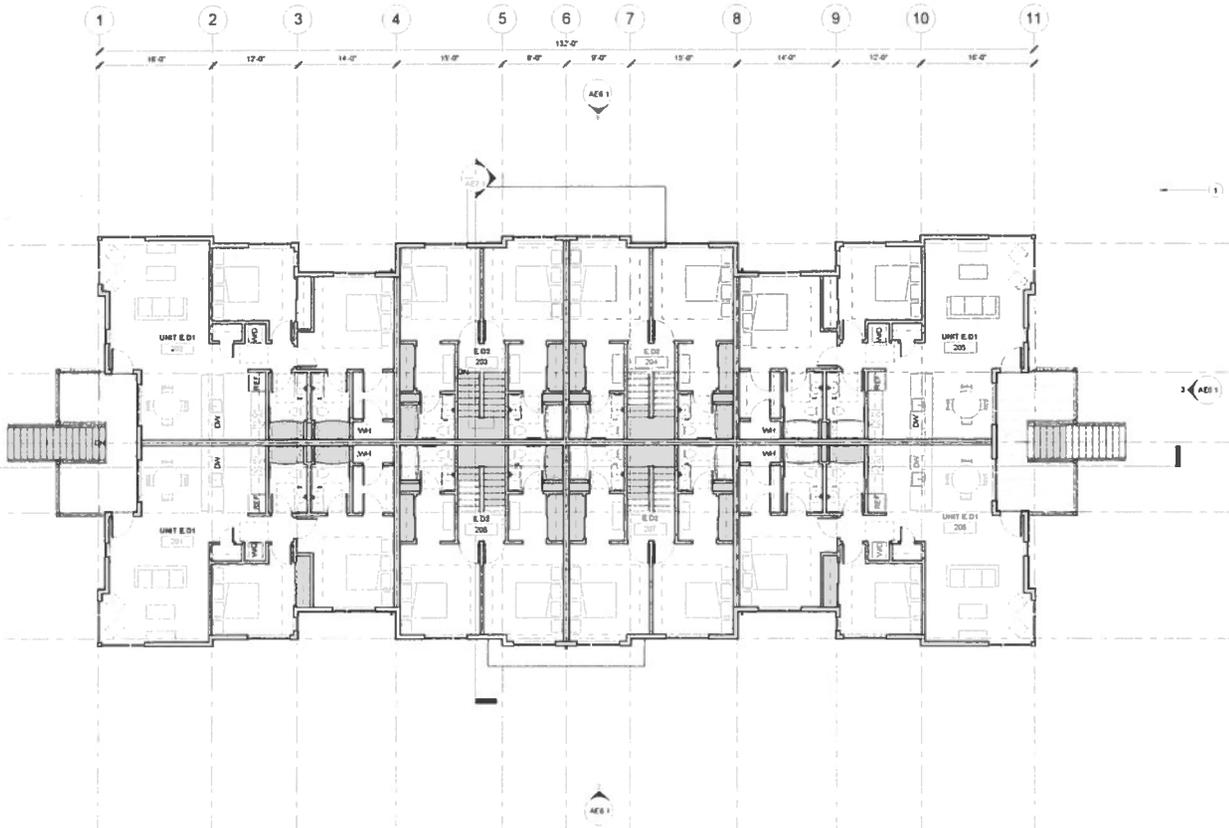
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GENERAL NOTES - FLOOR PLANS

- A. FLOOR PLAN KEYNOTES APPLY TO SHEETS A2 & A3. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEET EXCEPT THOSE NOTED.
- B. ARCHITECTURAL REFERENCE ELEVATION 102'-0" = 334.81' ON SURVEY AND CIVIL DOCUMENTS.
- C. SEE A1 X FOR ASSEMBLES AND DIMENSION SET POINTS.
- D. GRIDS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT.
- E. REFERENCE SHEET A3.3 FOR DETAILS OF TRANSITIONS BETWEEN FLOORING MATERIALS.
- F. FURNITURE, FIXTURES, AND EQUIPMENT SHOWN FOR REFERENCE ONLY.
- G. REFERENCE SHEET AXES FOR ROOM FINISH INFORMATION.
- H. CLEAR DISTANCE AT HINGE SIDE OF ALL DOOR JAMBS ARE TO BE 4" FROM ADJOINING WALL, UNLESS NOTED OTHERWISE.
- I. WINDOW OPENING DIMENSIONS SHOWN ARE TO THE ROUGH OPENING REFER TO SPECIFIC DETAILS FOR REQUIRED CLEARANCES FROM THE ROUGH OPENING TO THE WINDOW UNIT.

KEYNOTES - FLOOR PLANS

- 1 ALIGH



PLAN - LEVEL 2
1/8" = 1'-0" (1) ⊕

STEWART MEADOWS VILLAGE: BLDG E

KOGAP ENTERPRISES, INC.
115 STEWART AVE #202 MEDFORD, OR 97501

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PLAN - LEVEL 2

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GENERAL NOTES - ROOF PLAN

- A. ROOF PLAN KEYNOTES APPLY TO SHEETS AS 2. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.
- B. ARCHITECTURAL REFERENCE ELEVATION 100'-0" = 333.33' ON SURVEY AND CIVIL DOCUMENTS.
- C. SEE A1 X FOR ASSEMBLIES.
- D. DIMS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT.

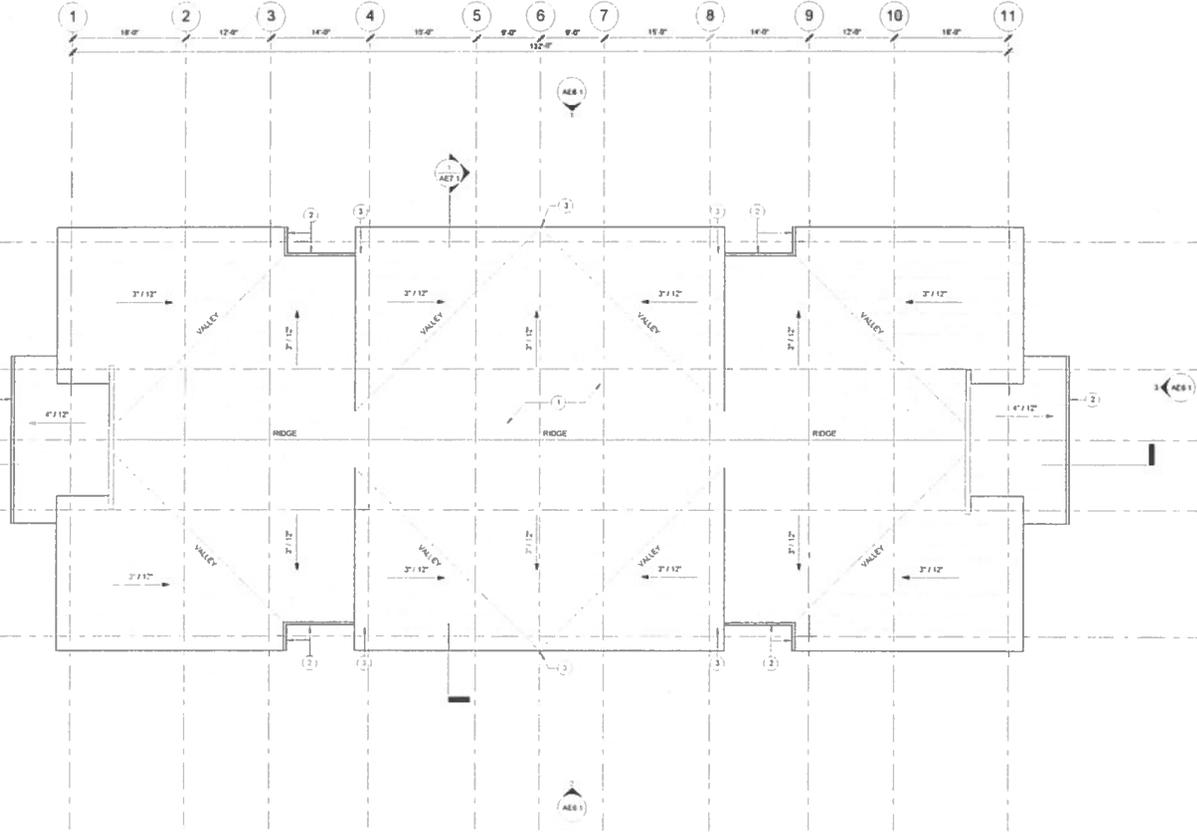
KEYNOTES - ROOF PLAN

- 1 07 41 13 STANDING SEAM METAL ROOF
- 2 07 62 00 GUTTER
- 3 07 62 00 DOWNSPOUT



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PLAN - ROOF 1 1/8" = 1'-0"

STEWART MEADOWS VILLAGE: BLDG E KOGAP ENTERPRISES INC. 115 STEWART AVE #202 MEDFORD, OR 97501

REVISIONS ROOF PLAN PROJECT NO: 17-002 ISSUE DATE: 05 15 2017 SHEET AE3.3

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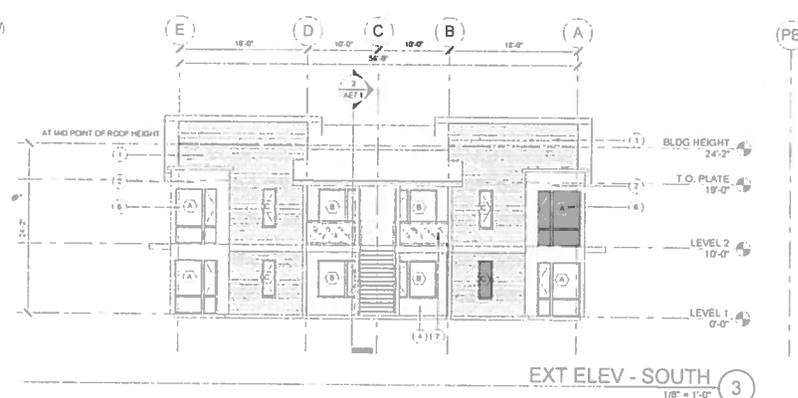
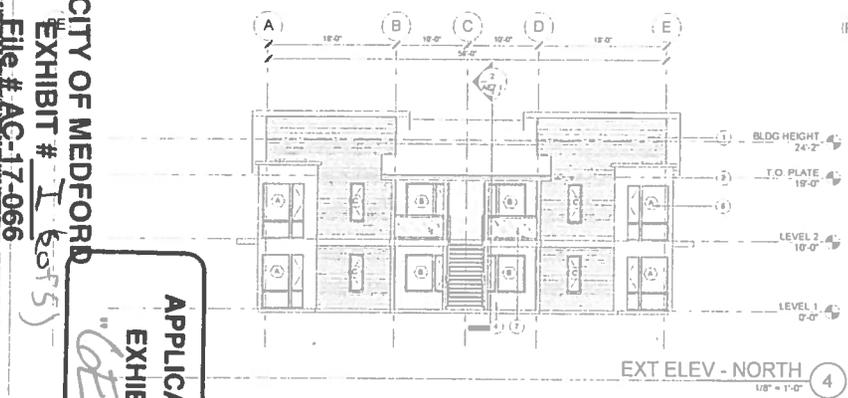
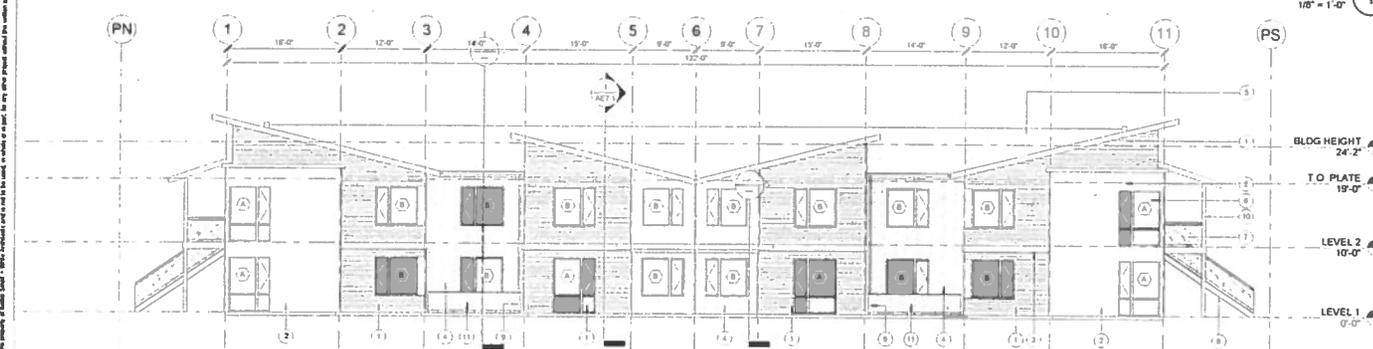
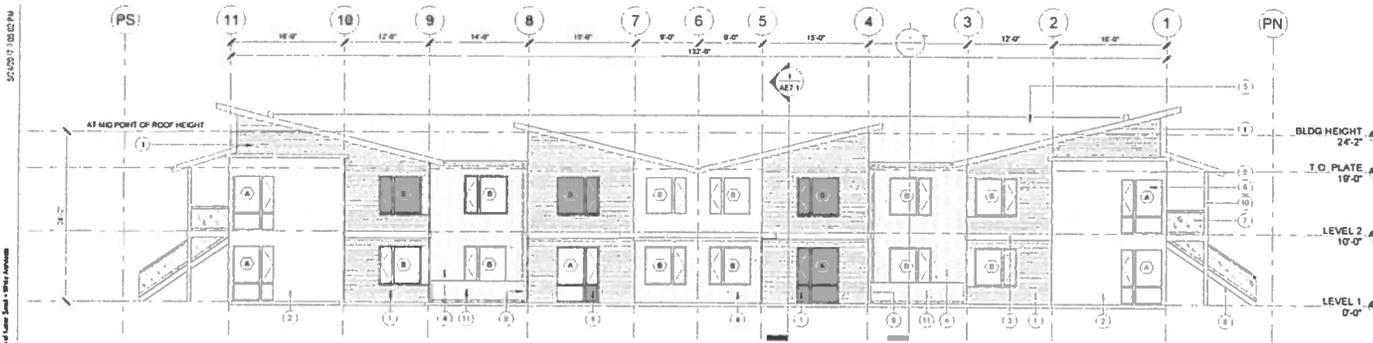
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GENERAL NOTES - EXT ELEVATIONS

- A ELEVATION KEYNOTES APPLY TO SHEETS AE 2 - AE 6. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B SEE A1 X FOR WALL ASSEMBLIES
- C ORDERS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT

KEYNOTES - EXTERIOR ELEVATIONS

- 1 07 48 48 - FIBER CEMENT LAP SIDING SMOOTH SURFACE W/ 4" TO WEATHER
- 2 07 48 48 - FIBER CEMENT PANEL SIDING SMOOTH SURFACE
- 3 07 48 48 - FIBER CEMENT BELLY BAND
- 4 07 42 18 - CORRUGATED METAL WALL PANELS
- 5 07 41 13 - STANCHION BEAM METAL ROOF PANELS
- 6 08 53 00 - VINYL WINDOWS
- 7 05 50 00 - STEEL QUADRANT WITH EXPANDED METAL PANELS
- 8 05 50 00 - STEEL STAIR W/ CONCRETE TREADS
- 9 07 82 00 - DOWNSPOUT
- 10 05 50 00 - STEEL COLUMN
- 11 26 00 00 - CORRUGATED PANEL MECHANICAL SCREEN



STEWART MEADOWS VILLAGE: BLDG E

KOGAP ENTERPRISES, INC
115 STEWART AVE #202 MEDFORD, OR 97501

REVISIONS

EXTERIOR ELEVATIONS

PROJECT NO: 17-002
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106

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STEWART MEADOWS VILLAGE: BLDG F

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115 STEWART AVE #202 MEDFORD, OR 97501

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PROJECT NO. 17-066
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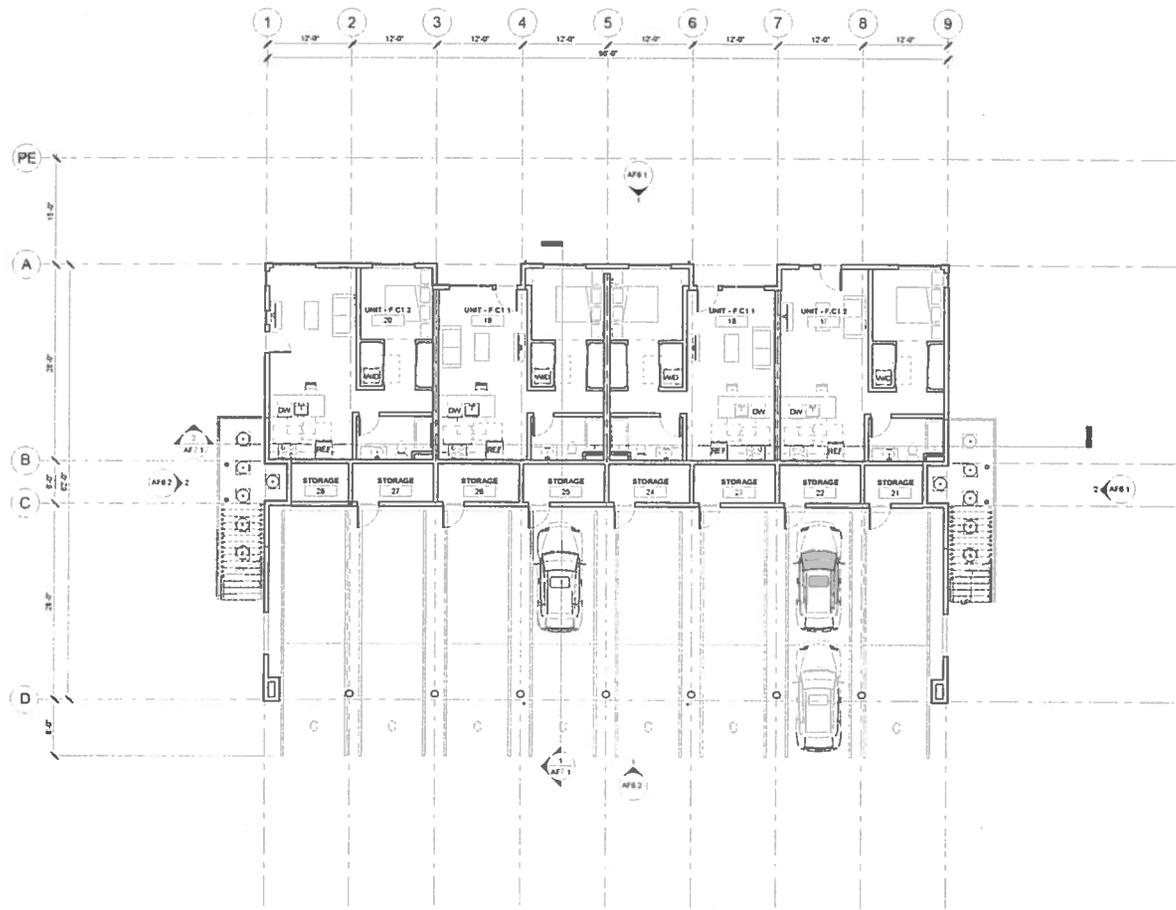
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GENERAL NOTES - FLOOR PLANS

- A FLOOR PLAN KEYNOTES APPLY TO SHEETS A3.2, A3.3. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.
- B ARCHITECTURAL REFERENCE ELEVATION 100.0' ± XXX.XX' ON SURVEY AND CIVIL DOCUMENTS
- C SEE A1 X FOR ASSEMBLIES AND DIMENSION SET POINTS
- D GRID ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT
- E REFERENCE SHEET AXXX FOR DETAILS OF TRANSITIONS BETWEEN FLOORING MATERIALS
- F FURNITURE, FIXTURES, AND EQUIPMENT SHOWN FOR REFERENCE ONLY
- G REFERENCE SHEET AXXX FOR ROOM FINISH INFORMATION
- H CLEAR DISTANCE AT HINGE SIDE OF ALL DOOR JAMBS ARE TO BE 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE
- I WINDOW OPENING DIMENSIONS SHOWN ARE TO THE ROUGH OPENING REFER TO SPECIFIC DETAILS FOR REQUIRED CLEARANCES FROM THE ROUGH OPENING TO THE WINDOW UNIT

KEYNOTES - FLOOR PLANS



PLAN - LEVEL 1
1/8" = 1'-0"

STEWART MEADOWS VILLAGE: BLDG F

KOGAP ENTERPRISES INC
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PLAN - LEVEL 1

PROJECT NO: 17-002
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GENERAL NOTES - FLOOR PLANS

- A FLOOR PLAN KEYNOTES APPLY TO SHEETS A3 X A3 X. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.
- B ARCHITECTURAL REFERENCE ELEVATION 110'-0" = 3.25' AS ON SURVEY AND CIVIL DOCUMENTS.
- C SEE A1 X FOR ASSEMBLIES AND DIMENSION SET POINTS.
- D GROSS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT.
- E REFERENCE SHEET AXXX FOR DETAILS OF TRANSITIONS BETWEEN FLOORING MATERIALS.
- F FURNITURE, FIXTURES, AND EQUIPMENT SHOWN FOR REFERENCE ONLY.
- G REFERENCE SHEET AXXX FOR ROOM FINISH INFORMATION.
- H CLEAR DISTANCE AT HINGE SIDE OF ALL DOOR JAMBS ARE TO BE 4" FROM ADJOINING WALL, UNLESS NOTED OTHERWISE.
- I WINDOW OPENING DIMENSIONS SHOWN ARE TO THE ROUGH OPENING. REFER TO SPECIFIC DETAILS FOR REQUIRED CLEARANCES FROM THE ROUGH OPENING TO THE WINDOW UNIT.

KEYNOTES - FLOOR PLANS



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115 STEWART AVE #202 MEDFORD, OR 97501

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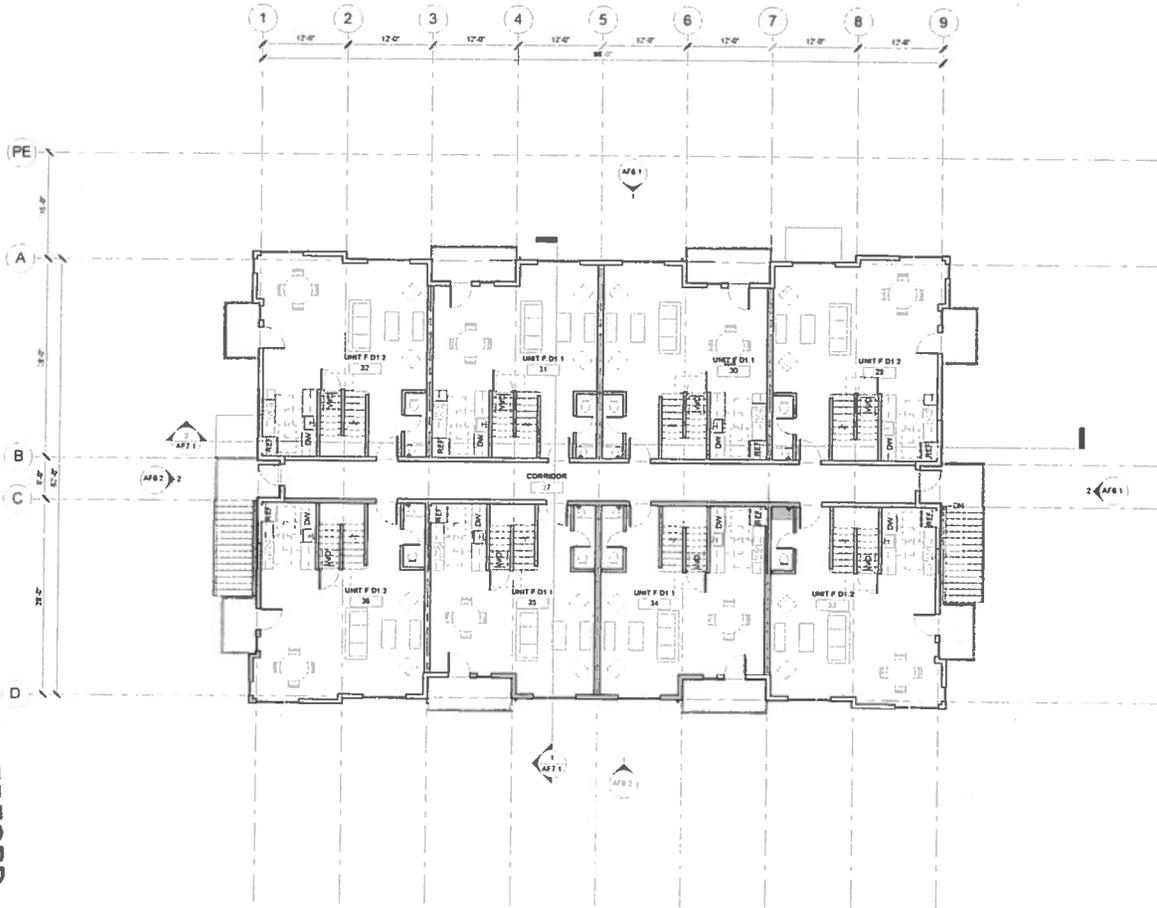
PLAN - LEVEL 2

PROJECT NO: 17-002
ISSUE DATE: 05 18 2017
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AF3.2

CITY OF MEDFORD
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File # AC-17-066

44



PLAN - LEVEL 2
1/8" = 1'-0"

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- A FLOOR PLAN KEYNOTES APPLY TO SHEETS A3 & A3.2. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B ARCHITECTURAL REFERENCE ELEVATION 100.0' ± XXX.XX ON SURVEY AND CIVIL DOCUMENTS
- C SEE A1 & A FOR ASSEMBLES AND DIMENSION SET POINTS
- D DIMS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT
- E REFERENCE SHEET AX34 FOR DETAILS OF TRANSITIONS BETWEEN FLOORING MATERIALS
- F FURNITURE, FIXTURES, AND EQUIPMENT SHOWN FOR REFERENCE ONLY
- G REFERENCE SHEET AX33 FOR ROOM FINISH INFORMATION
- H CLEAR DISTANCE AT HINGE SIDE OF ALL DOOR JAMBS ARE TO BE 4" FROM ADJOINING WALL UNLESS NOTED OTHERWISE
- I WINDOW OPENING DIMENSIONS SHOWN ARE TO THE ROUGH OPENING REFER TO SPECIFIC DETAILS FOR REQUIRED CLEARANCES FROM THE ROUGH OPENING TO THE WINDOW UNIT

KEYNOTES - FLOOR PLANS

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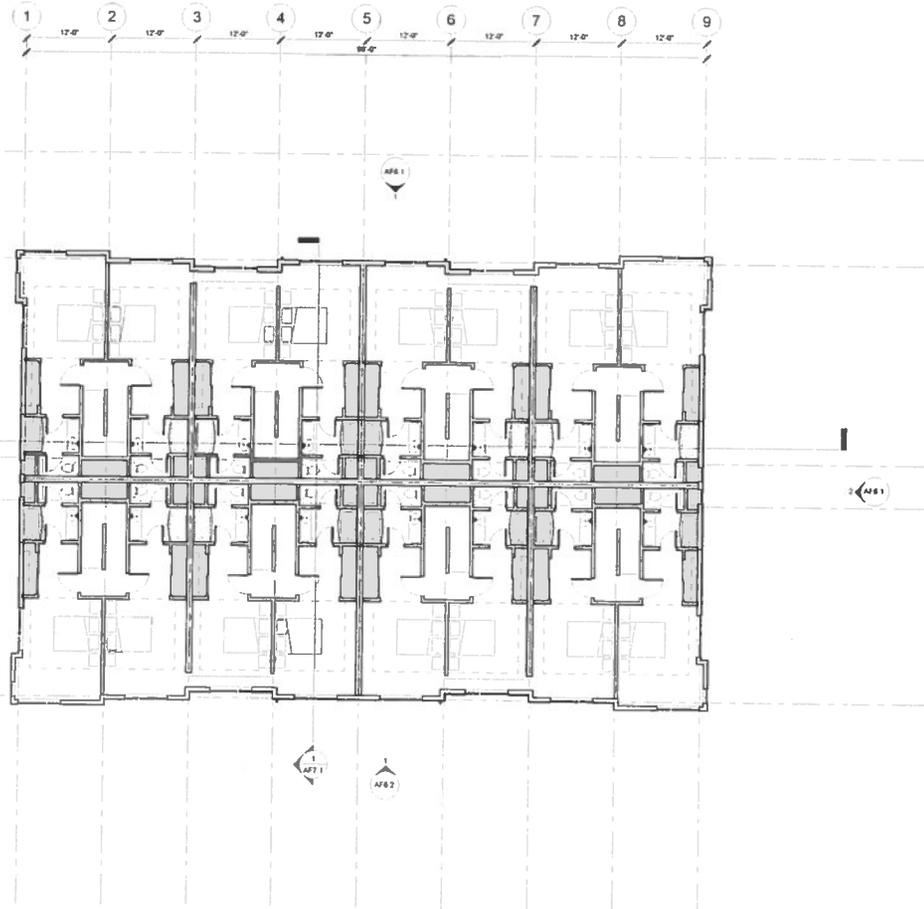
PLAN - LEVEL 3

PROJECT NO: 17-002
ISSUE DATE: 05/18/2017
SHEET

AF3.3

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File # AC-17-066

45



PLAN - LEVEL 3
1/8" = 1'-0" 1

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File # AC-17-066

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- A ROOF PLAN KEYNOTES APPLY TO SHEETS A3 & ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B ARCHITECTURAL REFERENCE ELEVATION 100'-0" = XXX.XX ON SURVEY AND CIVIL DOCUMENTS
- C SEE A1 X FOR ASSEMBLIES
- D GRIDS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LA VOLT

KEYNOTES - ROOF PLAN

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SUITE 101
SADLAND, OR
97130
TEL: 541 486 8300

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STEWART MEADOWS VILLAGE: BLDG F

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115 STEWART AVE #202 MEDFORD, OR 97501

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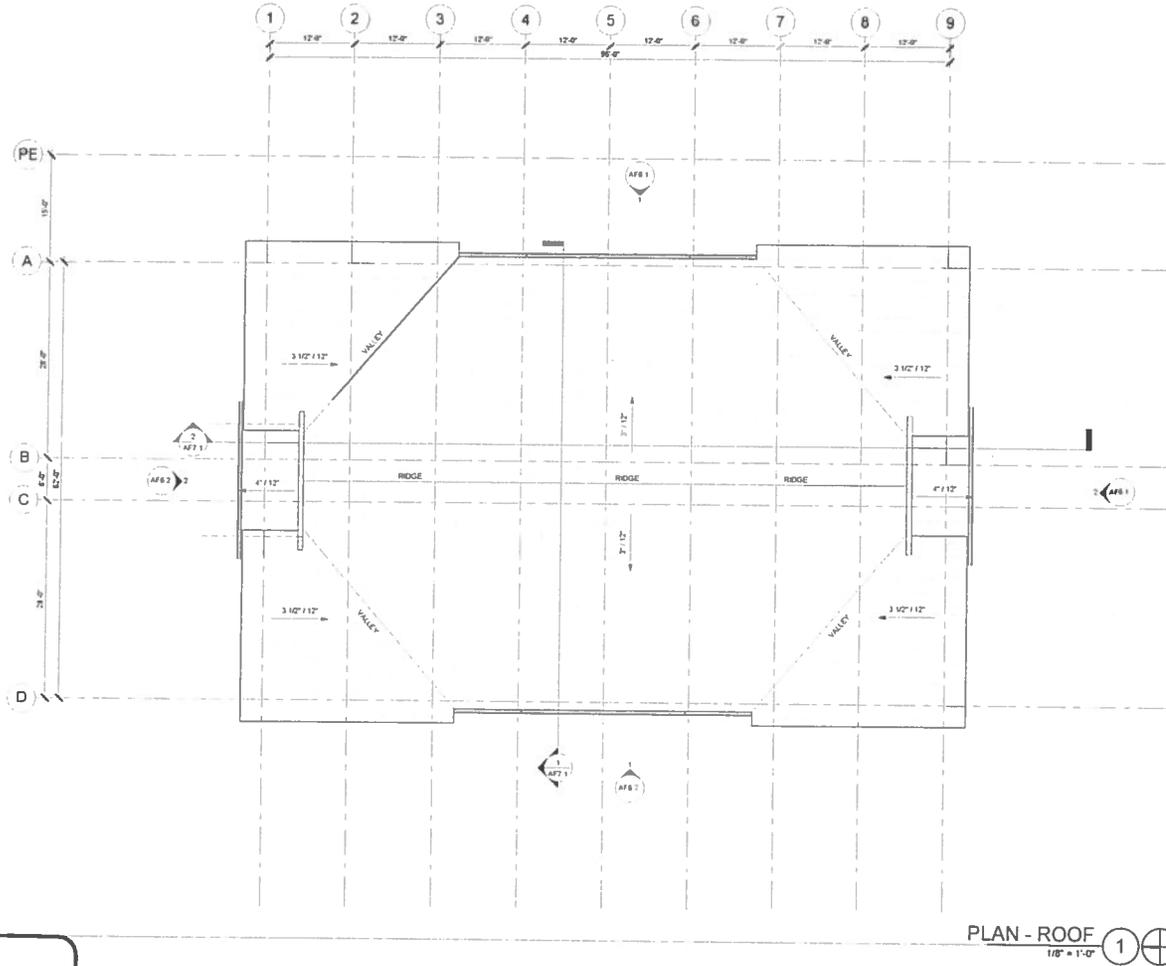
PLAN - ROOF

PROJECT NO 17-002
ISSUE DATE 05 18 2017
SHEET

AF3.4

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EXHIBIT # _____
File # AC-17-066

46



PLAN - ROOF 1
1/8" = 1'-0"

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City of Medford 2017

CITY OF MEDFORD

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EXHIBIT #
"OF 5/7"

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- A. ELEVATION KEYNOTES APPLY TO SHEETS AS 2 - AS 3. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B. SEE A1 X FOR WALL ASSEMBLIES
- C. GRIDB ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT

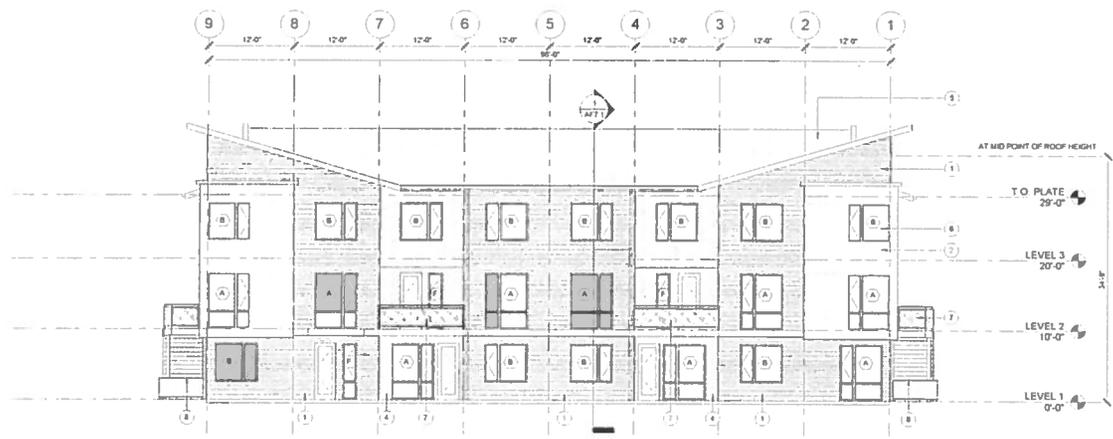
KEYNOTES - EXTERIOR ELEVATIONS

- 1 07 48 46 - FIBER CEMENT LAP SIDING SMOOTH SURFACE W/ 6" TO WEATHER
- 2 07 48 46 - FIBER CEMENT H1 BELLY BAND
- 3 07 48 46 - FIBER CEMENT H1 BELLY BAND
- 4 07 42 13 - CORRUGATED METAL WALL PANELS
- 5 07 41 13 - BEADING SEAM METAL ROOF PANELS
- 6 08 63 00 - VINYL WINDOWS
- 7 05 50 00 - STEEL GUARDRAIL WITH EXPANDED METAL PANELS
- 8 05 50 00 - STEEL STAIR W/ CONCRETE TREADS
- 9 01 82 00 - DOWNSPOUT
- 10 05 50 00 - STEEL COIL RAMP
- 11 26 00 00 - CORRUGATED PANEL MECHANICAL SCREEN

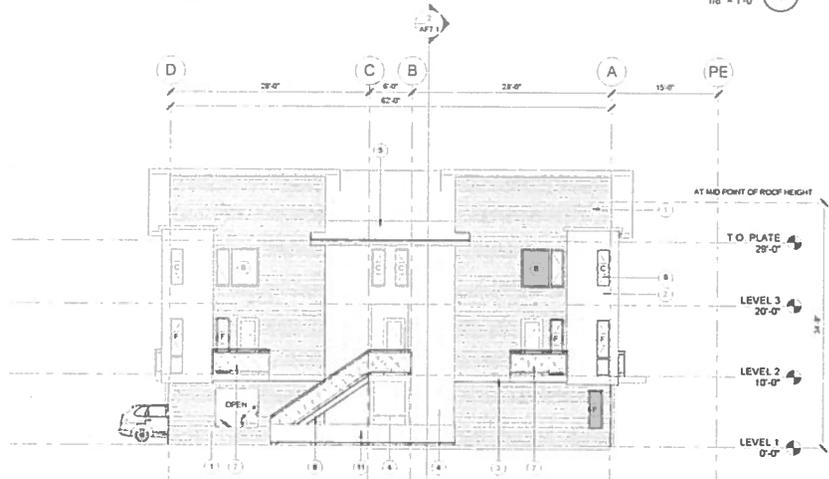
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EXT ELEV - EAST 1/8" = 1'-0"



EXT ELEV - SOUTH 2/8" = 1'-0"

STEWART MEADOWS VILLAGE: BLDG F

KOGAP ENTERPRISES INC. 115 STEWART AVE #202 MEDFORD, OR 97501

REVISIONS

EXTERIOR ELEVATIONS

PROJECT NO: 17-002 ISSUE DATE: 05 18 2017 SHEET:

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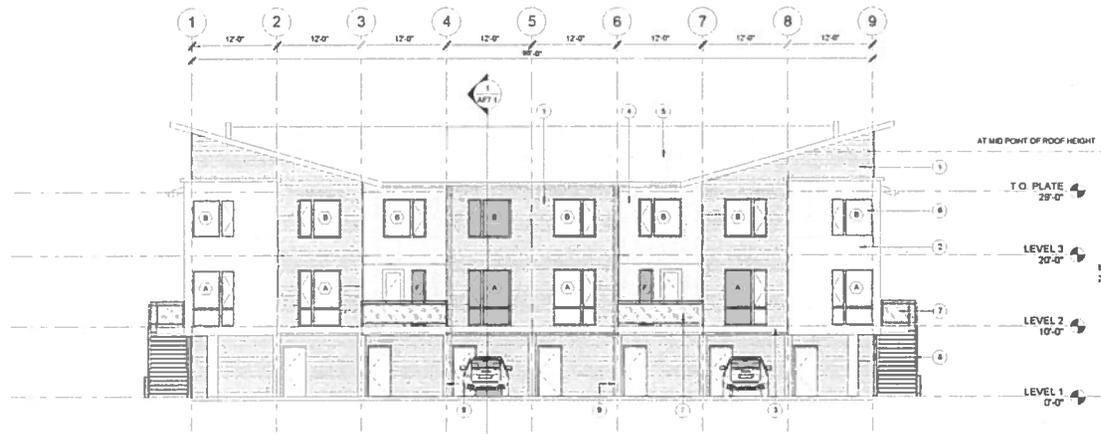
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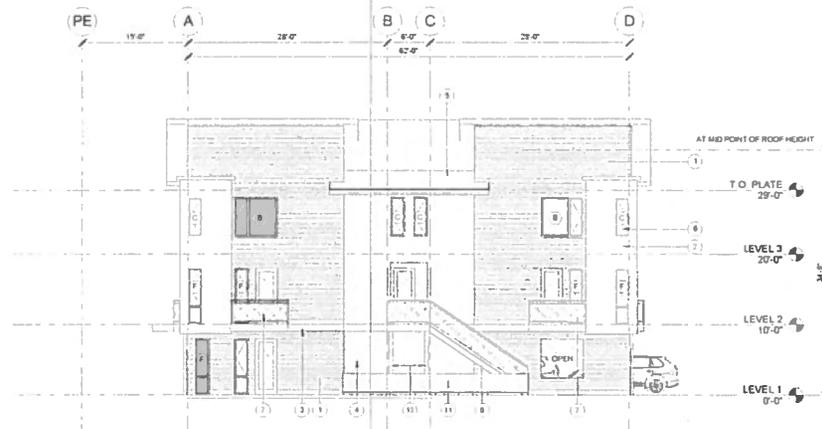
- A ELEVATION NOTES APPLY TO SHEETS A6.1 - A6.3. ALL NOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B BEE AT 1/8 FOR WALL ASSEMBLIES
- C CURBS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT

KEYNOTES - EXTERIOR ELEVATIONS

- 1 07 48 48 - FIBER CEMENT LAP SIDING SMOOTH SURFACE W/ 1" TO WEATHER
- 2 07 48 48 - FIBER CEMENT PANEL SIDING SMOOTH SURFACE
- 3 07 48 48 - FIBER CEMENT BELLY BAND
- 4 07 42 33 - CORRUGATED METAL WALL PANELS
- 5 07 41 13 - STANDING SEAM METAL ROOF PANELS
- 6 08 53 00 - VINYL WINDOWS
- 7 05 50 00 - STEEL GUARDRAIL WITH EXPANDED METAL PANELS
- 8 05 50 00 - STEEL STRAP W/ CONCRETE TIEBACK
- 9 07 82 00 - DOWNSPOUT
- 10 05 50 00 - STEEL COLUMN
- 11 26 00 00 - CORRUGATED PANEL MECHANICAL SCREEN



EXT ELEV - WEST 1/8" = 1'-0" 1



EXT ELEV - NORTH 1/8" = 1'-0" 2

STEWART MEADOWS VILLAGE: BLDG F

KOGAP ENTERPRISES, INC.
115 STEWART AVE #202 MEDFORD, OR 97501

REVISIONS

EXTERIOR ELEVATIONS

PROJECT NO. 17-002
ISSUE DATE 05 18 2017
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EXHIBIT #
File # AC-17-066

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STEWART MEADOWS VILLAGE: BLDG G

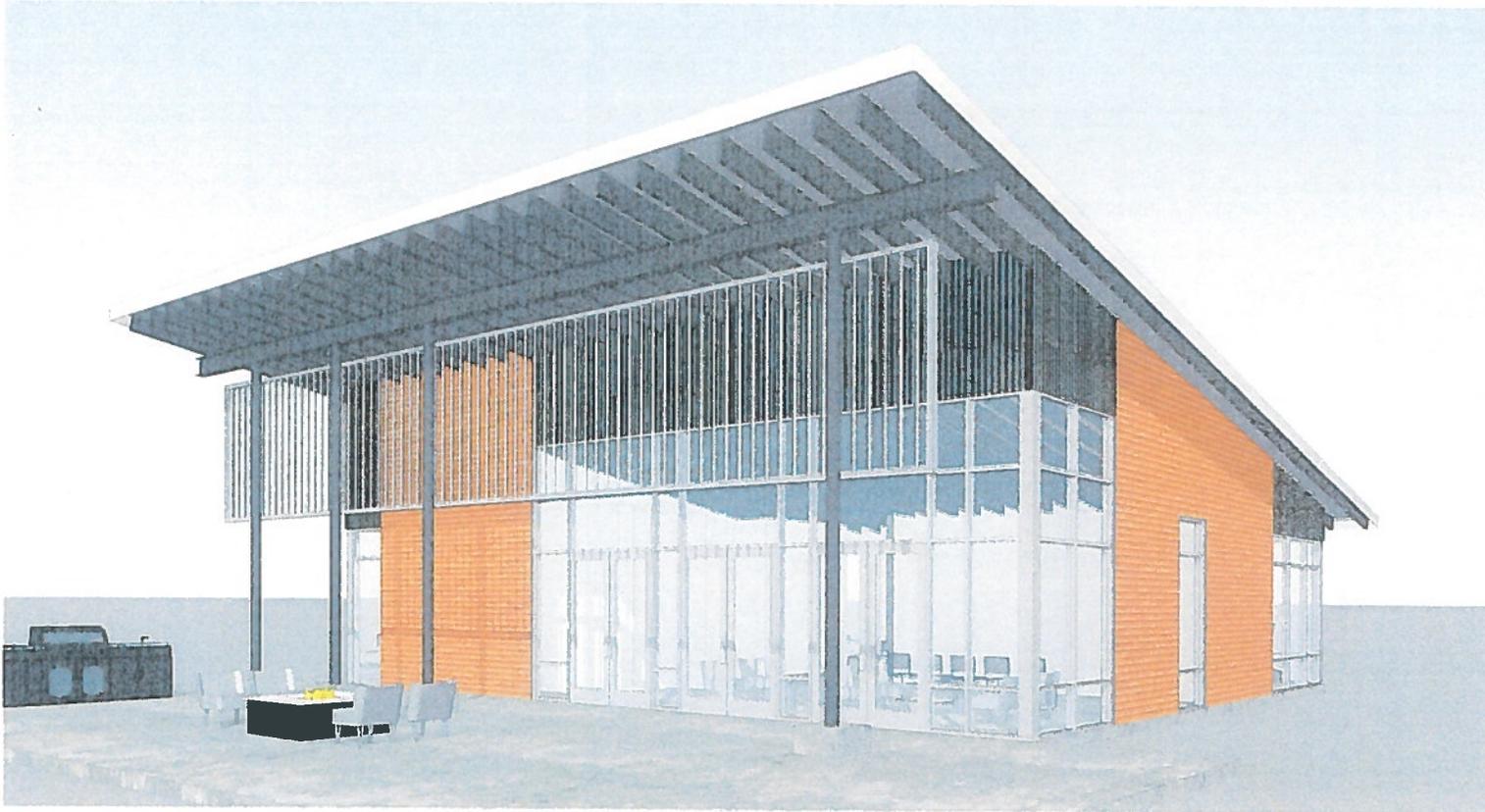
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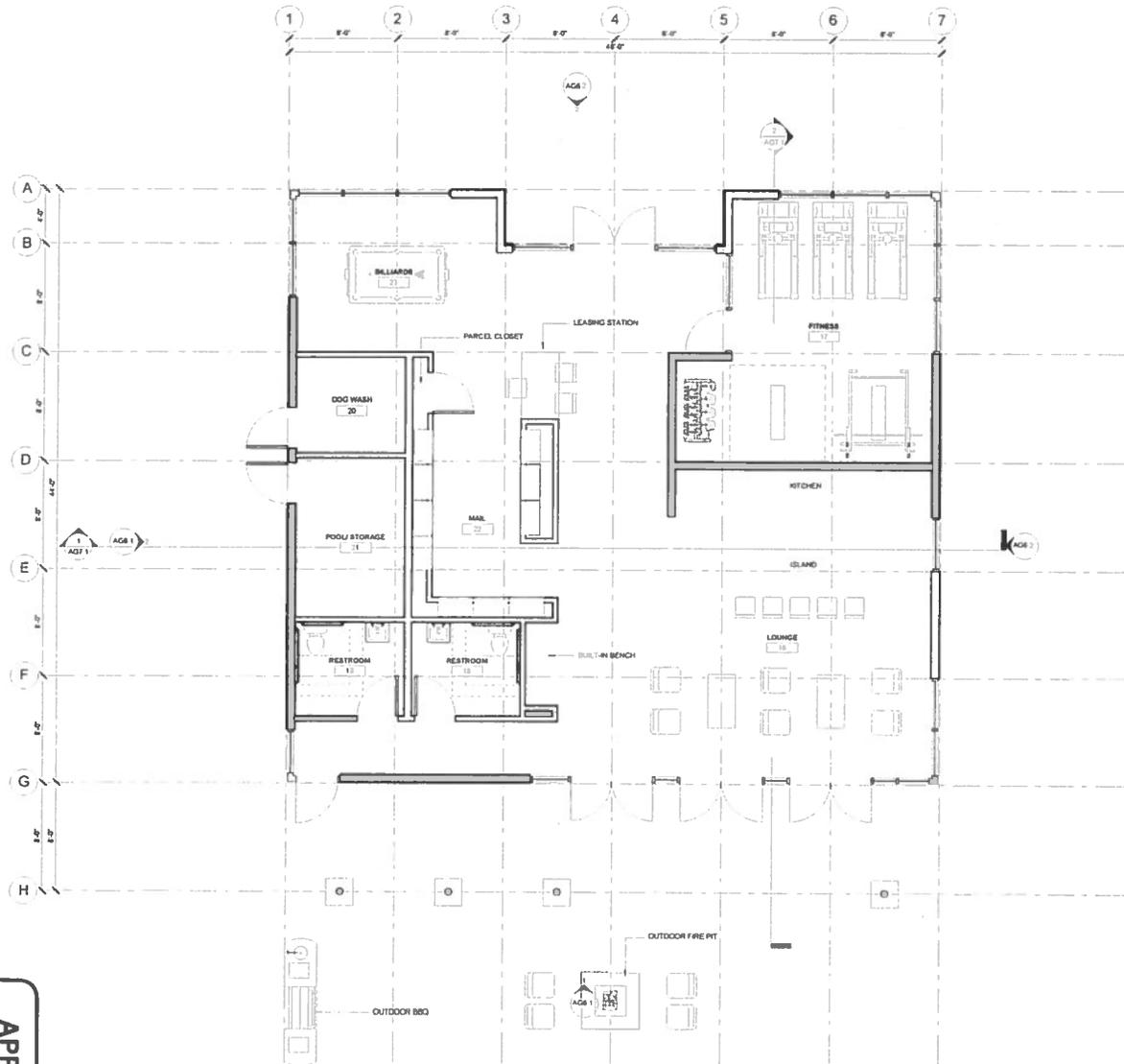
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97031
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GENERAL NOTES - FLOOR PLANS

- A FLOOR PLAN KEYNOTES APPLY TO SHEETS A3-K, A3-J. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.
- B ARCHITECTURAL REFERENCE ELEVATION 102'0" = XXX X'X" ON SURVEY AND CIVIL DOCUMENTS
- C SIZE A1 X FOR ASSEMBLES AND DIMENSION SET POINTS
- D GRIDS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT.
- E REFERENCE SHEET AXXX FOR DETAILS OF TRANSITIONS BETWEEN FLOORING MATERIALS
- F FURNITURE, FIXTURES AND EQUIPMENT SHOWN FOR REFERENCE ONLY
- G REFERENCE SHEET AXXX FOR ROOM FINISH INFORMATION
- H CLEAR DISTANCE AT HINGE SIDE OF ALL DOOR JAMBS ARE TO BE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE
- I WINDOW OPENING DIMENSIONS SHOWN ARE TO THE ROUGH OPENING REFER TO SPECIFIC DETAILS FOR REQUIRED CLEARANCES FROM THE ROUGH OPENING TO THE WINDOW UNIT

KEYNOTES - FLOOR PLANS



PLAN - LEVEL 1
1/4" = 1'-0" 1

STEWART MEADOWS VILLAGE: BLDG G
KOGAP ENTERPRISES INC.
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REVISIONS
PLAN - LEVEL 1
PROJECT NO 17-002
ISSUE DATE 05 18 2017
SHEET
AG3.1

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GENERAL NOTES - ROOF PLAN

- A ROOF PLAN KEYNOTES APPLY TO SHEETS AS X. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B ARCHITECTURAL REFERENCE ELEVATION 107' 0" = XXX.XX' ON SURVEY AND CIVIL DOCUMENTS
- C SEE A1 X FOR ASSEMBLIES
- D DIMS ARE FOR REFERENCE ONLY. CONTRACTOR TO SET CONTROL POINTS FOR LAYOUT

KEYNOTES - ROOF PLAN

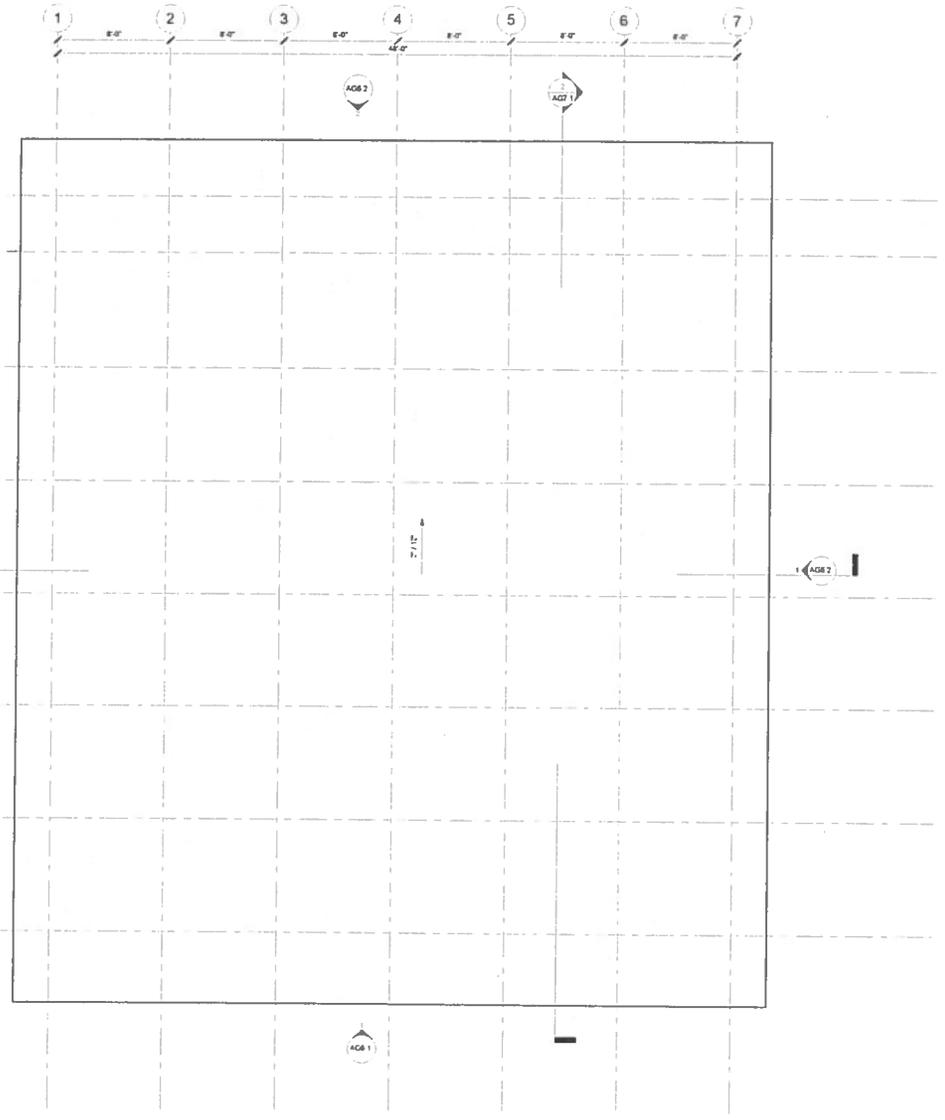
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REVISIONS
 ROOF PLAN
 PROJECT NO: 17-002
 ISSUE DATE: 05.18.2017
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PLAN - ROOF 1/4" = 1'-0" 1

CITY OF MEDFORD
 EXHIBIT # 95 (3855)

File # AC-17-066

APPLICANT'S
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GENERAL NOTES - EXT ELEVATIONS

- A. ELEVATION KEYNOTES APPLY TO SHEETS AS X. AS X. ALL KEYNOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED
- B. SEE A1 X FOR WALL ASSEMBLIES
- C. ORDERS ARE FOR REFERENCE ONLY. CONTRACTOR TO RET CONTROL POINTS FOR LAYOUT

KEYNOTES - EXTERIOR ELEVATIONS

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REVISIONS

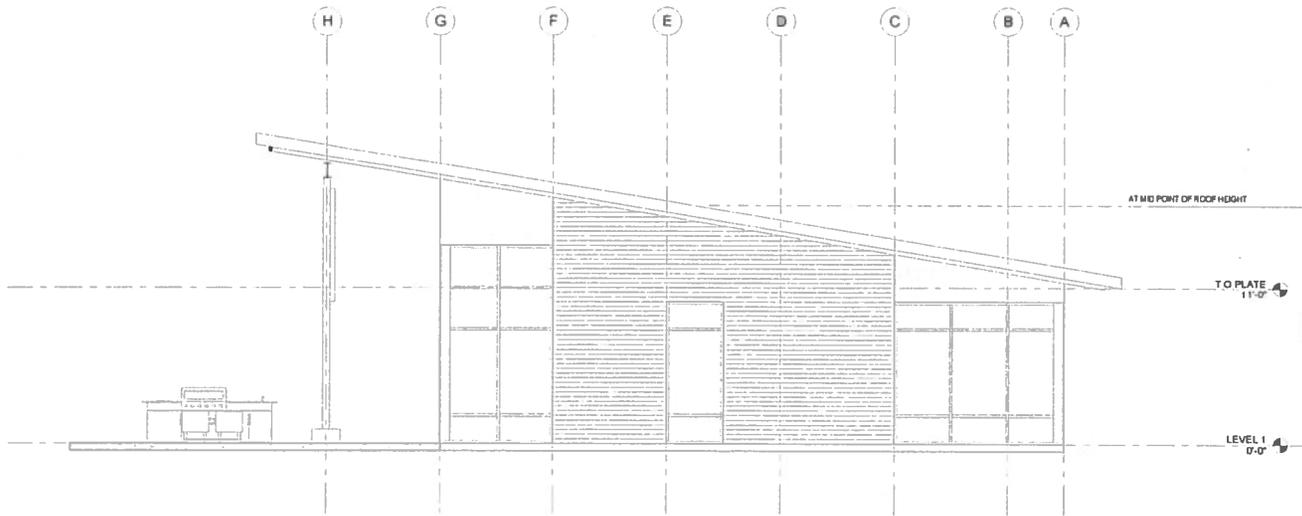
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PROJECT NO. 17-002
ISSUE DATE 05 18 2017
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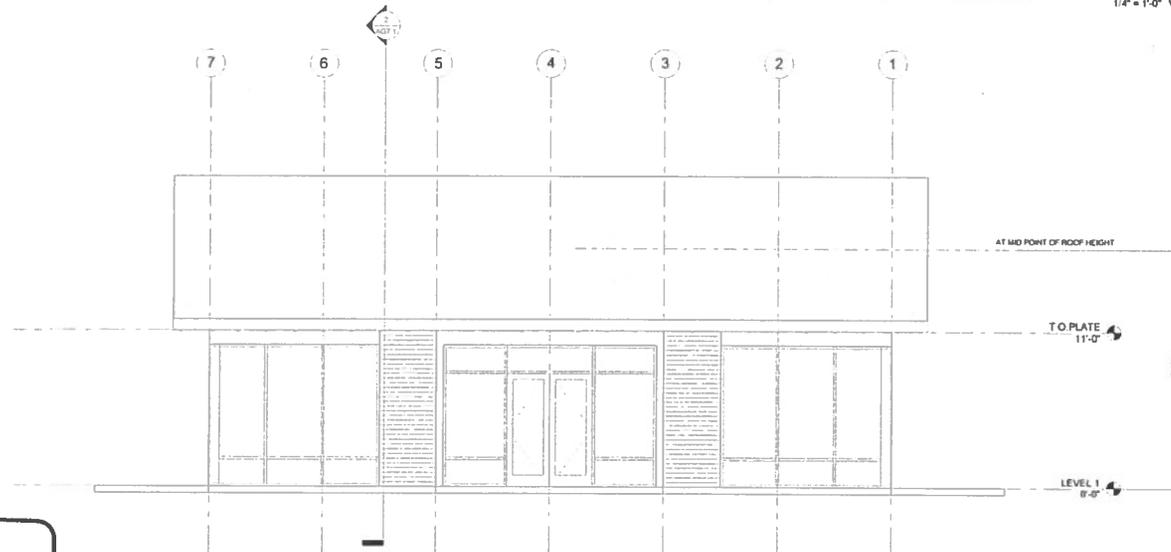
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CITY OF MEDFORD
EXHIBIT # _____
File # AC-17-066

53



EXT ELEV - SOUTH ①
1/4" = 1'-0"



EXT ELEV - EAST ②
1/4" = 1'-0"

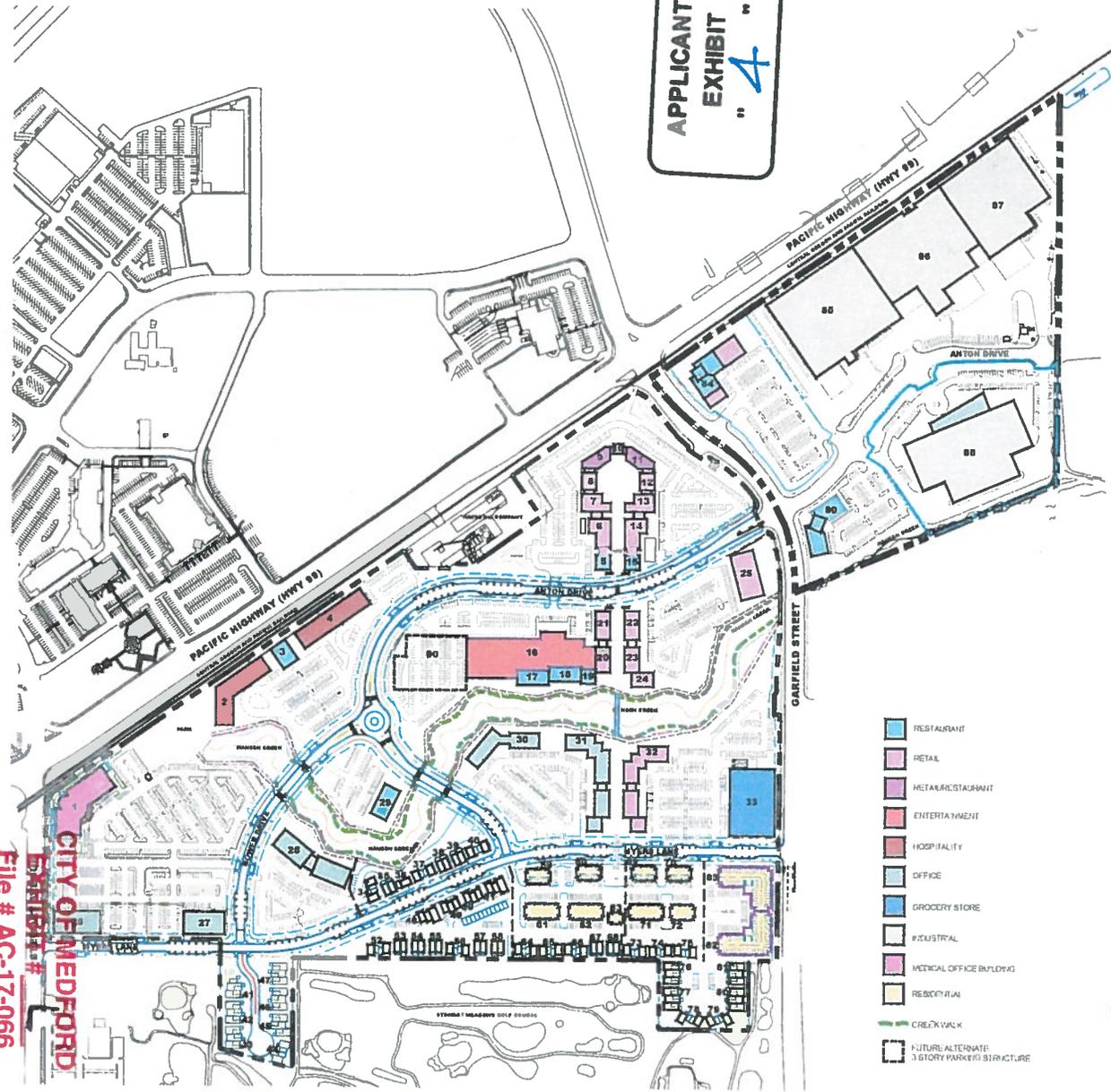
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EXHIBIT # K(5 of 5)
File # AC-17-066

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AG 6/6

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APPLICANT'S
EXHIBIT
" 4 "



NEW REGIONAL BUSLINES AREA TABULATION

PROJECT #	TYPE	BUILDING AREA (SQ FT)	TRANSIT STOPS	TOTAL COST
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NEW SOUTH (SOUTH OF GARFIELD) BUILDING AREA TABULATION

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TOTAL U.S. MASTER PLAN BUILDING TABULATION

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- RESTAURANT
- RETAIL
- RETAIL/RESTAURANT
- ENTERTAINMENT
- HOSPITALITY
- OFFICE
- GROCERY STORE
- INDUSTRIAL
- MEDICAL OFFICE BUILDING
- RECREATIONAL
- CRACK/WALK
- FUTURE/ALTERNATE 3-STORY PARKING STRUCTURE

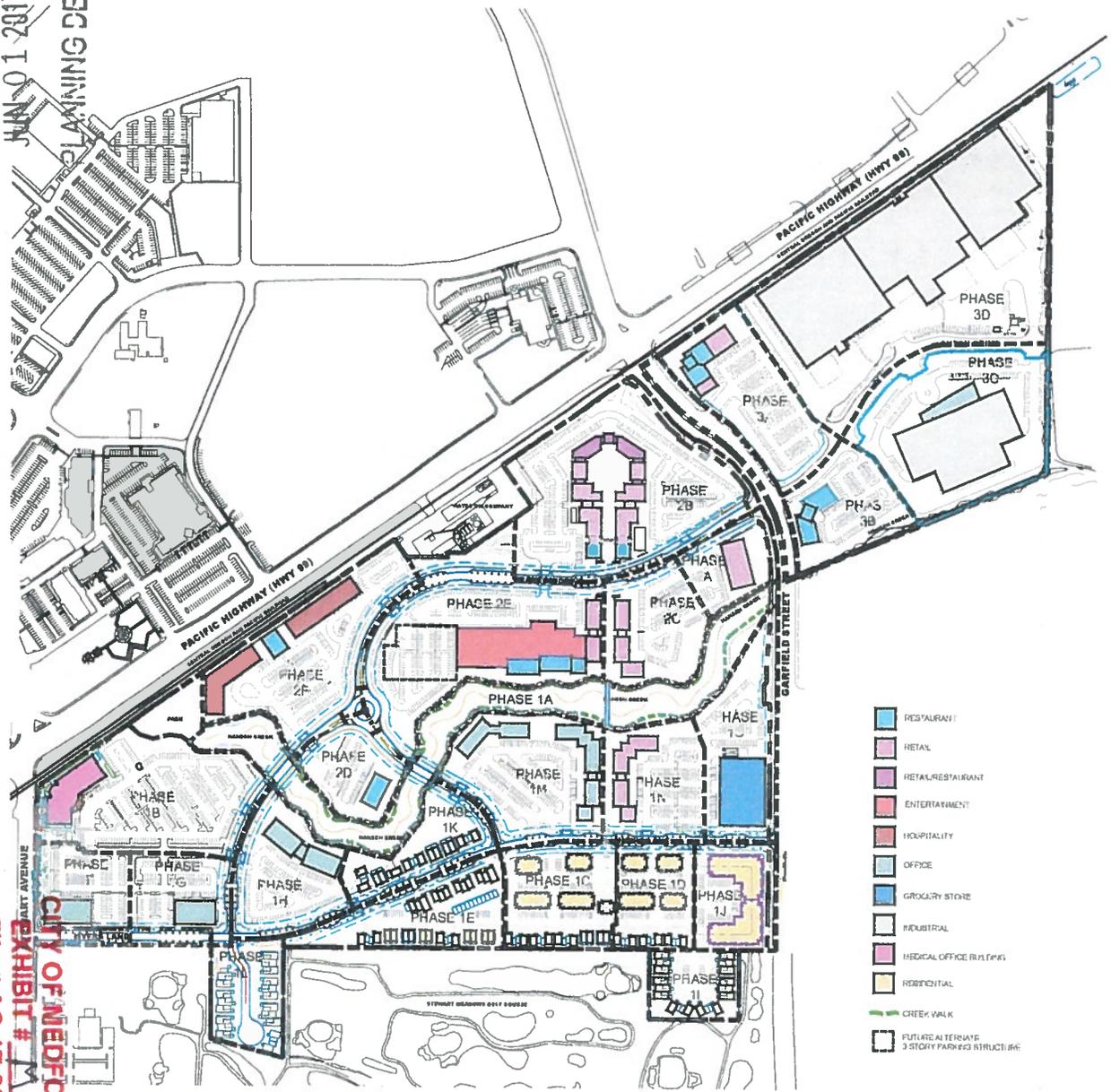
APPLICANT'S
EXHIBIT
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PROJECT #	TYPE	BUILDING AREA (SQ FT)	TRANSIT STOPS	TOTAL COST
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JUN 01 2017
PLANNING DEPT.

