

SITE PLAN & ARCHITECTURAL COMMISSION AGENDA JANUARY 6, 2017



Commission Members

Jeff Bender, Chair

Jim Quinn, Vice Chair

Jim Catt

Bill Chmelir

Tim D'Alessandro

Bob Neathamer

Marcy Pierce

Curtis Turner

Rick Whitlock

City Council Liaison - Dick Gordon

City Council Liaison Alt. - Eli Matthews

Regular Commission meetings are held on
the first and third Fridays of every month

Beginning at 12:00 Noon

City of Medford

Council Chambers,

Third Floor, City Hall

411 W. 8th Street

Medford, OR 97501

(541) 774-2380



Site Plan and Architectural Commission

Agenda

Public Hearing

January 6, 2017

12:00 noon

Council Chambers, City Hall, Room 300
411 West Eighth Street, Medford, Oregon

-
10. Roll Call.
 20. Consent Calendar. None.
 30. Minutes.
 - 30.1 Consideration for approval of minutes from the December 2, 2016, meeting.
 40. Oral and Written Requests and Communications.

Comments will be limited to 3 minutes per individual or 5 minutes if representing a group or organization. **PLEASE SIGN IN.**
 50. Public Hearings – New Business.

Comments are limited to a total of 10 minutes for applicants and/or their representatives. You may request a 5-minute rebuttal time. All others will be limited to 3 minutes per individual or 5 minutes if representing a group or organization. **PLEASE SIGN IN.**

 - 50.1 AC-16-134 Consideration of plans for the construction of a two-story 28,000 square foot building, on a 2.08 acre lot located at the northwest corner of Garfield Street and Center Drive within a Regional Commercial (C-R) zoning district. (Rogue Federal Credit Union, Applicant; Ogden, Roemer, Wilkerson Architects, Agent).
 - 50.2 AC-16-138 Consideration of Southside Center Phase 1, a proposed commercial and retail center consisting of a restaurant and two multi-tenant commercial buildings, located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district. (Galpin Gang, LLC, Applicant; Ron Grimes Architects, Agent).
 60. Written Communications. None
 70. Unfinished Business. None
 80. New Business.
 90. Report from the Planning Department.
 100. Messages and Papers from the Chair.
 110. Propositions and Remarks from the Commission.
 120. City Council Comments.
 130. Adjournment.



Site Plan and Architectural Commission

Minutes

From Public Hearing on December 2, 2016

The regular meeting of the Site Plan and Architectural Commission was called to order at noon in the Council Chambers on the above date with the following members and staff in attendance:

Commissioners Present

Jeff Bender, Chair
Jim Catt
Bill Chmelir
Tim D'Alessandro
Bob Neathamer
Curtis Turner
Rick Whitlock
Dick Gordon, City Council Liaison

Staff Present

Kelly Akin, Interim Planning Director
Kevin McConnell, Deputy City Attorney
Doug Burroughs, Public Works/Eng Development Services Mgr.
Praline McCormack, Planner II
Debbie Strigle, Recording Secretary

Commissioners Absent

Jim Quinn, Vice Chair, Excused Absence
Marcy Pierce, Excused Absence

10. Roll Call.
20. Consent Calendar. None.
30. Minutes.
 - 30.1 The minutes for the November 18, 2016, meeting, were approved as submitted.
40. Oral and Written Requests and Communications. None.
50. Public Hearings.

Kevin McConnell, Deputy City Attorney, read the rules governing the public hearings.

New Business.

50.1 **AC-16-115** Consideration of plans for a 2,856 square foot general office/medical office building on a 0.43 acre lot within Phase 3 of the West View Village PUD. The subject property is zoned SFR-10/PD (Single Family Residential - 10 dwelling units per gross acre) with Planned Unit Development Overlay Zone and located at the southeast corner of Lozier Lane and Meadows Lane. (Young Family Trust, David F. Young, Trustee, Applicant; Richard Stevens & Associates, Agent).

Chair Bender asked for any potential conflicts of interest or ex-parte communications. There were none.

Praline McCormack, Planner II, gave a PowerPoint presentation of the November 23, 2016, Staff Report. She pointed out revised Exhibits A-1, B-1, F-1, and M-1.

Commissioner Catt wanted to know if the sidewalk along Meadows Lane extended to the property line. Ms. McCormack answered it looked like it did not extend past the driveway. She said they would probably finish the sidewalk with the next phase.

Doug Burroughs, Public Works Department, stated that street improvements are required along the full frontage of the development. The sidewalk will be continued to the edge of what they are developing. Future phases will also include sidewalks.

The public hearing was opened and the following testimony was given:

a) Clark Stevens, agent for the applicant, stated they were in agreement with the Staff Report and all the Conditions of Approval including the newly revised conditions presented at this meeting. He spoke in favor of the application and asked for the Commission’s approval.

Commissioner Whitlock asked Mr. Stevens to give the Commission an idea of what the phasing might look like going forward. Mr. Stevens replied the specific plan is with the improvements of Lozier Lane as to be tying into the info structure improvements simultaneously. He went on to talk more about the phasing possibilities of the project.

Commissioner Catt asked if the sewer and water infrastructure would extend to the end of the property. Mr. Stevens responded they would be required to extend public facilities all across Meadows Lane.

b) Brian Westerhout, architect for the project, pointed out that they had switched out deciduous trees for evergreen trees along the bufferyard. By doing that, they meet the 60% evergreen threshold.

Mr. Stevens reserved time for rebuttal.

c) David Watson, Lozier Lane, had concerns regarding the brick wall and who would be responsible for taking care of it. He also had questions about the trees that would be against his property line.

Mr. Stevens clarified the masonry wall would be on the property line, and the landscaping would be on the PUD side of the property, not on Mr. Watson’s side. This way the shading of the trees would be over the parking lot. He added they could relocate the evergreen trees if that is what the Commission felt was appropriate.

Commissioner Whitlock asked if it was a particular type of brick wall and if any design features had been decided upon. Mr. Stevens replied they had not yet made that determination. He said some of the materials and colors were to somewhat match what would be around the structure, such as stonework. Mr. Stevens noted that it would be compatible with the proposed structure.

Commissioner Whitlock asked if the applicant and design team would be willing to talk with the neighbors about what the wall would look like. Mr. Stevens answered yes.

The public hearing was closed.

Motion: Adopt the findings as recommended by staff and adopt the Final Order of approval for AC-16-115 per the Staff Report dated November 23, 2016, including all exhibits and including revised Exhibits A-1, B-1, F-1, and M-1.

Moved by: Commissioner Whitlock Seconded by: Commissioner Neathamer

Roll Call Vote: Motion passed, 7-0

60. Written Communications. None.

70. Unfinished Business. None.

80. New Business. None.

90. Report from the Planning Department.

90.1 Ms. Akin announced that the Urban Growth Boundary hearing had been scheduled for the Jackson County Planning Commission on January 26, 2017.

90.2 Ms. Akin announced there is no business scheduled for the December 16th meeting. There is business scheduled for the January 6, 2017, meeting.

90.3 Ms. Akin reported that City Council had approved the ordinance allowing retail sales of marijuana.

90.4 Ms. Akin stated at the next City Council meeting there would be a text amendment to allow the A-frame sandwich board signs in the downtown area, and a text amendment to allow craft alcohol production and sales in the commercial districts. This includes microbreweries, micro distilleries, and small wineries.

90.5 Ms. Akin wished everyone a Merry Christmas and Happy New Year.

Commissioner Neathamer thanked Ms. Akin for all the time and effort she put forth while stepping in as Interim Planning Director and at the same time maintaining her position as Principal Planner. He said she had done a great job.

100. Messages and Papers from the Chair. None.

110. Propositions and Remarks from the Commission.

110.1 Commissioner D'Alessandro thanked Ms. Akin for her time, effort, and helpfulness as Interim Planning Director. He also thanked the Commission for allowing him to be educated in this process and said it had been an honor and pleasure to have served with them. Commissioner D'Alessandro will be leaving this Commission and joining City Council as a Councilmember.

110.2 Commissioner Whitlock expressed his appreciation for all that Ms. Akin does, and has done. He commented it is refreshing to see staff so helpful and informative in the meetings. He gave kudos to the entire department for everything they do and thanked Ms. Strigle for doing such a good job on the minutes.

Commissioner Whitlock thanked Commissioner D'Alessandro for his service on this Commission and wished everyone Happy Holidays and a Merry Christmas.

120. City Council Comments.

120.1 Councilmember Gordon thanked the Commissioners for their service this past year and for those who had re-applied to serve another term. He said he was looking forward to working with Commissioner D'Alessandro on the City Council.

120.2 Councilmember Gordon wished everyone a Merry Christmas and Happy New Year.

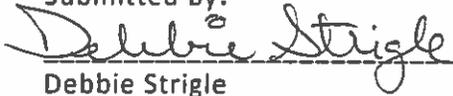
120.3 Councilmember Gordon expressed his appreciation for Ms. Akin and said the City is very fortunate to have her.

Commissioner Neathamer thanked Mr. Burroughs for his effort and said he does a great job for the Public Works Department.

130. Adjournment

130.1 The meeting was adjourned at approximately 12:25 p.m. The proceedings of this meeting were digitally recorded and are filed in the City Recorder's office.

Submitted by:



Debbie Strigle
Recording Secretary

Jeff Bender
Site Plan and Architectural Commission Chair

Approved: January 6, 2017



City of Medford

Planning Department

Working with the community to shape a vibrant and exceptional city

STAFF REPORT

for a Type-C quasi-judicial decision: **Architectural and Site Plan Review**

PROJECT Rogue Credit Union Headquarters Building
 Applicant: Rogue Credit Union; Agent: ORW Architecture

FILE NO. AC-16-134

TO Site Plan and Architectural Commission *for January 6, 2017 hearing*

FROM Praline McCormack, Planner II

REVIEWER Kelly Akin, Principal Planner *KA*

DATE December 30, 2016

BACKGROUND

Proposal

Consideration of plans to construct a two-story, 28,000 square foot building for Rogue Credit Union Headquarters on an adjoining 2.08 acre lot located at the northwest corner of Garfield Street and Center Drive within a Regional Commercial (C-R) zoning district (371W32B 4800).

Subject Site Characteristics

Zoning: C-R Regional Commercial
GLUP: CM Commercial
Use: Half of lot is vacant and half of lot is parking lot

Surrounding Site Characteristics

North	Zone:	C-R
	Use:	Walmart, Medford Armory, hotels and retail uses
South	Zone:	C-R & SFR-00 (Single Family Residential, one dwelling unit per existing lot)
	Use:	Vacant, electric substation, used car sales
East	Zone:	C-R
	Use:	Hotels
West	Zone:	C-R
	Use:	Rogue Credit Union

Related Projects

AC-03-030	9,150 square foot third floor addition to existing Rogue Credit Union building and parking lot addition
PLA-13-098	Walmart Property Line Adjustment
AC-13-127	Two-story, 31,886 square foot addition to existing Rogue Credit Union building
PLA-14-007	Property Line Adjustment to consolidate 371W31A4102 and 371W32B4900
SN-16-068	Private street name change from "Rogue Federal Way" to "Rogue Credit Union Lane"

Applicable Criteria

Medford Land Development Code Section 10.290 – Site Plan & Architectural Review Criteria:

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) The proposed development is compatible with uses and development that exist on adjacent land; and*
- (2) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

ISSUES AND ANALYSIS

This site plan and architectural review is limited to the structure. The associated parking area was constructed via a building permit earlier this year. When not associated with building construction, parking lots are exempt from SPAC review under MLDC 10.031(C)(1). There is an existing electronic message sign on Garfield Street near the intersection that will remain.

Vehicular & Pedestrian Access

Vehicular access to the subject site is currently provided via Rogue Credit Union Lane, a private, shared driveway that extends between South Pacific Highway and Center Drive. The site fronts the vacated portion of Center Drive that was realigned with the completion of the South Medford Interchange. No direct access is proposed or permitted from either Center Drive or Garfield Street.

The submitted site plan shows a proposed six-foot wide pedestrian walkway connecting to Garfield Street consistent with Section 10.772–10.775.

Parking

Parking Requirements

	REQUIRED	SHOWN
Total Spaces – General Office Use	84-140 spaces (min-max)	134 spaces
Accessible Spaces	5 spaces	5 spaces
Bicycle Spaces	13 spaces	14 spaces

As illustrated in the Parking Requirements table above, it can be found that the submitted Site Plan meets the maximum parking requirements as outlined in Section 10.743; however, a bike rack detail was not provided. A condition has been included requiring submittal of a bike rack detail demonstrating compliance with the preferred style that provides two points of contact, such as the inverted “U”.

Landscaping

Landscape Requirements

	REQUIRED	SHOWN
Trees, Center Drive	6	7
Shrubs, Center Drive	35	100+
Trees, Garfield Street	11	11
Shrubs, Garfield Street	66	110+
Total Landscaped Area	17,945 S.F.	
Area of High Water Use Landscaping	5,350 S.F.	
Percentage of High Water Use Landscaping	30% max	29%

As illustrated in the Landscape Requirements table above, it can be found that the submitted Landscape Plan provided by KenCairn Landscape Architecture, a State of Oregon Licensed Landscape Architect meets the landscaping requirements as outlined in Sections 10.780 and 10.797.

Building Elevations

As stated in the Applicant’s Narrative (Exhibit G) and depicted in the colored elevations (Exhibit C):

The architectural style of the new building utilizes materials such as brick veneer in a classic terra cotta color, aluminum and glass window walls, earthy brown steel canopies and grey metal panel in a timeless aesthetic that is similar to the existing RCU building.

The brick veneer walls are divided into well-proportioned masses by the integration of the aluminum and glass window walls and grey metal panel finish system. Articulation is further enhanced by the recess and projection of walls in locations where different materials intersect.

Based on the information provided in Exhibit G, the Commission can find that the proposed design is compatible with surrounding development.

Concealments

The submitted site plan shows a trash receptacle in the northern portion of the site west of the proposed structure. As a detail of the enclosure has not been provided, staff has included a condition requiring the applicant to submit a detail demonstrating compliance with MLDC 10.781 prior to the issuance of building permits for vertical construction.

The submitted overhead oblique elevations depict HVAC equipment on the roof of the structure. Parapet walls are proposed to conceal the equipment as required in MLDC 10.782.

Agency Comments

Agency comments are included as Exhibits J through R. There are adequate facilities to serve the development according to agency comments. Conditions of approval (Exhibit A) have been included requiring the applicant to comply with the agency comments as applicable.

Committee Comments

No committee comments were received.

FINDINGS AND CONCLUSIONS

Medford Land Development Code Section 10.290 – Site Plan & Architectural Review Criteria:

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

(1) The proposed development is compatible with uses and development that exist on adjacent land; and

The Commission can find that there is sufficient evidence contained in the Applicant's Narrative along with exhibits and the Staff Report to determine that the proposal is compatible with the uses and development on adjacent land. This criterion is satisfied.

(2) *The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

The Applicant demonstrated compliance with the standards of the Land Development Code in Exhibit H. Where compliance was not reached, the Commission can find that the proposal can be made to comply with the applicable provisions of the Code with the imposition of conditions of approval contained in Exhibit "A". No Exception is needed. This criterion is satisfied.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare a Final Order for approval of AC-16-134 per the staff report dated December 30, 2016, including Exhibits A through S.