File # AC-17-066
EXHIBIT #



APPLICANTS
EXHIBIT
CITY OF MEDFORD
EXHIBIT #
File # AC-17-066

~~APPLICANT'S
EXHIBIT
6~~

THEBART MEADOWS VILLAGE - PROPOSED PUD MASTER PLAN REVISIONS - PHASING

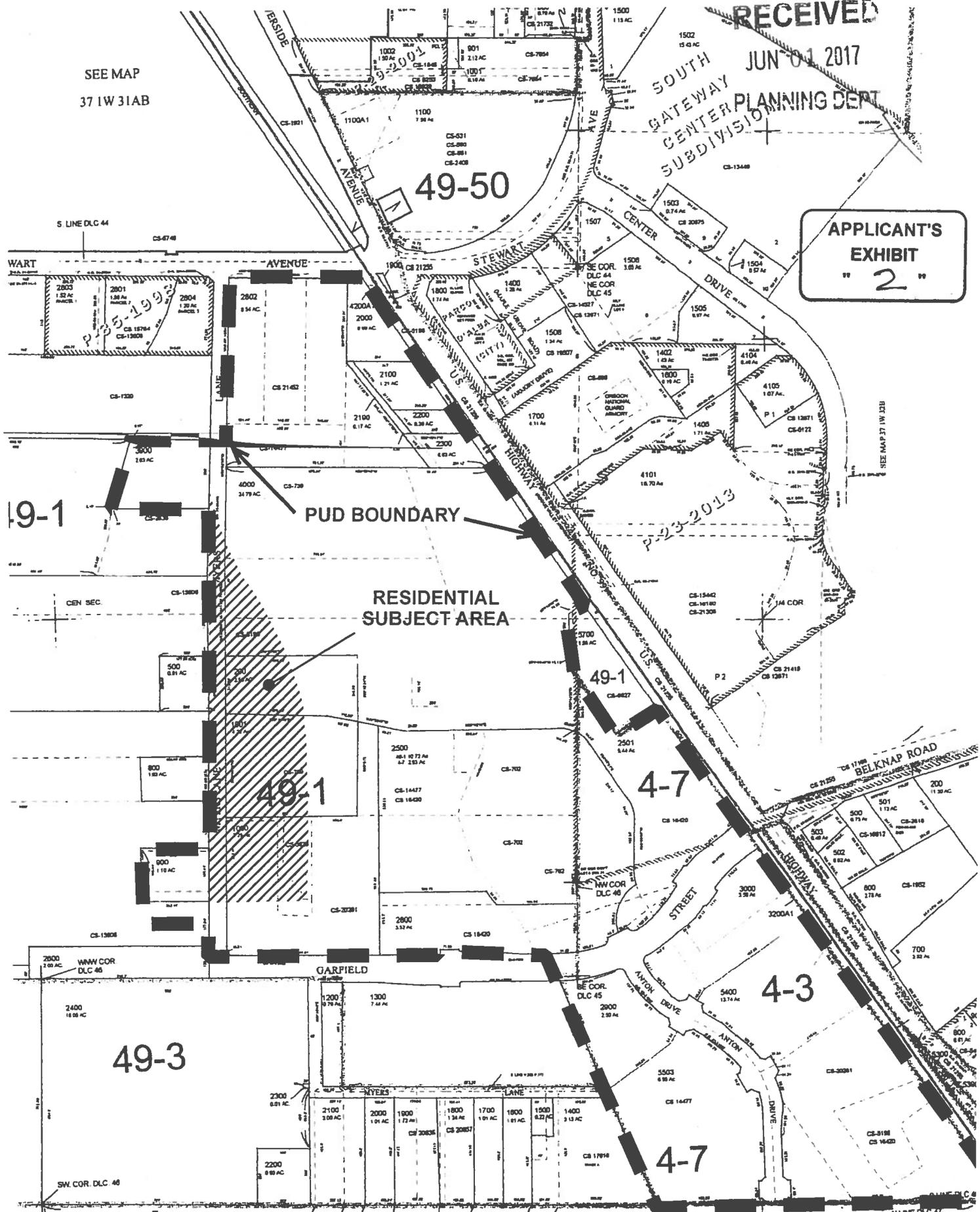
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SOUTH GATEWAY CENTER PLANNING DEPT SUBDIVISION

SEE MAP 37 1W 31AB

APPLICANT'S EXHIBIT "2"



STEWART

WS VILLAGE PUD

CITY OF MEDFORD

EXHIBIT # N

Site # AC-17-066

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FINDINGS OF FACT AND CONCLUSIONS OF LAW

BEFORE THE CITY OF MEDFORD
SITE PLAN AND ARCHITECTURAL COMMISSION

IN THE MATTER OF AN APPLICATION FOR
SITE PLAN AND ARCHITECTURAL
COMMISSION REVIEW

APPLICANT'S
EXHIBIT 1

APPLICATION: Request for approval of the architectural and site elements for 134 dwelling units, and approval of a modification to a portion of the design guidelines for the Stewart Meadows Village PUD.

**APPLICANT/
OWNER:** KOGAP Enterprises, Inc.
P.O. Box 1608
Medford, OR 97501

AGENT: Maize & Associates, Inc.
P.O. Box 628
Medford, OR 97501

A. BACKGROUND INFORMATION/CHRONOLOGY

KOGAP's Stewart Meadows Village was envisioned and planned as a mixed-use Planned Unit Development (PUD) that transforms a former industrial and agricultural site into a vibrant retail, commercial, and residential community. Within the core of the development is the realigned Hansen Creek that has been restored to an enhanced state. The newly revealed waterway weaves throughout the mix of retail, office, and residential uses which are clustered around an enhanced shopping center. The creek greenway corridor with its adjacent bike/pedestrian pathway loop links the development together and is a key amenity for Stewart Meadows Village and the surrounding community.

On November 29, 2007, the Planning Commission approved the original Preliminary Plan for Stewart Meadows Village Planned Unit Development, a mixed-use commercial and residential community on the old KOGAP mill site (File: PUD-06-141), and on March 26, 2009 the Planning Commission approved an application for a minor revision to that approved Preliminary PUD Plan that included the addition of two new tax lots into the development and reconfigured the internal public street system, including the realignment of Myers Lane.

The Planning Commission also delegated the authority to the Site Plan and Architectural Commission (SPAC) to approve in its name, the plans for buildings and landscaping within the PUD.

CITY OF MEDFORD
EXHIBIT # 0
File # AC-17-066

A Final PUD Plan for the restoration and landscaping of the realigned Hansen Creek, running through the PUD, was approved by the Planning Director in May 2012 (File: PUD-06-141), which is now identified as Phase 1A. The Hansen Creek restoration work was completed in 2015.

In 2013, the Planning Commission approved a revision to allow for modifications to the public rights-of-ways within the project (File: PUD-06-141), including the widening of the vehicle travel lanes; increasing the width of the public sidewalks; and alternating the on-street parking with the landscaped planter strips. The street-side planter strips will be utilized to treat and detain the storm water from the adjacent rights-of-way.

In June 2014, the Planning Director approved the Final PUD Plan for Phase 1 that contained essentially all of the proposed development west of and including Hansen Creek. The Final Plan also included the architectural and landscape guidelines for the project. Work commenced in 2015 for the installation of the Phase 1 public infrastructure, including the realignment and improvement of Myers Lane.

In 2016, a revision was approved to the Preliminary PUD Plan (File: PUD-16-037), which included a change to the size, configuration and uses in several buildings; the inclusion of medical office uses within one of the buildings; the addition of two adjoining parcels into the PUD boundary; the allowance of building heights to be regulated by the standards of the Land Development Code; the elimination of Ingmar Drive; the modification of the Stewart Avenue sidewalk and planter strip; the modification of some of the site design guidelines; the inclusion of a pedestrian promenade along South Pacific Highway; and a revision to the phasing plan for the PUD.

In July 2016, the 68,000-square foot medical office building, located near the Highway 99 and Stewart Avenue intersection, was approved by the Site Plan and Architectural Commission (File: AC-16-044). Construction has already commenced and the building will be the first completed within the PUD. As part of that approval the Site Plan and Architectural Commission approved a modification to a portion of the design guidelines for the PUD.

Later in 2016, a Zone Change application was approved that modified existing conditions of approval and adjusted the boundary between the I-L and I-G zones within the PUD's boundary (File: ZC-16-066).

Finally, the Planning Commission in 2017 approved a revision to the PUD (Exhibit "4") that included the addition of land into the PUD; the addition and modification of some uses and buildings; the inclusion of a sign program; the inclusion of a parking analysis; and a change of zone over small areas of the PUD. In their approval, the Planning Commission delegated the authority to the SPAC

to approve in its name, a second minor revision to the design guidelines for the PUD, which is one of the purposes of this application.

B. SCOPE, PURPOSE, AND OVERVIEW OF THE APPLICATION

The primary purpose of the application is to seek approval by the Site Plan and Architectural Commission of a substantial segment of the residential portion of the development, consisting of Phases 1C, 1D, and 1E, as shown on the approved Preliminary PUD Plan (Exhibit "4") and the Phasing Plan (Exhibit "5"). Although the PUD ordinance allows for PUD's to be exempt from Site Plan and Architectural Review, it also provides that the Planning Commission can delegate authority to the Site Plan and Architectural Commission to approve plans for buildings and other site elements. A condition of the 2009 Planning Commission approval required Site Plan and Architectural Commission approval of the design of buildings, parking, and landscaping of each phase prior to Final PUD Plan approval.

The application also requests the approval of some minor modifications to the previously-approved Design Guidelines. This request was delegated by the Planning Commission in their approval of the latest PUD revision earlier this year.

C. APPLICANT'S SUBMITTALS

- Exhibit 1 Findings of Fact and Conclusions of Law
- Exhibit 2 Assessor Map showing Subject Site
- Exhibit 3 Site Plan
- Exhibit 4 Approved Revised Preliminary PUD Plan
- Exhibit 5 Approved PUD Phasing Plan
- Exhibit 6 Architectural Plans, including perspectives, floor plans, roof plans, and elevations
 - 6A Building A
 - 6B Building B
 - 6C Building C
 - 6D Building D
 - 6E Building E
 - 6F Building F
 - 6G Building G
- Exhibit 7 Landscape Plans
- Exhibit 8 Conceptual Drainage and Utility Plan
- Exhibit 9 Design Guidelines, Revised January 9, 2017
- Exhibit 10 Photographs of Adjacent Development
- Exhibit 11 Materials
- Exhibit 12 Project Perspective

D. RELEVANT APPROVAL CRITERIA

Section 10.230(F) of the Land Development Code states that “*PUDs shall be exempt and there shall be no requirement to apply separately for Site Plan and Architecture review or to demonstrate compliance with the criteria in Section 10.290.*” However, with their approval of the Stewart Meadows Village Preliminary PUD Plan, the Planning Commission delegated its authority to SPAC to approve the detailed site plans for buildings and landscaping for Stewart Meadow Village, as well as the minor revision to the Design Guidelines for the Stewart Meadows Village PUD.

The City of Medford has historically applied the approval criteria of Section 10.290 to those delegated reviews from the PUD by the SPAC, rather than the criteria of Section 10.235(D). Following that principle, the applicant’s findings below also address the Site Plan and Architectural Review criteria of Section 10.290.

MEDFORD LAND DEVELOPMENT CODE

SECTION 10.290-SITE PLAN AND ARCHITECTURAL REVIEW CRITERIA

Section 10.290 of Medford’s Land Development Code states that:

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) The proposed development is compatible with uses and development that exist on adjacent land, and*
- (2) The proposed development complies with the applicable provisions of all city ordinances, or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC Section 10.253.*

E. FINDINGS OF FACT AND CONCLUSIONS OF LAW

The Site Plan and Architectural Commission has considered the following facts that are pertinent to the application request:

Section I - Narrative

As shown on Exhibit “5”, Phase 1A of Stewart Meadows Village PUD is the realigned and restored Hansen Creek, which has been constructed as a major focal and pedestrian element of the development. Phase 1B is the Providence medical office building, which is now under construction.

Phases 1C, 1D, and 1E comprise a substantial part of the residential portion of the PUD, and that area is the subject of this application. The table below shows a summary of those residential buildings, community building (G), and dwelling units.

Building Information				
Bldg. Number/ Type	Units/ Building	Area/ Unit (sq ft)	Total Dwelling Area (sq ft)	Total Bldg. Sq. ft.
48 C	4	1,420	5,680	7,440
49 C	4	1,420	5,680	7,440
50 C	4	1,420	5,680	7,440
52 A	2	1,200	2,400	3,024
53 B	2	1,524	3,048	4,200
54 B	2	1,524	3,048	4,200
55 B	2	1,524	3,048	4,200
56 A	2	1,200	2,400	3,024
57 B	2	1,524	3,048	4,200
58 B	2	1,524	3,048	4,200
59a F	8	1,379	11,032	14,178
59b F	4	636	2,544	-
60a F	8	1,379	11,032	14,178
60b F	4	636	2,544	-
61a E	8	1,086	8,688	13,680
61b E	4	1,248	4,992	-
62a E	8	1,085	8,688	13,680
62b E	4	1,248	4,992	-
63 G	0	-	-	2,048
64 A	2	1,200	2,400	3,024
65 A	2	1,200	2,400	3,024
66 A	2	1,200	2,400	3,024
67 B	2	1,524	3,048	4,200
68 B	2	1,524	3,048	4,200
69a F	8	1,379	11,032	14,178
69b F	4	636	2,544	-
70a F	8	1,379	11032	14,178
70b F	4	636	2,544	-
71a E	8	1,086	8,688	13,680
71b E	4	1,248	4,992	-
72 D	8	1,086	8,688	8,560
73 A	2	1,200	2,400	3,024
74 A	2	1,200	2,400	3,024
75 A	2	1,200	2,400	3,024
Garage	0	0	0	2,800
Total	134			

The 134 dwelling units are distributed in duplex and multiplex configuration. Site details, including parking and landscaping are shown on the specific application exhibit submittals.

Section II - Compatibility: Criterion No. 1

MEDFORD LAND DEVELOPMENT CODE - SECTION 10.290-SITE PLAN AND ARCHITECTURAL REVIEW CRITERIA

1. *The proposed development is compatible with uses and development that exist on adjacent land ...*

FINDINGS OF FACT

In order to assist the applicant in preparing Findings of Fact that address the issue of compatibility of the proposed application, the City of Medford has provided a series of questions on its application form that the applicant needs to answer. The answers to these questions are intended to provide the findings that can be adopted by the Site Plan and Architectural Commission to substantiate their conclusion that the proposed development is compatible with the uses and development that exist on adjacent land. The applicant, therefore, provides answers to the 16 listed questions below.

- A. *List existing uses and development adjacent to your project site. Along with this list, describe the architecture (materials, colors, etc.), age, and condition of the adjacent buildings (you may use photographs to supplement this information).*

The existing uses and development that are adjacent to the Stewart Meadows Village PUD are described below. Photographs have been included as exhibits, where noted, to supplement the information. Surrounding properties were constructed at various times and reflect a variety of uses and architectural design styles. Almost all of these structures are setback a significant distance from the street and most have parking between the sidewalk and the building.

West

Directly to the west of the proposed residences is the Stewart Meadows Golf Course, owned by KOGAP Enterprises, Inc., with the tee, fairway, and green of the 4th hole abutting the west property line of the development (Photo 17). An existing single-family residence is presently situated where residential Buildings No. 41 – No. 47 of the PUD (Phase 1L) will be located (Photo 21).

Further to the west, beyond the golf course and the Holly Street right-of-way, is the Jefferson Elementary School and playgrounds. Further west, is the

Fichtner-Mainwaring City Park and beyond that are single-family residential neighborhoods, with homes, generally constructed between 1950 and 2000.

South

Directly to the south is the future Phase 1J of the PUD, which will be developed with apartment buildings. Further to the south across Garfield Street right-of-way are several parcels within the County, ranging generally in size from 1 to 20 acres. Nearly all of the parcels have single-family residences, most which were constructed from 1930 to 1970 (Photos 22 - 24).

Further to the south are large agricultural tracts owned by Bear Creek Orchards.

East

To the east will be future phases of the Stewart Meadows Village PUD, as shown on Exhibit "4". The specific architectural plans for these phases will be reviewed by the Site Plan and Architectural Commission and will create an environment that is reminiscent of the lumber mills found in Oregon during the early part of the 20th century.

Further to the east, beyond the Central Oregon and Pacific Railroad and Highway 99 rights-of-way, (starting at Stewart Avenue and moving south) is Veteran's Park, the Comfort Inn Hotel, the Medford National Guard Armory, a Wal-Mart Super Store, and the Rogue Federal Credit Union at the corner of Garfield and Highway 99.

The Comfort Inn Hotel (Photo 8) was constructed within the last ten years. It is three stories high and has a hipped roof and painted cement plaster exterior walls, with parking and a landscape buffer along Highway 99.

The Armory (Photo 5) is circa 1958 and has shallow sloped gable roof with a large expanse of windows and a newer pavilion structure that serves as its entry. The building is approximately thirty-feet high and a single story. Military vehicles are stored behind the building on the east side. The building materials include tan painted cement plaster and brick. This building had extensive interior renovations last year.

The Wal-Mart Super Store (Photos 1 and 2) was constructed approximately five years ago and uses cmu and painted cement plaster as exterior materials. Colors are shades of brown and tan. It is a flat-roofed structure with simple cornices, some variation of the heights and wall planes. Faux window recesses have been painted contrasting color and some have metal awnings.

The building also includes a heavy timber with faux stone pilasters supporting it, and a covered drive-thru pharmacy at the south end of the building.

The Rogue Federal Credit Union building (Photo 3) recently received an addition along the Highway 99 side with a contemporary two-story brick façade with punched windows, and glass and aluminum metal composite panel corner elements at the north and south ends. It is a flat roofed structure.

North

To the north are also future phases of the PUD, as shown on Exhibit "4". The Phase 1B Providence medical office building is currently under construction (Photo 9). Further to the north beyond the Stewart Avenue right-of-way are a variety of one story buildings, all of which are set back from the street. Uses include a veterinarian office, a florist, brewery, the SOS fruit packing storage buildings, and a used car lot. The buildings range from small residential scale gable roof buildings to a concrete warehouse structure approximately a thirty-foot high with a flat roof (Photos 10 - 13). These structures appear to be at least forty-years old and in relatively good repair.

To the northeast is a shopping center, which includes an Arby's fast food restaurant, a three-unit retail building, and a Carl Jr's fast food restaurant. Further north are other large retail commercial buildings including Staples, Grocery Outlet, Goodwill Industries and Big 5 Sports (Photos 14 - 16).

- B. *Describe the building architecture and exterior treatments in your proposal, and how they fit with and complement adjacent buildings and development.*

This project will be the first residential building construction within the Stewart Meadows Village development.

The proposed residential apartment design concept is to create a fresh look at mixing the Northwest style meeting Mid-Century Modern styles; through the use of stained lap siding for traditional northwest architectural style; large/tall corner windows along with butterfly or winged roofs harken back to the 50's Mid-Century Modern period; and corrugated pre-finished steel siding and standing seam metal roofing adding the present design materials used on the new adjacent Providence Health Care Building". A consistent design style helps to tie the architecture of the development together.

The scale of the project is tallest and largest along Meyer Lane, drops to two level buildings at the middle row, and a mix of detached and two story duplexes along the park-like golf course.

The Community Building is situated in the middle of the development with many attributes for community building such as central mail station, dog

wash, pool, weight and exercise spaces as well as a large lounge with caterer's kitchen.

- C. *Describe the proposed architecture and exterior treatments that break up large facades and give relief to the building mass. The Site Plan and Architectural Commission Design Guidelines are a helpful reference, and can be found on the City's website, and in the Planning Department.*

As shown on each of the building's perspective, elevations, and material sheet, each of the residential buildings exteriors are constructed with a combination of fiber cement lap siding, corrugated metal wall panels wall panels, and a wide array of window treatments. Accents are provided with fiber cement belly bands, steel guardrails, and steel supporting columns.

The various building elements, including offsets, balconies, and projections create an interesting relief that breaks the mass of each building into smaller appealing visual segments.

- D. *Describe how the placement and orientation of the proposed building(s) relate(s) to the street facilities, and how this orientation promotes a more pedestrian-friendly site design.*
- a. *If the site lies within 600-feet of an existing or planned transit stop, as designated by the Transportation System Plan (TSP), describe compliance with the standards of Section 10.808, New Commercial and Institutional Development.*

The residential development is interconnected with internal walkways that join with the Myers Lane sidewalk running north and south from the subject site. A proposed pedestrian crossing is situated opposite of the community building (Building No. 63), which will lead into the retail/office core of the PUD, including the Hansen Creek greenway.

Medford's Transportation System Plan (*Figure 3 - 5: RVTD Public Transit Service and Facilities*) shows that the closest designated transit route to the subject area is Route 10, which runs along South Pacific Highway, Barnett Road and Center Drive, with the closest stop approximately 900 feet away from the subject site. The standards of Section 10.808 do not apply as the subject development is not commercial or institutional, however, the Rogue Valley Transit District (RVTD) recommended and the Planning Commission included as a condition that a bus stop be accommodated along Garfield Street in anticipation of a west Medford route. The applicant has constructed a concrete bus shelter pad and accessible path to that shelter per RVTD standards.

- E. *Describe the pedestrian facilities and amenities on your site (useable outdoor space, benches, etc), and how they will function for pedestrians.*

This project will greatly enhance the pedestrian and general experience of this portion of the PUD. The proposed residential development connects with the pedestrian/ bicycle-oriented development on the east side of Myers Lane, which includes the Hansen Creek greenway and a network of sidewalks and walkways, with benches, lighting, and other pedestrian amenities as illustrated in the Design Guideline document (Exhibit "9").

- F. *Describe vehicle and pedestrian access to the site, and how it relates internally on the site, and to adjacent sites.*

Vehicular access to the subject site is from Myers Lane at three driveway locations. The southern driveway has been aligned with the access driveway on the east side of Myers Lane, which satisfies a condition of the Revised Preliminary PUD Plan approval.

Pedestrians may enter the residential development from the public sidewalk along Myers Lane and utilize walkways to the individual buildings.

The major infrastructure of roads and utilities within the development that are adjacent to the residential site are scheduled to be in place by the time construction on this project is completed. Access to this and adjacent sites will follow the approved Preliminary PUD Plan.

- G. *Describe if and how the proposed plan is sensitive to retaining any existing trees or significant native vegetation on the site. Should existing trees be preserved, a Tree Protection Plan shall also be included in this application.*

This site is devoid of any exiting trees, other than the intensive landscaping along the Hansen Creek greenway. Access to the greenway will be provided via public sidewalks and pedestrian sidewalks from the proposed residences.

- H. *Describe storm water detention facilities on the site (underground storage, surface pond, etc). If these facilities will be landscaped areas, describe how the proposed landscaping will be integrated with other landscaping on the site.*

As shown on the Conceptual Drainage and Utility Plan (Exhibit "8") the stormwater treatment/detention system for the project will consist of a mixture of treatment conveyance swales, stormwater inlets, conveyance piping, subsurface detention piping, and flow-control structures.

- I. *Describe how your proposed landscaping design will enhance the building and other functions on the site.*

The proposed landscape and pedestrian elements go above and beyond required development standards. The landscaping is comprised of a mix of several sizes and types of trees, shrubs, ground covers, and stormwater infiltration facility plants. The trees are situated to compliment the interesting architecture of the buildings, as well as provide shade along the internal pedestrian walkways. The foundation plantings will provide a transition between the ground and the vertical residential walls.

- J. *Describe how your exterior lighting illuminates the site, and explain how the design of fixtures does not diminish a view of the night sky, or produce glare on adjacent properties, consistent with the standards of §10.764.*

Exterior luminaires, as shown on Exhibit "11", for public spaces, walks, and parking will be a fixture with a downward photometric cone of illumination that has no upward or side spread of light. Building mounted lighting will be of a decorative type and provide a low level of illumination that will not spread beyond the project property. Building lighting fixture examples will be provided for the Planning Commission at the public hearing.

- K. *Describe any proposed signage, and how it will identify the location of the occupant and serve as an attractive complement to the site.*

Site signage for these project phases and for the entire development have been designed by an environmental graphics consultant and were approved by the Planning Commission earlier this year, with some conditions.

The buildings and site will have a small amount of identification signage that corresponds to the approved sign program, consisting of both monument and wall signs.

- L. *Explain any proposed fencing, including its purpose, and how you have incorporated it as a functional, attractive component of your development. (§10.731-10.733)*

The only fencing proposed is that for the concealment of the trash container area.

- M. *Explain how any potential noise generated by future occupants will be mitigated on the proposed site, consistent with the standards of §10.752-10.761.*

The subject development is solely residential, and therefore the standards of Section 10.752 – 10.761 do not apply to this application. However, it is anticipated that there will be no noise generated beyond the standards of the "Noise Standards and Regulations for Commercial and Industrial Sources" found in Sections 10.752 - 10.761 of the Land Development Code.

- N. *Explain anything else about your project that adds to the compatibility of the project with adjacent development and uses.*

The findings above describe how the proposed residential development, both in design and function is compatible with the adjacent development. The majority of the immediate adjacent development is the planned mixed-use Stewart Meadows Village PUD. The Stewart Meadows Golf Course, abutting to the west, provides a “park-like” environment for the residents, with the residences offering a pleasing interface with the golf course.

- O. *List and explain any exceptions or modifications requested and provides reasons for such.*

There are no exceptions or modifications to requirements of the Land Development Code that are proposed with this application.

As discussed earlier, as part of the subject application, the applicant, does request a minor revision to the project’s design guidelines be approved by the Site Plan and Architectural Commission. In July 2016, the Site Plan and Architectural Commission (SPAC) approved a modification to a portion of the design guidelines for the Stewart Meadows Village PUD that were originally approved in 2014. In their review of a major revision of the PUD earlier this year, the Planning Commission delegated the authority to approve another minor revision to the design guidelines to the SPAC, which is the purpose of this portion of the application.

The updated design guidelines have been submitted as Exhibit “9”. Below is a listing of the differences between the Design Guidelines approved by the SPAC in 2016 and the proposed minor revisions. The Design Guideline document speaks for itself as far as providing the Site Plan and Architectural Commission with the necessary findings that they can adopt to make the conclusion that the revisions continue to meet the relevant decisional criteria of the Code, as well as the intent of the PUD as approved.

This section of the findings identifies the differences between the existing design guidelines, and the proposed revisions are identified below, together with the relevant section of the document.

1. The inclusion of the 34-acre tract along Anton Drive, south of Garfield Street into the PUD by action of the Planning Commission’s approval of the 2017 Revision of the Stewart Meadows Village Preliminary PUD Plan (File PUD -17-003).
2. There are several small verbiage changes that are inconsequential.
3. The “life-style center” is now called a “pedestrian mall”.

4. The addition of language that states that, “*Buildings shall be siting such that visitor, office and similar functions are located on the side that fronts onto the primary street or pedestrian way and that loading docks, outdoor storage, trash enclosures and similar purely operational program functions are located out of view of the building from the primary street or pedestrian way.*

Wherever feasible, smaller building elements should be placed along the street façade to reduce the visual building height and overall building mass from the street.” (1.1.1 Building Orientation)

5. The prohibition of “plastics and PVC” as exterior building trim. (1.2.1 Exterior Finish Materials)
6. The replacement of ‘board-formed concrete accent (columns, water tables, etc.) by “concrete walls and accents”. (1.3.1 Pedestrian Mall – Retail and Restaurant Facades)
7. The replacement of stone veneer accents or board-formed concrete accents with “aluminum composite metal panels and prefinished galvanized sheet metal” as accents. (1.3.2 Office Buildings)
8. The addition of (1) prefinished corrugated metal siding, (2) insulated metal siding, (3) concrete, (4) masonry split-face and ground face concrete block and brick, as wall cladding. (1.3.2 Office Buildings)
9. The elimination of building use categories that no longer exist.
10. The addition of wall cladding and accent materials for office buildings. (1.3.2 Office Buildings)
11. The addition of fenestration materials for residential buildings. (1.3.3 Multi-family Residential and 1.3.4 Residential Townhomes and Duplex Units)
12. The addition of Architectural Elements and Material Guidelines for new building types. (1.3.6 Industrial Buildings. 1.3.7 Entertainment Buildings; and 1.3.8 Hospitality)
13. The elimination of the walkway/bikeway/pathway site elements. (2.1.4)
14. The inclusion of specifics for hardscapes. (2.2.1)

15. The increase in tree calipers: (2.4.1 and 2.4.2)

- from 1¼” to 2” for deciduous, long-lived trees
- from 1½” - 3” to 2½” - 3” for small-medium sized trees
- from 8’ - 10’ to 10’ – 12’ for small-medium height flowering or specimen trees

16. Change style of containers, pots, and lighting fixtures. (2.5.5)

17. Eliminate specific standards for site furnishings.

18. The elimination of signage since there is now a separate approved signage program for the PUD.

P. Section 10.780(C)(2) - List any petition for relief of landscaping standards (i.e., request an increase in turf area at a facility for active recreation; eliminate requirement for root barriers when trees are planted in structural soils). Provide rationale for requested deviation from standard.

There are no petitions for relief proposed.

CONCLUSION OF LAW

The Site Plan and Architectural Commission concludes that based upon the above Findings of Fact, and the exhibits submitted as part of the application, that the residential buildings and the site elements are compatible with those uses and development that exist on adjacent land.

The SPAC also concludes that these minor modifications to the Design Guidelines for Stewart Meadows Village PUD continue to remain compatible with uses and development that exist on adjacent land.

Section II - Code Compliance: Criterion No. 2

2. *The proposed development complies with the applicable provisions of all city ordinances, or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC Section 10.253.*

FINDINGS OF FACT

Based upon the submitted material in the subject Site Plan and Architectural Commission application, including the associated exhibits, the application meets all city ordinances and requirements of the Code and those modifications to the Code standards allowed through the PUD and previously approved by the Planning Commission process, with the stipulation below.

Because of the expansive nature of the residential development that will be constructed in phases, the applicant requests that as provided for in Section 10.292(2), the SPAC authorize a time schedule for the issuance of building permits for five (5) years.

As shown on the Jackson County Assessor Map (Exhibit "2"), which illustrates the subject site, several existing historical lot lines will need to be adjusted prior to the issuance of building permits so that the buildings meet all setback requirements. The applicant stipulates to the adjustment of those property lines.

Because a portion of the proposed residential development is located over the old right-of-way of Myers Lane, the applicant will stipulate to the vacation of that right-of-way before issuance of building permits.

CONCLUSION OF LAW

Based upon the submitted application material and the above Findings of Fact, the Site Plan and Architectural Commission concludes that the proposed development will comply with the applicable provisions of all city ordinances with the stipulations below.

G. STIPULATIONS

1. Prior to the issuance of building permits for the residential buildings, the structures will meet setback standards of the Code.
2. Prior to the issuance of building permits the underlying Myers Lane right-of-way shall be vacated.

H. ULTIMATE CONCLUSION

The Site Plan and Architectural Commission concludes that the proposed residential buildings and associated site elements, together with the above stipulations, will conform with the Site Plan and Architectural Review criteria found in Section 10.290 of the Land Development Code and comply with all applicable standards of the Land Development Code. The SPAC authorizes a five-year time period for the issuance of building permits for the subject residential development. The Site Plan and Architectural Commission also concludes that the amended design guidelines for Stewart Meadows Village PUD continue to remain compatible with the uses and development that exist on adjacent land

The Site Plan and Architectural Commission finally concludes that as the subject application meets the relevant decisional approval criteria, the application can be approved.

Respectively Submitted,



Jim Maize

Maize & Associates, Inc.
agent for KOGAP Enterprises, Inc.

Dated: May 31, 2017



Continuous Improvement Customer Service

CITY OF MEDFORD

LD Date: 7/12/2017

File Number: AC-17-066

(Reference: PUD-06-141/LDS-08-016/AC-09-005/AC-12-012/AC-14-009, PUD-16-037, AC-16-044, ZC-16-066, PUD-17-003, ZC-17-004)

PUBLIC WORKS DEPARTMENT STAFF REPORT **Residential Duplex/Multi-Plex** *Stewart Meadows Village PUD*

- Project:** Consideration of plans for the development of 134 multi-family dwelling units totaling 185,024 square feet on a 7.9-acre tract of land.
- Location:** Located within the Stewart Meadows Village Planned Unit Development (PUD) bounded generally by Garfield Avenue and the realigned Myers lane within the SFR-10 (Single Family Residential, 10 dwelling units per gross acre) zoning district (371W31A TL 4000, 371W31D TL 200, 371W1D TL 1000 & 1001), together with consideration of a modification to a portion of the approved design guidelines for the PUD development.
- Applicant:** KOGAP Enterprises, Applicant; Jim Maize & Associates, Agent; Dustin Severs, Planner.

Applicability: The Medford Public Works Department's conditions of Preliminary Plan Approval for Stewart Meadows Village Planned Unit Development (PUD) were adopted by Order of the Medford Planning Commission on November 29th, 2007 (PUD-06-141) and received a minor revision on March 26th, 2009 by the Planning Commission, to include two new tax lots into the development and reconfigured the internal public street system. A Final PUD Plan for the development and landscaping of the realigned Hansen Creek restoration work, running through the PUD was approved by the Planning Director in May 2012 (Phase 1A). In 2013 the Planning Commission approved a revision to allow for modifications to the public rights-of-ways within the project. In 2014, the Planning Director approved the Final PUD Plan for Phase 1 that included essentially all of the proposed development west of Hansen Creek, which also included the architectural and landscape guidelines for the project. On June 2nd, 2016 the Planning Commission approved a revision to the approved Preliminary PUD Plan for Stewart Meadows Village (PUD-16-037) to incorporate additional property into the PUD boundary. The Medford Site Plan and Architectural Commission approved plans (AC-16-044) for a 66,837 square foot Medical Office Building (AC-16-044) on 5.7 acres located in Stewart Meadows Village PUD on July 1st, 2016. In late 2016, a Zone Change application was approved to modify existing conditions of approval and adjust the boundary between the I-L and I-G zones (ZC-16-066). Lastly, on April 13th, 2017 the Planning Commission approved a revision to the PUD that

included the addition of land into the PUD (PUD-17-003) and a subsequent Zone Change (ZC-17-004). **The adopted conditions by each of these actions shall remain in full force as originally adopted except as amended or added to below.**

NOTE: The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention, if applicable.
- Completion of all public improvements, if required. The applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements shall be approved by the Public Works Engineering Division prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas
- Certification by the design engineer that the stormwater quality and detention system was constructed per the approved plan, if applicable.
- Completion of all public improvements, if applicable.