EXHIBITS

- A Conditions of Approval dated December 30, 2016
- B Site Plan received October 26, 2016
- C Color Elevations received October 26, 2016
- D Overhead Views of Building from Garfield and Center and From Parking Lot received October 26, 2016
- E Floor and Roof Plans received October 26, 2016
- F Landscape Plan received October 26, 2016
- G Applicant's Narrative received October 26, 2016
- H Applicant's Code Compliance Regarding Approval Criterion No. 2 received October 26, 2016
- I GoogleEarth Photo of Existing Site
- J Public Works Staff Report received December 14, 2016
- K Medford Water Commission Staff Memo received December 21, 2016
- L Medford Fire Department Land Development Report received December 14, 2016
- M Rogue Valley Sewer Services letter received December 9, 2016
- N Building Department Memo received December 14, 2016
- O Memo from Floodplain Coordinator dated December 14, 2016
- P Medford Parks & Recreation Interoffice Memo received December 13, 2016
- Q Email from Oregon Department of Aviation received December 9, 2016
- R Email from Medford Address Technician received December 14, 2016
- S Landscape and Irrigation Code Information received December 13, 2016
Vicinity Map

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:

JANUARY 6, 2017

EXHIBIT A

Rogue Credit Union Headquarters Building

AC-16-134

Conditions of Approval

December 30, 2016

DISCRETIONARY CONDITIONS

1. Provide a detail of the proposed bike racks. The racks must provide two points of bicycle contact, such as the inverted "U" shape.

CODE REQUIRED CONDITIONS

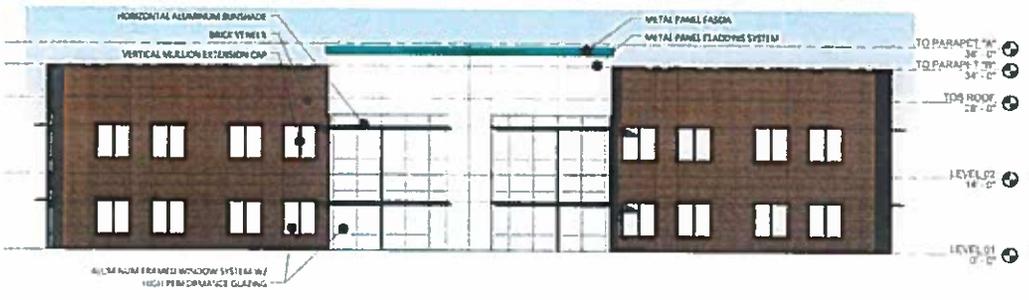
Prior to the issuance of the first building permit for vertical construction, the applicant shall:

2. Provide a detail of the trash enclosure in compliance with MLDC 10.781.
3. Comply with all requirements of the Medford Public Works Department (Exhibit J).
4. Comply with all requirements of the Medford Water Commission (Exhibit K).
5. Comply with all requirements of the Medford Fire Department (Exhibit L).
6. Comply with all requirements of the Rogue Valley Sewer Services (Exhibit M).

CITY OF MEDFORD

EXHIBIT # A

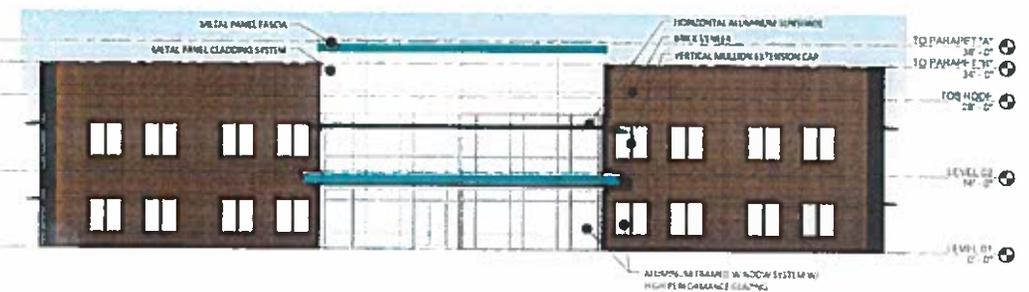
File # AC-16-134



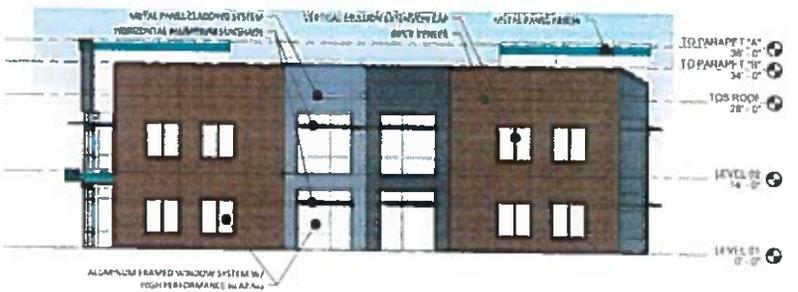
1 EAST ELEVATION
3:32" = 1" = 0"



2 NORTH ELEVATION
3:32" = 1" = 0"

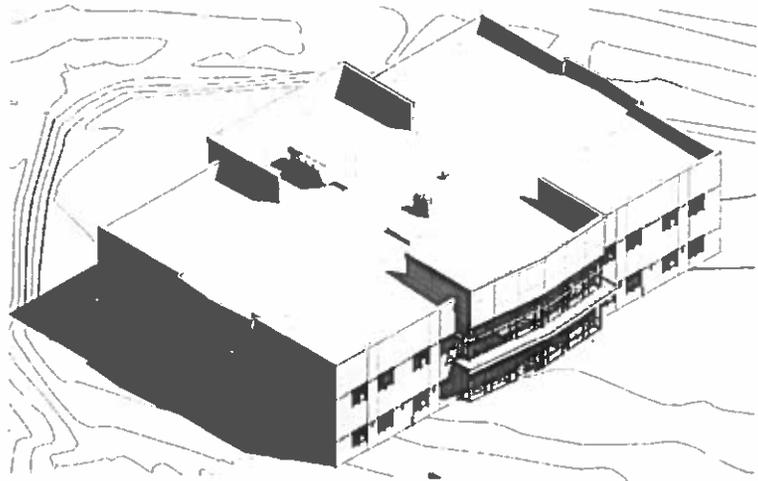


3 WEST ELEVATION
3:32" = 1" = 0"

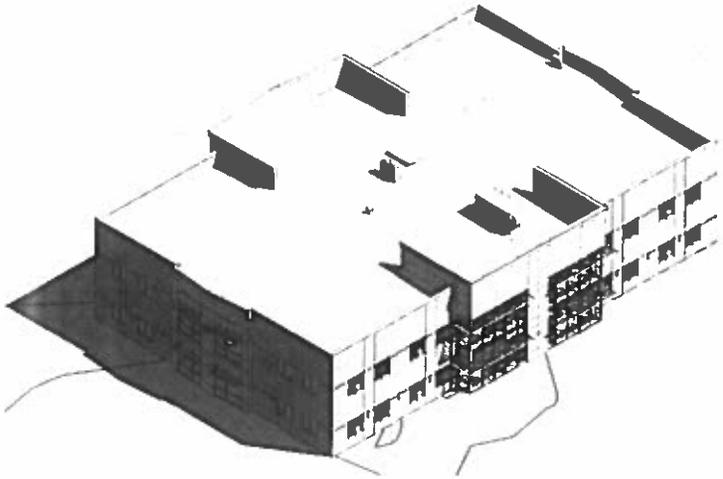


4 SOUTH ELEVATION
3:32" = 1" = 0"

RECEIVED
OCTOBER 26, 2016
PLANNING DEPARTMENT

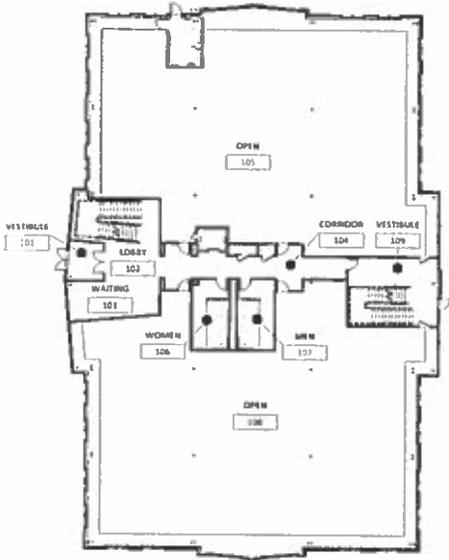


OVERHEAD VIEW FROM NORTHWEST (PARKING LOT)



OVERHEAD VIEW FROM SOUTHEAST (GARFIELD AND CENTER)

2



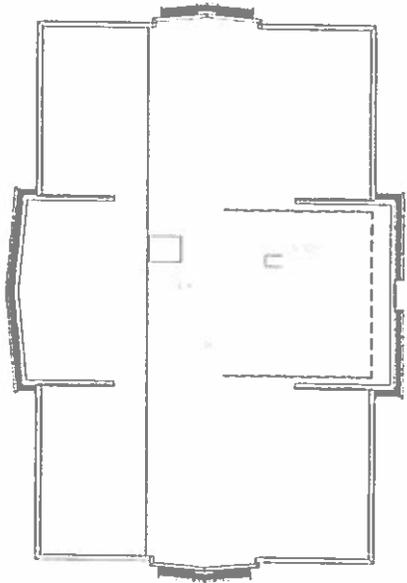
GROSS AREA = 14,298 SF

1 FLOOR PLAN - LEVEL 01
1/16" = 1'-0"



GROSS AREA 13,700 SF
TOTAL AREA 27,998 SF

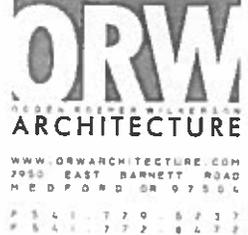
2 FLOOR PLAN - LEVEL 02
1/16" = 1'-0"



3 ROOF PLAN
1/16" = 1'-0"



RECEIVED
OCTOBER 26, 2016
PLANNING DEPARTMENT



17 August, 2016

City of Medford
Planning Department
200 S. Ivy St.
Medford, OR 97501

Re: Rogue Credit Union – Core/Shell Addition for future office space

Section I – Narrative:

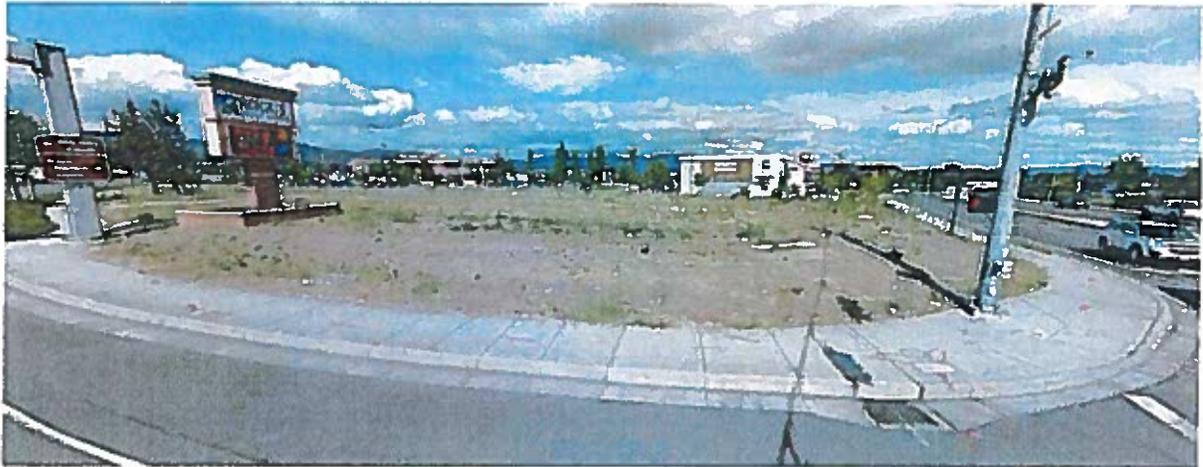
This project is a new building for the Rogue Credit Union at the corner of Garfield Street & Center Drive. The only structure on site is the 'Monument Electronic Reader Sign' along Garfield Street and it will remain. The 2 story, 28,000sf Core/Shell will be built to the east end of the existing onsite parking.

The design of the new building is held back from the major intersection of Garfield Street and Center Drive which will provide some respite from traffic noise for future occupants and also provide a visually appealing landscaped corner yard for those entering the city from the freeway. It complements the existing credit union building by using the same materials & texture as the recent addition.

Careful planning and design has gone into addressing massing volumes, setbacks, and a palette of materials, colors and landscaping to complement the both the surrounding properties and the existing lot development.

Section II – Compatibility: Criterion No. 1:

- A. *List existing uses and development adjacent to your project site. Along with this list, describe the architecture (materials, colors, etc.), age, and condition of the adjacent buildings (you may use photographs to supplement this information).*



(Site)

Response: Directly to the north is the chain restaurant Panda Express, with a multi-tenant commercial building just north of this (image 1). The restaurant is a combination of dry-stack ledge stone, storefront, metal panel, fake bamboo, stucco & panda. The multi-tenant building is a combination of CMU, storefront & stucco. A bit further north is the expansive Wal-Mart parking lot which sits across Rogue Federal Way. The "box" store rises out of the ground to the north of the parking lot, using CMU, brick, stucco & false heavy timber façade (image 2). The property to the west is the existing RCU Branch & Administration building (Image 3). Further to the west, across US 99 is undeveloped property. The property to the east, across Center Drive is a typical 3-story hotel building with brick base, lap siding & gable composite shingle roof (image 4). The properties to the south are a power sub-station and a vehicle consignment lot with a "circus big top" tent structure. The properties to the north, east, & south are zoned R-C, and the property to the west is zoned I-L.



(Image 1)



(Image 2)



(Image 3)



(Image 4)

- B. *Describe the building architecture and exterior treatments in your proposal, and how they fit with and complement adjacent buildings and development.*

Response: The architectural style of the new building utilizes materials such as brick veneer in a classic terra cotta color, aluminum and glass window walls, earthy brown steel canopies and grey metal panel in a timeless aesthetic that is similar to the existing RCU building.

- C. *Describe the proposed architecture and exterior treatments that break up large facades and give relief to the building mass.*

Response: The brick veneer walls are divided into well proportioned masses by the integration of the aluminum & glass window walls and the grey metal panel finish system. Articulation is further enhanced by the recess and projection of walls in locations where different materials intersect.

- D. *Describe how the placement and orientation of the proposed building(s) relate(s) to the street facilities, and how this orientation promotes a more pedestrian-friendly site design.*

Response: The new building has a set-back street presence, which allows for a well landscaped yard. The building's aesthetic appeal, along with the vegetation proposed will create a comfortable pedestrian experience. Sidewalks connecting the internal site with the street frontage walking paths allow pedestrians to easily access the building.

- E. *Describe the pedestrian facilities and amenities on your site (useable outdoor space, benches, etc), and how they will function for pedestrians.*

Response: Multiple new sidewalks within the site connect to the public ways, allowing pedestrians the ability to access the site/building easily and quickly.

- F. Describe vehicle and pedestrian access to the site, and how it relates internally on the site, and to adjacent sites.

Response: The site has pedestrian access from all directions as it is surrounded by sidewalks on all sides. Vehicular from the main parking which is entered into from Rogue Federal Way using the 'cross access easement' to the west of the site.

- G. Describe if and how the proposed plan is sensitive to retaining any existing trees or significant native vegetation on the site. Should existing trees be preserved, a Tree Protection Plan shall also be included in this application.