A. STREETS

1. Dedications

Myers Lane (realigned section) is classified as a Commercial street within the Medford Land Development Code (MLDC), Section 10.429. The developer shall dedicate for public right-of-way, sufficient land in order to provide the right-of-way, for the entire length of Myers Lane from Garfield Street to Stewart Avenue as previous conditioned. **The Developer's surveyor shall verify the amount of additional right-of-way required.**

NOTE: The section of **Myers Lane to be vacated (SV-17-069)**, will need to be completed prior to dedication of right-of-way and the 10-foot public utility easement for the new alignment of Myers Lane. This is of particular significance where the newly aligned segment intersects the existing section of Myers Lane. Furthermore, all utilities will need to be relocated from the vacated section and sign-off shall be obtained from all applicable utility companies prior to issuance of building permits.

In accordance with MLDC 10.471, **the property owner shall dedicate a 10-foot wide public utility easement (PUE)** adjacent to the right-of-way of Myers Lane as described above.

The right-of-way and easement dedications shall be submitted directly to the Engineering

Division of the Public Works Department. The submittal shall include: the right-of-way and easement dedication, including an exhibit map; a copy of a current Lot Book Report, Preliminary Title Report, or Title Policy; a mathematical closure report (if applicable), and the Planning Department File Number; for review and City Engineer acceptance signature prior to recordation by the applicant. Releases of interest shall be obtained by holders of trust deeds or mortgages on the right-of-way and PUE area. All right-of-way and PUE areas to be dedicated shall be free and clear of all encumbrances.

2. Public Improvements

a. Public Streets

Myers Lane is classified as a Commercial street within the Medford Land Development Code (MLDC), Section 10.429. Street section improvements are in progress (refer to Public Improvement Plans P1813D), including pavement, curb and gutter and sidewalk. These improvements to Myers Lane will need to be completed or security provided prior to issuance of a vertical building permit.

b. Street Lights and Signing

The Developer shall provide and install in compliance with Section 10.495 of the Medford Municipal Code (MMC). The Developer shall install street lights and signage, on both sides of Myers Lane, in accordance with the Stewart Meadows Village – Phase 1 (Project No. P1813D) plans.

All street lights shall be installed per City standards and be shown on the public improvement plans. All street lights shall be operating and turned on at the time of the final “walk through” inspection by the Public Works Department.

The Developer shall pay for City installed signage required by the development. City installed signs include, but are not limited to, street name signs, stop signs, speed signs, school signs, dead end signs, and dead end barricades. Sign design and placement shall be per the Manual on Uniform Traffic Control Devices (MUTCD). All signs shall be shown on the public improvement plans and labeled as City installed.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer’s contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided the Developer.

c. Pavement Moratoriums

There is no pavement cutting moratorium currently in effect along this frontage.

The developer shall be responsible for notifying by certified letter all utility companies, as well as all current property owners of parcels which are adjacent to any Public Street being constructed or paved as part of this project. The letter shall inform the utility companies and property owners of the City's street moratorium policy with respect to pavement cutting for

future utility services. The utility companies and property owners shall be given the opportunity to install utility services within the right-of-way prior to paving and the subsequent moratorium. Notifications shall be mailed by the Developer at least 6 months before a street is resurfaced or rebuilt per Medford Municipal Code (MMC), Section 3.070. Copies of the certifications shall be submitted to the City Engineer with the submittal of the preliminary construction drawings.

3. Access and Circulation

Driveway access and circulation to and through the proposed development shall comply with MLDC 10.550 and 10.426. Driveway approaches can utilize either a standard curb cut or have 20 foot curb radii, concrete valley gutters and ADA ramps at the throat of each driveway. Driveway approaches shall not be placed within areas designated for on-street parking.

The Developer shall submit evidence of or grant cross-access easements to the properties along its western boundary in accordance with MLDC 10.550. Where identical ownership exists between parcels, a restrictive covenant should be used in lieu of cross-access easements.

4. Section 10.668 Analysis

To support a condition of development that an Applicant dedicates land for public use or provide a public improvement, the Medford Code requires a nexus and rough proportionality analysis which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

10.668 Limitation of Exactions

Notwithstanding any other provisions of this Chapter 10, an applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless:

(1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose and that there is a rough proportionality between the burden of the exaction on the developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or

(2) a mechanism exists and funds are available to fairly compensate the applicant for the excess burden of the exaction to the extent that it would be a taking.

1. Nexus to a legitimate government purpose

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, emergency services and pedestrians. Further, these rights-of-way are used to provide essential services such as sanitary sewer, domestic water and storm drains to serve the developed parcels. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

2. Rough proportionality between the dedications and improvements, and the impacts of development.

No mathematical formula is required to support the rough proportionality analysis. Furthermore, benefits to the development resulting from the dedication and improvements when determining “rough proportionality” have been considered, including but not limited to: increased property values, intensification of use, as well as connections to municipal services and the transportation network.

As set forth below, the dedication recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development.

Myers Lane:

Local street right-of-way dedication and construction requirements identified by the Public Works Department and required by the City are the minimum required to protect the public interest and are necessary for additional or densification of development in the City without detracting from the common good enjoyed by existing properties. Developments are required to provide all internal local streets and half-street improvements to abutting streets, including associated right-of-way dedications, to ensure that new development and density intensification provides the current level of urban services and adequate street circulation is maintained.

Dedication of the Public Utility Easements (PUE) will benefit development by providing public utility services, which are out of the roadway and more readily available to each lot or building being served. The additional traffic of all modes of travel generated by this proposed development supports the dedication and improvements for all modes of travel and utilities. As indicated above, the area required to be dedicated for this development is necessary and roughly proportional to that required in similar developments to provide a transportation system that meets the needs for urban level services.

B. SANITARY SEWERS

This site lies within the Rogue Valley Sewer Service (RVSS) area. Contact RVSS for sanitary sewer connections.

C. STORM DRAINAGE

1. Drainage Plan

A drainage plan showing the project’s impacted site with sufficient information to determine the direction of runoff to the existing or proposed drainage system, and also showing elevations of the proposed drainage system (if applicable), shall be submitted with the first building permit application for approval. Any new or reconstructed area catch basins shall meet Department of Environmental Quality (DEQ) requirements, which include a down-turned elbow and sump.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

All private storm drain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development shall be submitted with the building permit application for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Sections 10.481 and 10.729.

If the proposed development is to be constructed in phases, then each phase will be required to have its own stormwater detention and water quality treatment. If the Developer desires to do so, a Stormdrain Masterplan may be submitted in lieu of requiring each phase to have separate stormwater detention and water quality treatment. The Stormdrain Masterplan shall be submitted and reviewed with each phase's construction plans and shall be constructed with any phase to be served by the facility.

4. Certification

If applicable, upon completion of the project, and prior to certificate of occupancy of the building, the developer's design engineer shall certify that the construction of the stormwater quality and detention system was constructed per plan. Certification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

5. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

D. GENERAL CONDITIONS

1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the Public Works Engineering office.

2. Construction Plans

Construction drawings for any public improvements for this project shall be prepared by a professional engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Construction drawings for public improvements shall be submitted only for the improvements to be constructed with each phase. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets, minimum access drives, sanitary sewers, storm drains, and street lights as required by the governing Commission's Final Order, together with all pertinent details and calculations. A checklist for public improvement plan submittal can be found on the City of Medford, Public Works web site (<http://www.ci.medford.or.us/Page.asp?NavID=3103>). The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

In order to properly maintain an updated infrastructure data base, the Surveyor of Record shall submit an as-built survey prior to the Final Inspection and, the Engineer of Record shall submit mylar "as-constructed" drawings to the Engineering Division within sixty (60) calendar days of the Final Inspection (walk through). Also, the engineer shall coordinate with the utility companies, and show all final utility locations on the "as built" drawings.

3. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans.

Contractors proposing to do work on public streets, sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit from the County.

For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and storm drain mains be inspected by video camera prior to acceptance of these systems by the City.

Where applicable, the developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

4. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any

structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

5. System Development Charges

Buildings in this development are subject to street, sanitary sewer treatment and storm drain system development charges (SDC). All SDC fees shall be paid at the time individual building permits are issued.

By: Doug Burroughs

SUMMARY CONDITIONS OF APPROVAL

Stewart Meadows Village

Residential Duplex/Multi-Plex

AC-17-066

A. Streets

1. Street Dedications to the Public:

- **Myers Lane (realigned section)** – Dedicate right-of-way.
- The section of **Myers Lane to be vacated** shall be completed prior to dedication of right-of-way and Public Utility Easement (PUE) for the realigned section. This includes relocation of utilities from the vacated section and subsequent sign-off from applicable utility companies.
- Dedicate 10-foot PUE.

2. Improvements:

Public Streets

- Construct **Myers Lane** to Commercial street standards.
- Complete improvements to Myers Lane.

Lighting and Signing

- Developer supplies and installs all street lights at own expense.
- City installs traffic signs and devices at Developer's expense.

Access and Circulation

- Driveway access and circulation through the proposed development shall comply with MLDC 10.550 and 10.426.

Other

- Provide pavement moratorium letters.
- Provide soils report.

B. Sanitary Sewer:

- The site is situated within the RVSS area.

C. Storm Drainage:

- Provide a comprehensive grading and drainage plan.
- Provide water quality and detention facilities, calculations and O&M Manual.
- Provide engineers certification of stormwater facility construction.
- Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.



BOARD OF WATER COMMISSIONERS
Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: AC-17-066

PARCEL ID: 371W31A TL4000, 371W31D TL 1000-1001

PROJECT: Consideration of plans for the development of 134 multi-family dwelling units totaling 185,024 square feet on a 7.9-acre tract of land located within the Stewart Meadows Village Planned Unit Development (PUD) bounded generally by Garfield Avenue and the realigned Myers lane within the SFR-10 (Single Family Residential, 10 dwelling units per gross acre) zoning district (371W31A TL 4000, 371W31D TL 200, 371W1D TL 1000 & 1001), together with consideration of a modification to a portion of the approved design guidelines for the PUD development; KOGAP Enterprises, Applicant; Jim Maize & Associates, Agent; Dustin Severs, Planner.

DATE: July 12, 2017

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. Installation of "on-site" 12-inch water lines is required. Applicants' civil engineer shall coordinate with MWC engineering department for on-site water facility layout. Water lines are required to be installed in paved travel lanes. They shall not be installed through landscaping islands, parking islands, and parking stalls.
4. Applicant or their civil engineer shall coordinate with Medford Fire Department for required fire hydrant locations.
5. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35>.

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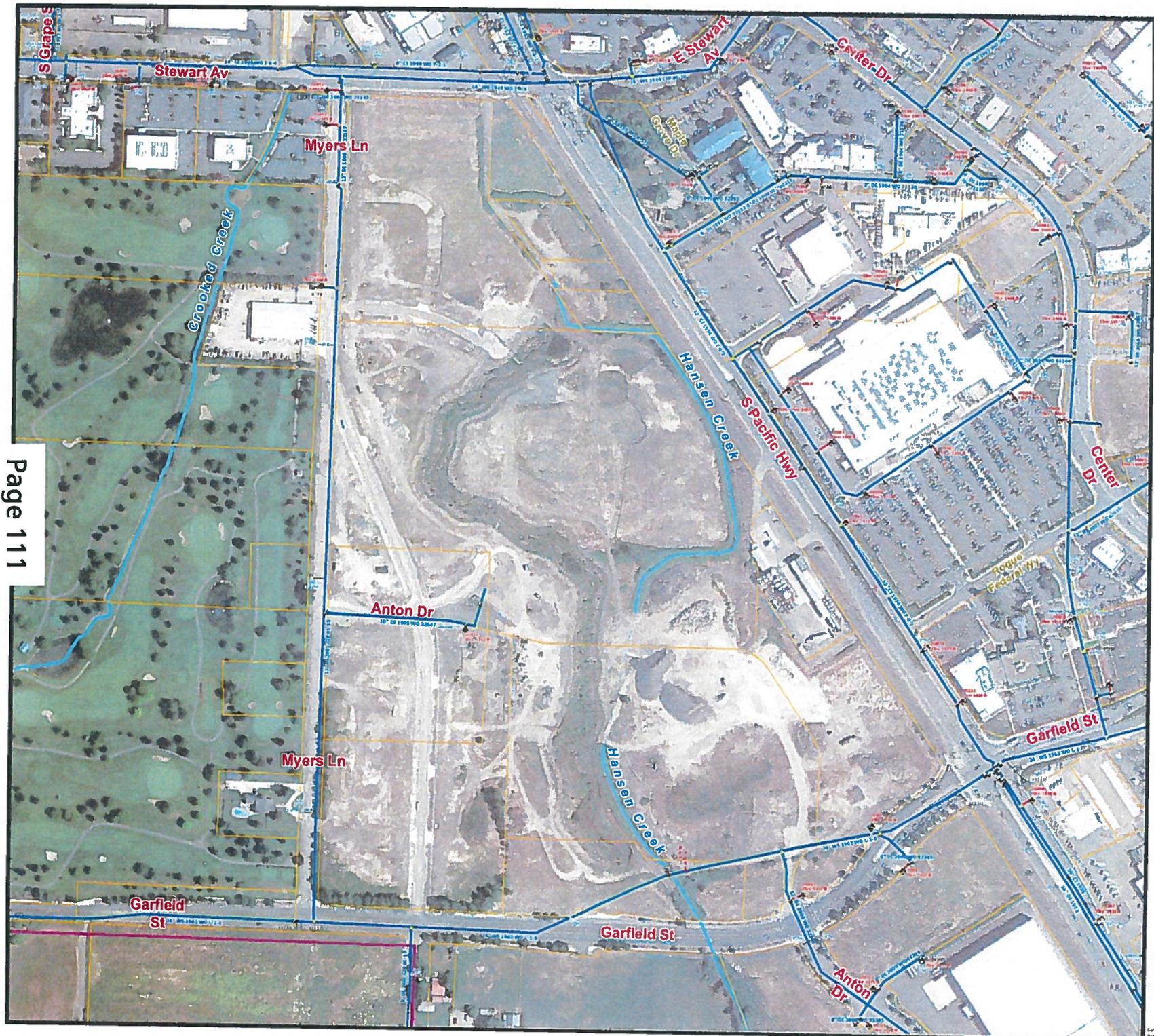
BOARD OF WATER COMMISSIONERS
Staff Memo

Continued from Previous Page

6. Dedication of a 10 foot wide (minimum) access and maintenance easement to MWC over all water facilities located outside of public right-of-way is required. Easement shall be submitted to MWC for review and recordation prior to construction.
7. A pre-design meeting between the applicants Civil Engineer and MWC Engineering staff is required prior to plan review submittal to MWC.
8. The Applicant, or their Civil Engineer shall submit 1 (one) full set of Civil Site & Utility Improvement Plans, including Water Facility Improvement Plan sheets for this proposed development directly to the Medford Water Commission for review, and plan approval.

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is required. (See Condition
3. Static water pressure is expected to be below 80 psi between Garfield Street and Stewart Avenue. See attached document from the City of Medford Building Department on "Policy on Installation of Pressure Reducing Valves".
4. MWC-metered water service does exist to this property. There are "vacant" water meter boxes that were installed during water line installation to provide domestic water and fire protection water to this proposed development. "Vacant" means that there is no physical water meter installed inside the existing water meter box or vault, until such time that the water service is requested to be turned on and activated.
5. Access to MWC water lines is available. There is a new 12-inch water line in Meyers Lane, including the realigned portion of Meyers Lane. This 12-inch water line extends from Garfield Street to Stewart Avenue. There is a 24-inch water transmission main in Garfield Street, and a 14-inch water line in Stewart Avenue.



0 100 200 400 Feet
Scale: 1"=400'

Water Facility Map for AC-17-066

Legend

- ⊕ Air Valve
- Sample Station
- ⊞ Fire Service
- ⊕ Hydrant
- ▲ Reducer
- ⊞ Blow Off
- ⊕ Plugs-Caps
- Water Meters:**
- ⊕ Active Meter
- On Well
- ⊞ Unknown
- Vacant

- Water Valves:**
- ⊕ Butterfly Valve
- ⊕ Gate Valve
- ⊕ Tapping Valve

- Water Mains:**
- Active Main
- - - Abandoned Main
- Reservoir Drain Pipe
- Pressure Zone Line

- Boundaries:**
- ⊞ Urban Growth Boundary
- ⊞ City Limits
- ⊞ Tax Lots

- MWC Facilities:**
- ⊞ Control Station
- ⊞ Pump Station
- ⊞ Reservoir



This map is based on a digital data file compiled by Medford Water Commission from a variety of sources. Medford Water Commission is not responsible for errors or omissions in this map. There are no warranties, expressed or implied.

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Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Dustin Severs

LD Meeting Date: 07/15/2017

From: Greg Kleinberg

Report Prepared: 07/07/2017

Applicant: KOGAP Enterprises, Applicant; Jim Maize & Associates, Agent

File #: AC - 17 - 66

Site Name/Description: Stewart Meadows Village Planned Unit Development

Consideration of plans for the development of 134 multi-family dwelling units totaling 185,024 square feet on a 7.9-acre tract of land located within the Stewart Meadows Village Planned Unit Development (PUD) bounded generally by Garfield Avenue and the realigned Myers lane within the SFR-10 (Single Family Residential, 10 dwelling units per gross acre) zoning district (371W31A TL 4000, 371W31D TL 200, 371W1D TL 1000 & 1001), together with consideration of a modification to a portion of the approved design guidelines for the PUD development; KOGAP Enterprises, Applicant; Jim Maize & Associates, Agent; Dustin Severs, Planner.

DESCRIPTION OF CORRECTIONS

REFERENCE

Requirement ADDRESS IDENTIFICATION

OFC

505.1

Building numbers shall be placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background.

Temporary signs shall be installed at each street intersection when construction of new roadways allows passage of vehicles.

Requirement FIRE HYDRANTS

OFC

508.5

Fire hydrants with reflectors will be required for this project.

Fire hydrant locations shall be as follows: A total of 11 fire hydrants required for this phase, which includes 3 new fire hydrants and 8 existing (3 relocated).

Additional hydrants may be required to comply with the requirement of proximity to fire department connections (for fire sprinkler and standpipe systems, the fire department connection shall be located at an approved location away from the building and within 75' of a fire hydrant. The fire department connection shall be located on the same side as the fire department access route.).

The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Plans and specifications for fire hydrant system shall be submitted to Medford Fire Department for review and approval prior to construction. Submittal shall include a copy of this review (OFC 501.3).

CITY OF MEDFORD
EXHIBIT # R
File # AC-17-066



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Dustin Severs

LD Meeting Date: 07/15/2017

From: Greg Kleinberg

Report Prepared: 07/07/2017

Applicant: KOGAP Enterprises, Applicant; Jim Maize & Associates, Agent

File #: AC - 17 - 66

Site Name/Description: Stewart Meadows Village Planned Unit Development

Requirement FD APPARATUS ACCESS ROAD DESIGN

OFC

503.2.1

Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches. The required width of a fire apparatus access road shall not be obstructed in any manner, including parking of vehicles. Minimum required widths and clearances established under section 503.2.1, shall be maintained at all times. The fire apparatus access road shall be constructed as asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 60,000 pounds.

(See also OFC 503.4; D102.1)

The turning radius on fire department access roads shall meet Medford Fire Department requirements (OFC 503.2.4).

Requirement AERIAL APPARATUS ACCESS

OFC

D105

Possible aerial apparatus requirements for all "F" Buildings.

SECTION D105-AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 Where required. Buildings or portions of buildings or facilities exceeding 30 feet (9144 mm) in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway.

D105.2 Width. Fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm) in the immediate vicinity of any building or portion of building more than 30 feet (9144 mm) in height.

D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building.

Requirement PRIVATE FIRE DEPARTMENT ACCESS PARKING RESTRICTION

OFC

503.4

Parking shall be marked as prohibited along all private drives.

Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Dustin Severs

LD Meeting Date: 07/15/2017

From: Greg Kleinberg

Report Prepared: 07/07/2017

Applicant: KOGAP Enterprises, Applicant; Jim Maize & Associates, Agent

File #: AC - 17 - 66

Site Name/Description: Stewart Meadows Village Planned Unit Development

Where parking is prohibited for fire department vehicle access purposes, NO PARKING-FIRE LANE signs shall be spaced at minimum 50' intervals along the fire lane (minimum 75' intervals in 1 & 2 family residential areas) and at fire department designated turn-around's. The signs shall have red letters on a white background stating "NO PARKING-FIRE LANE" (See handout).

For privately owned properties, posting/marketing of fire lanes may be accomplished by any of the following alternatives to the above requirement (consult with the Fire Department for the best option):

Alternative #1:

Curbs shall be painted red along the entire distance of the fire department access. Minimum 4" white letters stating "NO PARKING-FIRE LANE" shall be stenciled on the curb at 25-foot intervals.

Alternative #2:

Asphalt shall be striped yellow or red along the entire distance of the fire department access. The stripes shall be at least 6" wide, be a minimum 24" apart, be placed at a minimum 30-60 degree angle to the perimeter stripes, and run parallel to each other. Letters stating "NO PARKING-FIRE LANE" shall be stenciled on the asphalt at 25-foot intervals.

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths (20' wide) and clearances (13' 6" vertical) shall be maintained at all times (OFC 503.4; ORS 98.810-12).

This restriction shall be recorded on the property deed as a requirement for future construction.

A brochure is available on our website or you can pick up one at our headquarters.

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.



JACKSON COUNTY

Roads

Roads Engineering

Kevin Christiansen
Construction Manager

200 Antelope Road
White City, OR 97503
Phone (541) 774-6255
Fax: (541) 774-6295
christ@jacksoncounty.org
www.jacksoncounty.org

July 7, 2017

Attention: Dustin Severs
Planning Department
City of Medford
200 South Ivy Street, Lausmann Annex, Room 240
Medford, OR 97501

RE: Plans for development of 134 multi-family dwelling units bounded by Garfield and the newly re-aligned Myers Lane – formerly a county maintained road.
Planning File: AC-17-066.

Dear Dustin:

Thank you for the opportunity to comment on the consideration of plans for development of 134 multi-family dwelling units totaling 185,024 square feet on a 7.9 acre tract of land located within the Stewart Meadows Village Planned Unit Development (PUD) units bounded generally by Garfield Avenue and the newly re-aligned Myers Lane within the SRF-10 (Single Family Residential, 10 dwelling units per gross acre) zoning district (37-1W-31A TL 4000, 37-1W31D TL 200, 37-1W1D TL 1000 & 1001), together with consideration of a modification to a portion of the approved guidelines for the PUD development.

Jackson County Roads has the following comments:

1. If frontage improvements off Myers Lane are required, they shall be permitted and inspected by the City of Medford.
2. Any new or improved road approaches off Myers Lane shall be permitted and inspected by the City of Medford.
3. The applicant shall submit construction drawings to Jackson County Roads and obtain county permits if required.
4. Future construction plans shall be submitted to Jackson County Roads, so we may determine if county permits will be required.
5. The former Myers Lane was a County Local road and was county-maintained.

6. Jackson County's General Administration Policy #1-45 sets forth the County's position as it relates to the management of County roads located within existing or proposed city limits or Urban Growth Boundaries (UGB). The County has no current plans for improvements to Myers Lane. Jackson County Roads recommends that the city request road jurisdiction.
7. This portion of Meyers Lane is a County road within the City of Medford's city limits. Per ORS 368.361, intergovernmental vacation proceedings are required. The applicant must also obtain vacation approval from Jackson County. Depending upon how Meyers Lane was created, some of the right-of-way may vacate to the south.
8. Storm water should meet City of Medford requirements that also include water quality.
9. Jackson County Roads would like to review and comment on the hydraulic report including the calculations and drainage plan. Capacity improvements or on site detention, if necessary, shall be installed at the expense of the applicant. Upon completion of the project, the developer's engineer shall certify that construction of the drainage system was constructed per plan and a copy of the certification shall be sent to Jackson County Roads.

If you have any questions or need further information feel free to call me at 774-6255.

Sincerely,


Kevin Christiansen
Construction Manager



ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 7502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

July 10, 2017

City of Medford Planning Department
200 S. Ivy Street
Medford, Oregon 97501

**Re: AC-17-066, Stewart Meadows Village Residential Duplex/Multi-Plex (Map 371W31A,
Tax Lot 4000, 371W31D, Tax Lot 1000-1001)
Ref: PUD-16-037, ZC-16-066**

ATTN: Dustin,

There is a public 18 inch sewer main flowing west to east across tax lot 2800 and a public 10 & 8 inch main from south to north along Myers Lane. Adequate sewer capacity exists to serve the proposed development.

Currently, sewer improvements for Stewart Meadows Village PUD - Phase 1 and for the providence Medical Building are partially constructed and have not been accepted by RVSS.

Rogue Valley Sewer Services requests that approval of the proposed development be subject to the following conditions:

1. The sewer main along existing Myers Lane must be removed. Existing services must be connected once testing of the new system is complete.
2. The developer must construct and/or complete all sewer main lines in accordance with RVS standards.
3. The new sewer mains must be accepted as a public facility by RVSS prior to the issuance of building permits.
4. New sewer mainlines constructed on private property will require easements and continuous access to all manholes and cleanouts per RVSS standards.

Feel free to call me if you have any questions regarding this project.

Sincerely,

Nicholas R. Bakke

Nicholas R. Bakke, P.E.
District Engineer

K:\DATA\AGENCIES\MEDFORD\PLANNING\ARCH COMM\2017\AC-17-066_STEWART MEADOWS VILLAGE_RES DUPLEX & MULTI.DOC

CITY OF MEDFORD
EXHIBIT # T
File # AC-17-066

Dustin J. Severs

From: CAINES Jeff <Jeff.CAINES@aviation.state.or.us>
Sent: Monday, July 03, 2017 3:00 PM
To: Dustin J. Severs
Subject: AC-17-066 - ODA Comments

Dustin:

Thank you for allowing ODA to comment on the proposed 134 multi-family dwelling unit complex. ODA has reviewed the proposed development and have the following comments. The site is approximately 4 miles south of the Rough Valley Int'l airport. Due to the distance and existing development between the site and airport ODA finds that the proposed development will not pose a hazard to air navigation.

Thank you again. Please feel free to contact me if you or the applicant have any questions.

Jeff

Jeff Caines, AICP

Oregon Department of Aviation

Aviation Planner / SCIP Coordinator

3040 25th St. SE | Salem, OR 97302

Office: 503.378.2529

Cell / Text: 503.507.6965

Email: Jeff.Caines@aviation.state.or.us

****CONFIDENTIALITY NOTICE****

This e-mail may contain information that is privileged, confidential, or otherwise exempt from disclosure under applicable law. If you are not the addressee or it appears from the context or otherwise that you have received this e-mail in error, please advise me immediately by reply e-mail, keep the contents confidential, and immediately delete the message and any attachments from your system.

CITY OF MEDFORD
EXHIBIT # U
File # AC-17-066

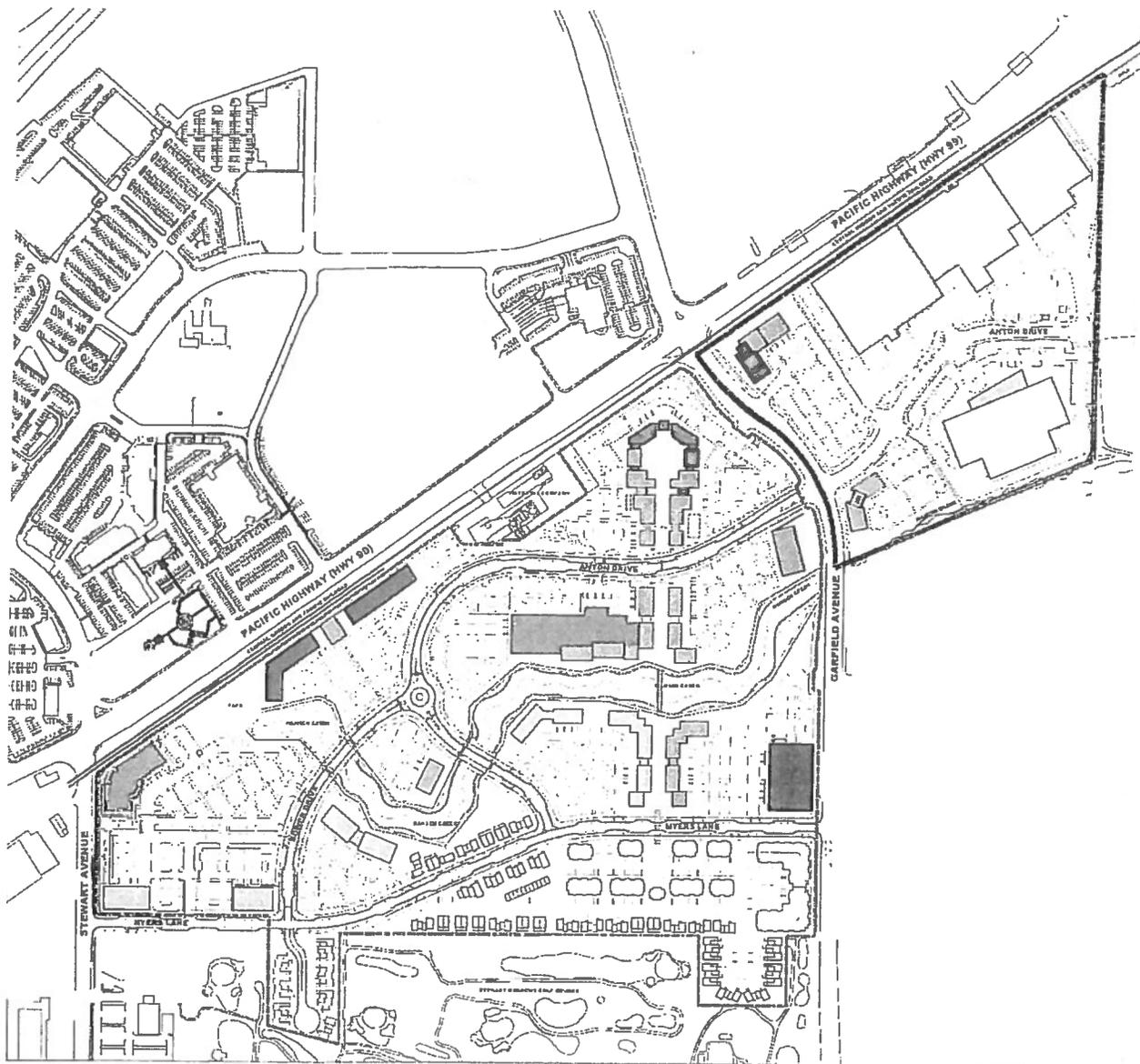
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JUN 01 2017

PLANNING DEPT.

Stewart Meadows Village Development Design Guidelines

Revised: January 9, 2017



Developer:
KOGAP Enterprises, Inc.

Prepared By:
David M. Thruston, AIA, GGP, GCCP

APPLICANT'S
EXHIBIT
CITY OF MEDFORD
EXHIBIT #
File # AC-17-066

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INTRODUCTION

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INTRODUCTION

Background

KOGAP's Stewart Meadows Village is envisioned as a mixed-use Planned Unit Development (PUD) that transforms a former industrial and agricultural site into a vibrant retail, commercial and residential community. Within the core of the development is the realigned Hansen Creek that has been restored to an enhanced state. The newly revealed waterway that weaves throughout the intense mix of office and residential uses which cluster around an enhanced character shopping center. The Creekway corridor with its adjacent bike/pedestrian pathway loop links the development together and is a key amenity for Stewart Meadows Village and the surrounding community.

Purpose

This document sets forth the requirements for design and construction of new buildings within the Stewart Meadows Village PUD. The Design Guidelines should be seen as an adjunct and as working in concert with development guidelines enacted as ordinance by the City of Medford. No guideline set forth in this document should be seen as exempting any project within the PUD from the ordinances established by Medford. As such, in most cases these guidelines supplement and extend the existing ordinances to establish with more specificity the Master Developer and Design Team's vision for the development of these new environments.

The Design Guidelines will provide the structure necessary to establish consistency, quality and identity of the Stewart Meadows Village as part of the design and construction of future projects.