Response: Very little of the existing vegetation/trees will be removed during the renovation of this site. Any existing trees to remain are located in areas where their roots and the soil around them will be undisturbed.

- H. Describe storm water detention facilities on the site (underground storage, surface pond, etc). If these facilities will be landscaped areas, describe how the proposed landscaping will be integrated with other landscaping on the site.

Response: Storm water detention will be provided in underground piping & a retention swale provided within the existing parking lot area.

Storm water treatment for the proposed improvements will be made through filter inserts placed in new and existing catch basins & bio-filtration within the retention swale, equaling or exceeding the area of all new impervious surfaces.

- I. Describe how your proposed landscaping design will enhance the building and other functions on the site.

Response: The site landscaping will frame views of the building in a way that emphasizes the its aesthetic. The plant selection will provide added security for the site by deterring vagrant overnight use.

- J. Describe how your exterior lighting illuminates the site, and explain how the design of fixtures does not diminish a view of the night sky, or produce glare on adjacent properties, consistent with the standards of §10.764.

Response: Site lighting fixtures are specifically chosen for their Dark Sky Friendly compliance. The standard applies to glare onto a residential zoned district. There are no residential districts near to the site.

- K. Describe any proposed signage, and how it will identify the location of the occupant and serve as an attractive complement to the site.

Response: N/A – Existing signage will remain. New signage will fall under a separate submittal.

L. *Explain any proposed fencing, including its purpose, and how you have incorporated it as a functional, attractive component of your development. (§10.731-10.733)*

Response: N/A – No fencing is being proposed.

M. *Explain how any potential noise generated by future occupants will be mitigated on the proposed site, consistent with the standards of §10.752-10.761.*

Response: The noise levels generated from what will be general office use will not exceed those defined within Table 752-1 of the Land Development Code.

N. *Explain anything else about your project that adds to the compatibility of the project with adjacent development and uses.*

Response: The proposed building, anchor the corner of Garfield Street & Center Drive, reinforcing strong development of the commercial zone located in this area. The direct access from the freeway, for employees during their commute, should alleviate what could have been more congestion on smaller streets in the area if that access was not there.

O. *List and explain any exceptions or modifications requested and provides reasons for such.*

Response: N/A.

OgdenRoemerWilkerson Architecture

SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION

Section II – Code Compliance: Criterion No. 2

PROJECT SITE		
	PROPOSED	REQUIRED
• Zoning District	NA	C-R : existing
• Overlay District(s)	NA	NA
• Proposed Use	general office	NA
• Project Site Acreage	2.08	NA
• Site Acreage (+ right-of-way)	2.67	NA
• Proposed Density (10.708)	NA	NA
• # Dwelling Units	NA	NA
• # Employees	230	NA

STRUCTURES		
	EXISTING	PROPOSED
• # Structures	0	1
• Structure Square Footage (10.710-10.721)	0	27,998

SITE DESIGN STANDARDS		
	PROPOSED	REQUIRED
• Front Yard Setback (10.710-721)	245'-1"	10'
• Side Yard Setback (10.710-721)	10'	10'
• Side Yard Setback (10.710-721)	10'	7'
• Rear Yard Setback (10.710-721)	10'	7'
• Lot Coverage (10.710-721)	31%	40% MAX

PARKING		
	PROPOSED	REQUIRED
• Regular Vehicular Spaces (10.743)	11	84
• Disable Person Vehicular Spaces (10.746[8])	5	4
• Carpool/Vanpool Spaces (10.809)	14	14
• Total Spaces (10.743)	133	96
• Bicycle Spaces (10.748)	14	14 14
• Loading Berths (10.742)	1	1

2

SITE PLAN AND ARCHITECTURAL REVIEW APPLICATION

LANDSCAPING

	PROPOSED	REQUIRED
• Total Landscape Area (square feet)	17,945	N/A
• Total Landscape Area in High Water Use Landscaping (square feet)	5,350 sq.ft.	N/A
• Total Landscape Area in High Water Use Landscaping (percentage)	29.8%	
• Total % Landscape Coverage	46%	
• Required Organic Content (cu.yd.)	54	54
• Frontage Landscaping (10.797)		
• Street:	Center Drive	
• Feet:	140 l.f.	
• # Trees:	6	6
• # Shrubs:	32 (does not include exist'g +/-10)	38
• Street:	Garfield	
• Feet:	265 l.f.	
• # Trees:	10 (does not include exist'g 1)	11
• # Shrubs:	61 (does not include exist'g +/-20)	66
• Bufferyard Landscaping (10.790)		
• Type:	N/A	
• Distance (ft):		
• # Canopy Trees:		
• # Shrubs:		
• Fence/Wall:		
• Parking Area Planter Bays (10.746)		
• Type:	N/A - Existing	
• # Bays:		
• Area:		
• # Trees:		
• # Shrubs:		

STRUCTURE

PROPOSED

• Materials	BRICK MASONRY VENEER, METAL PANEL CLADDING, ALUMINUM STOREFRONT DOORS &
• Colors	WINDOWS w/ HIGH PERFORMANCE GLAZING, ALUMINUM SUNSHADES, STEEL FRAMED CANOPIES

Please remember that the information you provide in response to the questionnaire must be included with your SPAR application submittal. Remember to sign and date your written response.





Continuous Improvement Customer Service

CITY OF MEDFORD

RECEIVED

DEC 14 2016

PLANNING DEPT.

LD Date: 12/14/2016
File Numbers: AC-16-134

PUBLIC WORKS DEPARTMENT STAFF REPORT

**Rogue Federal Credit Union
Headquarters**

Project: Consideration of plans for the construction of a two-story 28,000 square foot building, on a 2.08 acre lot.

Location: Located at the northwest corner of Garfield Street and Center Drive, within a Regional Commercial (C-R) zoning district. (371W32B4800).

Applicant: Rogue Federal Credit Union, Applicant (Ogden, Roemer, Wilkerson Architects, Agent). Praline McCormack, Planner.

NOTE: The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention.
- Completion of all public improvements, if required. The applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements will need to be approved by the Public Works Engineering Division prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas.
- Certification by the design engineer that the stormwater quality and detention system was constructed per the approved plan.
- Completion of all public improvements, if applicable.

A. STREETS

1. Dedications

Garfield Street is classified as a Major Arterial street, in accordance with the Medford Land Development Code (MLDC) 10.428, and is under Oregon Department of Transportation (ODOT) jurisdiction. Garfield Street has been fully improved along the subject property's frontage, but the Applicant should consult with ODOT regarding any additional right-of-way dedication requirements.

Center Drive is classified as a Major Arterial street, and in accordance with MLDC Section 10.428, requires a total right-of-way width of 100-feet. **No additional right-of-way is required.**

In accordance with MLDC 10.471, **the property owner shall dedicate a 10-foot wide public utility easement (PUE)** adjacent to the right-of-way line along this Developments respective frontage to Center Drive.

The easement dedication shall be submitted directly to the Engineering Division of the Public Works Department. The submittal shall include: the easement dedication, including an exhibit map; a copy of a current Lot Book Report, Preliminary Title Report, or Title Policy; a mathematical closure report (if applicable), and the Planning Department File Number; for review and City Engineer acceptance signature prior to recordation by the applicant. Releases of interest shall be obtained by holders of trust deeds or mortgages on the PUE area.

2. Public Improvements

a. Public Streets

Garfield Street is classified as a Major Arterial street, in accordance with MLDC 10.428, and is under ODOT jurisdiction. The Applicant shall consult with ODOT regarding any additional improvements that may be required.

Center Drive is classified as a Major Arterial street in accordance with MLDC Section 10.428. All street section improvements have been completed including, pavement, curb and gutter, sidewalk and street lights. **No additional improvements are required.**

b. Street Lights and Signing

No additional street lights are required.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer's contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided the Developer.

c. Pavement Moratoriums

There is no pavement cutting moratorium currently in effect along this frontage to Center Drive. Applicant shall consult with ODOT regarding any moratorium(s) currently in effect along this frontage to Garfield Street.

d. Access to Public Street System

Driveway access to the proposed development shall comply with MLDC 10.550.

3. Section 10.668 Analysis

To support a condition of development that an applicant dedicate land for public use or provide a public improvement, the Medford Code requires a nexus and rough proportionality analysis which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

10.668 Limitation of Exactions

Notwithstanding any other provisions of this Chapter 10, an applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless:

(1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose and that there is a rough proportionality between the burden of the exaction on the developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or

(2) a mechanism exists and funds are available to fairly compensate the applicant for the excess burden of the exaction to the extent that it would be a taking.

1. Nexus to a legitimate government purpose

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, emergency services and pedestrians. Further, these rights-of-way are used to provide essential services such as sanitary sewer, domestic water and storm drains to serve the developed parcels. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

2. Rough proportionality between the dedications and improvements, and the impacts of development.

No mathematical formula is required to support the rough proportionality analysis. Furthermore, benefits to the development resulting from the dedication and improvements when determining “rough proportionality” have been considered, including but not limited to: increased property values, intensification of use, as well as connections to municipal services and the transportation network.

As set forth below, the dedication recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development.

Center Drive:

Dedication of the Public Utility Easements (PUE) will benefit development by providing public

utility services, which are out of the roadway and more readily available to each lot or building being served. The additional traffic of all modes of travel generated by this proposed development supports the dedication and improvements for all modes of travel and utilities. As indicated above, the area required to be dedicated for this development is necessary and roughly proportional to that required in similar developments to provide a transportation system that meets the needs for urban level services.

B. SANITARY SEWERS

This site lies within the Rogue Valley Sewer Service (RVSS) area. The Developer shall contact RVSS for conditions of connection to the sanitary sewer collection system.

C. STORM DRAINAGE

1. Drainage Plan

A comprehensive drainage plan showing the entire project site with sufficient spot elevations to determine direction of runoff to the proposed drainage system, and also showing elevations on the proposed drainage system, shall be submitted with the first building permit application for approval.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

All private storm drain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729.

4. Certification

Upon completion of the project, and prior to certificate of occupancy of the building, the Developer's design engineer shall certify that the construction of the stormwater quality and detention system was constructed per plan. Certification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

5. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

D. GENERAL CONDITIONS

1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the Public Works Engineering office.

2. Construction Plans

Construction drawings for any public improvements for this project shall be prepared by a professional engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Construction drawings for public improvements shall be submitted only for the improvements to be constructed with each phase. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets, minimum access drives, sanitary sewers, storm drains, and street lights as required by the governing commission's Final Order, together with all pertinent details and calculations. A checklist for public improvement plan submittal can be found on the City of Medford, Public Works web site (<http://www.ci.medford.or.us/Page.asp?NavID=3103>). The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

In order to properly maintain an updated infrastructure database, the Surveyor of Record shall submit an as-built survey prior to the Final Inspection and, the Engineer of Record shall submit mylar "as-constructed" drawings to the Engineering Division within sixty (60) calendar days of the Final Inspection (walk through). Also, the engineer shall coordinate with the utility companies, and show all final utility locations on the "as built" drawings.

3. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans.

Pre-qualification is required of all contractors prior to application for any permit to work in the public right-of-way.

Contractors proposing to do work on public streets, sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit from the County.

For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and stormdrain mains be inspected by video camera prior to acceptance of these systems by the City.

Where applicable, the developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

4. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of Certificate of Occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

5. System Development Charges (SDC)

Buildings in this development are subject to street, sanitary sewer treatment and stormdrain SDCs. All SDC fees shall be paid at the time individual building permits are issued.

Prepared by: Doug Burroughs

SUMMARY CONDITIONS OF APPROVAL

Rogue Federal Credit Union
Headquarters
AC-16-134

A. Streets

1. Street Dedications to the Public:

- **Garfield Street** – Consult with ODOT.
- **Center Drive** – No additional right-of-way required.
- Dedicate 10-foot Public Utility Easement (PUE) along the frontage to Center Drive.

2. Improvements:

Public Streets

- **Garfield Street** – Consult with ODOT.
- **Center Drive** – No additional street improvements are required.

Lighting and Signing

- No additional street lights or signage are required.

Access and Circulation

- Ensure access and circulation is in accordance with MLDC 10.550.

Other

- There is no pavement moratorium currently in effect on Center Drive. Applicant shall consult with ODOT regarding any moratorium(s) currently in effect along this frontage to Garfield Street.

B. Sanitary Sewer:

- The site is situated within the RVSS area.

C. Storm Drainage:

- Provide a comprehensive grading and drainage plan.
- Provide water quality and detention facilities, calculations and O&M Manual.
- Provide engineers certification of stormwater facility construction.
- Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.



BOARD OF WATER COMMISSIONERS
Staff Memo

TO: Planning Department, City of Medford
FROM: Rodney Grehn P.E., Water Commission Staff Engineer
SUBJECT: AC-16-134
PARCEL ID: 371W32B TL 4800
PROJECT: Consideration of plans for the construction of a two-story 28,000 square foot building, on a 2.08 acre lot located at the northwest corner of Garfield Street and Center Drive, within a Regional Commercial (C-R) zoning district. (371W32B4800); Rogue Federal Credit Union, Applicant (Ogden, Roemer, Wilkerson Architects, Agent). Praline McCormack, Planner.
DATE: December 21, 2016

RECEIVED
DEC 21 2016
PLANNING DEPT.

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. The existing water meters and fire service vault shall be protected in place during construction activities to prevent damage to these water facilities.
4. Applicants' civil engineer shall coordinate with Medford Fire Department for proposed fire hydrant locations. If Medford Fire Department requires the installation of new fire hydrants for this proposed development, then a civil engineer licensed in the state of Oregon shall submit a plan and profile of proposed fire hydrant to MWC engineering department for review and approval.
5. Dedication of a 10 foot wide (minimum) access and maintenance easement to MWC over all water facilities located outside of public right-of-way is required. Easement shall be submitted to MWC for review and recordation prior to construction.
6. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35>.