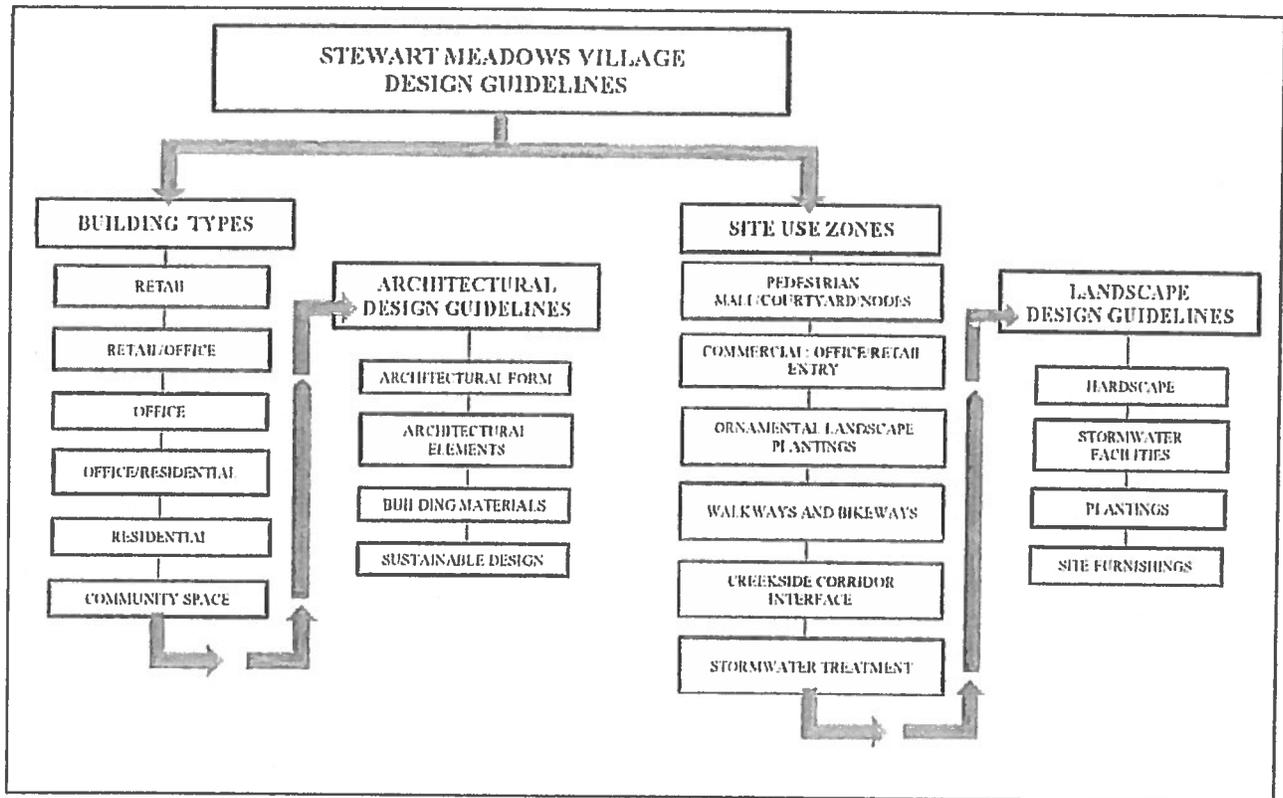
The effort to create a distinct identity and character for Stewart Meadows Village focuses on the selection of standards for the buildings and places between and around them encountered by residents, shoppers, workers and visitors as they move about the development. Thoughtfully designed buildings and outdoor spaces give Stewart Meadows a sense of community and make it inviting and attractive to both visitors and users alike. The following general Design Principles informed the development of the Guidelines:

- Create an attractive, pedestrian friendly mixed use environment with Hansen Creek as its centerpiece.
- Establish a sense of community and distinguish Stewart Meadows Village from the surrounding neighborhood businesses and other developments by creating a consistent design statement and cohesive sense of place.
- Incorporate the built history of the site, reflecting the industrial character of previous development and agrarian precedents of surrounding areas.
- Integrate the form and function of the natural environment.
- Maintain the health and quality of Hansen Creek and its associated watershed with a suite of storm water treatment facilities.
- Use regionally appropriate plantings.
- Incorporate environmentally sustainable materials and strategies where possible.

Organization

Architectural Design Guidelines and Landscape Design Guidelines have been identified to help organize a unified approach to project development within Stewart Meadows Village. The guidelines have been developed around Building Types and Site Use Zones typical to Stewart Meadows Village. Each Building Type and Site Use Zone has

a specific set of guidelines associated with it: Architectural, for Building Types, and Landscape, for Site Use Zones. Each Guideline must be followed when a project is constructed. The designers and architects of future additions to Stewart Meadows Village will be able to incorporate these Guidelines for site development into their designs by identifying the Building Type and Site Use Zone that the new construction will create, and adopting the recommendations for each Building Type and Site Use Zone as detailed herein.

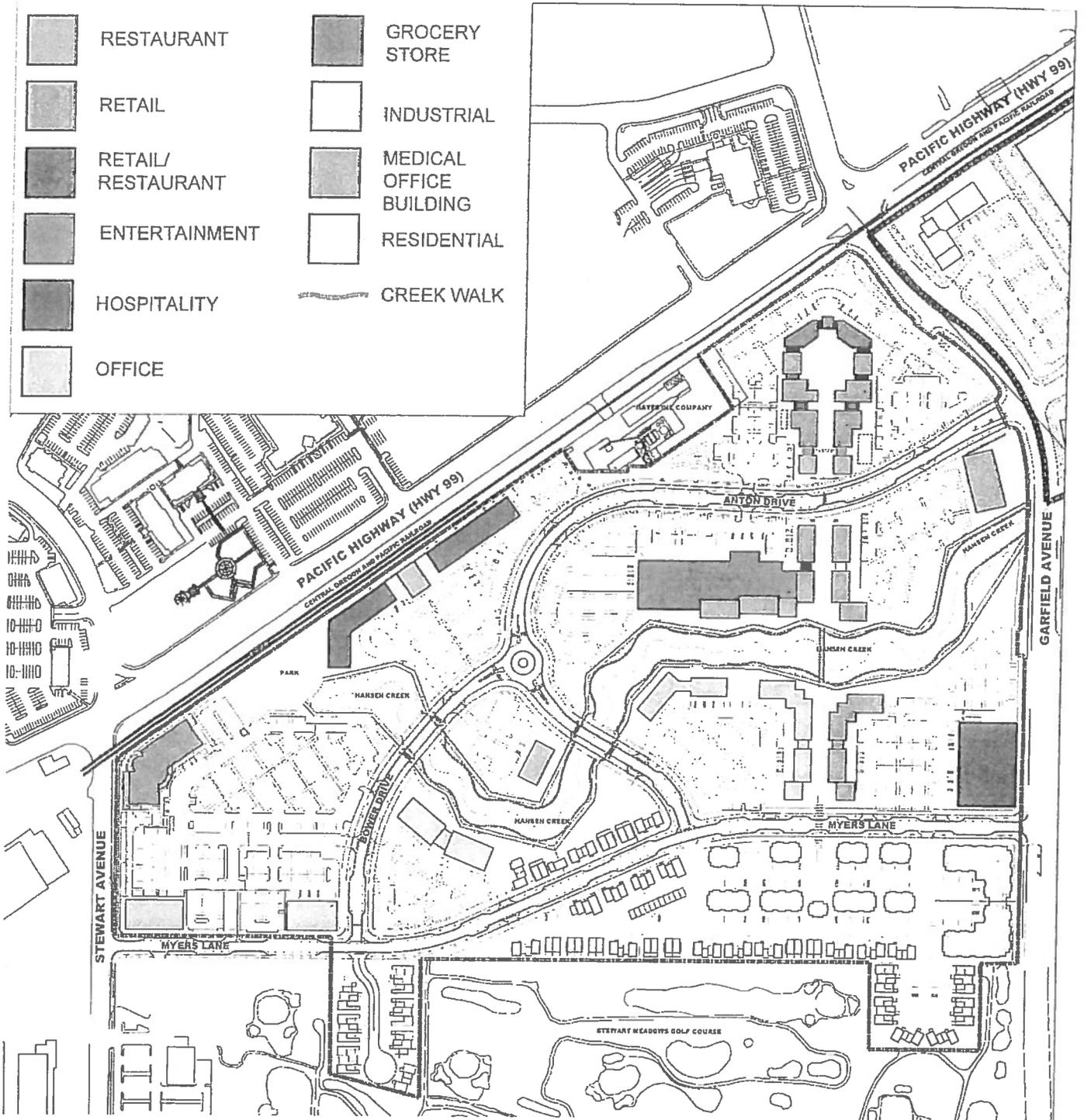


Building Types

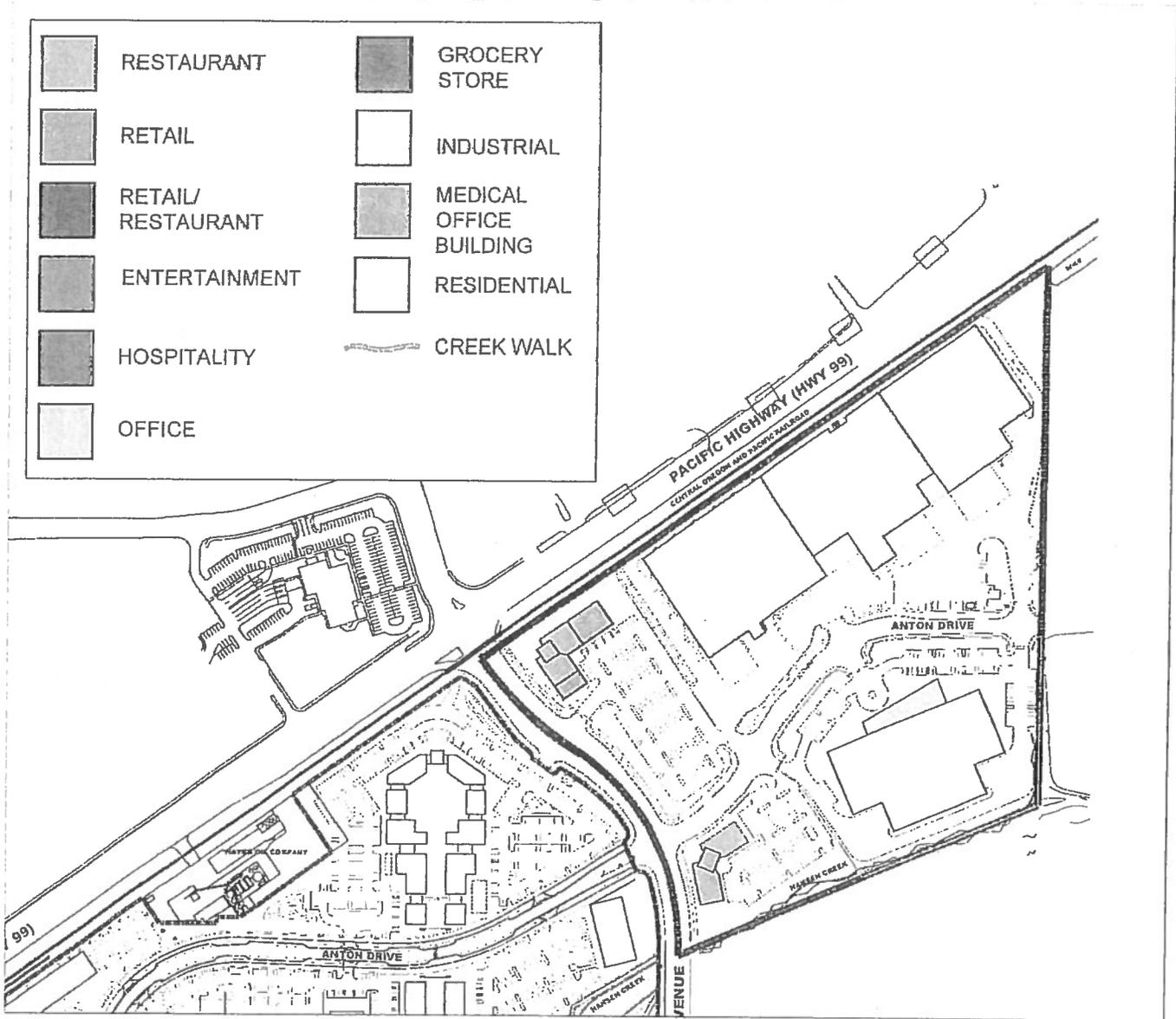
As a mixed use development, Stewart Meadows Village has six potential Building Types (Diagram 1) each with their own inherent characteristics and features that constitute the development identity.

- | | |
|------------------|-----------------------|
| 1. Retail | 4. Office/Residential |
| 2. Retail/Office | 5. Residential |
| 3. Office | 6. Community Space |

Diagram 1



PHASE 1 AND 2



PHASE 3

Site Use Zones

To facilitate the on-going implementation of these Guidelines as new projects are constructed, outdoor spaces have been categorized into six distinct Site Use Zones, according to their different functions and daily use. Any or all uses may occur around any Building Type.

1. Mall/Courtyard/Node
2. Commercial: Office/Retail Entry
3. Ornamental Landscape Setting
4. Walkways
5. Bike /Pedestrian Pathway Corridor Interface
6. Storm water Treatment

The site improvement requirements for materials, furnishing configurations, plant selection and location are tailored to each Site Use Zone. The information provided in the Landscape Design Guidelines (pp. x-x) is intended to direct the selection of materials, manufacturers and construction techniques.

Implementation

All new and remodel development projects within the Stewart Meadows Village development must adhere to the Stewart Meadows Village Design Guidelines and be approved by the Stewart Meadows Village Design Review Committee (DRC). It is the responsibility of the design professional to develop a project design and details based on these Guidelines, as well as any project-specific requirements. It should be noted that these design guidelines for a framework for design professionals who are designing projects within the Stewart Meadows Development to follow and are therefore not specifications

The design professional and owner/lessee are also responsible for obtaining project approval from the DRC prior to submitting the project for planning approval and/or for building permit review.

Refer to Diagram 1 to understand how a new project will fit into Stewart Meadows. *Section 1: Architectural Design Guidelines* outlines the standards for each type of building. Site development around each building type is identified by the type of activity expected to occur there, as defined by the Site Use Zones. Further definition of each Site Use Zone with a list of required and optional elements is located in *Section 2: Landscape Design Guidelines*. Each element includes a page number where the specific guideline can be found as well as supplemental drawings (Figures) illustrating desired material and spacing details or design intent.

These Design Guidelines, along with all applicable Federal, state, and local regulations and requirements must be followed for all landscape and hardscape services provided on the Stewart Meadows Village properties. Compliance with all governmental regulations is the obligation of the site owner/lessee.

Authority of the Design Review Body

Purpose

The purpose of the Stewart Meadows Village Design Review Committee (DRC) is to review proposals for new construction within the Planned Unit Development. The expressed goal of the Committee is to guide the creation of a cohesive new community with a sense of place that complies with all of the following:

- Maintains a consistently high level of design through the use of consistent formal language and quality of materials palette, signage applications, landscape, and general level of finish
- Presents a consistent image from the street and for pedestrian users as well
- Meets the requirements for the establishment of a Planned Unit Development per the City of Medford.

Composition

The Design Review Committee for Stewart Meadows Village will be composed of an odd number of members. Selection of the members to serve on the DRC shall be at the discretion of the Master Developer and shall include at least one Oregon licensed architect and one Oregon licensed landscape architect.

Application Process

All proposed projects in Stewart Meadows Village must be submitted to the Design Review Committee for review. Projects that comply with these Design Guidelines shall be approved, with conditions as appropriate.

Applications must include site plan, floor plan(s), exterior elevations, and 3D color renderings, sufficient to describe the project in detail. Materials, assemblies and systems shall be annotated on the drawings, and described in an accompanying narrative.

A finish palette shall be submitted for all building materials, showing the color, texture, pattern and finish of all materials, systems and fixtures, including trim and details.

Exception to Design Guidelines

In certain unusual circumstances, projects may need to deviate from the standards called for in these Design Guidelines. When submitting a project, the applicant must describe those parts of the design that do not comply and formally request an Exception to the standard. The Exception Request must explain why the building cannot otherwise be designed in a manner that complies with the Design Guidelines. Approval of any and all Exceptions are at the sole discretion of the DRC.

Authority

All new development projects within the Stewart meadows Village development are subject to the City of Medford's planning and building permit review and approval process before construction may commence. All development projects must be reviewed and approved by the DRC prior to submittal to the City of Medford. Approval of a development project by the DRC addresses solely compliance with the Stewart Meadows Village design guidelines and does not constitute compliance with City of Medford conditions of approval required for obtaining a building permit.

Upon obtaining a building permit and prior to commencement of construction of the project, the applicant shall provide a final full size set of the project construction documents, showing the approval seal of the City of Medford with building permit number. The DRC will review the construction documents to verify that they are in compliance with the original DRC design approval, including any conditions.

The construction documents must include complete drawings and specifications for all building materials, building systems, products, fixtures and fixed equipment to be built and/or installed as part of the applicant's project.

Upon completion of their review, the DRC shall issue a Letter of Final Approval, allowing the project to proceed into construction or shall issue a Letter of Denial of Approval that identifies all deviations from the requirements of the original DRC approval that must be rectified prior to commencement of construction. Any project denied approval by the DRC before or after receiving a building permit shall be subject to resubmission of the project for approval until it meets both the DRC and City of Medford requirements.

Appeals

The decision of the Stewart Meadows Village DRC will be considered final, and not subject to any standing appeal procedures. Applicant properties may alter proposals for re-evaluation as necessary.

Reevaluation

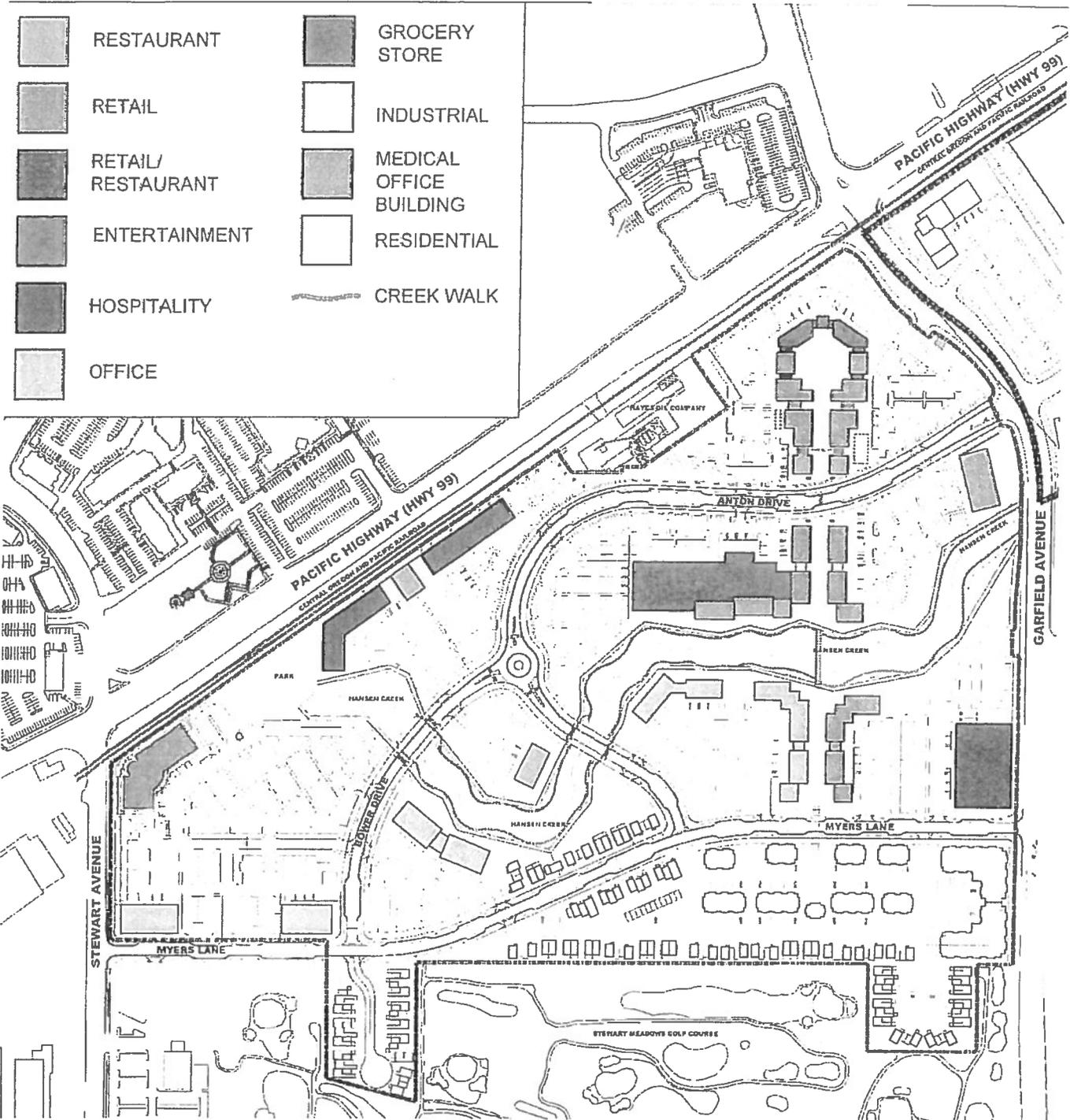
These Design Guidelines are subject to revision, as deemed necessary by the Master Developer. The Master Developer reserves the right to revise these design guidelines at any time without notice. Revisions to these design guidelines shall require the approval of the DRC. All revisions shall be issued to project owner-developers and tenants within the Stewart Meadows Village development, upon adoption by the DRC. The most current version supersedes all previous versions

ARCHITECTURAL DESIGN GUIDELINES

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GUIDING PRINCIPLES

	RESTAURANT		GROCERY STORE
	RETAIL		INDUSTRIAL
	RETAIL/ RESTAURANT		MEDICAL OFFICE BUILDING
	ENTERTAINMENT		RESIDENTIAL
	HOSPITALITY		CREEK WALK
	OFFICE		



PHASE 1 AND 2

The Architectural Design Guidelines for Stewart Meadows Village follow the General Design Principles and are intended to guide and support the creation of a cohesive development. Stewart Meadows Village is unique in Southern Oregon, due to its history, size, mix of uses, and unique features including Hansen Creek. In order to maintain the quality of the development, all buildings developed within Stewart Meadows Village must adhere closely to the Architectural Design Guidelines.



PHASE 3

GUIDING PRINCIPLES:

- **Create** a built environment that is reminiscent of lumber mills found in Oregon during the early part of the twentieth century, through the building *forms*, materials and details used on the buildings. Buildings should utilize vernacular forms that reflect the agrarian and industrial precedents of the site and the region, including mills, farms, ranches and lodges.
- **Allow** for a range of design solutions that respond to the mix of housing, shopping and business uses that are included in the PUD (Planned Unit Development) that has been approved for Stewart Meadows Village.

- **Connect** the various parts of the development through physical and experiential linkages, and through consistency in the design of the built environment that strengthens the relationships between the various buildings and building types.
- **Reinforce** the pedestrian-oriented nature of the development through building design that is human scale, engaging, and oriented to pedestrian ways.
- **Respect** the importance of Hansen Creek as the natural centerpiece of the overall development, and as an organizing element both for building orientation and for site design.
- **Respond** to the range of uses and mixed uses that have been set forth in the PUD approval, through variation in building design based on typology and use.
- **Establish** a walkable, pedestrian-friendly environment that that appeals to residents, workers and visitors in the development, and that provides access to various transit options.
- **Ensure** that future development maintains the high quality standards and cohesive nature set forth in the Design Guidelines, while still allowing for variation in building design.

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1.1 BUILDING SITING AND FORM

1.1.1 Siting and Orientation

BUILDING ORIENTATION

The following standards shall apply to all new, renovation and expanded development in Stewart Meadows Village, in order to reinforce streets as public spaces and to promote a pedestrian-friendly and human-scale environment.

Buildings shall be sited such that visitor, office and similar functions are located on the side that fronts onto the primary street or pedestrian way and that loading docks, outdoor storage, trash enclosures and similar purely operational program functions are located out of view, on the opposite side of the building from the primary street or pedestrian way.

Wherever feasible, smaller building elements should be placed along the street façade to reduce the visual building height and overall building mass from the street.

All building elevations adjacent to a street right-of-way shall provide doors, porches, balconies, and/or windows. A minimum of 40 percent of front (i.e., street-facing) elevations, and a minimum of 30 percent of side and rear building elevations, shall meet this standard. The percentage of a building elevation shall be measured based on the total wall area of each wall plane between full and partial floors. The DRC may allow exceptions to these requirements where the applicant can demonstrate a functional reason these standards cannot be met.

Building Entrances

Unless noted otherwise below, all buildings shall have an entrance(s) visible or oriented to a street. "Oriented to a street" means that the building entrance faces the street, or is visible to the street and connected by a direct and convenient walkway. Building entrances may include entrances to individual units, lobby entrances, entrances oriented to pedestrian plazas, or breezeway/courtyards.

RELATIONSHIP TO THE PEDESTRIAN MALL AND HANSEN CREEK

The Pedestrian Mall and Hansen Creek are at the heart of the Stewart Meadows Village Lifestyle Center, providing a relaxing and engaging environment for all residents and visitors. The site layout and building orientation standards are intended to promote a walkable and engaging experience throughout the development. It should also encourage walking, bicycling, and transit use through its design.

All buildings shall be oriented toward the pedestrian way and/or Hansen Creek. Buildings at the perimeter, facing onto Garfield Street and other parts of the development, shall be oriented to the face public pedestrian walkways and spaces wherever feasible to do so.

All buildings shall have weather protection and similar pedestrian amenities along their entire frontage, to create a walk-able, human scale pedestrian environment.

1.1.2 Building Form and Articulation

MASSING

Buildings shall incorporate architectural design elements and features that provide relief from large expanses of exterior walls in a single vertical or horizontal plane in order to break down the visual mass of the building or building components. These architectural elements and features may include:

- Offsets (recessed and projecting wall planes) in exterior walls
- Changes in building and wall elevation and/or horizontal direction
- Sheltering roofs and/or terraces
- Distinct pattern of divisions in surface materials and fenestration

Buildings with exterior walls greater than 50 feet in horizontal length shall be constructed using a combination of architectural features and building materials that serve to reduce the visual monotony of large wall areas. Walls shall be designed with windows totaling a minimum of 10 percent of the wall area and using architectural features for at least 50 percent of the wall length. The DRC may allow exceptions to these requirements based on the applicant demonstrating that building functional and/or operational issues conflict with the requirements.

The location of the building within the Stewart Meadows Village Life Style Center development should be one of the considerations that influences the design of building massing with respect to the height, lengths of walls and the level of articulation. The speed, mode (i.e. vehicular, pedestrian, bicycle, etc.) and concentration of traffic affect the visual perception of the architectural scale. The building design should respond accordingly to provide finer articulation, texture and detail for more intimate spaces where people are walking slowly in close proximity to the building. Conversely, the building design should provide larger architectural gestures when primary building facades will face onto major city streets with fast moving vehicular traffic.

SCALE

Buildings must be designed to be compatible in scale with the character of their surroundings, including buildings, streets, and people. The scale of the building design should reflect its use and enhance nearby activities through use of materials, architectural elements and fenestration that match human scale where people and the building will interface.

Provide visual interest for pedestrians by incorporating building details at the ground floor that relate to the surrounding built environment, and are at a human scale. This is to be accomplished by meeting two or more of the following options:

- A variety of building materials (stone, brick, concrete, wood, metal, and glass).
- Awnings, canopies, sunshades, and /or other sun shading devices that project from the wall of the building.
- Pedestrian-oriented lighting located no more than 15' above grade, and in a way that reinforces the building's exterior design.
- Marquee and/or blade signs that follow Stewart meadows Village Signage Standards.

RHYTHM

Incorporate cohesive and repetitive elements into the building as a way of providing scale and bringing meaning to the design, including the following Building Lighting

- Columns, engaged columns/pilasters and arcades
- Suspended signs (blade signs)
- Canopies, awnings and/or solar shading devices
- Transoms
- Balconies
- Other design elements that create an interplay of shadows and light
- Architectural features similar to those found on neighboring buildings

ARCHITECTURAL DESIGN FEATURES

Use of architectural design features is encouraged to the extent that it enhances the architectural character and works to achieve design goals for massing, scale and rhythm. Such features should complement the overall building design concept without overwhelming it.

Architectural design features envisioned for Stewart Meadows Village are those that reflect the rich history of Oregon mill towns and their transition into the future. Building designs should strive for a balance of natural and manmade materials, and handmade details with current technology to create an environment that invites exploration and education.

Examples of architectural design features include:

- Terraces and balconies
- Arcades
- Awnings and canopies
- Exterior Lighting
- Shed dormers and awnings
- Recessed or covered entries
- Exposed steel and heavy timber structural elements and details
- Eaves (minimum 24-inch projection)
- Offsets in the building face and/or roof
- Gable and shed roofs
- Projecting Cornices (minimum 24-inch projection)
- Heavy timber and steel roof brackets.
- Decorative patterns on the exterior finish

BUILDING ENTRANCES

Stewart Meadows Village creates a density of development and level of interaction between people, transportation and buildings that makes a clearly identifiable main entrance very important for wayfinding and ease of movement by pedestrians.

Therefore, it is important that the main entrance to every building face a street or pedestrian way. All elevations that face a street or pedestrian way must have at least one entrance.

Recessed entries, canopies, and/or similar features shall be used at the entries to buildings in order to create a pedestrian scale and a clearly identifiable entrance.

Clearly defined, highly visible public entrances using features such as canopies, porticos, arcades, arches, wing walls, and/or integral planters are required.

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1.2 BUILDING ELEMENTS

1.2.1 Exterior Finish Materials

The predominant exterior building finish materials should strike a balance between those that were characteristic of early 20th century Oregon mill architecture and contemporary materials that showing the transition to new technology. All exterior building finish materials shall have a minimum of a 15-year warranty against any deterioration of the finish and UV degradation.

A predominant exterior materials palette may include:

- Board-formed or form-stripped unfinished concrete
- Brick
- Stained and painted vertical or horizontal wood siding or cementitious product similar in appearance
- Prefinished corrugated metal
- Glass products
- Architectural metal panels and siding

An exterior accent finish materials palette may include:

- Heavy timber
- Structural steel and fasteners
- Aluminum composite metal panels
- Precast concrete panels and architectural details
- Glazed concrete block and tile
- Ledge stone and rusticated stone (residential only)
- Integral color cement plaster
- Concrete masonry units
- Exterior fiberglass architectural details

Prohibited exterior finish materials include:

- Vinyl siding and soffits
- Painted concrete masonry units
- Common concrete masonry units
- Plywood and fiber board products
- Exterior insulation finishing systems
- Prefinished sheet metal or aluminum siding and roofing panels of any profile type other than as used for flashings and copings
- Exposed polycarbonate or similar products

Building exterior finish material colors shall be predominantly low-reflectance, low-contrast and subtle in nature. Color palettes should be appropriate to their context (i.e. office, retail corridor, residential, etc.) and the overall Stewart Meadows Village architectural theme.

Prohibited building exterior material finish colors include:

- Neon/Fluorescent
- Mirror finishes
- Plastics and PVC

The DRC must review and approve all building exterior finish materials and colors based on these standards. The DRC has the discretion to make exceptions to these standards on a limited project-by-project basis.

1.2.2 Roofs

All building roofs should be designed to be appropriate to the building type, style, use and context. Where roofs are exposed to view, they should provide visual interest and avoid large uninterrupted roof surfaces. Roof lines and materials in different areas or zones of the development may vary in accordance with the predominant architectural aesthetic, scale and style being used there.

Acceptable roof materials and applications:

- Flat roofs: single-ply membrane roofing with interior roof drains
- Sloped gable and shed roofs: prefinished standing seam roofing with concealed fasteners
- Curved (vaulted) roofs: prefinished standing seam roofing with concealed fasteners
- Residential buildings with sloped gable or shed roofs may make use of dimensional composite shingles

Acceptable coping materials include:

- Aluminum composite panels
- Prefinished galvanized sheet metal (gage and profile shall prevent "oil-canning" deformation)
- Precast concrete
- Glazed terracotta

General roof design requirements:

1. Flat roofs shall have parapet walls of 30" minimum above the finished roof
2. Valley gutters are discouraged and will require detailed review by the DRC prior to final approval
3. The design of sloped metal roofs exposed to view:
 - Are encouraged to make use of dormers to provide interior daylighting and to break up large roof areas
 - May not include dome skylights, mechanical equipment or exhaust fans of any kind
4. All mechanical equipment shall be internal to the building and/or within a mechanical roof well that is hidden from view for sloped roof structures
5. All rooftop mechanical equipment shall be screened from view for flat roof structures. Parapet wall screening is the preferred method for screening rooftop equipment.

Note:

1. The use of mechanical equipment or roof mounted screening requires the submittal of complete mechanical screening system product specifications, details, materials and colors to the DRC for approval prior to submittal of the project to the City of Medford for planning and building permit approval.
2. The applicant must demonstrate that any such rooftop mechanical equipment cannot be viewed from any vantage point within the development from the ground plane, an adjacent occupied building or terrace or from the far side of the closest public right of way.

Overhanging eaves, sloped roofs, parapet walls that have variations vertically and horizontally, and multiple roof elements are highly encouraged.

Mansard, hip, and gambrel style of roofs are all prohibited.

1.2.3 Door and Window Openings

Architectural treatment of building entries is discussed elsewhere within these guidelines. This section will address the types of doors and windows on the exterior of the building and the design and materials related to their function.

Main building entrances need to be easily identifiable, inviting and as transparent as possible. The entrance should provide a first time visitor with a clear view of the space they will enter and provide those inside with a view of people coming and going, as well as a view of activities outside.

Therefore, the use of generous amounts of glass within building entrance doors and the surrounding area is encouraged to allow this visual interaction to occur. Conversely, exterior doors used for service, deliveries and emergency egress should be inconspicuous and with little or no glazing.

Exterior windows in mill buildings and similar structures in the early 20th century were a primary source for interior lighting and were therefore sized and placed to provide the maximum amount of daylight for workers inside. We are again using daylighting to light building interiors.

The placement and size of windows should also convey:

- the building's height and scale
- the building's general purpose (i.e. hotel, office, retail store, etc.)
- how public or private the use is based on its level of transparency

Ground floor windows have special significance because they provide a visual interface with passing pedestrian and vehicular traffic, making street-facing windows important. These windows should provide:

- Provide a pleasant rich, and diverse pedestrian experience by connecting activities occurring within a building to adjacent sidewalk areas.
- Encourage visual continuity of retail and service uses.
- Create an exciting pedestrian environment.

Windows must be at least 50 percent of the length and 60 percent of the ground level wall area. Ground level wall areas include all exterior wall area from 3 feet above the interior finished floor elevation up to 10 feet above the finished grade.

Acceptable window materials include:

All building uses:

- Aluminum
- Steel

Residential buildings only: (prohibited in all other building types and uses)

- Vinyl
- Fiberglass

The use of window mullions and muttons to create divided lites is encouraged where architecturally appropriate. **Use of faux window muttons placed within insulated glass units or on one side of the windows glazing is prohibited.**

1.2.4 Canopies and Overhangs

To reinforce a friendly pedestrian environment, weather protection shall be provided along buildings adjacent to pedestrian walkways in the Lifestyle Center.

Provide weather protection for pedestrians along 50 percent of the ground-floor facade that is required to be on the property line and at all street-facing entrances.

Awnings, marquees, balconies, overhangs, umbrellas, fabric tensile structures, building appendages, or other weather protection projections are required to extend five feet over the sidewalk.

1.2.5 Screens and Enclosures

Outdoor and rooftop mechanical equipment as well as trash cans/dumpsters shall be architecturally screened from view. Heating, ventilation and air conditioning units shall have a noise attenuating barrier to protect adjacent residential units from mechanical noise.

Screening for rooftop mechanical equipment is to be opaque. Rooftop equipment is required to be set back from the parapet or building edge a minimum of 10 feet. Screened mechanical equipment is exempt from the height requirement.

All vehicle areas (i.e., parking, drives, storage, etc.) and trash receptacles shall be oriented away from public areas to the greatest extent practicable. Trash and recycling receptacles shall be screened with a solid fence or wall of not less than six feet in height.