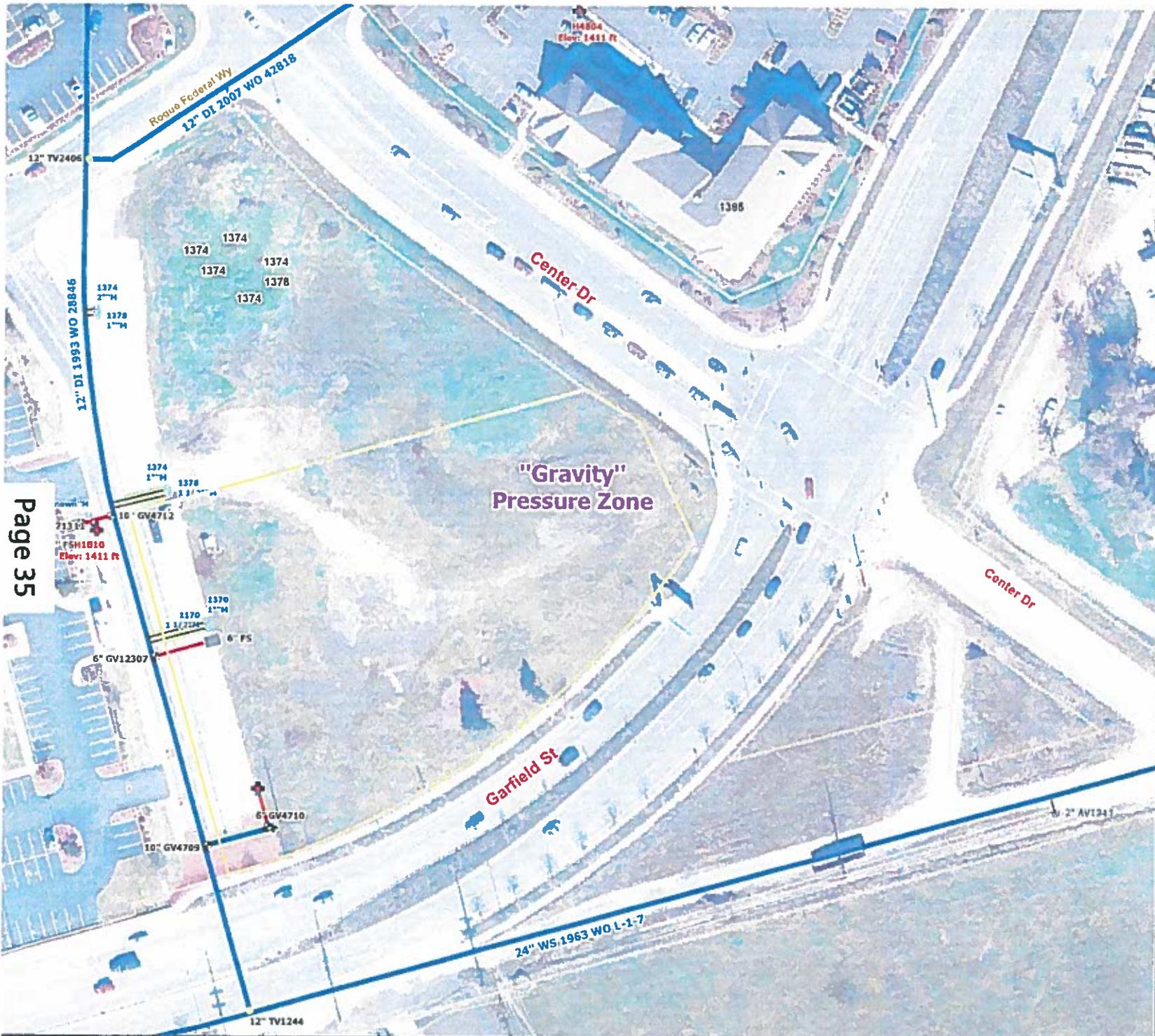
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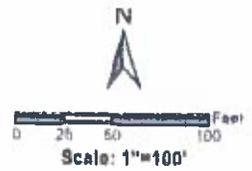
Continued from previous page

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction may be required. (See Condition 4)
3. Static water pressure at this site is expected to be around 75 psi.
4. MWC-metered water service does exist to this property. There is an existing 1-1/2-inch domestic water meter, and also a 1-inch landscape irrigation meter along the westerly property line. (See Condition 3 above)
5. There is an existing 6-inch fire service vault located south of the existing water meters for this parcel.
6. There is also an existing fire hydrant approximately 110-feet south of the fire service vault.
7. Access to MWC water lines is available. There is an existing 12-inch water line in the existing paved drive way on the west side of this proposed development.



Page 35



**Water Facility Map
for
AC-16-134**

Legend

- ⊙ Air Valve
- ⊙ Sample Station
- ⊙ Fire Service
- ⊕ Hydrant
- ⊖ Reducer
- ⊖ Blow Off
- ⊖ Flange-Caps

Water Meters:

- ⊖ Active Meter
- ⊖ On Well
- ⊖ Unknown
- ⊖ Vacant

Water Valves:

- ⊖ Butterfly Valve
- ⊖ Gate Valve
- ⊖ Tapping Valve

Water Mains:

- Active Main
- - - Abandoned Main
- Reservoir Drain Pipe
- Pressure Zone Line

Boundaries:

- ▭ Urban Growth Boundary
- ▭ City Limits
- ▭ Tax Lots

MWC Facilities:

- ⊖ Control Station
- ⊖ Pump Station
- ⊖ Reservoir



Plan and facilities map prepared by the City of Medford, Oregon, for the Medford Water Commission. The City of Medford, Oregon, is the owner of the water facilities shown on this map. The City of Medford, Oregon, is not responsible for any errors or omissions on this map. The City of Medford, Oregon, is not responsible for any damages or liabilities arising from the use of this map. The City of Medford, Oregon, is not responsible for any damages or liabilities arising from the use of this map.



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

RECEIVED

DEC 14 2016

PLANNING DEPT.

LAND DEVELOPMENT REPORT - PLANNING

To: Praline McCormack

LD Meeting Date: 12/14/2016

From: Greg Kleinberg

Report Prepared: 12/07/2016

Applicant: Rogue Federal Credit Union, Applicant (Ogden, Roemer, Wilkerson Architects,

File #: AC - 16 - 134

Site Name/Description:

Consideration of plans for the construction of a two-story 28,000 square foot building, on a 2.08 acre lot located at the northwest corner of Garfield Street and Center Drive, within a Regional Commercial (C-R) zoning district. (371W32B4800); Rogue Federal Credit Union, Applicant (Ogden, Roemer, Wilkerson Architects, Agent). Praline McCormack, Planner.

DESCRIPTION OF CORRECTIONS	REFERENCE
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Requirement FIRE HYDRANTS

OFC

508.5

Fire hydrants with reflectors will be required for this project.

Fire hydrant locations shall be as follows: One additional internal fire hydrant is required in a parking lot island across from the main entrance of the building.

Additional hydrants may be required to comply with the requirement of proximity to fire department connections (for fire sprinkler and standpipe systems, the fire department connection shall be located at an approved location away from the building and within 75' of a fire hydrant. The fire department connection shall be located on the same side as the fire department access route.).

The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Plans and specifications for fire hydrant system shall be submitted to Medford Fire Department for review and approval prior to construction. Submittal shall include a copy of this review (OFC 501.3).

Requirement FD APPARATUS ACCESS ROAD DESIGN

OFC

503.2.1

Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches. The required width of a fire apparatus access road shall not be obstructed in any manner, including parking of vehicles. Minimum required widths and clearances established under section 503.2.1, shall be maintained at all times. The fire apparatus access road shall be constructed as asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 60,000 pounds.

(See also OFC 503.4; D102.1)

The turning radius on fire department access roads shall meet Medford Fire Department requirements (OFC

CITY OF MEDFORD

EXHIBIT # L

File # AC-16-134



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Praline McCormack

LD Meeting Date: 12/14/2016

From: Greg Kleinberg

Report Prepared: 12/07/2016

Applicant: Rogue Federal Credit Union, Applicant (Ogden, Roemer, Wilkerson Architects,

File #: AC - 16 - 134

Site Name/Description:

503.2.4).

Requirement PRIVATE FIRE DEPARTMENT ACCESS PARKING RESTRICTION OFC 503.4

Parking shall be posted as prohibited along the fire lanes.

Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).

Where parking is prohibited for fire department vehicle access purposes, NO PARKING-FIRE LANE signs shall be spaced at minimum 50' intervals along the fire lane (minimum 75' intervals in 1 & 2 family residential areas) and at fire department designated turn-around's. The signs shall have red letters on a white background stating "NO PARKING-FIRE LANE" (See handout).

For privately owned properties, posting/marketing of fire lanes may be accomplished by any of the following alternatives to the above requirement (consult with the Fire Department for the best option):

Alternative #1:

Curbs shall be painted red along the entire distance of the fire department access. Minimum 4" white letters stating "NO PARKING-FIRE LANE" shall be stenciled on the curb at 25-foot intervals.

Alternative #2:

Asphalt shall be striped yellow or red along the entire distance of the fire department access. The stripes shall be at least 6" wide, be a minimum 24" apart, be placed at a minimum 30-60 degree angle to the perimeter stripes, and run parallel to each other. Letters stating "NO PARKING-FIRE LANE" shall be stenciled on the asphalt at 25-foot intervals.

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths (20' wide) and clearances (13' 6" vertical) shall be maintained at all times (OFC 503.4; ORS 98.810-12).

This restriction shall be recorded on the property deed as a requirement for future construction.

A brochure is available on our website or you can pick up one at our headquarters.



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Praline McCormack

LD Meeting Date: 12/14/2016

From: Greg Kleinberg

Report Prepared: 12/07/2016

Applicant: Rogue Federal Credit Union, Applicant (Ogden, Roemer, Wilkerson Architects,

File #: AC - 16 - 134

Site Name/Description:

Requirement AERIAL APPARATUS ACCESS

OFC

D105

A minimum 26' wide fire lane is required on the west side of the building meeting the requirements listed below.

SECTION D105-AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 Where required. Buildings or portions of buildings or facilities exceeding 30 feet (9144 mm) in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway.

D105.2 Width. Fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm) in the immediate vicinity of any building or portion of building more than 30 feet (9144 mm) in height.

D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building.

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.



ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 7502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

December 9, 2016

City of Medford Planning Department
200 S. Ivy Street
Medford, Oregon 97501

RECEIVED
DEC 09 2016
PLANNING DEPT.

Re: AC-16-134, Rogue Federal Credit Union (Map 371W32B, Tax Lot 4800)

ATTN: Praline,

There is a 21 inch sewer main on Garfield Street and an 8 inch main along the west property line, both have 4 inch service laterals extended to tax lot 4800. Service to the proposed development can be had by connecting to the either service lateral. The permit to connect will be issued by the City of Medford. However, there will be system development charges owed to Rogue Valley Sewer Services.

Rogue Valley Sewer Services requests that approval of this application be subject to the following condition:

1. The applicant must provide RVSS with a plumbing fixture plan for determination of system development charges.
2. The applicant must pay sewer system development charges to Rogue Valley Sewer Service prior to issuance of a building permit.

Sincerely,

Nicholas R. Bakke

Nicholas R. Bakke, P.E.
District Engineer

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CITY OF MEDFORD
EXHIBIT # M
File # AC-16-134

Memo



RECEIVED
DEC 14 2016
PLANNING DEPT.

To: Praline McCormack, Planning Department
From: Chad Wiltrout, Building Department (541) 774-2363
CC: Applicant (Ogden, Roemer, Wilkerson Architects, Agent).
Date: December 14, 2016
Re: December 14, 2016 LDC Meeting: AC-16-134

Please Note:

This is not a plan review. Unless noted specifically as Conditions of Approval, general comments are provided below based on the general information provided; these comments are based on the 2014 Oregon Structural Specialty Code (OSSC) unless noted otherwise. Plans need to be submitted and will be reviewed by a commercial plans examiner, and there may be additional comments.

Fees are based on valuation. Please contact Building Department front counter for estimated fees at (541) 774-2350 or building@cityofmedford.org.

For questions related to the Conditions or Comments, please contact me, Chad Wiltrout, directly at (541) 774-2363 or chad.wiltrout@cityofmedford.org.

General Comments:

1. For list of applicable Building Codes, please visit the City of Medford website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Design Criteria" on left side of screen and select the appropriate design criteria.
2. All plans are to be submitted electronically. Information on the website: www.ci.medford.or.us Click on "City Departments" at top of screen; click on "Building"; click on "Electronic Plan Review (ePlans)" for information.
3. A site excavation and grading permit will be required if more than 50 cubic yards is disturbed.
4. A separate demolition permit will be required for demolition of any structures not shown on the plot plan.

Comments:

5. The building and building appurtenances shall be designed by an Oregon licensed design professional in accordance with 107.1 and 107.3.4 OSSC. A design professional of responsible charge shall supervise the project and all documentation from other designers and suppliers involved in the project.
6. A code analysis providing occupant load type of construction, type of occupancy, occupant load, notation of sprinkled or non-sprinkled, separated or non-separated use, means of egress plan etc... will be required.
7. A geotechnical engineer shall provide a design for soils at building locations pursuant to 1803 of the Oregon Structural Specialty Code.

CITY OF MEDFORD
EXHIBIT # N
File # AC-16-134

8. The building appears to fall within the FEMA letter of map revision area. Check with the flood plain administrator for flood plain construction requirements. If the building is located in the flood hazard zone, ASCE 7-10 and ASCE 24-05 may apply. See code section 102.4.1 and 1612 OSSC for additional requirements.
9. Special inspections will be required for this project in accordance with chapter 17 of the OSSC. The owner or owner's representative is required to hire the special inspection firm.
10. Com-check forms are required to show how you will comply with the requirements for energy for mechanical, water heating, interior and exterior lighting, and exterior envelope pursuant to the 2014 OEESC.



MEMORANDUM

Subject Rogue Federal Credit Union
File no. AC-16-134
To Praline McCormack, Planner II
From Carla Angeli Paladino, Planner IV, Floodplain Coordinator *Paladino*
Date December 14, 2016

SITE CHARACTERISTICS

- Regional Commercial (C-R) zoning district

FLOODPLAIN INFORMATION

- Property located on the Flood Insurance Rate Map (FIRM) Panel 1986F (effective 5/3/2011)
- Letter of Map Revision – Case No. 13-10-0459P on the property (effective 2/11/2014)
- Per the FIRM and LOMR, the property is not located within a flood hazard area
- No floodplain permit or review is required for this project.

CITY OF MEDFORD
EXHIBIT # 0
File # AC-16-134

MEDFORD PARKS & RECREATION

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CITY OF MEDFORD
Interoffice Memo

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DEC 15 2016

PLANNING DEPT.

TO: Planning Department
FROM: Tim Stevens- Park Maintenance Superintendent
SUBJECT: LANDSCAPE REVIEW OF FILE AC-16-134, ROGUE FEDERAL CREDIT UNION
DATE: December 13, 2016

I have reviewed the applicant's landscape plan and recommend it be accepted as submitted.

This report addresses horticultural concerns only. Applicant shall comply with all aspects of Medford Code 10.780 Interpretation of the Medford Code will be per the Planning Department. Aesthetic considerations will be per the Site Plan and Architectural Review Commission or Planning Commission upon their review.

CITY OF MEDFORD
EXHIBIT # 1
File # AC-16-134



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Praline M. McCormack

From: CAINES Jeff <Jeff.CAINES@aviation.state.or.us>
Sent: Friday, December 09, 2016 12:37 PM
To: Praline M. McCormack
Subject: AC-16-134 - ODA Comment

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DEC 09 2016

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Praline:

Thank you for allowing ODA to review the proposed New Office Building located on the northwest corner of Garfield Street & Center Drive (371W32B4800). ODA has reviewed the proposal and have the following comments:

The site is approximately 3.9 miles SSE of Rough Valley Int'l airport. There is existing development located between the site and the airport in addition to a natural topographical feature (i.e., hill) between the site and the airport.

As a result, ODA finds that the proposed development will not be a hazard to air navigation and that no FAA form 7460-1 will be required.

Please feel free to contact me if you or the applicant have any questions.

Jeff

Jeff Caines, AICP

Oregon Department of Aviation

Aviation Planner / SCIP Coordinator

3040 25th St. SE | Salem, OR 97302

Office [503.378.2529](tel:503.378.2529)

Cell / Text [503.507.6965](tel:503.507.6965)

Email Jeff.Caines@aviation.state.or.us

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This e-mail may contain information that is privileged, confidential, or otherwise exempt from disclosure under applicable law. If you are not the addressee or it appears from the context or otherwise that you have received this e-mail in error, please advise me immediately by reply e-mail, keep the contents confidential, and immediately delete the message and any attachments from your system.