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1.3 SPECIFIC DESIGN STANDARDS BY BUILDING TYPE

1.3.1 Pedestrian Mall – Retail and Restaurant Facades

Create storefronts and entries that are visible (transparent) and easily accessible from the street.

Emphasize the importance of the ground floor, especially the primary street-facing entry, by incorporating three or more of the following elements:

- Extra-height entry lobby space.
- Enhanced distinctive doorway treatments.
- Decorative lighting.
- Projecting or recessing the entry bays.
- Incorporating unified paving materials, textures, and color.

Ground-floor windows must be installed for at least 50 percent of the building length and have an area equal to 60 percent of the street-facing ground-floor wall area. Ground-floor wall area includes all wall areas up to 10 feet above finished grade. If the site has two or more frontages, the ground-floor window standard is only required on two facades minimum. Windows are required to be transparent to foster both a physical and visual connection between activities in the building and pedestrian activities on the street.

Material Guidelines:

- Concrete Walls and Accents
- Heavy Timber Structural Elements
- Wall Cladding (painted or stained cementitious or wood products)
 - Board-and-Batten (Vertical)
 - Shiplap (Horizontal and/or Vertical) Channel Rustic (Horizontal and/or Vertical)
 - Masonry, including: split face, glazed and ground face concrete block and brick
- Standing Seam Metal or Single Ply Membrane Roof
- Fenestration
 - Prefinished Aluminum or Steel Storefront Assemblies

1.3.2 Office Buildings

All office buildings shall provide human-scale design by conforming to all of the following standards:

Incorporate changes in building wall direction and divide large masses into varying heights and sizes. Such changes may include building offsets; projections; changes in elevation or horizontal direction; sheltering roofs; terraces; a distinct pattern of divisions in surface materials; windows; screening trees; small-scale lighting and similar features.

Material Guidelines:

- Accents
 - Aluminum Composite Metal Panels
 - Prefinished Galvanized sheet metal
- Heavy Timber Structural Elements
- Wall Cladding (painted or stained cementitious or wood products)
 - Board-and-Batten (Vertical)
 - Shiplap (Horizontal and/or Vertical) Channel Rustic (Horizontal and/or Vertical)
 - Prefinished Corrugated Metal Siding
 - Insulated Metal Panels
 - Concrete
 - Masonry: split-face and ground face concrete block and brick
- Standing Seam Metal or Composite Roofing
- Fenestration
 - Windows: Painted wood, prefinished aluminum-clad and prefinished steel
 - Doors: Painted wood, wood with glass, painted hollow metal and hollow metal with glass and aluminum storefront
 - Aluminum storefront and curtain wall systems will be allowed at main building entrances and on a limited basis to highlight key interior building spaces and features

1.3.3 Multi-family Residential

This section applies to all of the following types of buildings:

- Apartments
- Attached single-family townhomes
- Community Center
- Mixed-use buildings with residential over office

Other building styles and designs can be used to comply, so long as they are consistent with the text of this section. An architectural feature may be used to comply with more than one standard.

All buildings shall incorporate design features such as offsets, balconies, projections, window reveals, or similar elements to preclude large expanses of uninterrupted building surfaces

Material Guidelines:

- Stone and/or Concrete Walls and Accents
 - Columns, Water Tables, base (wainscoting), etc.
- Heavy Timber Structural Elements
- Wall Cladding (painted or stained cementitious or wood products)
 - Board-and-Batten (Vertical)
 - Shiplap (Horizontal and/or Vertical) Channel Rustic (Horizontal and/or Vertical)
 - Beveled horizontal siding
- Standing Seam Metal or Composite Roofing
- Fenestration
 - Windows: Painted wood, aluminum clad and vinyl windows
 - Doors: Painted wood, wood with glass, painted hollow metal and hollow metal with glass
 - Aluminum storefront systems will be allowed at main building entrances only

1.3.4 Residential Townhomes and Duplex Units

Townhomes shall comply with all of the following standards, in order to minimize interruption of adjacent sidewalks by driveway entrances, slow traffic, improve appearance of the streets, and minimize paved surfaces for better storm water management.

When garages or carports face the street, the garage or opening shall set back a minimum of 20 feet from the property line fronting the street.

Two garages that are adjacent to one another shall share a driveway

Two adjacent garages shall share one driveway when individual driveways would otherwise be separated by less than 20 feet (i.e., the width of one on-street parking space) unless separated by pedestrian access. When a driveway serves more than one lot, the developer shall record an access and maintenance easement/agreement to benefit each lot, prior to building permit issuance.

Material Guidelines:

- Stone Veneer Accents
 - Columns, Water Tables, etc.
- Heavy Timber Structural Elements
- Wall Cladding (painted or stained cementitious or wood products)
 - Board-and-Batten (Vertical)
 - Shiplap (Horizontal and/or Vertical) Channel Rustic (Horizontal and/or Vertical)
 - Beveled horizontal siding
- Standing Seam Metal or Composite Roofing
- Fenestration
 - Windows: Painted wood, aluminum clad and vinyl windows
 - Doors: Painted wood, wood with glass, painted hollow metal and hollow metal with glass
 - Aluminum storefront systems will be allowed at main building entrances only

1.3.5 Community Buildings

Community buildings shared by residents and/or visitors shall be designed to complement adjacent buildings of similar use through use of similar materials, massing and colors. As a stand-alone building, the design shall adhere to the general design guidelines to compliment the Life Style development theme.

1.3.6 Industrial Buildings

Industrial buildings shall comply with the design standards herein to maintain compatibility with other buildings within the Stewart Meadows Village Development.

Buildings shall be setback from the street property line a minimum of forty-feet (40 ft.) to avoid creation of a "canyon effect" as seen from the street. It shall be sited such that visitor, office and similar functions are located on the side that fronts onto the primary street and that loading docks, outdoor storage, trash enclosures and similar purely operational program functions are located out of view, on the opposite side of the building from the primary street frontage.

Wherever feasible, smaller building elements should be placed along the street façade to reduce the visual building height and overall building mass from the street.

Due to the purely utilitarian nature of many uses within this building type that may create conflicts between these design standards and the operational and functionality of the design, the applicant may request a review by the DRC of these conflicts. The applicant must be able to demonstrate the reasons for granting a waiver of any of the design standards herein based on operational and functional conflicts. Added costs for meeting the requirements of these design guidelines will not be grounds for granting a waiver of these requirements.

Architectural Elements

The following are examples of the type architectural elements that should be incorporated into the building design:

- Painted Steel or heavy-timber brackets
- Simplified projecting cornice
- Divided lites in windows
- Wall mounted exterior lighting

Material Guidelines:

- Insulated metal panels
- Precast concrete panels
- Prefinished corrugated metal siding (22 GA min thickness)
- Cementitious rain screen systems
- Masonry, including: split face, glazed and ground face concrete block and brick
- Prefinished Aluminum Composite Metal panels
- Aluminum storefront, curtain wall and window systems

1.3.7 ENTERTAINMENT BUILDINGS

Entertainment buildings by definition may be large structures with large expanses of wall area. These must meet the design standards of all other applicable sections of these design guidelines and may be able to apply section 1.3.8 Standalone Buildings where sited accordingly.

As a prominent building within the Stewart Meadows Village Life Style Center development, the possibility to create a "destination" design that is easily recognizable and a draw for potential customers inside and outside the development presents both a business and design opportunity. While the creative use of massing, materials and colors and finishes is highly encouraged, the final design must still maintain a design compatibility with the overall development.

The DRC shall be the sole judge of whether the design is compatible with the design intent and theme of the Stewart Meadows Village development.

Architectural Elements

The following are examples of the type architectural elements that should be incorporated into the building design:

- Painted Steel or heavy-timber brackets
- Simplified projecting cornice
- Divided lites in windows
- Wall mounted exterior lighting

Material Guidelines:

- Insulated metal panels
- Precast concrete panels
- Prefinished corrugated metal siding (22 GA min thickness)
- Cementitious rain screen systems
- Masonry, including: split face, glazed and ground face concrete block and brick
- Prefinished Aluminum Composite Metal panels
- Aluminum storefront, curtain wall and window systems
- See the SMV Signage Standards for related requirements

1.3.8 HOSPITALITY

The hotel site is one of the most prominent and has two major facades, one facing Highway 99 and the other facing the Stewart Meadows Village development and passersby on Anton Drive. These will be considered primary facades.

Primary building facades must adhere closely to the design standards herein that apply with regard to form, façade articulation, architectural details, materials and colors that will provide a compatible design with the other major nearby buildings.

The DRC shall be the sole judge of whether the design of a project is compatible with the design intent and theme of the Stewart Meadows Village development.

Material Guidelines:

See the requirements for each building type

1.3.8 STAND ALONE BUILDINGS

Standalone buildings are those that are not connected or immediately adjacent to another building. They provide unique design challenges as they may be viewed from many vantage points and therefore must address the design aesthetic for all sides of the building.

Primary building facades must adhere closely to the design standards herein that apply while secondary facades may make creative use of form, articulation, material and color to provide a compatible design with less attention to finer details and fenestration.

The DRC shall be the sole judge of whether the design of a project is compatible with the design intent and theme of the Stewart Meadows Village development.

Material Guidelines:

See the requirements for each building type.

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1.4 BUILDING DETAILS

1.4.1 Exterior Lighting

It is the intent of this section to illuminate residential, commercial, industrial, and public areas, roadways and walkways with lighting fixtures appropriate to the need while using such illumination in a way that preserves vistas and is directed onto and is confined to the property from which it is generated.

Outdoor Lighting Fixtures Subject to This Section. Light fixtures subject to the standards in subsection (C) of this section are outdoor artificial illuminating devices, outdoor fixtures, lamps and other similar devices, permanently installed or portable, used for flood lighting, general illumination or advertisement. Such devices shall include, but are not limited to, lights for:

- Buildings and structures;
- Recreational areas;
- Parking lot and maneuvering areas;
- Landscape areas;
- Streets and street signs;
- Product display area;
- Building overhangs and open canopies;
- Holiday celebrations; and
- Construction lights.

All outdoor lighting fixtures shall be designed as a full cut-off fixture or have a shielding method to direct light emissions down onto the site and not shine direct illumination or glare onto adjacent properties.

Externally affixed neon lighting is prohibited except neon lighting associated with signs shall be in accordance with the standards for signage.

Residential decorative lighting and low wattage lighting used for yards and driveways that do not shine glare, emit direct illumination, or cast a shadow onto adjacent property.

Commercial and industrial low wattage lighting used to highlight driveways and landscaping, shall be aimed and shielded to not shine visible glare into the public right-of-way or onto adjacent or nearby properties.

Up-lighting intended to highlight part of a building or landscaping is permitted, provided that the light distribution from the fixture is effectively contained by an overhanging architectural element or landscaping element.

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SECTION 2: LANDSCAPE DESIGN GUIDELINES

GUIDING PRINCIPLES

These Landscape Design Guidelines are intended to support the overall design theme of the Stewart Meadows Village Life Style Center development. Hansen Creek is the centerpiece of Stewart Meadows Village and an organizing feature for guiding site design. The site acknowledges and celebrates the creek by directing attention to it visually and spatially through circulation, plantings, patterns, material choices, and structural orientation.

In support of this concept, the Landscape Design Guidelines are intended to:

- Create spaces that encourage use, create a sense of place and help make Stewart Meadows Village a vibrant community;
- Integrate site and form with the cultural and natural history, including the industrial and agricultural history character and the natural organic forms of the creek;
- Connect people, places and spaces with strong, clear circulation and direction;
- Create appropriately scaled places that match the character and function of the spaces;
- Provide furnishings and amenities that complement the activities, functions and history of the site;
- Offer a diverse, regional and site appropriate plant palette;
- Provide recreational and educational opportunities that showcase Hansen Creek; and
- Protect and preserve the creek and riparian way integrity with a suite of well integrated, attractive storm water treatment facilities that manage storm water runoff.

All new development projects are required to adhere to the Landscape Design Guidelines outlined in this document as part of the Stewart Meadows Village review and approval process. While certain development-wide fixtures are specified herein to be used throughout the project for purposes of design continuity, these Design Guidelines are not specifications. They are provided for reference and as a means to help guide site development. Design professionals are responsible for developing and submitting designs and details based on these Design Guidelines for each new project based on their individual programmatic requirements and site conditions. The creativity of each design professional and the unique designs derived from their talent and experience is what will provide the diversity in design that is the vision for this development.

These Design Guidelines, along with all applicable Federal, state, and local regulations and requirements as specified by the Stewart Meadows Compensatory Mitigation Plan must be followed for all landscape and hardscape services provided on all Stewart Meadows Village properties. Compliance with all governmental regulations is the obligation of the site owner/lessee and their design professional.

2.1.1 PEDESTRIAN MALL/COURTYARD/NODE

Paved areas located primarily in and around the retail core, courtyards between residences and office buildings and in community areas. These areas provide space for pedestrian flow, events, informal gathering, socializing, spontaneous entertainment and outdoor dining. These are comfortable public spaces that invite use and are sometimes near to places where food can be purchased. These spaces are areas with high pedestrian traffic and can provide a place for posting community information. Visibility of the space from the sidewalk is important as is visibility of the sidewalk from within the space to facilitate sociability as well as safety. If located at strategic nodes, refer to Architectural Design Guidelines for signage requirements.

Required Elements:

Paving Patterns and Materials

Site Use Zone Plantings: Ornamental Trees; Ornamental Plants; Flow through Planter Plants

Storm water treatment flow through planters (Pedestrian Mall)

Seating options in shade and sun

benches

tables and chairs

Lighting: post lights and/or illuminated bollards

Trash and recycling receptacles

Bicycle racks

Grates: Tree; Drainage

Skate deterrents

Optional Elements:

Ash Urns

Planters

Water fountains

Containers/Pots

Trellis/Arbor/Shade structure

Non illuminated bollards

Seat walls

Signage

Refer to Appendix 1.0 for a sample vignette.

2.1.2 COMMERCIAL OFFICE AND RETAIL BUILDING ENTRIES

Outside areas adjacent to commercial building entrances. The Landscape Design Guidelines see Building Entry as more than a space to pass through. A Building Entry is an opportunity to promote informal interactions among workers, shoppers or visitors and offers places to meet and wait for others. The materials, planting and site furnishings in these areas support these activities and complement the building entrances by defining a place.

Required Elements:

Paving Patterns and Materials

Storm water Treatment Facilities

Flow-through Planters

Vegetated Swales

Dry Detention

Rain Gardens

Site Walls

Ornamental Trees

Ornamental Plants

Benches

Bicycle Racks

Tree Grates

Fence Grating and Mesh

Optional Elements:

Plant Containers and Pots

2.1.3 Outdoor Landscape Areas

Areas adjacent to buildings and throughout Stewart Meadows that feed into or support the buildings and community. These areas are not occupied spaces. They are planted and may contain Storm Water Treatment Facilities. Landscape settings are meant to provide an aesthetic accent, shade and, in the case of storm water facilities, filtration and detention. A regionally appropriate mix of plants should be chosen with special consideration given to varied seasonal interest, mix of textures, hardiness, function and native species. To reduce water usage, lawn areas are minimal.

Required Elements:

Site Use Zone Plantings: Ornamental Trees; Ornamental Plants; Storm water Treatment Facilities
Plants (by project location/drainage basin)
Storm water treatment facilities (by project location/drainage basin)

Optional Elements:

Screening
Non-illuminated bollards

2.1.4 Promenade, Walkway and Bicycle Pathway System

Circulation throughout the community is facilitated by walkways and pathways that link the public right-of-way streetscape to the interior of the development and connects offices, retail and residences. Some are solely for pedestrians, while others are designed to accommodate bicyclists as well. A separate Bike/Pedestrian Pathway loops around the entire creek corridor and is described in its own Site Use Zone (p. x).

Primary Walkways are the main corridors in the Pedestrian mall, connecting retail, and a variety of seating and community spaces. Secondary Walkways connect the commercial buildings and the residences to their respective buildings and courtyards. Paving patterns, materials and site furnishings differ slightly according to the walkway category.

BIKE/PEDESTRIAN PATHWAY CORRIDOR

The Hansen Creek Corridor is the centerpiece of Stewart Meadows Village and provides open space for the development. The creek corridor integrates the natural environment with the built while providing a central bicycle/pedestrian pathway loop that connects the entire site. The materials and site furnishings support biking and walking, and landscape grades are easy to access. Site furnishings are located at the edge of the space and the pathway loop provides a functional transition between urban development and the creek corridor.

2.1.5 STORM WATER TREATMENT

Stewart Meadows Village has incorporated a suite of Storm Water Treatment Facilities to manage the storm water runoff generated on site and to protect the enhanced creek. The facilities slow and filter runoff, prevent erosion, water pollution and flooding using vegetated natural systems as opposed to the traditional piped approach.

There are four types of Storm Water Treatment Facilities used throughout Stewart Meadows Village: Flow-Through Planters, Vegetated Swales, Dry Detention and Rain Gardens strategically placed in drainage basins throughout the site to manage storm water runoff. They can be found in most of the Site Use Zones and around parking areas. In addition, detention Swales are incorporated into the public right of way

Required Elements:

(per Master Plan drainage basin requirements)

Flow through Planter

Flow through planter detail

Flow-through planter plants

Skate Deterrents

Vegetated Swale

Vegetated Swale Detail

Vegetated Swale plants

Dry Detention

Dry Detention detail

Dry detention plant

Rain Garden

Rain Garden Detail

Rain Garden Plants

Vegetated Swale

2.2 HARDSCAPE

2.2.1 Paving Patterns and Materials

Paving is the primary element used to identify changes and directive circulation, strategic nodes, and the means to connect walkways, the mall, courtyards, residential areas and commercial and retail buildings within Stewart Meadows Village. Paving patterns aid in distinguishing these specific areas from surrounding development. The paving materials and patterns selected for use define these prominent areas with a special character and quality. Providing a consistent paving pattern and material on the walkways will make the development more attractive to the pedestrian and provide subtle circulation guidance. Guidelines for walkway widths that respond to the hierarchy of walkways will make circulation clear for workers, residents, visitors and shoppers. Using consistent materials helps establish a distinct identity, simplify area maintenance, and protect the creek corridor by directing circulation away from sensitive areas.

PEDESTRIAN MALL AND COMMUNITY GATHERING SPACES

EXAMPLE

Width: varies
Material: Cambridge
Color: Buff/Brown/Charcoal
Paver Size(s): 6x6", 6x9"; 9x12"
Pattern: 3 piece; 10% 6x6"; 30% 6x9"; 60% 9x12"
Edge: Flushed or raised concrete curb

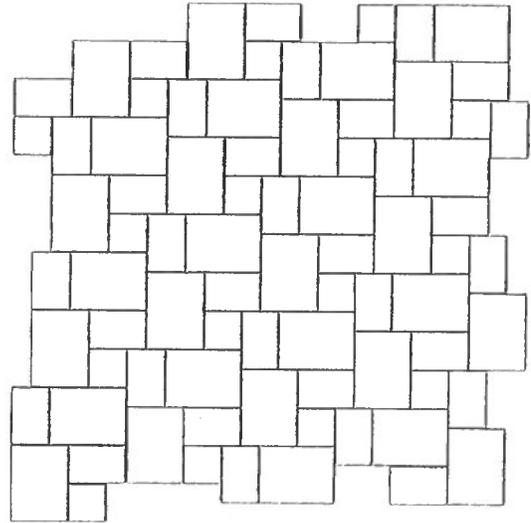


FIG. 1 PEDESTRAIN MALL PAVING PATTERN DETAIL

MANUFACTURER Unit
Pavers: Belgard
Willamette Graystone
1559 Dowell Road
Grants Pass, OR 97527
www.willamettegraystone.com
541-479-1323
541-479-6331

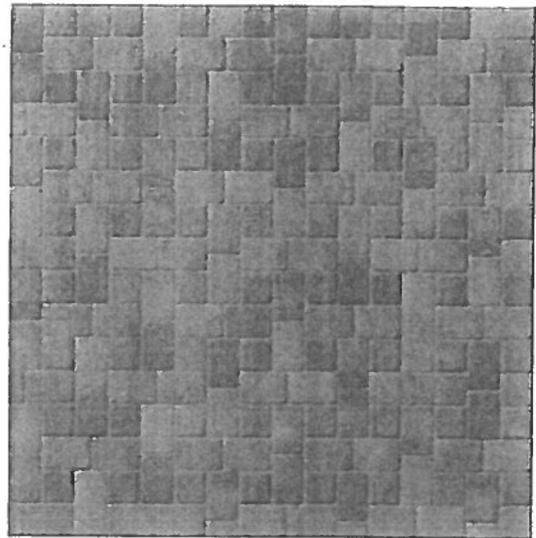


FIG. 2 PEDESTRIAN MALL PAVING MATERIAL: CAMBRIDGE

COMMERCIAL OFFICE AND RETAIL COURTYARDS AND NODES

EXAMPLE

Width: Varies
Material: Holland
Color: Light Grey/Dark Grey
Paver Size(s): 6x6", 6x9"; 9x12"
Pattern: 90° Herringbone
Edge: Flushed or raised concrete curb

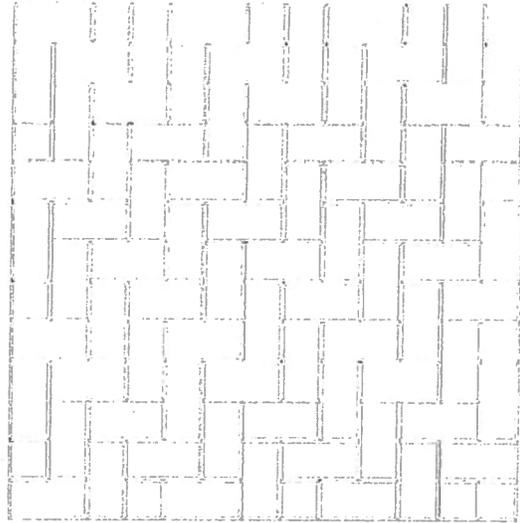


FIG. 3: COMMERCIAL PAVING PATTERN DETAIL

MANUFACTURER Unit
Pavers: Belgard
Willamette Graystone
1559 Dowell Road
Grants Pass, OR 97527
www.willamettegraystone.com
541-479-1323
541-479-6331

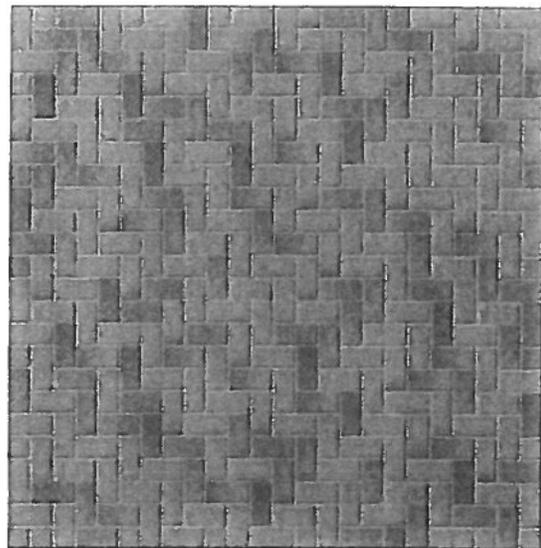


FIG.4: COMMERCIAL COURTYARD PAVING MATERIAL:
HOLLAND STONE

RESIDENTIAL COURTYARDS AND NODES

EXAMPLE

Width: Varies
Material: Cambridge
Color: Buff/Brown/Charcoal
Paver Size(s): 6x9"
Pattern: 90° Herringbone
Edge: Flushed or raised concrete curb

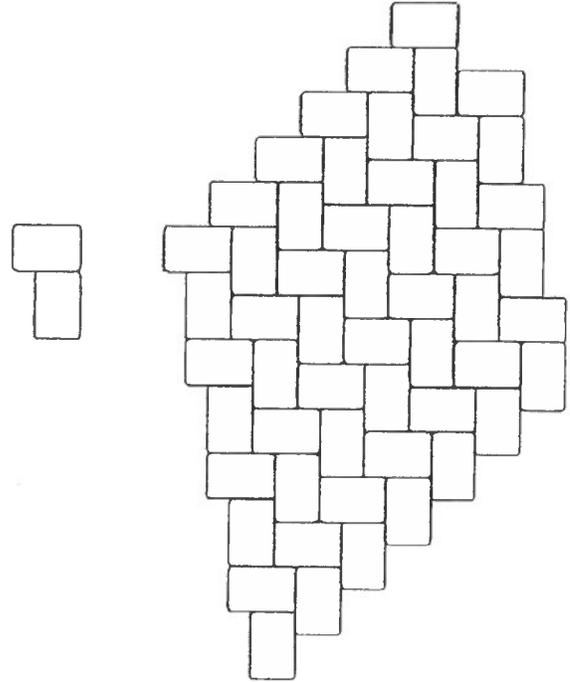


FIG. 5: RESIDENTIAL COURTYARD/NODE PATTERN

MANUFACTURER

Unit Pavers: Belgard
Willamette Graystone
1559 Dowell Road
Grants Pass, OR 97527
www.willamettegraystone.com
541-479-1323
541-479-6331

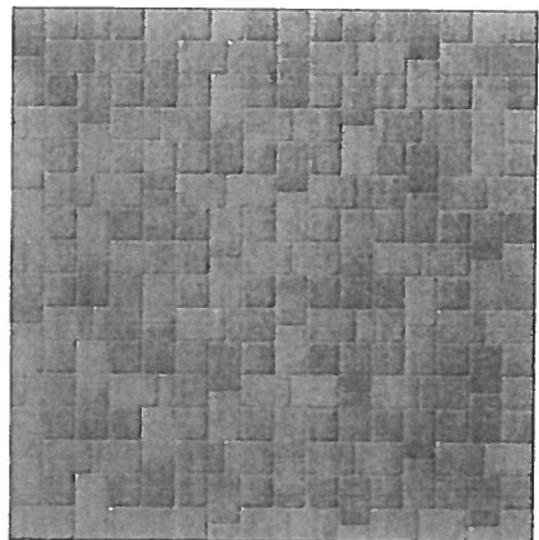


FIG. 6: RESIDENTIAL COURTYARD/NODE
MATERIAL: CAMBRIDGE

WALKWAYS

Primary Walkway Paving Pattern- Pedestrian Mall

Width: 16' wide
Pattern: 4' square control joints
Control Joint Detail: 1/2" radius trowel
Material: Cast-in-place concrete with sand finish
Color: Mesa Buff

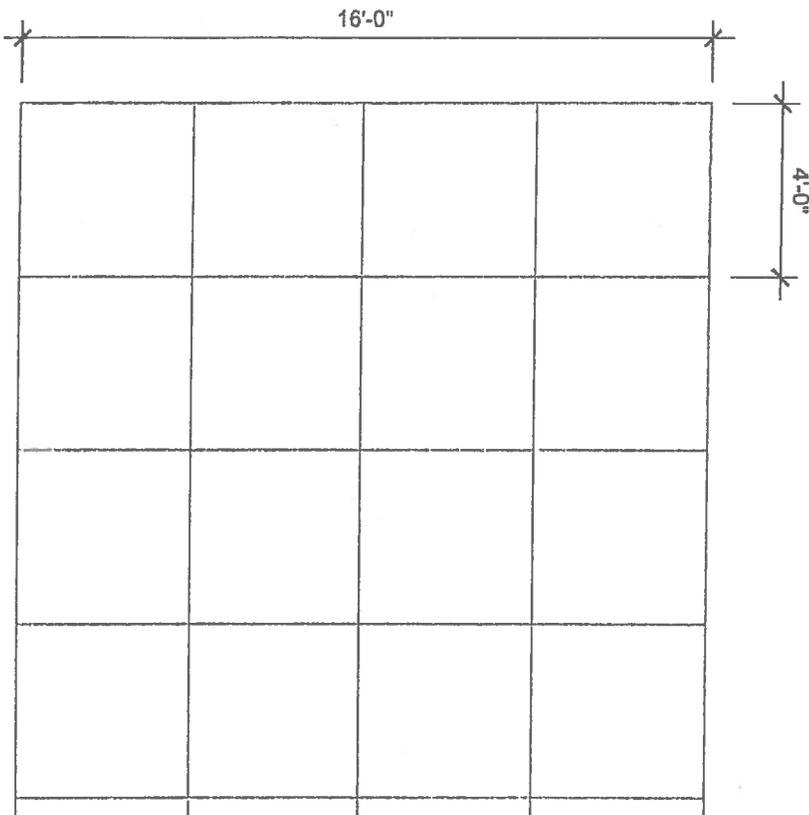
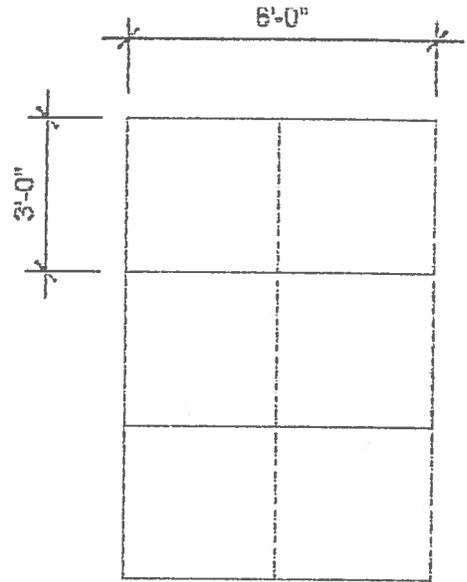


FIG. 7: PRIMARY WALKWAY PAVING PATTERN

SECONDARY WALKWAY PAVING PATTERN

Commercial and Residential – walkways between parking lots and buildings

Width: 6' wide
Pattern: 3' square control joints
Control Joint Detail: 1/2" radius trowel
Material: Cast-in-place concrete with broom finish
Color: Standard



Residential – walkways within residential zones

Width: 5' wide
Pattern: 2'-6" square paving control joints field with 2'-6" square control
Control Joint Detail: 1/2" radius trowel
Material: Cast-in-place concrete with sand finish
Color: Mesa Buff

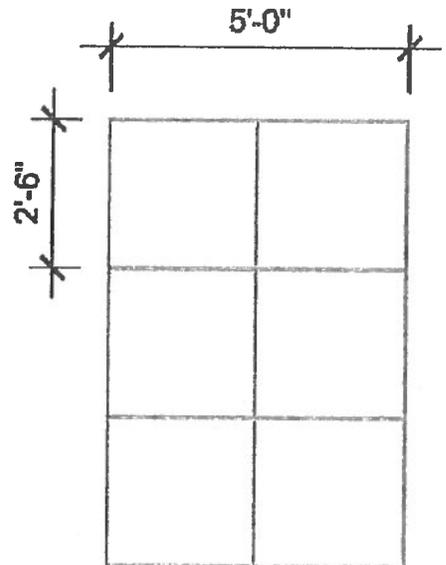
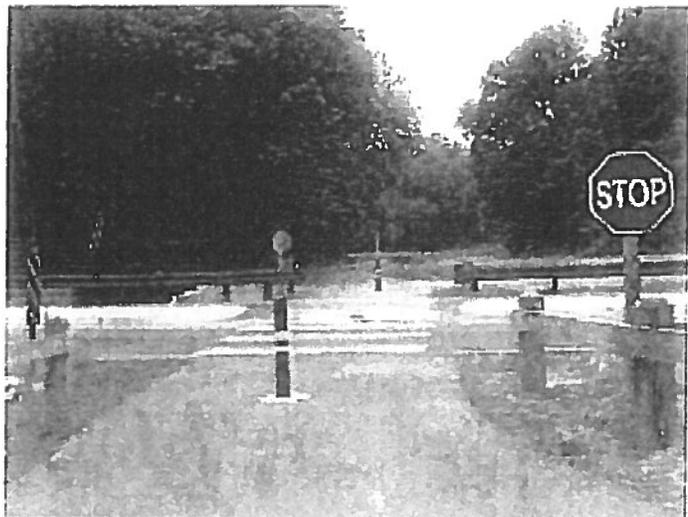


FIGURE 8: SECONDARY WALKWAY PAVING PATTERNS

Promenade, Walkway and Bicycle Pathway System

A fully accessible shared walking and biking trail paved with asphalt. The 8' wide pathway loops around the entire creek corridor with several street crossings. It can be used by people of all ages to walk, run, ride, and roll to enjoy the environment, socialize, exercise, and access other parts of the community. Trail width is based on projected use with a minimum expectation that two adults can walk side-by-side, or that a runner or cyclist can pass a walker. The pathway has curb ramps and connections to sidewalks and road crossings in order to connect to the adjoining sidewalk and bikeway system.

EXAMPLES



2.2.2 Site Walls

SEAT AND PLANTER WALLS

These are low concrete walls that can either stand by themselves or serve as retaining walls for raised planters to create raised landscape areas, define space and provide outdoor seating. These are typically found in community spaces where people gather and/or as part of the flow-through planter system for the development.

Walls should be structurally designed by a licensed professional structural engineer for the specific height and amount of soil to be retained, as well as any other unique conditions. Planter walls should be designed with a liquid-applied or self-adhering sheet product waterproofing on the interior face to avoid discoloration of the exterior face of the wall. Site wall designs should also include decorative metal skate board deterrents that are epoxy embedded into the tops of all site walls.

Site wall profiles should adhere to the following:

Height: 17-20"

Width: 12"- 14" cast-in-place with hard troweled top and skate board

Finish: Hard trowel cap

2.3 STORM WATER FACILITIES

Storm water treatment facilities provide a sustainable approach for onsite collection, conveyance and treatment of storm water runoff from roofs, parking lots, streets and other impervious surfaces. Storm water treatment facilities slow and filter runoff, preventing erosion, water pollution and flooding using vegetated natural systems as opposed to the traditional piped approach. Well-designed storm water treatment facilities can significantly reduce runoff volumes from a site and greatly enhance pollutant and sediment removal. Specific guidelines for construction and planting need to be adhered to in order to ensure successful function.

Stewart Meadows Village has four types of Storm Water Treatment Facilities: flow-through planters, vegetated swales, dry detention and rain gardens strategically placed in geographically conceived drainage basins throughout the site to manage storm water runoff. Treatment facilities can be found in most of the Site Use Zones and around parking areas. In addition, detention swales are incorporated into the public right of way. Once constructed, all Storm Water Treatment Facilities are required to follow maintenance guidelines set forth in the Stewart Meadows Village Storm Water Treatment Facilities Maintenance and Management

2.3.1 Flow-Through Planters

Flow through planters throughout Stewart Meadows Village are self-contained landscape structures with impervious bottoms. Flow-through planters do not infiltrate storm water into the ground. The planters can be designed to be above or below the surrounding finished grade, freestanding or adjacent to buildings. Flow-through planters are filled with gravel, soil, and vegetation and typically incorporate interior waterproofing. They temporarily store storm water runoff on top of the soil and filter sediment and pollutants as water slowly infiltrates down through the planter. Excess water collects in a perforated pipe at the bottom of the planter and drains to a destination point or conveyance system. Flow-through planters at Stewart Meadows are a variety of sizes and shapes and are constructed of board form concrete.

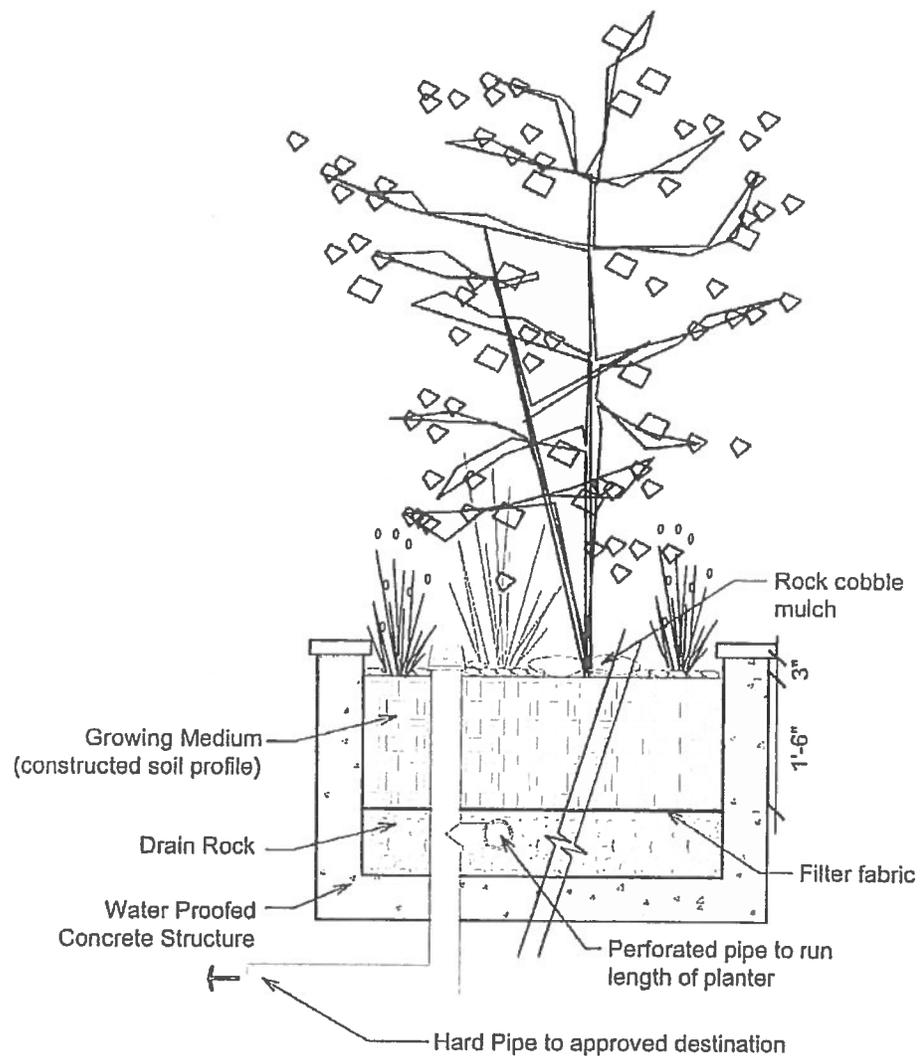


FIG 11: FLOW THROUGH PLANTER DETAIL (EXAMPLE)

2.3.2 Vegetated Swales

Vegetated swales are gently sloping depressions planted with dense vegetation or grasses that treat storm water runoff from rooftops, streets, and parking lots. As the runoff flows along the length of the swale, the vegetation slows and filters it and allows it to infiltrate into the ground. Where soils do not drain well, swales convey runoff to detention basins. Swales include check dams or weirs to help slow and detain the flow. A swale can look like a typical landscaped area. WEIRS are concrete devices constructed in swales to help control the volume and flow of storm water runoff.

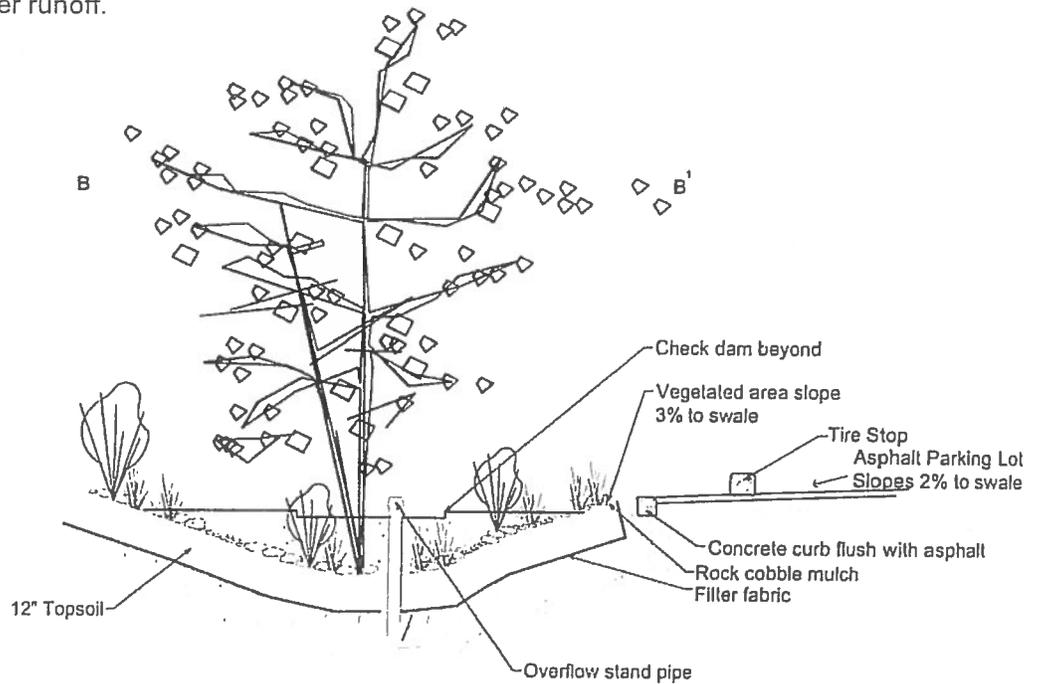


FIG 12 VEGETATED SWALE SECTION (EXAMPLE)

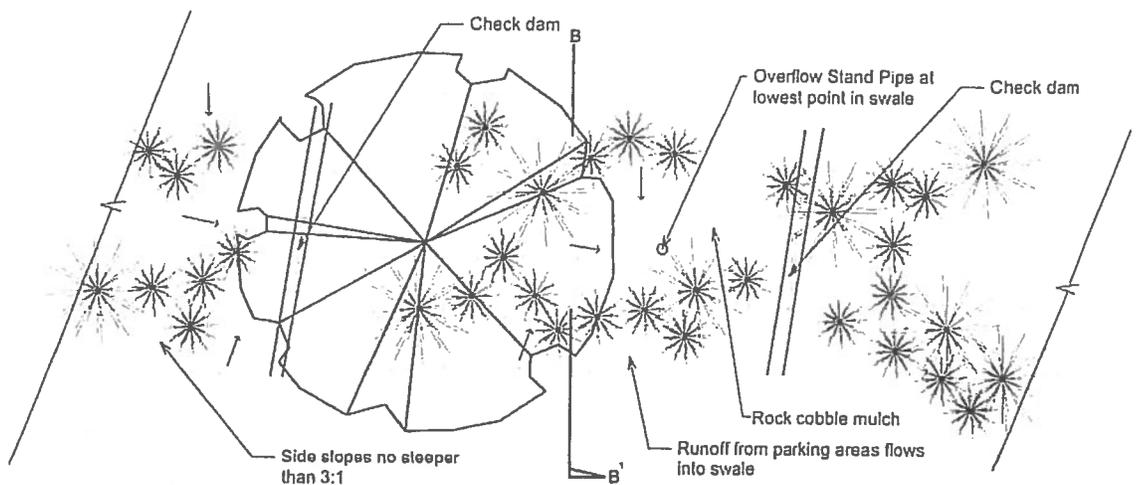


FIG 13 VEGETATED SWALE PLAN (EXAMPLE)

SAMPLE

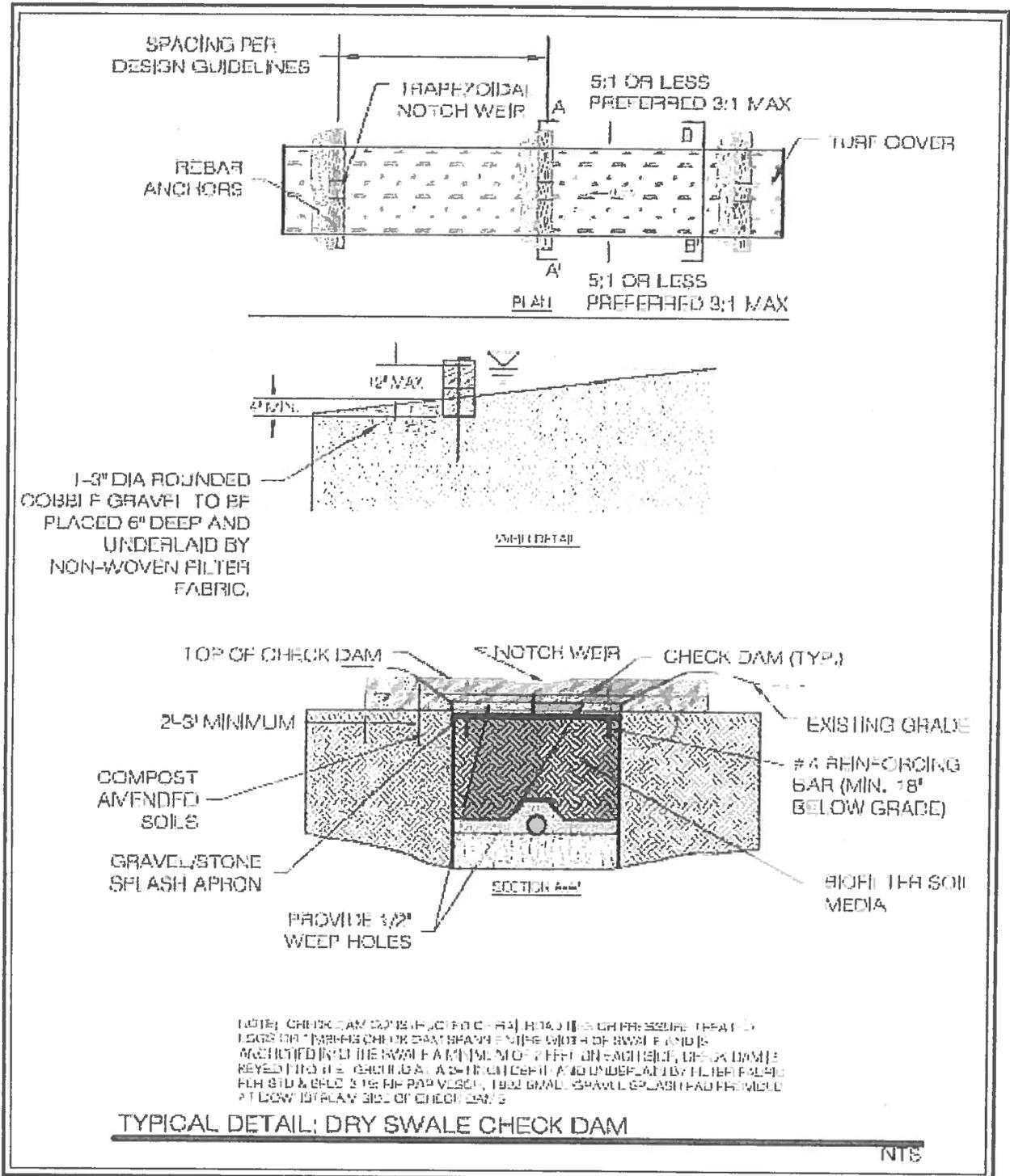


FIG 14 WEIR DETAIL (EXAMPLE)

2.3.3 Dry Detention

Dry detention ponds are designed to fill during storm events and slowly release the water over a number of hours. They are divided into a minimum of two cells, a smaller forebay for sediment accumulation, and the larger detention area.

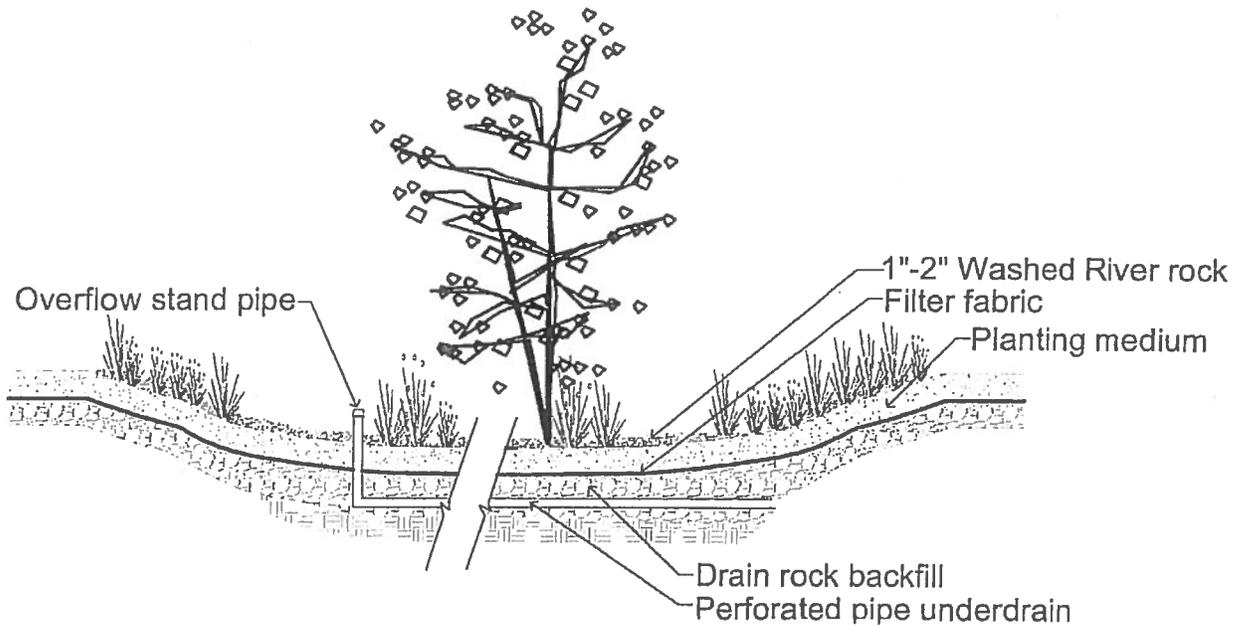


FIG 15 DRY DETENTION SECTION (EXAMPLE)

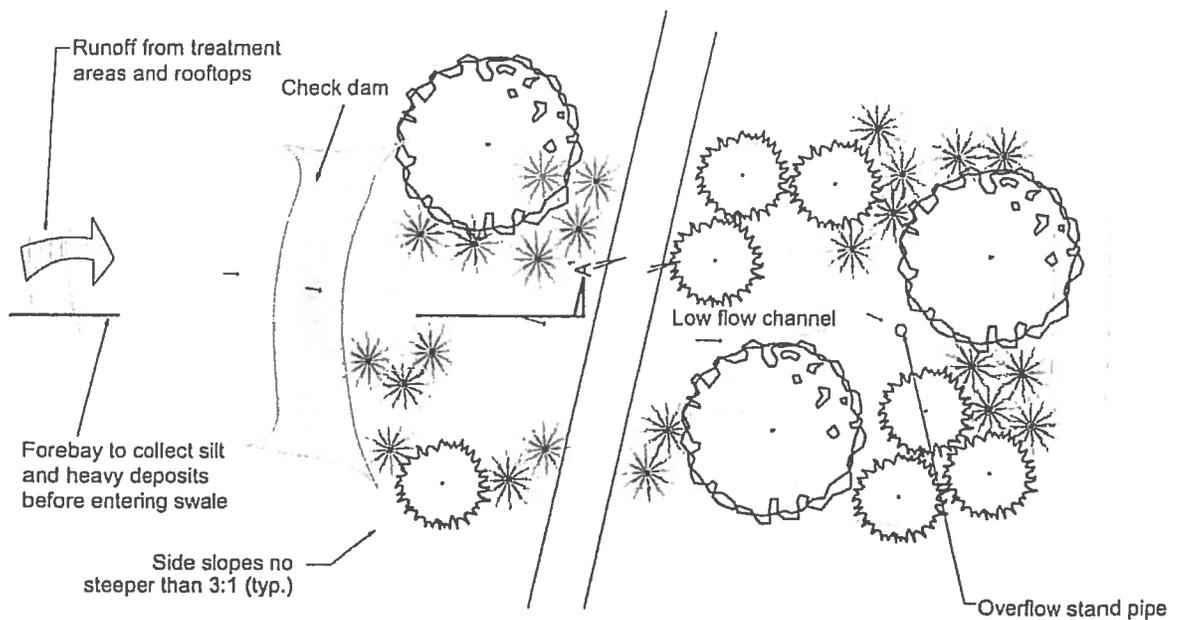


FIG 16 DRY DETENTION (EXAMPLE)

2.3.4 Rain Gardens

Rain gardens are landscaped depressions that are either excavated or created with bermed side slopes. An inlet pipe or sheet flow over impervious surfaces conveys storm water runoff into the basin, where it is temporarily stored until it infiltrates into the ground. Basins often provide complete onsite infiltration for small storm events. Check dams or weirs can be used to detain the flow. They can be sized to infiltrate large storms in areas where soils drain well, or they may require a safety overflow or disposal method.

Basins or rain gardens eliminate or dramatically reduce storm water flow rates and volumes. They improve water quality by settling and filtering out pollutants, they recharge groundwater, and they can provide storm water storage capacity in a large drainage area. Trees planted in infiltration basins can shade buildings and parking lots or other paved areas, reducing runoff temperatures. The vegetation also helps prevent soil erosion, provides wildlife habitat, and is visually attractive. Vegetated infiltration basins can have an informal or formal design and are easily integrated into the overall landscape or site design.

Vegetated infiltration basins can be planted with a variety of trees, shrubs, grasses, and ground covers. Trees are highly recommended for their shading and temperature reduction benefits.

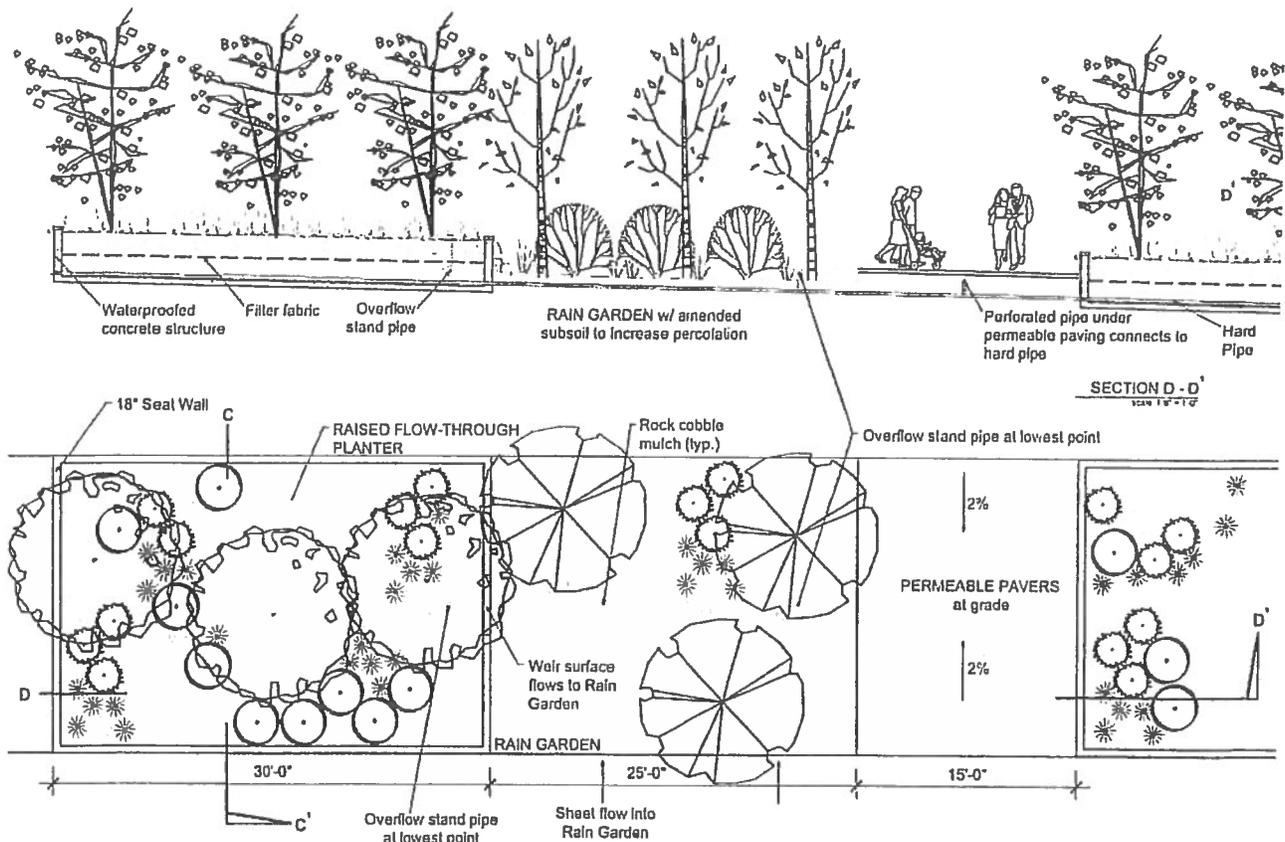


FIG 17 RAIN GARDEN TREATMENT TRAIN FOR PEDESTRIAN MALL

2.4 Planting

Trees, shrubs and groundcover contribute to the outdoor aesthetic and temperate environment of Stewart Meadows Village. The selection of a consistent palette and setting for plant materials adds to a distinct development identity. In addition to the ornamental color and texture, trees, shrubs and flowering perennials bring to the outdoors, trees provide shade and lower the overall area temperature by several degrees. In the case of Storm Water Treatment facilities, the proper plants provide valuable biological and mechanical functions for storm water management.

Consideration for planting design throughout the development should include placement and details for the installation of canopy and ornamental trees and shrubs. Landscape installation opportunities include in ground, raised planters, and storm water facilities. The Design Principles advocate incorporating environmentally sustainable strategies and using adaptive and native or native-like species where possible. These plant lists are not exhaustive and may be added to as required by specific project conditions, with approval of the Design Review Body (DRB).

2.4.1 Ornamental Trees

ORNAMENTAL TREES shall be used along the Mall, at Building Entries, in Landscape Settings, in community spaces and Courtyards and Nodes to provide shade, add density and seasonal interest to the plant palette.

PLANT CHARACTER:

Long-lived deciduous and evergreen canopy trees that grow at least 45' tall.

SIZE:

2" caliper minimum deciduous; 6'-8' Evergreen

APPROVED SPECIES:

Large Trees- (mature height over 45'-0")

Deciduous Acer

rubrum Acer

saccharum

Celtis occidentalis

Cercidiphyllum japonicum

Fagus grandifolia

Fraxinus Americana 'Autumn Applause'

Ginkgo biloba (male only)

Gleditsia triacanthos var. Inermis

Liriodendron tulipifera

Nyssa sylvatica

Platanus x acerifolia 'Bloodgood'

Platanus x acerifolia

Quercus phellos

Quercus rubra

Saphora japonica

Tilia cordata

Ulmus parvifolia 'Dynasty'

Zelkova serrata 'Green Vase'

Red Maple Sugar

Maple Common

Hackberry Katsura

American Beech

Autumn Applause Ash

Maidenhair Tree

Thornless Honey Locust

Tuliptree

Black Gum

Bloodgood London Planetree

London Planetree

Willow Oak

Red Oak

Japanese Scholar tree

Little leaf Linden

Dynasty Lacebark Elm

Green vase Zelkova

Evergreen

Calocedrus decurrens Cedrus

deodara Chamaecyparis

lawsoniana Chamaecyparis

nootkatensis Metasequoia

glypostrboides Picea

pungens

Pinus nigra

Pinus Ponderosa Sequoia

sempervirens

Sequoiadendron giganteum

Taxodium distichum

Incense Cedar

Deodar Cedar

Port Orford Cedar

Alaska Cedar

Dawn Redwood

Colorado Blue Spruce

Austrian Pine

Ponderosa Pine

Coast Redwood

Giant Sequoia

Bald Cypre

2.4.2 Ornamental Trees

Oriental trees shall be used along the Mall, at Building Entries, in Landscape Settings, in community spaces and Courtyards and Nodes to provide shade, add density and seasonal interest to the plant palette.

PLANT CHARACTER:

Long-lived deciduous and evergreen canopy trees that grow 30- 45' tall.

SIZE:

1 1/2" "caliper minimum, deciduous; 6'-8' evergreen

APPROVED SPECIES:

Medium Trees- (mature height 30'-0" to 45'-0")

Deciduous

Carpinus betulus 'Fastigiata'

Carpinus caroliniana

Cladrastis lutea

Fraxinus latifolia

Koelreuteria paniculata

Ostrya virginiana

Prunus sargentii

Prunus x yedoensis

Evergreen

Tsuga Canadensis

Umbellaria californica

Upright European

Hornbeam American

Hornbeam Kentucky

Yellowwood

Oregon

Ash

Golden

Rain Tree

Hop

Hornbea

m

Sargent

Cherry

Yoshino

Cherry

Canadian Hemlock

California bay Laurel

2.4.2 Ornamental Trees

PLANT CHARACTER:

Small to medium height flowering or specimen trees.

SIZE:

10' to 12' high or 2-1/2" to 3" caliper minimum.

APPROVED SPECIES:

Small Trees- (mature height under 30'-0")

Acer campestre	Hedge Maple
Acer griseum	Paperbark Maple
Cercis Canadensis	Eastern Red Bud
Chionanthus virginicus (tree form)	Fringetree
Cornus spp.	Flowering Dogwood
Crataegus spp. Oxydendrum	Hawthorn
arboretum Prunus subhirtilla	Sourwood
'Autumnalis' Prunus subhirtilla	Autumn Flowering Cherry
Syringa reticulata	Flowering Cherry
	Japanese Tree Lilac

Evergreen Trees

Arbutus Undedo	Strawberry Tree
Eriobotrya japonica	Loquat
Laurus nobilis	Bay Laurel
Picea pungens 'Fat Albert'	Fat Albert Blue Spruce
Pinus nigra 'Oregon Green'	Oregon Green Pine

2.4.2 Ornamental Plants

Ornamental plants shall be used to augment tree plantings with diversity, scale and seasonal interest. They are used in ornamental raised planters and in non-storm water plantings in the Mall, at Building Entries, and in open spaces around buildings.

PLANT CHARACTER:

Four-season interest with heavy emphasis on foliage and ornamental grasses to carry the display, punctuated by periodic bloom of bulbs, shrubs, and perennials.

APPROVED SPECIES:

Abelia xgrandiflora	Glossy Abelia
Arbutus unedo 'Compactum'	Compact
Arctostaphylos uva-ursi 'Emerald Carpet'	Strawberry Tree
Festuca glauca	Emerald Carpet
Fraxinus latifolia	Manzanita Blue
Hamamelis 'Arnold Promise'	Fescue
Hamamelis x intermedia 'Jalena'	Oregon Ash
Helianthemum 'Hennfield Brilliant'	Arnold Promise Witch Hazel
Helictotrichon sempervirens	Jalena Witch Hazel
Hemerocallis sp.	'Hennfield Brilliant' Rockrose
Hemerocallis x 'Easy Ned'	Blue Oat Grass
Lagerstroemia indica x faueri	Daylily
'Chocta1/2" Lavandula angustifolia	Easy Ned
'Hidcote Blue' Lonicera pileata	Daylily
Mahonia repens	Chocktaw
Miscanthus spp.	Myrtle Hidcote
Miscanthus 'Yaku Jima'	Blue Lavender
Panicum spp.	Privet
Pennisetum 'Hameln'	Honeysuckle
Prunus laurocerasus 'Otto Luyken'	Creeping
Punica granium 'Nana'	Mahonia
Rhaphiolepis 'Clara'	Maiden Grass
Rosmarinus officinalis 'Huntington Carpet'	Dwarf Maiden Grass
Rubus pentabolus'	Switch grass
Spiraea thunbergii	Dwarf Fountain Grass
Stipa gigantea	'Otto Luyken' Laurel Dwarf Pomegranate Clara Indian
Teucrium fruticans 'Compactum'	Hawthorne Prostrate Rosemary Creeping Raspberry Baby's Breath Spiraea Giant Feather Gr

2.4.3 Container Plants

Container plants shall be used at Commercial Retail and Office Areas and Courtyards and Nodes where in-ground planting is not possible. Refer to Ornamental Plant List Approved Species for additional options. Refer to for container specifications.

PLANT CHARACTER:

Structural character, four-season interest.

APPROVED SPECIES:

Focal Points

Bamboo spp.	Bamboo	Euphorbia spp	Spurge
Buxus sempervirens	Common boxwood	Fuschia spp.	Hardy Fushia
Calamagrostis x acutiflora	Feather reed grass	Geranium spp.	Cranesbill
Canna spp.	Canna Lilly	Hebe spp.	Hebe
Chamaecyparis obtusa	Falsecypress	Hosta spp.	Plantain Lilly
Euonymous spp.	Euonymous	Lamium	Spotted nettle
Ilex crenata	Holly	Lantana sp.	Lantana
Miscanthus spp.	Maiden Grass	Narcissus	Daffodil
Nandina spp.	Heavenly bamboo	Plumonaria officinalis	Lungwort
Pennisetum spp.	Fountain Grass	Sedum x"Autumn Joy"	Autumn Joy Stonecrop
Picea glauca	Dwarf Alberta Spruce	Senicio cineraria	Dusty Miller
Pinus mugo	Dwarf Mountain Pine		
Thuja occidentalis	American arborvitae	Trailing plants	
Yucca filamentosa	Yucca	Alyssum Iberis	Sweet Alyssum
		spp. Laurentia	Candytuft
Fillers		spp. Lobelia spp.	Laurentia
Agastache foeniculum	Anise Hyssop	Nasturtium spp.	Lobelia
Alchemilla mollis	Lady's Mantle	Perlargonium peltatum	Nasturtium
Anthemis	Golden Marguerite	Thunbergia alata	Ivy geranium
Celosia	Plume flower	Verbena spp.	Black-eyed Susan vine
Solenostemon spp.	Coleus	Vinca spp.	Verbena
Crocus	Crocus	Zinnia angustifolia	Periwinkle
			Narrowleaf Zinnia

2.4.4 Bike and Pedestrian Pathway Corridor Interface Plants

Bike and pedestrian interface plants shall be used to define the edges between the built environment and the natural creek corridor.

PLANT CHARACTER:

Adaptive and native or native-like species that create a vegetative transition from riparian plants to ornamental.

APPROVED SPECIES:

Trees		Viburnum opulus	Cranberry Bush
Deciduous			
Alnus rubra	Red Alder	Groundcovers	
Betula nigra	River Birch	Bacharis spp.	Coyote Brush
Celtis occidentalis	Common Hackberry	Carex spp.	Sedge
Cladrastis Lutea	Kentucky Yellowwood	Ceanothus spp.	Wild Lilac
Crataegus spp.	Hawthorne	Genista spp.	Broom
		Geranium spp.	Cranesbill
Evergreen		Potentilla spp.	Cinquefoil
Calocedrus decurrens	Incense Cedar		
Pinus ponderosa	Ponderosa Pine	Meadow	
Sequoiadendron giganteum	Giant Sequoia	Achillea millefolium	Yarrow
		Festuca idahoensis	Idaho fescue
Shrubs and Perennials		Festuca spp.	Hard Fescue
Ceanothus spp.	Ceanothus	Iris spp.	Iris
Garrya elliptica	Silk Tassle	Lobularia maritime	Sweet Alyssum
Manzanita spp.	Manzanita	Lolium perenne	Dwarf Perennial
Miscanthus spp.	Maiden Grass	Trifolium fragiferum	Ryegrass
Philadelphus spp.	Mock Orange	Trifolium repens	Strawberry Clover
Stipa	Feather Grass		Dutch White Clover
Symphiocarpus alba	Snowberry		

2.4.5 STORM WATER FACILITIES

Storm water facilities plants shall be used in Storm water Treatment Flow-Through Planters; Swales and Dry Detention Basins. Each type of facility has a corresponding plant list that contains a variety of plants suitable to the conditions inherent in each. Within in each facility type, plants should be selected and planted according to their appropriateness for the varying moisture conditions. Minimize the need for permanent irrigation as much as possible by using native and well-adapted plants.

FLOW-THROUGH PLANTERS

Flow through planters can contain a variety of shrubs, small trees, and other plants appropriate for seasonally moist and dry soil conditions.

PLANT CHARACTER:

Tolerance of both wet and dry soil conditions.

APPROVED SPECIES:

Flow-Through Planter

Acer circinatum	Acer	Vine Maple
griseum	Andropogon	Paperbark Maple
gerardii		Big Bluestem
Arctostaphylos	uva-ursi 'Emerald Carpet'	Emerald Carpet Manzanita
Aster novae	'Angliae'	Angliae Aster
Carex obnupta		Slough Sage
Carex testacea	Clethera	Orange Sedge
alnifolia	Deschampsia	Summersweet
caespitosa	Deshampsia	Tufted Hair Grass
caespitosa	Eupatorium	Tufted Hair Grass
purpureum	Eupatorium	Joe Pye Weed
purpureum	Iris siberica	Joe-Pye Weed
Juncus patens	'Carmen's Gray'	Siberian Iris
Mahonia repens		California Gray Rush
Skimmia japonica		Creeping Mahonia
Stipa gigantea		Japanese Skimmia
Vinca minor	'Atropurpurea'	Giant Feather Grass
Myosotis cardinalis		Wine Common Periwinkle
		Forget-me-not

VEGETATED SWALES

Vegetated swales can be planted with a variety of trees, shrubs, grasses, and ground covers. Plants that can tolerate both wet and dry soil conditions are best. Plant grassy swales with native broadleaf, dense-rooted grass varieties. Avoid trees in areas that require enhanced structural stability, such as bermed side slopes.