CITY OF MEDFORD
EXHIBIT # Q
File # AC-16-134

Praline M. McCormack

From: Jennifer L. Ingram
Sent: Wednesday, December 14, 2016 8:38 AM
To: Praline M. McCormack
Subject: LDC meeting / AC-16-134

RECEIVED
DEC 14 2016
PLANNING DEPT.

Hi Praline,

I won't be at the meeting this morning. I don't have any comments. I've assigned 1382 Center Dr as the address.

Thanks!

Jennifer Ingram

Address / Database Technician
City of Medford
541-774-2069

CITY OF MEDFORD
EXHIBIT # 2
File # AC-16-134



Landscape & Irrigation Code Information

This page provides information intended to help in preparing Landscaping and Irrigation System Plans for development projects submitted to the City for review and approval. New landscaping and irrigation standards became effective December 1, 2013.

Landscaping & Irrigation Standards and Processes ARE applicable to the following type of projects:

- Commercial
- Industrial
- Institutional
- Multi-family Residential
- Subdivision Open space/landscaping tracts

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DEC 13 2013

PLANNING DEPT.

Landscaping and Irrigation Standards and processes are NOT applicable to the following:

- Single-family lots
- Duplex lots
- Individual townhome lots
- Areas reserved for future site development as part of a larger phased project (unless irrigated landscaping is placed thereon)

The links below provide vital information to the landscape/irrigation plan designer in development and submission of plans and to the landscape/irrigation installation certifier when seeking to obtain a Certificate of Occupancy upon completion of site improvement.

Landscaping and Irrigation Plan Processing and Information Packet - February 2014

Provides information on the following:

- Landscaping and irrigation review process overview
- Deferred landscaping improvement
- Landscape/irrigation improvement certification
- Irrigation and Landscape Plan Designer Checklists
- Certification Form required to be filled out and submitted at the completion of project
- Instructions for application of the Irrigation Calculator spreadsheet form (see link below) to be utilized (required) in generation of irrigation calculations that are submitted with irrigation plan
- **LINK:** <http://www.ci.medford.or.us/SIB/files/Landscape%20and%20Irrigation%20Plan%20Processing%20and%20Information%20Packet.pdf>

Irrigation Friction Loss and Run Time Calculator Spreadsheet - 2/14/14

- **LINK:** <http://www.ci.medford.or.us/SIB/files/Sprinkler System Calc 2-14-14.xls>

Plant Water Needs for Medford Spreadsheet - 9/24/14

- **LINK:** [http://www.ci.medford.or.us/SIB/files/Plants Water Needs \(last sent 7-1-14\) HMS\(1\).xlsx](http://www.ci.medford.or.us/SIB/files/Plants Water Needs (last sent 7-1-14) HMS(1).xlsx)

Plants in the same irrigation zone shall have similar watering needs unless irrigated by drip irrigation with emitters sized for individual plant water needs. This link provides a plant list of trees, shrubs, perennials, bulbs, ferns, groundcover, vines and grasses and respective water needs for each identified species. An irrigation zone may contain plants in two adjoining water need classifications (i.e., "Low/Moderate" plant materials can be paired with "Moderate" plant materials, but "Low/Moderate" plant materials cannot be paired in the same zone as "Very Low" or "High" water need plant materials).

--updated 2/18/16

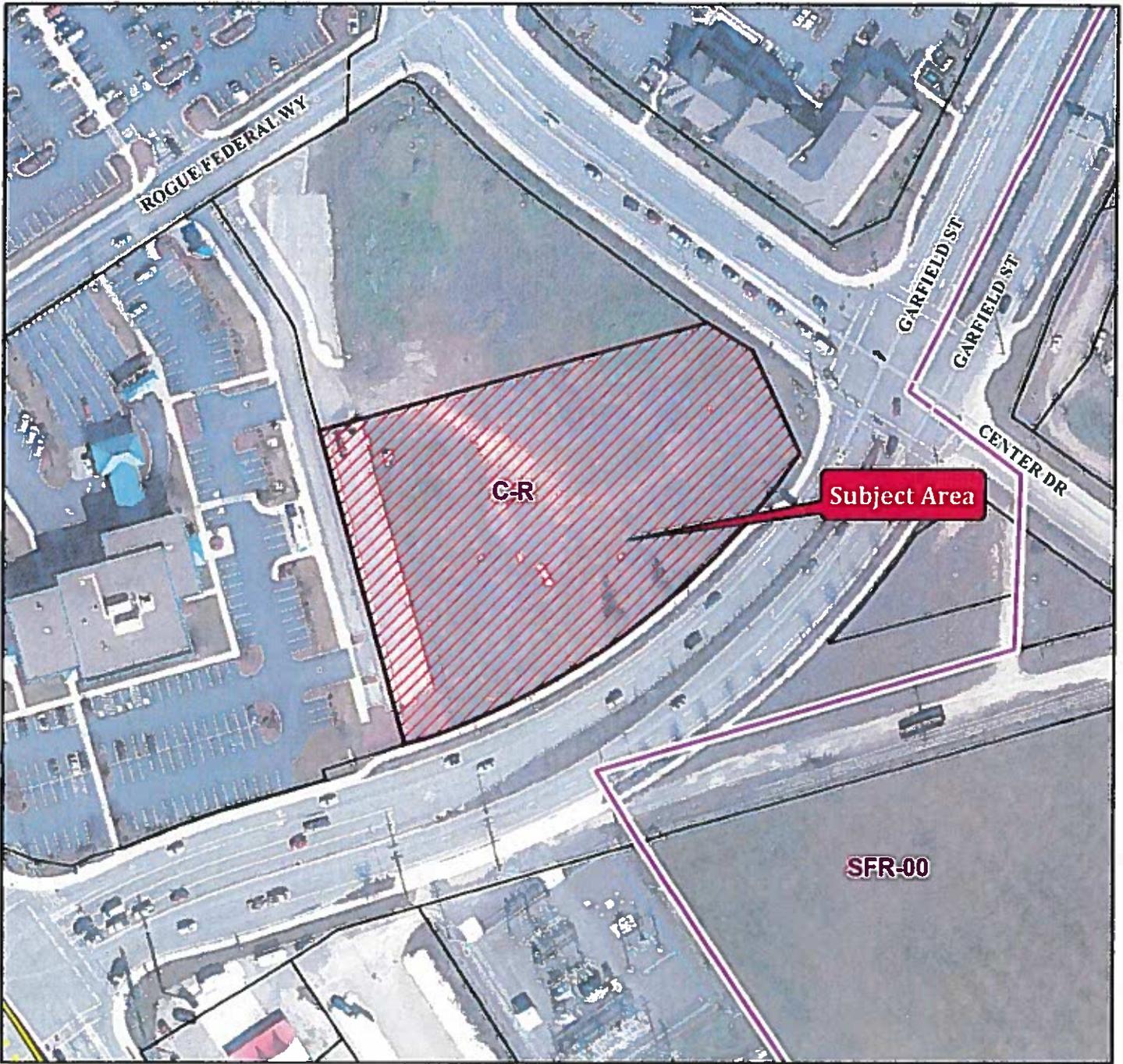
CITY OF MEDFORD
EXHIBIT # 6
File # AC-16-134



City of Medford Planning Department

Vicinity
Map

File Number:
AC-16-134



Project Name:
**Rogue Credit Union
Headquarters Admin Annex**

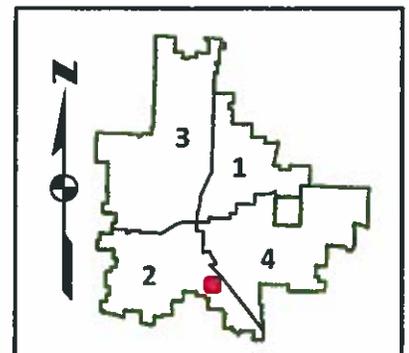
Map/Taxlot:
371W32B TL 4800



10/26/2016

Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots
-  Streets
-  PUD





STAFF REPORT

for a Type-C quasi-judicial decision: **Site Plan and Architectural Review**

PROJECT Southside Center Phase I
 Applicant: Galpin Gang LLC; Agent: Ron Grimes Architects

FILE NO. AC-16-138

TO Site Plan and Architectural Review Commission *for January 6, 2017 hearing*

FROM Dustin Severs, Planner II

REVIEWER Kelly Akin, Principal Planner *KA*

DATE December 30, 2016

BACKGROUND

Proposal

Consideration of Southside Center Phase 1, a proposed commercial and retail center consisting of a restaurant and one multi-tenant commercial building, located at the southeast corner of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 3604, 4708, 4802).

Subject Site Characteristics

Zoning: Regional Commercial (C-R)

GLUP: Commercial (CM)

Overlay(s): Freeway

Use: Vacant

Surrounding Site Characteristics

North Zone: SFR-4 (Single-Family Residential - four dwelling units per gross acre)
 Use(s): I-5 and residential developments

South Zone: SFR-00 (Single-Family Residential – 1 dwelling unit per existing lot)
 Use(s): vacant land

East Zone: SFR-00
 Use(s): vacant land

West Zone: (C-R)

Use(s): Marriot Hotel, Walmart, Rogue Credit Union, multi-tenant commercial.

Related Projects

PLA-16-10 Property Line Adjustment

PA-16-13 Pre-application

AC-16-77 Zone Change

Applicable Criteria

MLDC Section: 10.290 – Site Plan & Architectural Review Criteria

The Site Plan and Architectural Commission shall approve a site plan and architectural review application if it can find that the proposed development conforms, or can be made to conform through the imposition of conditions, with the following criteria:

- (1) The proposed development is compatible with uses and developments that exist on adjacent land; and*
- (2) The proposed development complies with the applicable provisions of all city ordinances or the Site Plan and Architectural Commission has approved (an) exception(s) as provided in MLDC § 10.253.*

ISSUES AND ANALYSIS

Background

The subject site consists of three contiguous tax lots totaling 6.6 gross acres, and is currently vacant. A pre-application for the subject request was submitted by the applicant on March 23, 2016, and was reviewed by the pertinent agencies and City departments. Based on Planning's review of the pre-application, the applicant applied for a rezoning of the property from SFR-00 to its current Regional Commercial (C-R) zoning classification, receiving approval on September 22, 2016. With the property obtaining the necessary zoning for the proposed commercial use, a SPAC application for the subject development was submitted on October 28, 2016.

The subject site is proposed to be the future location of Southside Center Phase I, a commercial and retail center consisting of two buildings to be constructed as part of the first phase of the development: a 9,113 square foot *Cracker Barrel* restaurant, and an 8,880 square foot multi-tenant commercial building (Building A). The submitted floor plan shows Building A consisting of five lease spaces; however, the applicant's agent has explained to staff that the applicant is uncommitted to a specific floor plan at this juncture, and that the final partitioning of the proposed multi-tenant building will be decided at a later date. At the time of this writing, no prospective tenants have been confirmed by the applicant for any of the future spaces within the multi-tenant building.

The submitted site plan includes the identification of three additional future buildings: a 7,200 square foot building identified as Pad B, a 6,660 square foot building identified as Pad D, and an area located along the frontage of Center Drive identified as Pad C, proposed as a future fast food restaurant with a drive thru.

While the future buildings were included in the applicant's parking calculations, their review by the Site Plan and Architectural Commission (SPAC) is not a part of this application. The applicant will be required to submit separate applications for the future buildings, including the submittal of full architectural plans, allowing SPAC to review the compatibility criterion for the future buildings.

Lot legality

Per the email received by staff from the City Surveyor (Exhibit Q), it has been determined that tax lots 4802 and 4708 of subject site were not legally created. As explained in the email, both lots are remnant parts that were broken off from larger parcels which were eventually abandoned by the previous owners.

In order to incorporate the two tax lots into the proposed development, the applicant will be required to consolidate the three subject lots, effectively bringing the lots into legal conformity. Consolidating the lots will also be necessary in order to meet building setback requirements. Therefore, as a condition of approval, the applicant will be required to be granted approval for a Property Line Adjustment - consolidating the three subject lots into a single parcel - prior to the issuance of a building permit for vertical construction.

Floodplain

The submitted utility and grading/drainage plans show both the proposed storm drain and sanitary sewer lines crossing the mapped 100-year floodplain and the floodway of Bear Creek. The applicant will be required to submit a floodplain application, which includes a no-rise analysis and certification obtained from a registered professional civil engineer for encroachments in the floodway. The floodplain permit, as well as copies of all necessary permits from other governmental agencies, will be required prior to the issuance of the first building permit for vertical construction (Exhibit P).

Trip cap stipulation accounting

A Traffic Impact Analysis (TIA) was submitted by the applicant as part of the previous zone change approval for the Southside Center location (ZC-16-77), establishing a trip cap stipulation of 367 P.M. peak hour trips. In addition to the trip cap stipulation, the Traffic Engineering Division requested that the applicant be required to provide a trip accounting report to Public Works for each phase of the development to ensure the stipulated cap is not exceeded (Exhibit R).

Since a conclusive trip accounting cannot be prepared until the uses within the multi-tenant building have been determined, Public Works has requested a trip accounting based on the projected uses within the buildings in order to approximate the potential uses' compliance with the stipulated trip cap. The applicant has submitted a trip accounting report prepared by

Southern Oregon Transportation Engineering, LLC., with the report stating that the proposed uses are within the trip cap allocation and can be approved (Exhibit T). The trip accounting report was reviewed and approved by the Transportation Manager of Public Works (Exhibit U).

Circulation plan

Per MLDC 10.426, street circulation design and connectivity standards are established to assure that developments will ultimately result in complete blocks bound by a network of public streets, and/or interior access roads open to public use. These standards include maximum block length and perimeter length.

The Traffic Engineering Division has recommended that the applicant prepare a conceptual Circulation Plan illustrating how the future phases of the development could meet the block length and perimeter length requirements as established in MLDC Table 10.426-1.

After working with Traffic Engineering, the applicant has incorporated a conceptual Circulation Plan into the submitted site plan, showing a future street circulation design extending and connecting Center Drive to adjacent public and private streets, completing a network of roadways open to public use consistent with the Code.

Freeway sign

The submitted site plan identifies a freeway sign to be located at the northwest corner of the subject site. MLDC 10.1710(1)(a-b), outlining regulations of Freeway signs located in the C-R district, reads as follows:

(1) Freeway Signs:

(a) Freeway signs shall be permitted only on parcels or portions thereof that are located within the freeway overlay district per Section 10.365, and as shown on the official zoning map of the city of Medford.

(b) One (1) sign not exceeding 250 square feet in area and 50 feet in height shall be permitted on a parcel located within the freeway overlay district. Each parcel is also permitted one (1) sign not exceeding 150 square feet in area and 20 feet in height. Such signs are permitted in lieu of all ground signs permitted in the underlying zoning district, as listed under the Basic Regulations.

The proposed freeway sign identified on the submitted site plan is located within the freeway zoning overlay, and its size is proposed at the maximum square footage and height permitted per the aforementioned section of the Code.

All signs proposed for the subject development will require the issuance of sign permits by the Building Department and reviewed for Code compliance by the Planning Department staff.

Architecture

In the applicant's submitted compatibility questionnaire (Exhibit J), it is stated that the multi-tenant building is proposed to be constructed as follows:

Built with a material palette including split faced CMU block, plaster, cultured stone veneer, metal siding and structural steel detailing with a powder coat finish. Aluminum storefront glazing systems will be used throughout. Parapet style low slope roof construction is used to allow concealment of rooftop mounted equipment.