PLANT CHARACTER:

Tolerant of both wet and dry soil conditions

APPROVED SPECIES:

Swale Basin

Carex densa
Carex obnupta
Iris siberica
Juncus patens
Rosa gymnocarpa
Rosa nutkana

Dense Sedge
Slough Sedge
Siberian Iris
Gray Rush
Baldhip Rose
Nootka Rose

Swale Upslope Ceanothus spp.

Deschampsia caespitosa
Frageria chiloensis
Mahonia repens
Malus fusca
Physocarpus capitatus

Ceanothus
Tufted Hair Grass
Beach Strawberry
Creeping Oregon Grape
Oregon Crab Apple
Pacific Ninebark

Grasses

Festuca Arundinacea
Lolium perenne
Festuca rubra
Agrostis tenuis

Turf Type Tall Fescue
Dwarf Perennial Ryegrass
Creeping Red Fescue
Colonial Bentgrass

DRY DETENTION

basins are designed to fill during storm events and slowly release the water over a number of hours. Dry detention basins have forebays that collect sediment, sloped sides and a bottom 'basin' that collects the storm water, creating several different planting zones.

PLANT CHARACTER:

Consider frequent inundations, warm and cold seasons, as well as salt, and oil loading

APPROVED SPECIES:

Dry Detention Forebay Upslope Mix

Carex testacea

Deschampsia caespitosa

Iris siberica

Orange Sedge

Tufted Hair Grass

Siberian Iris

Basin Upslope Mix

Carex densa Carex

obnupta Mahonia

repens

Spiraea douglasii

Dense Sedge

Slough Sedge

Creeping Oregon Grape

Western Spirea

Groundcovers Carex

spp. Geranium spp.

Potentilla spp.

Sedge Cranesbill

Cinquefoil

Wetland grass mix

Carex densa Carex obnupta

Eleocharis palustris Juncus

effusa Scirpus microcarpus

Dense Sedge Slough

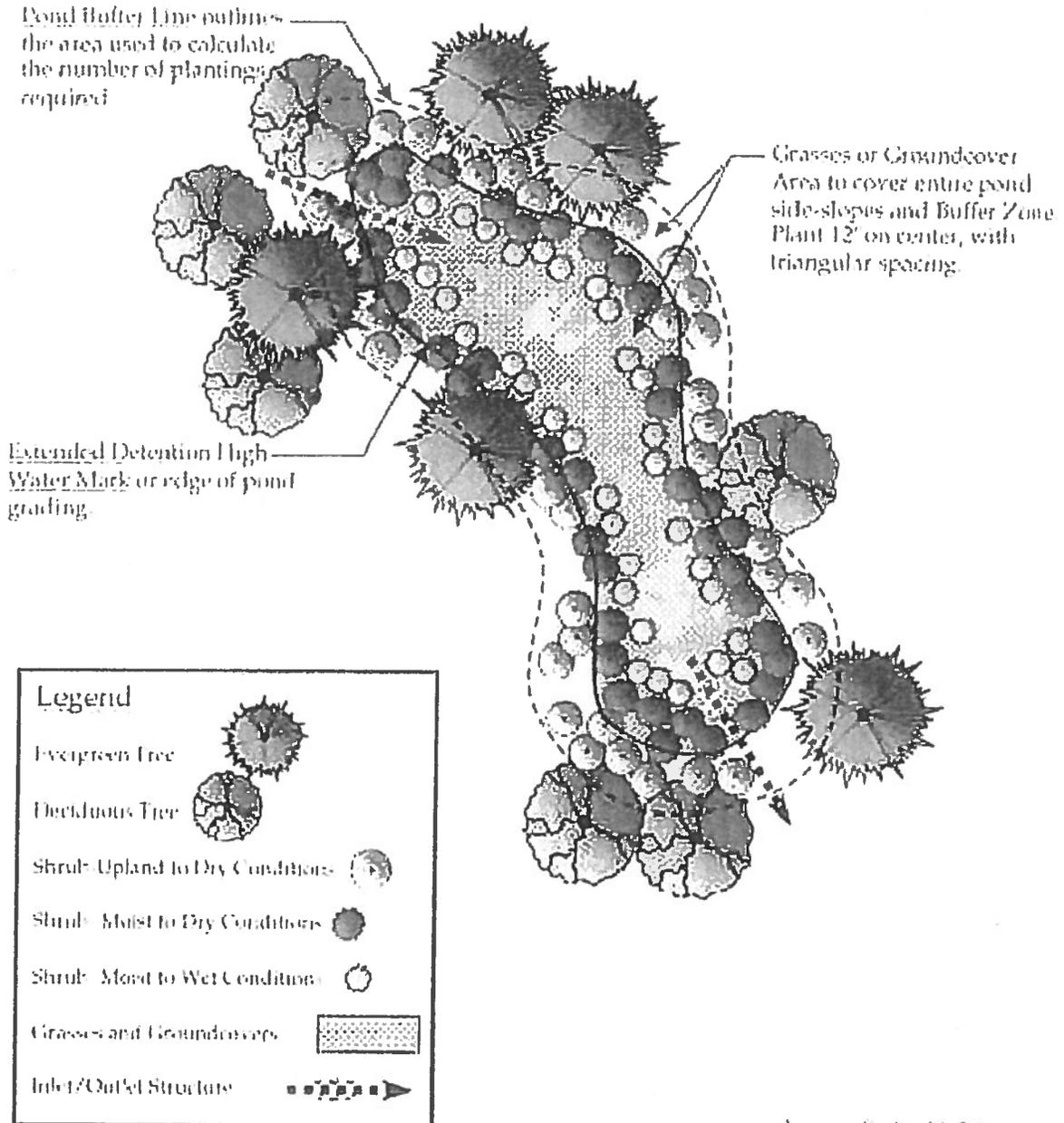
Sedge Creeping

Spikerush Soft Rush

Small-fruited Bulrush

Dry Detention Ponds

The plan below illustrates a typical planting plan for an approximately 3,500 square foot dry detention pond. This plan is diagrammatic use only. The actual project site condition may require designers to consider numerous other pond configurations and planting layouts.



RAIN GARDENS

Rain gardens are flat bottomed landscaped depressions that receive storm water runoff and temporarily store it. They eliminate or dramatically reduce storm water flow rates and volumes. They improve water quality by settling and filtering out pollutants. Where soils infiltrate well, they recharge groundwater, and they can provide storm water storage capacity in a large drainage area. Trees planted in rain gardens can shade buildings and parking lots or other paved areas, reducing runoff temperatures. The vegetation also helps prevent soil erosion, provides wildlife habitat, and is visually attractive. Rain gardens can have an informal or formal design and are easily integrated into the overall landscape or site design.

PLANT CHARACTER:

Rain gardens can be planted with a variety of trees, shrubs, grasses, and ground covers. Trees are highly recommended for their shading and temperature reduction benefits.

APPROVED SPECIES:

Rain Garden Acer circinatum Acer griseum
Andropogon gerardii
Arctostaphylos uva-ursi 'Emerald Carpet'
Aster novae 'Angliae' Carex obnupta
Carex testacea
Clethera alnifolia
Cornus stolonifera 'Kelsii' Cornus stolonifera 'Isanti' Deshampsia caespitosa Eupatorium
purpureum Fragenia chiloensis
Iris siberica Juncus effuses Juncus patens Lobelia car*i*inalis Myosotis cardinalis
Penstemon digitalis
Primula japonica 'Alba'
Skimmia japonica
Spirea douglasii
Veronica fasciculata
Vine Maple Paperbark Maple Big Bluestem
Emerald Carpet Manzanita
Angliae Aster Slough Sedge Orange Sedge Summersweet
Kelsii Redtwig Dogwood
Isanti Redtwig Dogwood
Tufted Hair Grass
Joe Pye Weed
Beach Strawberry Grass
Siberian Iris Soft Rush Gray Rush
Cardinal Flower Forget-me-not Bearded Foxglove
White Japanese Primrose Japanese Skimmia Western Spirea
Ironweed

2.5 SITE FURNISHINGS

Site Furnishings contribute to the sense of place within Stewart Meadows Village by defining an accessible, comfortable and safe environment for residents, office workers, shoppers and visitors. Site Furnishings contribute to an overall aesthetic and character and invite people to make appropriate use of spaces. Site Furnishings have been chosen with attention to the industrial aesthetics of the development, style, comfort, cost and maintenance. The Design Principles advocate incorporating environmentally sustainable strategies where possible. To facilitate this goal, Site Furnishings have been selected for their proximity of manufacture, recycled material content or other environmentally responsible characteristics or qualities.

2.5.1 Bench

BENCHES throughout the development shall be from the Columbia Cascade TimberForm "Manor" series with back and armrests. A variety of lengths are available and should be selected appropriate to the scale and size of the space. The surface pedestal mount shall be used in concrete paving and with unit pavers.

MODEL(S): 2824-4, 2824-6, 2824-8; 2827-4, 2827-6

Columbia Cascade "Manor"; curved or straight back with arms, depending on Site Use Zone

Material:	Powder-coated steel
Color:	Black
Length:	4', 6', 8'
Back/Arms:	Backed bench with arms
Mount:	Surface pedestal

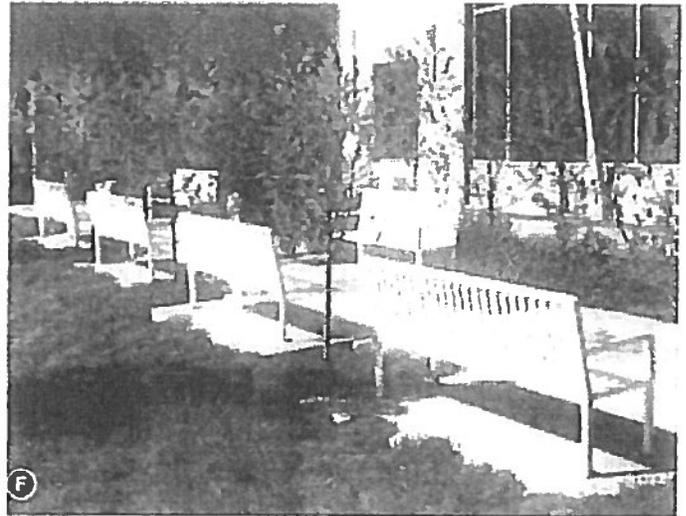
MANUFACTURER

Columbia Cascade Company
1300 S.W. Sixth Avenue, Suite 310
Portland, Oregon 97201-3464
Phone: 503-223-1157
Fax: 503-223-4530

<http://site-furnishings.columbia-cascade.com/?PageData=baseproductsdetails&catid=6&catid2=16>



2824-8 Arched Back Bench with Armrests



2827-6-ADA Accessible Manor Bench with Armrests

2.5.2 Bicycle Rack

BICYCLE RACKS shall be the Columbia Cascade TimberForm "Original Cycloops" Multiple bicycle racks shall be placed near all offices, residences, retail and social gathering spaces. The racks shall be located out of the primary circulation route, under cover when appropriate and shall be installed 3'6" on center from one another Per manufacturers suggested placement guidelines.

MODEL

Original Cycloops 2170-3-E-C

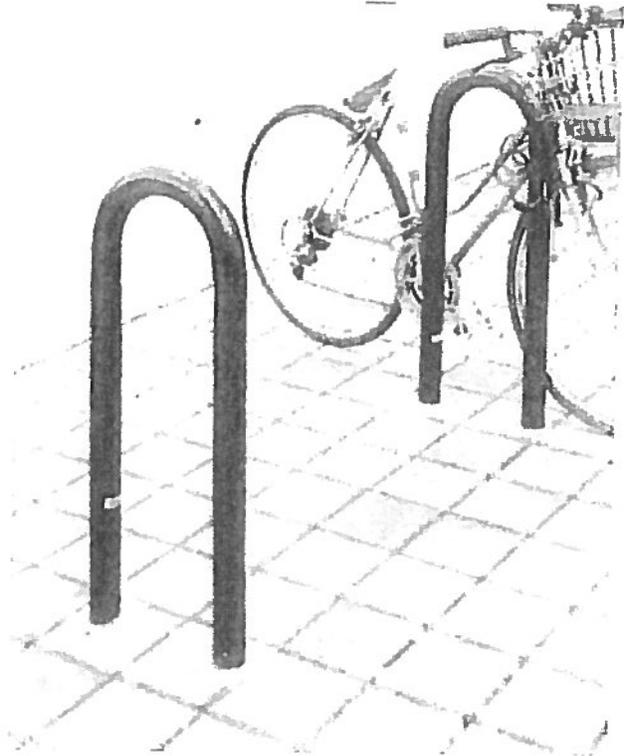
Material: 2 3/8" Schedule 40 Powder-coated steel
Color/Finish: Black
Size: 36"
Mount: Embedded or Pedestal w/cover

MANUFACTURER

Columbia Cascade Company
1300 S.W. Sixth Avenue, Suite 310
Portland, Oregon 97201-3464
Phone: 503-223-1157
Fax: 503-223-4530

OR

As approved by the DRC



2.5.3 Tree Grates

TREE GRATES shall be metal, adjustable for tree growth and accessibly compliant.

MODEL (Pedestrian Mall)

The Iron smith "Camelia" Material:

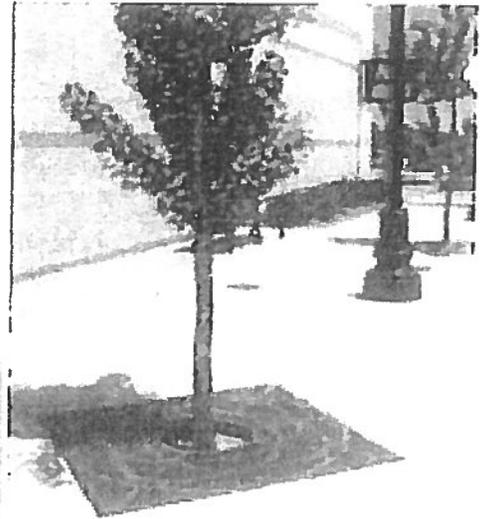
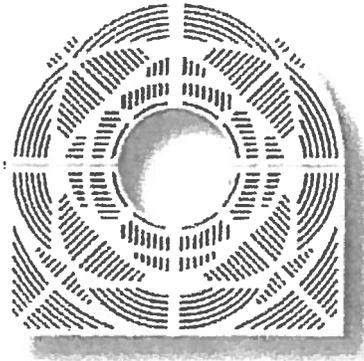
cast Iron

Color: weathered cast iron/rust

Shape: Size: Square

Openings: 60"

114"



MODEL (Courtyards/Nodes and other walkways as needed)

The Ironsmith "Briar" OR Briar Series 2 (1/2" slots)

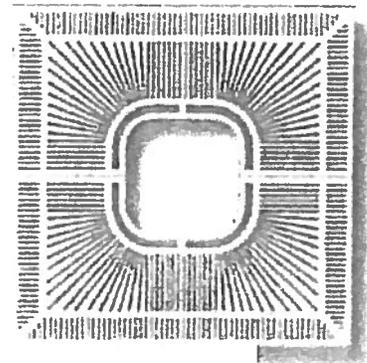
Material: cast Iron

Color: weathered cast iron/rust

Shape: Square

Size: 60"

Openings: 16" and 22"; Briar; Briar Series 2, 18", 23" or 28



MANUFACTURER

Ironsmith

41701 Corporate Way Suite 3

Palm Desert CA

Phone: 1-800-338-4766

fax: 760-776-5080

<http://www.ironsmith.cc/index.htm>

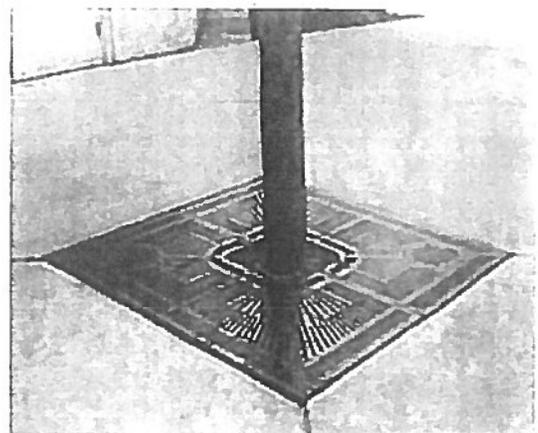
Oregon Regional Sales Representative Northwest

Playground Equipment, Inc.

Phone: 800-726-0031

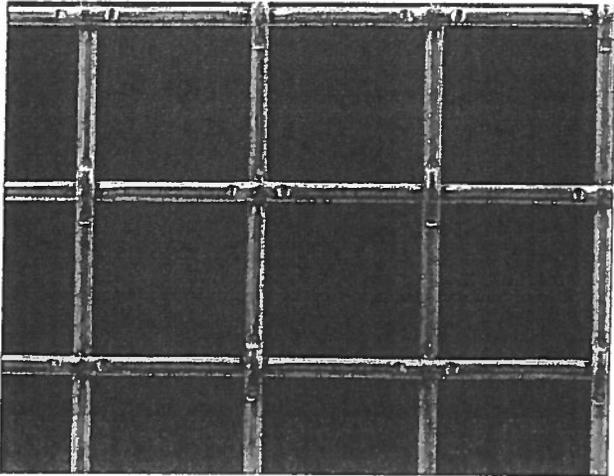
Fax: 425-313-9194

Fiberglass tree grates that match in style and pattern may be substituted for cast iron tree grates if the applicant can demonstrate the durability and quality to the DRC.

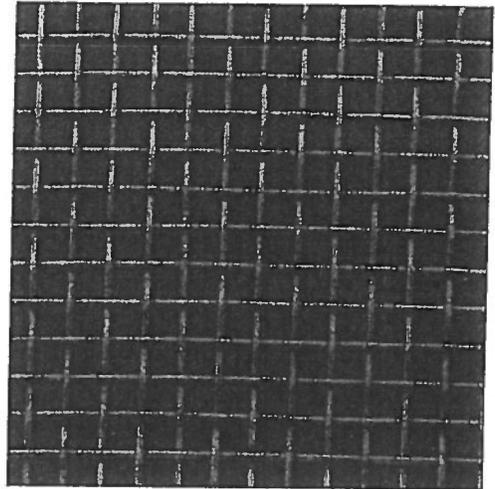


2.5.4 Fence Grating and Mesh

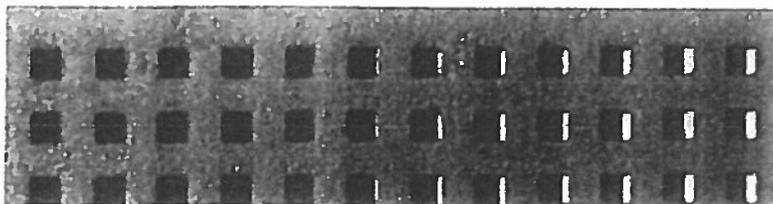
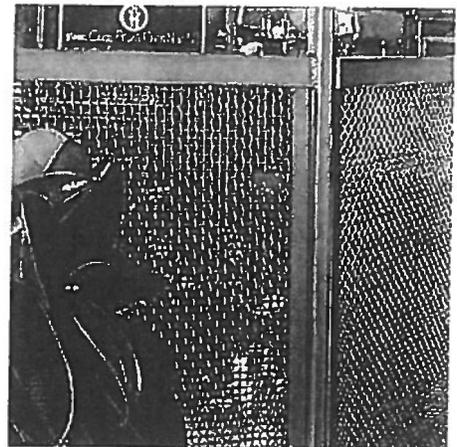
1/2" Woven Steel, 2mesh
square weave, .0800 wire



Wire Mesh 2" Square Opening



1/2"square mesh



Cast Iron weathered finish

2.5.5 Plant Containers and Pots

Containers and pots should be a mix of materials, sizes and geometries to compliment the diverse architectural building designs. Selections shall be approved by the DRC for each project



2.5.6 Street Lighting

Public Right of Way lighting shall be per City of Medford Specifications: Luminaire Type P-100; 100 watt high pressure sodium; Pedestrian-Scale Light Units.

MODEL (PARKING LOTS/PEDESTRIAN WALKWAYS/ PLAZAS)

Antique Street Lighting
"Eurotique Hanover Large Pendant"

Luminaires: Parking Lots: 22 inch LED
Pedestrian Walkways and Plazas: 16" LED

Poles: Eurotique EPSX Eurotique Series Steel Standard Pole
Parking Lots: 20' pole
Pedestrian Walkways and Plazas: 12' pole

MANUFACTURER

Acuity Brands Lighting
One Lithonia Way
Conyers, GA 30012
770-922-9000



MODEL (PUBLIC STREETS)

Belle Chase Series #9232-CPR with HPS Lamps

Stock Number:	9132- {10 1/2'}, 9232 {12'} overall height
Base Diameter:	13"
Height:	10 1/2'
Mount Style:	Surface
Luminair Dims:	16" Diameter x 30" Height
Post Material:	Cast Aluminum
Globe Material:	Standard: Opaque Lexan Polycarbonate
Lighting:	Standard: Incandescent
Optional:	(MH) Metal Halide

MANUFACTURER

Mel Northey Co. Inc.
303 Gulf Bank Road
Houston, Texas 77037-2499
Phone: 281-445-3485
Fax 281-445-7456

Belle Chase Series #9232-



2.5.7 Screening

SERVICE SCREENING throughout Stewart Meadows Village shall be custom designed screen made of metal wire mesh and steel tubing, as described in Section 2.2.4.

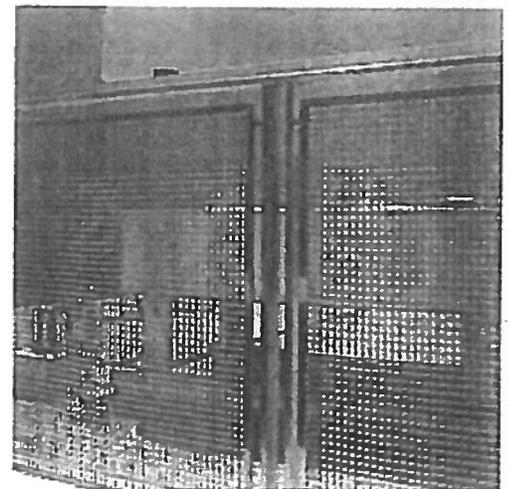
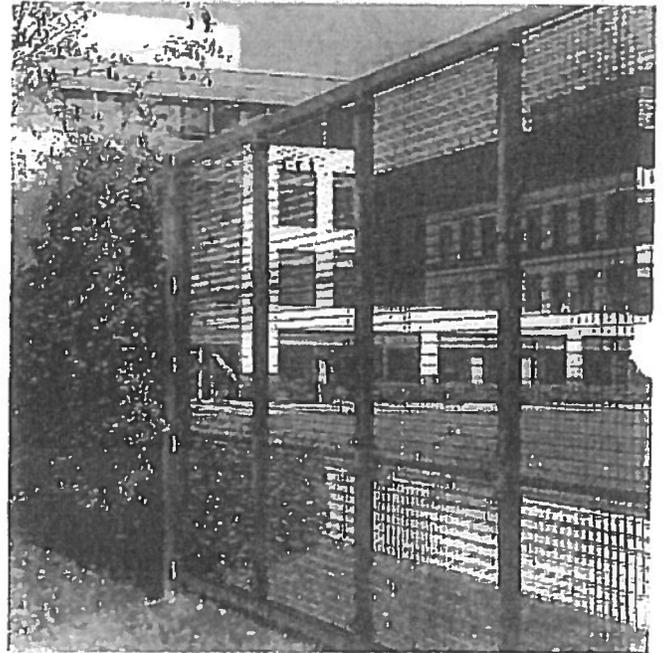
MODEL

McNichols 3693920141
Material: ~~Steel Mesh~~
square weave, .0800 wire
Color/Finish: Height:
Plant Material:
Climbing Vines

McNichols 3602804810
Material: 1/2" Woven opening, plain steel .250 cred

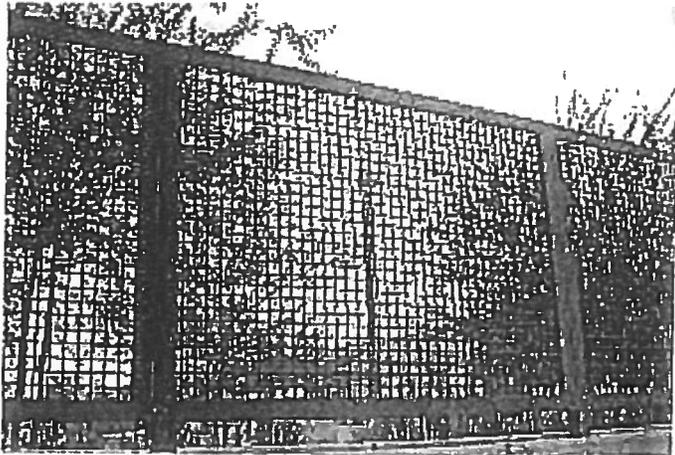
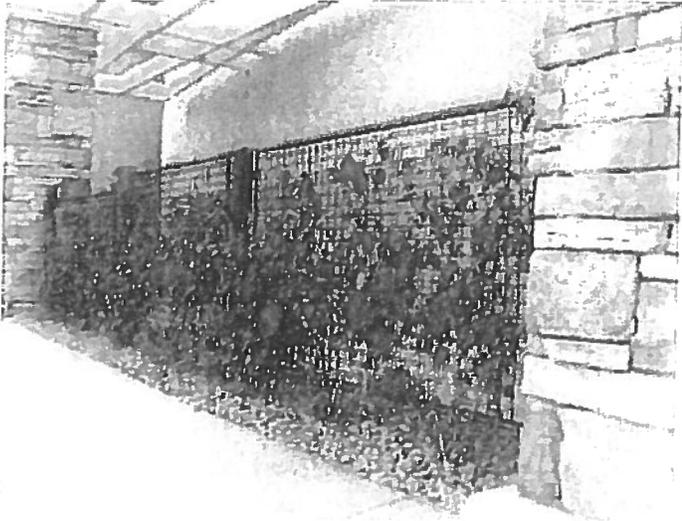
MANUFACTURER

McNichols
174 Lawrence Dr., Suite G. Livermore, CA
94551
Phone: 1-877-884-4653
Fax: 510-887-7779



Service Screen Samples

ORNAMENTAL SCREENS are living screens provide privacy, add a vertical green element and help define spaces. In Stewart Meadows Village a custom designed screen made of metal wire mesh and steel tubing, as described in Section 2.2.4.



Ornamental Screen Design Sample

2.5.8 Skateboard Deterrent

Skateboard deterrents shall be installed throughout Stewart Meadows Village on low walls, seat walls and planter edges to discourage skateboarder activity and prevent damage.

MODEL (example)

SkateStoppers Insert Series "Mallory Rev A with 1/8" radius OR for 1/2"radius, Bear R0-5 OR Beaverton T

Material: Color/Finish:

White brass

Size:

White Tombasil (white brass w/matte clear coat)

10" with 2" vertical

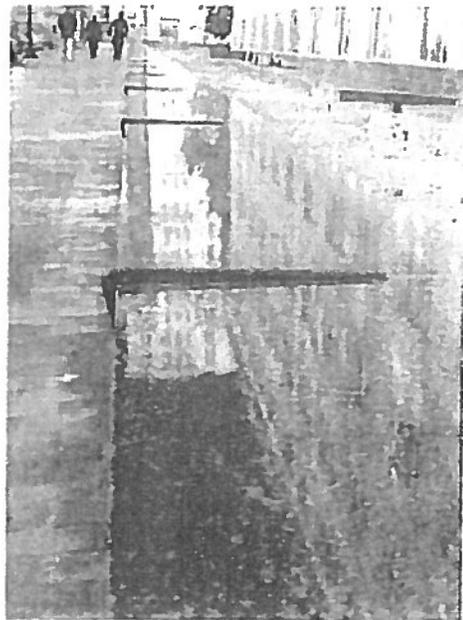
MANUFACTURER

SkateStoppers

1444 Pioneer Way, Ste.13, El Cajon, CA

92020-1640 Phone: 619-447-6374

Fax: 619-447-6396



"Mallory" Insert

2.5.9 Trash and Recycling Receptacles

TRASH AND RECYCLING RECEPTACLES shall be Columbia Cascade Manor series and shall be used throughout all areas of Stewart Meadows Village. Locate receptacles with attention to pedestrian and vehicular circulation regarding trash and street maintenance. All receptacles shall have a side door with lock to facilitate trash removal. All recycling receptacles shall have a top opening for disposal with one compartment for co-mingled recyclables. All trash receptacles shall have a side opening for litter disposal. All receptacles shall have inner liners and be surface mounted.

TRASH RECEPTACLE MODEL (example)

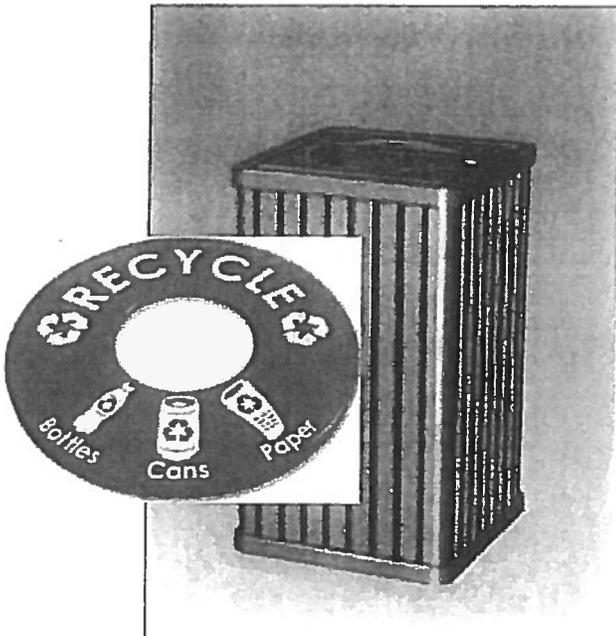
Columbia Cascade "Manor" 2834-FT Flat Top Litter Container

Material: Powder-coated Steel
Color/Finish: Black
Size: 36 gallon

RECYCLING RECEPTACLE MODEL- *customize with insert recycling sorting top appropriate to type of recycling sorting required (e.g. comingle; glass, metal etc.)*

MANUFACTURER

Columbia Cascade Company
S.W. Sixth Avenue, Suite 310
1300 Portland, Oregon 97201-3464
Phone: 503-223-1157
Fax: 503-223-4530



"Manor" Trash Receptacle

Custom Recycling Receptacle Insert

2.5.10 Water Fountain

WATER FOUNTAINS shall be outdoor drinking fountains, barrier *free*, freeze resistant, pedestal style with, one piece vandal resistant bubbler, pushbutton design; and a vandal resistant strainer.

MODEL (example)

Haws 3377FR

Material: 14 gauge stainless steel bracket;

with 18 gauge stainless satin finish basin

3/16" galvanized steel top access pedestal

Color/Finish: Pedestal, green powder coat; basin and bracket, satin

MANUFACTURER

Haws

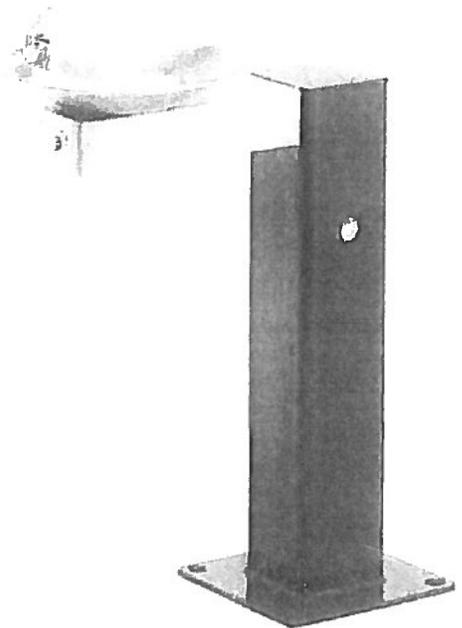
1455 Kleppe Lane

Sparks, NV 89431

Phone: 775.359.4712

Fax: 775.359.7424

info@hawsco.com



Haws 3377FR

Dustin J. Severs

From: Jim Maize <jmaize3145@charter.net>
Sent: Monday, July 24, 2017 2:56 PM
To: Dustin J. Severs
Subject: Re: Stewart Meadows SPAC revisions

Hello Dustin,

As we discussed at the LD meeting, the applicant proposes that tenants will be parking their bicycles in their individual dwelling units. The applicant will also provide several bicycle parking spaces at the community building. If there is any additional information that you need, please let me know.

As I mentioned, I will be on vacation for the rest of the week and will not be able to attend Wednesday's LD meeting regarding the Myers Lane vacation.

Thank you,
Jim Maize

On Jul 21, 2017, at 3:26 PM, Dustin J. Severs <Dustin.Severs@cityofmedford.org> wrote:

Jim,

We received revised plans from Robb Collins yesterday as advised at the LD meeting. The revised plans do not include a title block, legend, etc. Could you please add these? We will also need either a revised site plan showing the requisite bicycle parking spaces or a revised narrative addressing bicycle parking.

Have a great Weekend!

Dustin Severs
Planner III
City of Medford - Planning Department
Lausmann Annex, 200 S. Ivy Street
Medford, OR 97501
(541) 774-2389

MAIZE & ASSOCIATES, INC.

(541) 776-4142
(541) 776-4143 Fax

PO Box 628
Medford, OR 97501

jmaize3145@charter.net



City of Medford Planning Department

Vicinity
Map

File Number:

AC-17-066



Subject Area

Project Name:

Stewart Meadows Village Residential Duplex/Multi-Plex

Map/Taxlot:

371W31A TL 4000

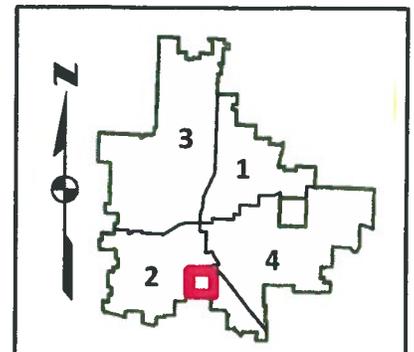
371W31D TL 1000-1001



06/06/2017

Legend

-  Medford Zoning
-  Tax Lots



6/4