In regards to the proposed architecture for the Cracker Barrel restaurant, the applicant states:

(The) Cracker Barrel restaurant will be built of wood frame construction and finished with fiber cement board and batt siding, a parapet style low slope roof with metal roof and heavy corbelled wood column porch detailing.

Parking

PARKING TABLE

	Required	Shown
Total Spaces	281/339 Min/Max	355
Accessible Spaces	13	14
Bicycle Spaces	36	36

The submitted site plan identifies a total of 355 proposed parking spaces, meeting the minimum required spaces for the subject restaurant and multi-tenant building, as well as the three future proposed buildings, per MLDC 10.741. Additionally, the site plan includes the requisite number, location, and dimensions of accessible parking spaces and bicycle parking spaces as outlined in the Code.

Pursuant to MLDC 10.743(7), the applicant is requesting to exceed the maximum parking spaces allowed by the code. MLDC 10.743(7) reads as follows:

(7) Exceeding Maximum Parking Ratios.

The Approving Authority may approve parking in excess of the maximum allowable set forth in Table 10.743-1 for phased projects or for planned future buildings or building additions. If any parking in excess of the maximum permitted is located in a parking structure, the parking ratios may be exceeded without requiring an approval by the Approving Authority.

The parking calculations for the one subject multi-tenant building, including the three proposed future buildings identified on the submitted site plan, were based on projections made by the

applicant for the likely uses and sizes of the buildings and their individual leasing units. However, the future tenants will be required to obtain business licenses, at which point the Planning Department staff will determine compliance with the parking requirements.

Landscaping

Landscape Table

	Required	Shown
Frontage landscaping: Trees	39	39 +
Frontage landscaping: Shrubs	234	234 +
Parking lot planters: Trees	35	35 +
Parking lot Planters: Shrubs	71	71 +

It can be found that the submitted Landscape Plan (Exhibit D) meets and/or exceeds the frontage landscaping and parking lot planter requirements per MLDC 10.797 and 10.746(3).

Concealments

The submitted site plan and architectural plan show the proposed trash receptacle and Heating, Ventilation, Air Conditioning (HVAC) unit concealed consistent with the requirements of MLDC 10.781.

Public Improvements

Per the agency comments submitted to staff (Exhibits K-M), including the Rogue Valley Sewer Service (RVSS) report (Exhibit N), it can be found that there are adequate facilities to serve the proposed development.

Committee Comments

No comments were received from committees such as BPAC.

FINDINGS AND CONCLUSIONS

Staff has reviewed the applicant's findings and conclusions (Exhibit J) and recommends the Commission adopt the findings as submitted.

RECOMMENDED ACTION

Adopt the findings as recommended by staff and direct staff to prepare the Final Order of AC-16-138 per the staff report dated December 30, 2016, including Exhibits A through U.

EXHIBITS

- A Conditions of Approval drafted December 30, 2016.
- B Site Plan received December 27, 2016.
- C Conceptual Water and Sewer Plan received December 27, 2016.
- D Landscape Plan received December 27, 2016.
- E Conceptual Grading and Drainage Plan received December 27, 2016.
- F Floor Plans (1-2) received October 28, 2016.
- G Elevation Plans (1-4) received October 28, 2016.
- H Elevation drawings (1-4) received October 28, 2016.
- I Roof Plan received October 28, 2016.
- J Applicant's Narrative, Questionnaire, and Findings of Fact received October 28, 2016.
- K Public Works staff report received December 29, 2016.
- L Medford Water Commission memorandum received December 6, 2016.
- M Medford Fire Department report received December 7, 2016.
- N Rogue Valley Sewer Services (RVSS) report received December 7, 2016.
- O Oregon Department of Transportation email received December 7, 2016.
- P Memorandum from Floodplain Coordinator received on December 20, 2016.
- Q Email from City Surveyor received on December 14, 2016.
- R Email received from the Oregon Department of Aviation received on December 9, 2016.
- S Public Works staff report (page 2) for ZC-16-077 dated August 16, 2016.
- T Trip accounting report received December 29, 2016.
- U Traffic Engineering Division memo received December 30, 2016.
Vicinity map

SITE PLAN AND ARCHITECTURAL COMMISSION AGENDA:

January 6, 2016

EXHIBIT A

South Side Center Phase I

AC-16-138

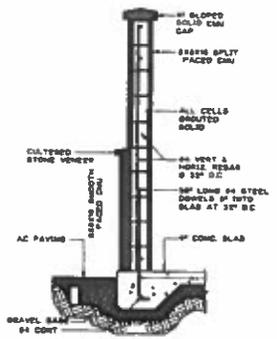
Conditions of Approval

December 30, 2016

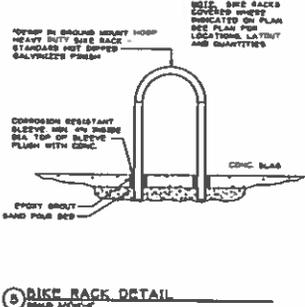
CODE REQUIRED CONDITIONS

Prior to the issuance of the first building permit for vertical construction, the applicant shall:

1. Comply with all conditions stipulated by the Medford Public Works Department (Exhibit K).
2. Comply with all conditions stipulated by the Medford Water Commission (Exhibit L).
3. Comply with all conditions stipulated by the Rogue Valley Sewer Services (Exhibit N).
4. Comply with all requirements of the Medford Fire Department (Exhibit M).
5. Acquire all necessary flood plain permits as identified by the Floodplain Coordinator (Exhibit O).
6. Gain approval for a Property Line Adjustment, consolidating the three subject lots into a single tax lot.



4 WALL SECTION TRASH ENCLOSURE
SCALE: 1/8\"/>



5 DIKE RACK DETAIL
SCALE: 1/8\"/>

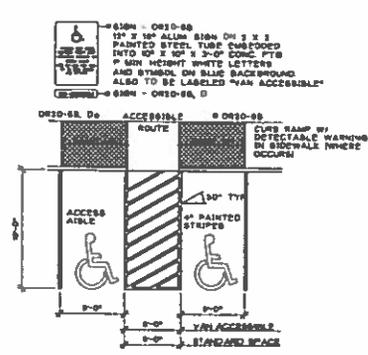
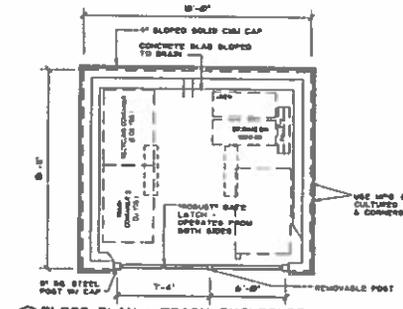
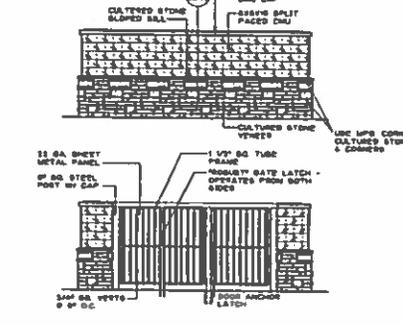


EXHIBIT ACCESSIBLE PARKING
ONE ACCESSIBLE PARKING SPACE MUST BE DESIGNATED "VAN ACCESSIBLE" THE OTHER SPACE CAN BE EITHER "VAN ACCESSIBLE" OR "STANDARD PARKING SPACE".
VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL 5' MIN FORM-BODY PAVED AREA TO THE SIDE OF THE SPACE.

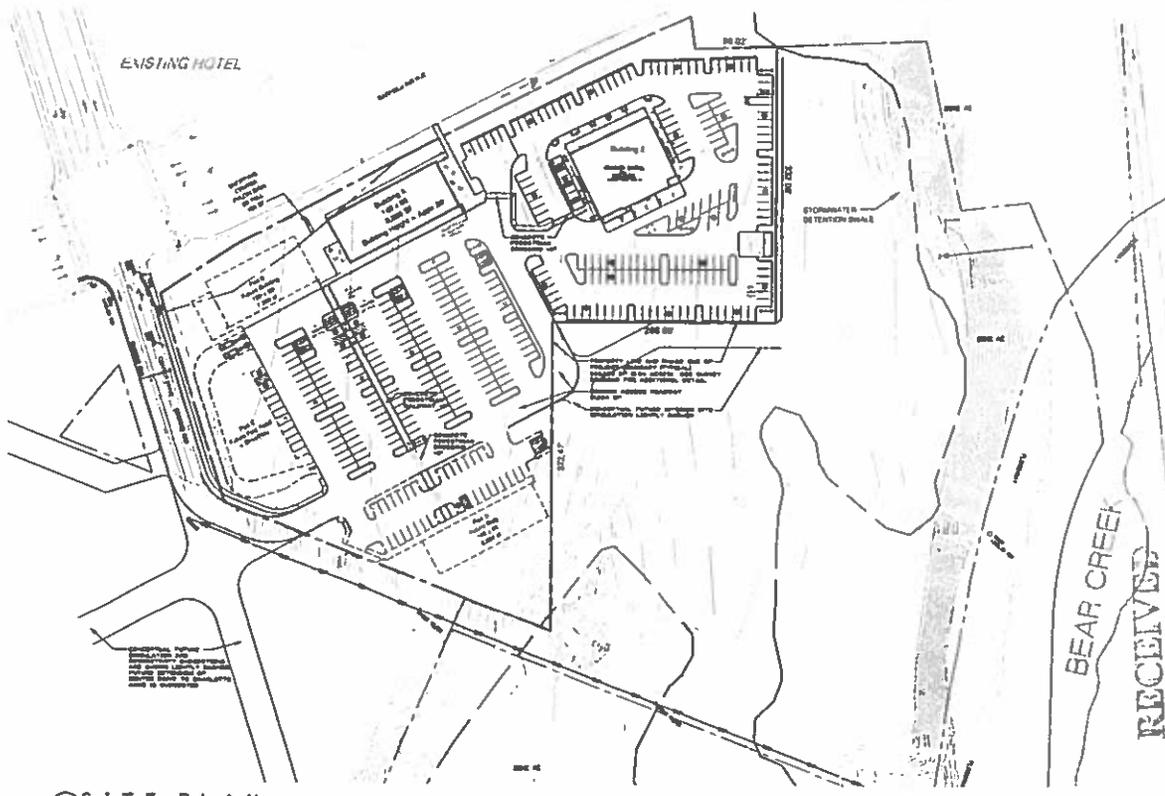


3 FLOOR PLAN - TRASH ENCLOSURE
SCALE: 1/8\"/>



2 ELEVATION - TRASH ENCLOSURE
SCALE: 1/8\"/>

6 HC PARKING DETAIL
SCALE: 1/8\"/>



1 SITE PLAN
SCALE: 1\"/>

PHASE ONE LAND AREA

PL ADJUSTED TL 3004	278,714 SF
TL 4708	+1,705 SF
TL 4802	7,787 SF
TOTAL PHASE ONE:	288,206 SF (6.64 ACRES)

PARKING SUMMARY

BLDG A	MULTI-TENANT COMMERCIAL BUILDING (6 BLDG SF)	BLDG AREA (COMMERCIAL)	3,200 SF	PARKING REQUIRED	13	18 MAX
	BLDG AREA (RFR)	2,820 SF		PARKING REQUIRED	24	29 MAX
	BLDG AREA (RFR)	3,000 SF		PARKING REQUIRED	27	33 MAX
PAD B	FUTURE MULTI-TENANT COMMERCIAL BUILDING (7,200 SF)	BLDG AREA (COMMERCIAL)	4,200 SF	PARKING REQUIRED	18	23 MAX
	BLDG AREA (RFR)	3,000 SF		PARKING REQUIRED	27	33 MAX
PAD C	FUTURE DINING (4 BLDG)	LAND AREA	47,563 SF	PARKING REQUIRED	56	67 MAX
PAD D	MULTI-TENANT COMMERCIAL BUILDING (8 BLDG SF)	BLDG AREA	30	PARKING REQUIRED	30	36 MAX
BUILDING E	RESTAURANT (CRACKER BARREL)	BLDG AREA	9,113 SF	PARKING REQUIRED	41	100 MAX
TOTAL PARKING REQUIRED				291	338 MAX	
TOTAL PARKING PROVIDED				355		

WE REQUEST THAT THE PARKING IN EXCESS OF THE MANHATTAN ALLOWED BY CODE BE ALLOWED FOR THIS PROJECT SINCE IT WILL BE BUILT IN PHASES AND IS A REGIONAL SHOPPING DESTINATION (M.D.C. 18 743 (7)).

HANDICAPPED PARKING REQUIRED	13
HANDICAPPED PARKING PROVIDED	14
BICYCLE PARKING REQUIRED	36 (50% COVERED)
BICYCLE PARKING PROVIDED	36 (54% COVERED)

NOTE: TWENTY (20) COVERED PARKING SPACES ARE PROVIDED WHERE SHOWN IN ADDITION TO ONE (1) INVERTED U BICYCLE PARKING RACK PROVIDED AT EACH END OF BUILDINGS A, B, C, D.

DRAWING INDEX:

AS-1.0r	Site Plan and Details
R-1.0	Building A Renderings
R-1.1	Building A Renderings
A-1.0	Building A Floor Plan
A-2.0	Building A Elevations
A-2.1	Building A Elevations
A-3.0	Building A Roof Plan
R-1.0	Building B Renderings
R-1.1	Building B Renderings
A-1.0	Building B Floor Plan
A-2.0	Building B Elevations
A-2.1	Building B Elevations
A-3.0	Building B Roof Plan
R-1.0	Building E Renderings
R-1.1	Building E Renderings
A-1	Building E Floor Plan
A-4	Building E Elevations
A-4.1	Building E Elevations
A-15	Building E Roof Plan
D1	Building E Trash Enclosure
LA-1.0r	Landscape + Planting Plan
C1r	Site Grading and Drainage Plan
C2r	Site Sewer and Water Plan
S1	Pylon Sign

CITY OF MEDFORD
EXHIBIT # B
File # AC 16-138



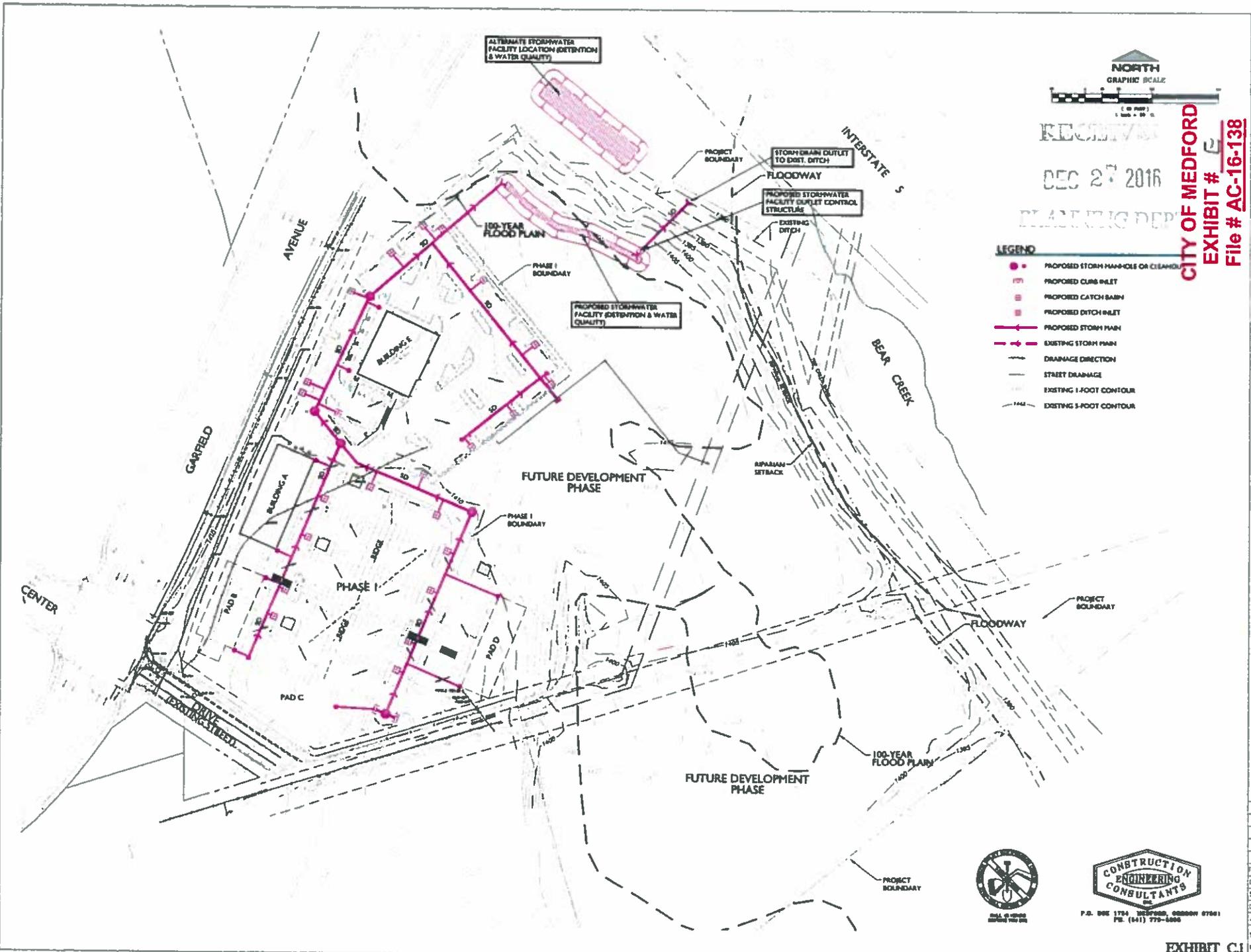
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SOUTH SIDE CENTER
GARFIELD AT CENTER DRIVE
MED
Page 56

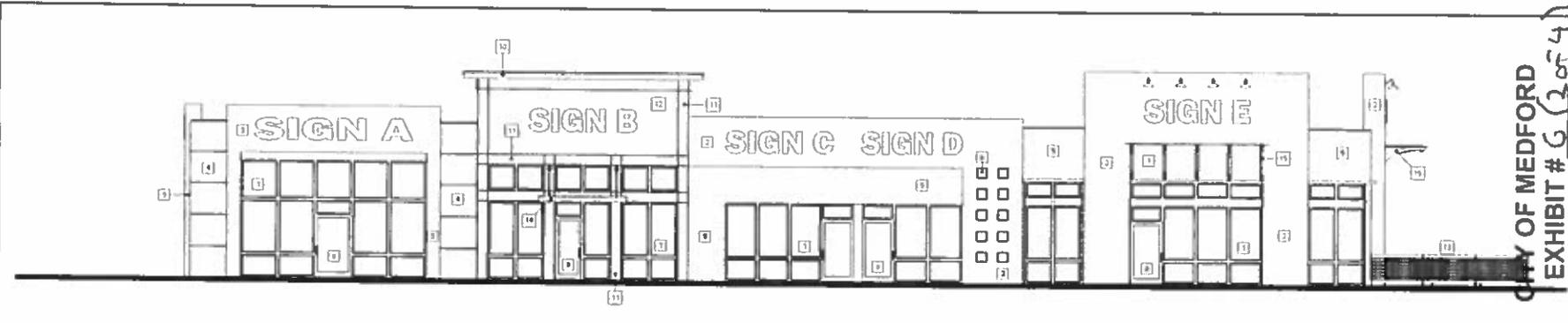
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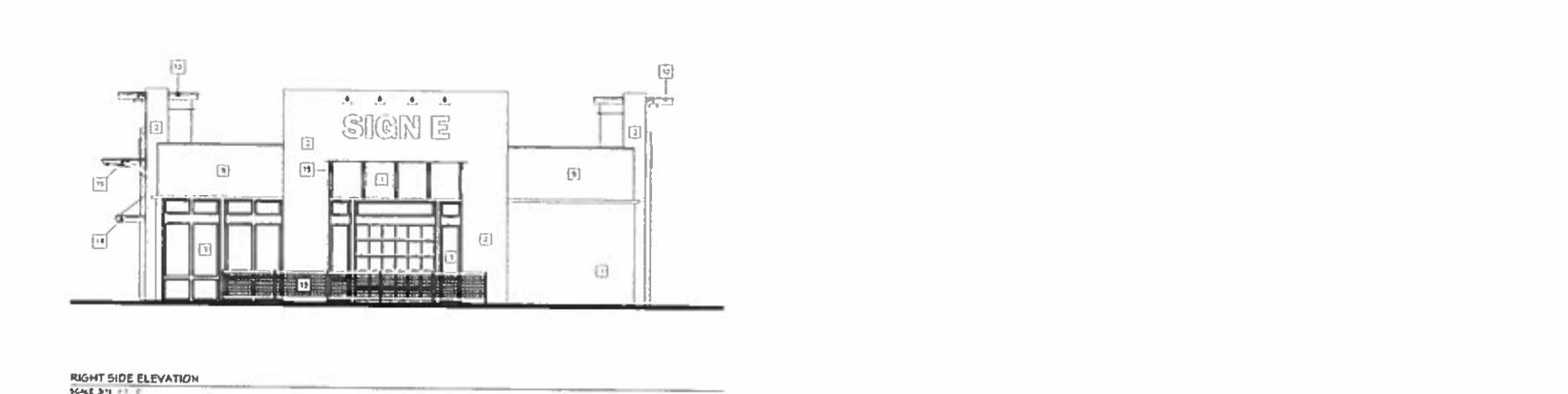
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DATE: 12-16-16
SCALE: 1/8\"/>



NORTH
 GRAPHIC SCALE
 1" = 50'
 1" = 15.24 M
 1" = 30.48 M
 1" = 60.96 M
 1" = 121.92 M
 1" = 243.84 M
 1" = 487.68 M
 1" = 975.36 M
 1" = 1950.72 M
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 1" = 7802.88 M
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FRONT ELEVATION
SCALE 3/16" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 3/16" = 1'-0"

ELEVATION KEYED NOTES

- 1 LENSBOARD ALUMINUM SIDING & SOFFIT SYSTEM 6" x 6 GROOVE FLOORSIDE CORDBRA CEREBRY" INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 2 THE RHODORON® Limestone HIGH PERFORMANCE CLADDING OR EQUIVALENT DYED CHARCOAL GRAY" AND SEALED WITH A CLEAR ANTI-GRABITTY SEALER. CONTRACTOR SHALL SUBMIT COLOR SAMPLES OF FINISH TO ARCHITECT FOR APPROVAL PRIOR TO APPLICATION.
- 3 THE RHODORON® Limestone HIGH PERFORMANCE CLADDING OR EQUIVALENT DYED BURNED RED" AND SEALED WITH A CLEAR ANTI-GRABITTY SEALER. CONTRACTOR SHALL SUBMIT COLOR SAMPLES OF FINISH TO ARCHITECT FOR APPROVAL PRIOR TO APPLICATION.
- 4 THE RHODORON® Limestone HIGH PERFORMANCE CLADDING OR EQUIVALENT PAINTED WHITE" AND SEALED WITH A CLEAR ANTI-GRABITTY SEALER. CONTRACTOR SHALL SUBMIT COLOR SAMPLES OF FINISH TO ARCHITECT FOR APPROVAL PRIOR TO APPLICATION.
- 5 PALLADIUM BRAYSTONE® SLABER GROUND FACED CAN SEAL WITH CLEAR SANDHANE SEALER. CONTRACTOR SHALL SUBMIT SHEEN SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO APPLICATION.
- 6 INTERNALLY ILLUMINATED DECORATIVE GLASS BLOCK WINDOW
- 7 TUBELITE® VERSATHERM ALUMINUM STOREFRONT SYSTEM DARK GRAPHITE GRAY ANODIZED WITH SHINE GRAY® GLAZING. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 8 TUBELITE® VERSATHERM ALUMINUM STOREFRONT DOOR DARK GRAPHITE GRAY ANODIZED WITH SHINE GRAY® GLAZING. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 9 INSULATED STEEL SOLID PANEL DOOR PAINTED DARK GRAPHITE GRAY" INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 10 DARK GRAPHITE GRAY METAL ROOF FASCIA WITH LOWBOARD® SOFFIT SYSTEM 6" x 6 GROOVE FLOORSIDE CORDBRA CEREBRY" INSTALL PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR SHALL SUBMIT COLOR SAMPLES OF FINISHES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION.
- 11 TRUSTY RED® POWDERCOATED STEEL WIRE FLANGE FRAME. CONTRACTOR SHALL SUBMIT COLOR SAMPLES OF FINISHES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION.
- 12 ZINCALUM® PRESSED METAL SIDING. CONTRACTOR SHALL SUBMIT COLOR SAMPLES OF FINISHES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION.
- 13 DARK GRAPHITE GRAY POWDERCOATED 4" x 4 STEEL WESH FENCE. CONTRACTOR SHALL SUBMIT COLOR SAMPLES OF FINISHES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION.
- 14 DARK GRAPHITE GRAY POWDERCOATED METAL SIDING. CONTRACTOR SHALL SUBMIT COLOR SAMPLES OF FINISHES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION.
- 15 TEMPERED GLASS FINISH WITH CLEAR ANODIZED ALUMINUM BRACKETS. CONTRACTOR SHALL SUBMIT COLOR SAMPLES OF FINISHES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION.

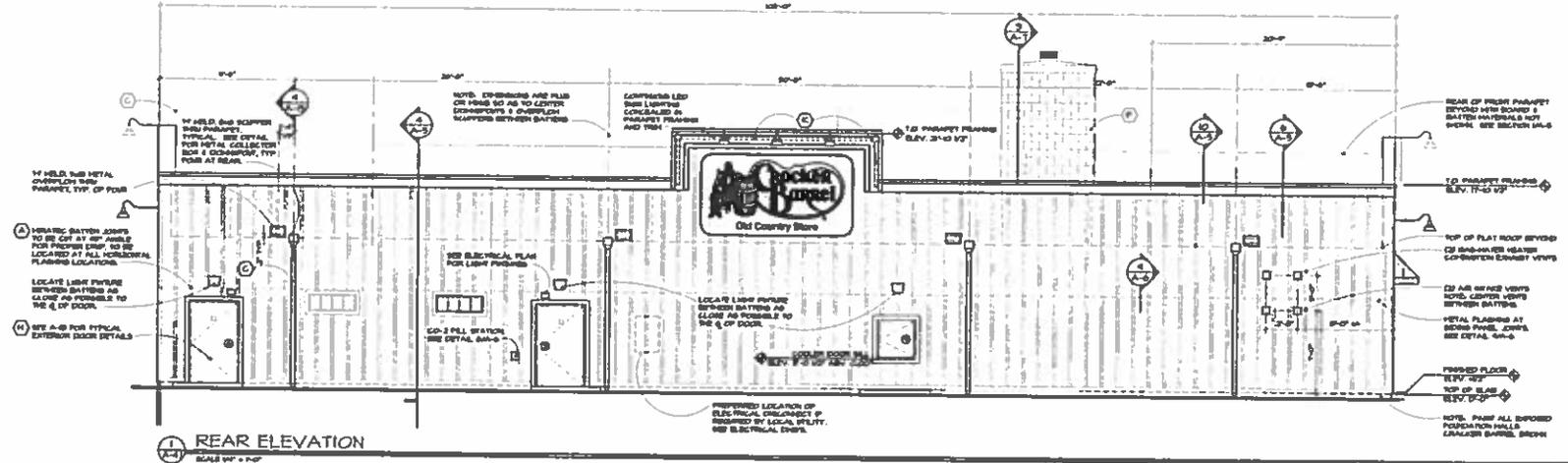
DATE	10/27/18
BY	JAW/J
CHK #	18-6
SHEET	A-2.0

GENERAL NOTES

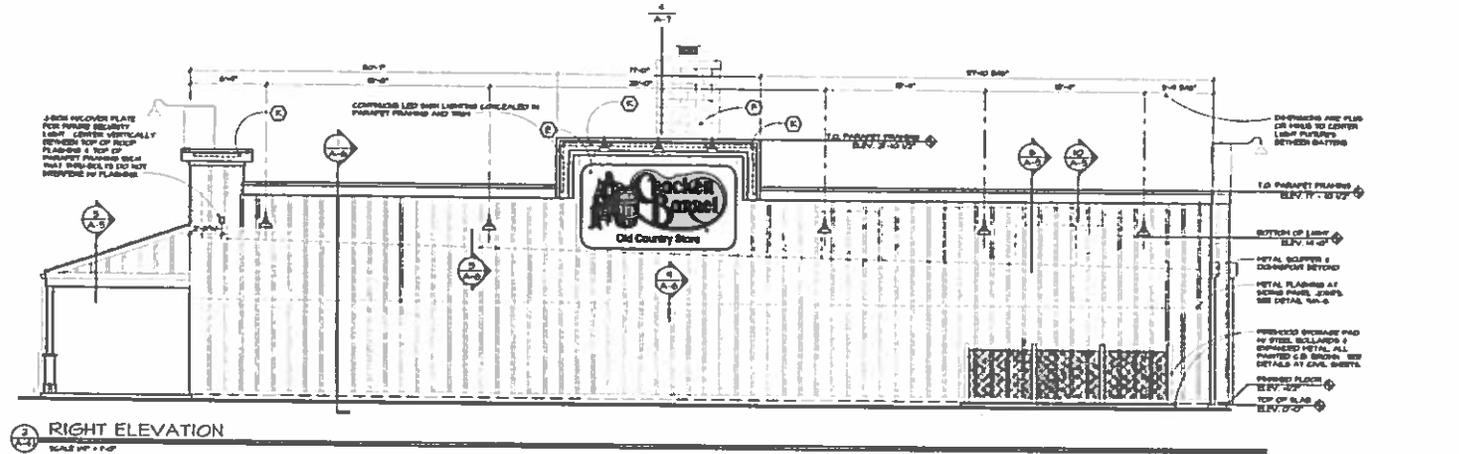
1. ALL NEW WORK SHALL HAVE FINISHED SURFACES.
2. PROVIDE FINISH & GRADE OF ALL S.S. FINISHES (CONCRETE, METAL, FINISHED BRICK, ETC.) TO MATCH THE EXISTING.
3. USE APPROPRIATE FINISHES TO MATCH EXISTING. USE APPROPRIATE FINISHES TO MATCH EXISTING. USE APPROPRIATE FINISHES TO MATCH EXISTING.
4. ALL EXISTING SURFACES ARE TO BE REPAIRED OR REPLACED AS NOTED OR SHOWN. FILL GAPS WITH FINISH TO MATCH EXISTING.
5. THE NEW WORK SHALL BE FINISHED AND INSTALLED BY THE GC.

EXTERIOR MATERIALS LEGEND (A)

ITEM	MATERIAL & MANUFACTURER	COLOR / FINISH
A	ALUMINUM SIDING & FINISHES	SPRINKLE-HILL'S PAINT (LARGE) WHITE, GRAY
B	BRICKWORK (EXISTING & NEW)	RED BRICK
C	CONCRETE (EXISTING & NEW)	CONCRETE
D	GLASS (EXISTING & NEW)	GLASS
E	PAVING (EXISTING & NEW)	PAVING
F	ROOFING (EXISTING & NEW)	ROOFING
G	WOOD (EXISTING & NEW)	WOOD
H	METAL (EXISTING & NEW)	METAL
I	SPALL / BRICKWORK	SPALL / BRICKWORK
J	GLASS BLOCK	GLASS BLOCK
K	SPALL / BRICKWORK	SPALL / BRICKWORK



REAR ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"

CITY OF MEDFORD
EXHIBIT # G (3 of 4)
File # AC-16-138

Cracker Barrel
OLD COUNTRY STORE
1000 W. CENTER ST.
SOUTH MEDFORD, ON

Cracker Barrel
P.O. Box 787
Hartmann Drive, Lebanon, TN 37087



DELANE AND ENGINEERS
ARCHITECTS AND ENGINEERS
1000 W. CENTER ST.
SOUTH MEDFORD, ON

EXTERIOR ELEVATIONS



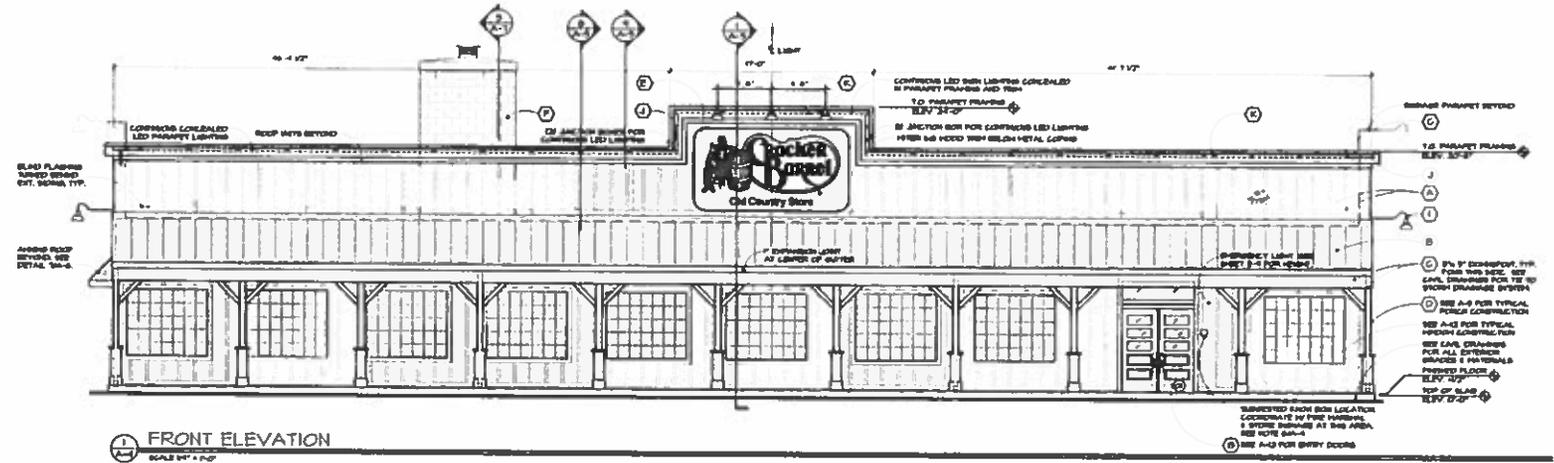
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- GENERAL NOTES**
1. ALL WORK SHALL BE DONE ACCORDING TO THE SPECIFICATIONS, DRAWINGS, AND PERMITS TO INSTALLATION.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 4. ALL MATERIALS SHALL BE OF THE QUALITY AND TYPE SPECIFIED IN THE DRAWINGS AND PERMITS TO INSTALLATION.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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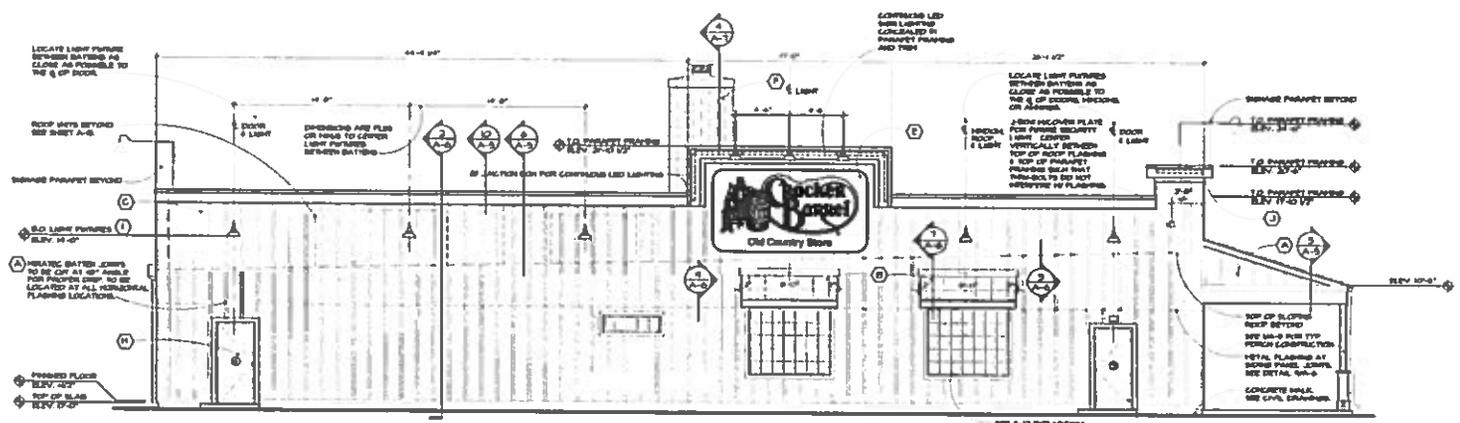
EXTERIOR MATERIALS LEGEND

MARK	MATERIAL & MANUFACTURER	COLOR / FINISH
A	ALUMINA BRICK & TERRAZZO BRICKS AT 8" O.C.	BROWN HELLING PAINT CRACKER BARREL
B	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
C	BROWN HELLING PAINT CRACKER BARREL	PUR PLUMBER BRICKWORK
D	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
E	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
F	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
G	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
H	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
I	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
J	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
K	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
L	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
M	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
N	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
O	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
P	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
Q	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
R	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
S	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
T	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
U	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
V	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
W	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
X	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
Y	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK
Z	BERNARDI BRICKS STANDING SEAM METAL ROOF	PUR PLUMBER BRICKWORK

CITY OF MEDFORD
 EXHIBIT # 6 (4 of 4)
 File # AC-16-138



1 FRONT ELEVATION
SCALE 1/4" = 1'-0"



2 LEFT ELEVATION
SCALE 1/4" = 1'-0"

CRACKER BARREL
 OLD COUNTRY STORE
 787 CENTER DRIVE
 SOUTH MEDFORD, OR

Cracker Barrel
 P.O. Box 787
 Hartmann Drive, Lebanon, TN 37087



MEDFORD ARCHITECTS AND ENGINEERS
 1115 BRYANT BLVD
 MEDFORD, OR 97504
 503.776.1111
 503.776.1112
 503.776.1113
 503.776.1114
 503.776.1115

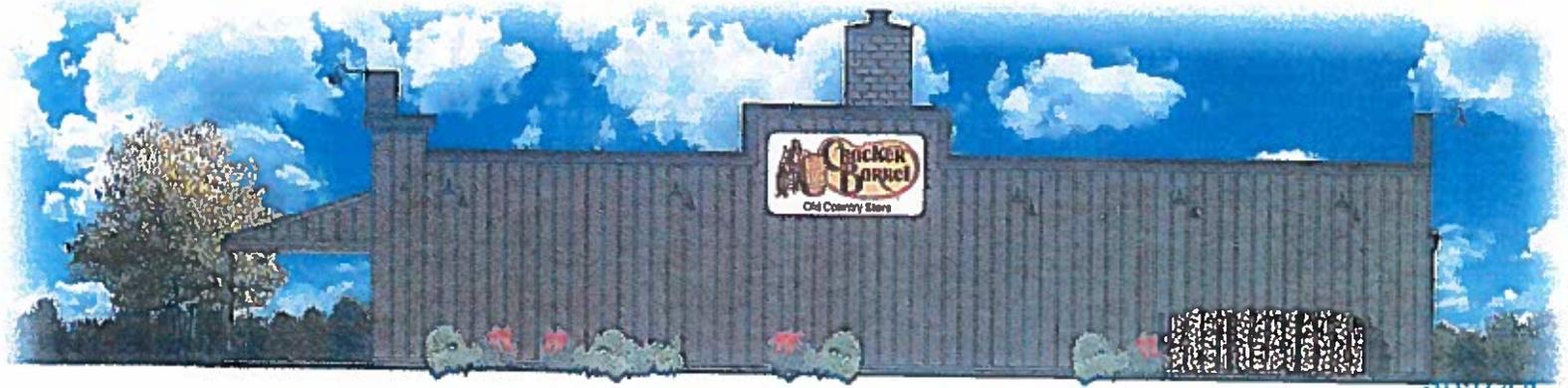
EXTERIOR ELEVATIONS



A-4

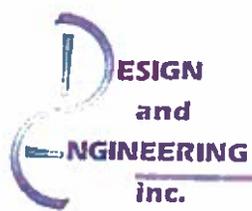


REAR ELEVATION



RIGHT ELEVATION

DIMENSIONAL INFORMATION	
BUILDING SIZE:	
-LENGTH/WIDTH OF BUILDING:	87'-4" L x 105'-0" W
-LENGTH/WIDTH OF PORCH:	12'-4" L x 105'-6" W
SQUARE FOOTAGE OF BUILDING:	9,170 sf
SQUARE FOOTAGE OF PORCH:	1,316 sf
TOTAL FOOTPRINT:	10,486 sf
BUILDING HEIGHTS:	
-HEIGHT OF FRONT WALL PARAPET:	20'-6" H
-HEIGHT OF SIDE & REAR PARAPETS:	17'-10 1/2" H
TOP OF SIGN PARAPETS:	FRONT: 24'-0" H, RIGHT: 21'-10 1/2" H
-HEIGHT OF CHIMNEY ABOVE FINISH FLOOR:	30'-0" H
-ROOF SLOPES FRONT TO REAR:	
-MAX. HEIGHT ABOVE FINISH FLOOR INSIDE FRONT PARAPET WALL:	13'-0" H
-MIN. HEIGHT ABOVE FINISH FLOOR INSIDE REAR PARAPET WALL:	11'-0" H
WALL SIGNAGE:	
-HEIGHT/WIDTH OF ALL SIGNS:	FRONT & REAR: 7'h x 13'w (91 sf)



SOUTH MEDFORD, OREGON
CRACKER BARREL PROTOTYPE 180-17F

EXTERIOR MATERIALS LEGEND

- A CERTAINTED SIDING & MIRATEC BATTENS, PAINTED "CRACKER BARREL BROWN"
- B BERRIDGE STANDING-SEAM METAL ROOF, GALVALUME FINISH
- C PAC-CLAD METAL COPING, DARK BRONZE FINISH
- D SMOOTH-FACED CMU CHIMNEY, PAINTED "CRACKER BARREL BROWN"

THIS IS AN ARTISTIC RENDERING OF THE PROPOSED EXTERIOR ELEVATION AND THEREFORE SHOULD NOT BE USED FOR ANY PURPOSES THAT REQUIRE A TECHNICAL DRAWING OF THE MATERIALS SHOWN. PLEASE REFER TO MATERIAL SAMPLES FOR ACTUAL COLOR AND FINISH SAMPLES. THIS DRAWING IS NOT TO SCALE. PLEASE REFER TO "DIMENSIONAL INFORMATION" FOR ALL FULL DIMENSIONS.

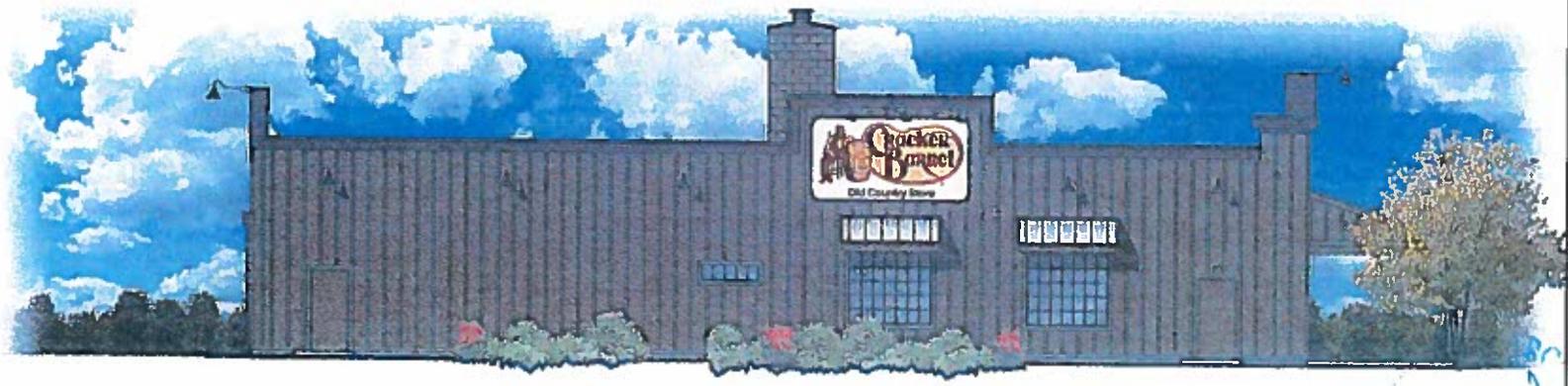
REC'D CIVIL
 10/11/16
 CITY OF MEDFORD
 COMMUNITY DEVELOPMENT
 10/11/16



Old Country Store
 10.12.16
 2 of 2

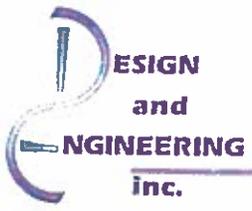


FRONT ELEVATION



LEFT ELEVATION

DIMENSIONAL INFORMATION	
BUILDING SIZE:	
-LENGTH/WIDTH OF BUILDING:	87'-4" L x 105'-0" W
-LENGTH/WIDTH OF PORCH:	12'-4" L x 105'-4" W
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ROOF SLOPES FRONT TO REAR:	
-MAX. HEIGHT ABOVE FINISH FLOOR (INSIDE) FRONT PARAPET WALL:	13'-0" H
-MIN. HEIGHT ABOVE FINISH FLOOR (INSIDE) REAR PARAPET WALL:	11'-0" H
WALL SIGNAGE:	
-HEIGHT/WIDTH OF ALL SIGNS:	FRONT & REAR: 7' h x 11' w (91 sf)



SOUTH MEDFORD, OREGON
CRACKER BARREL PROTOTYPE 180-17F

EXTERIOR MATERIALS LEGEND

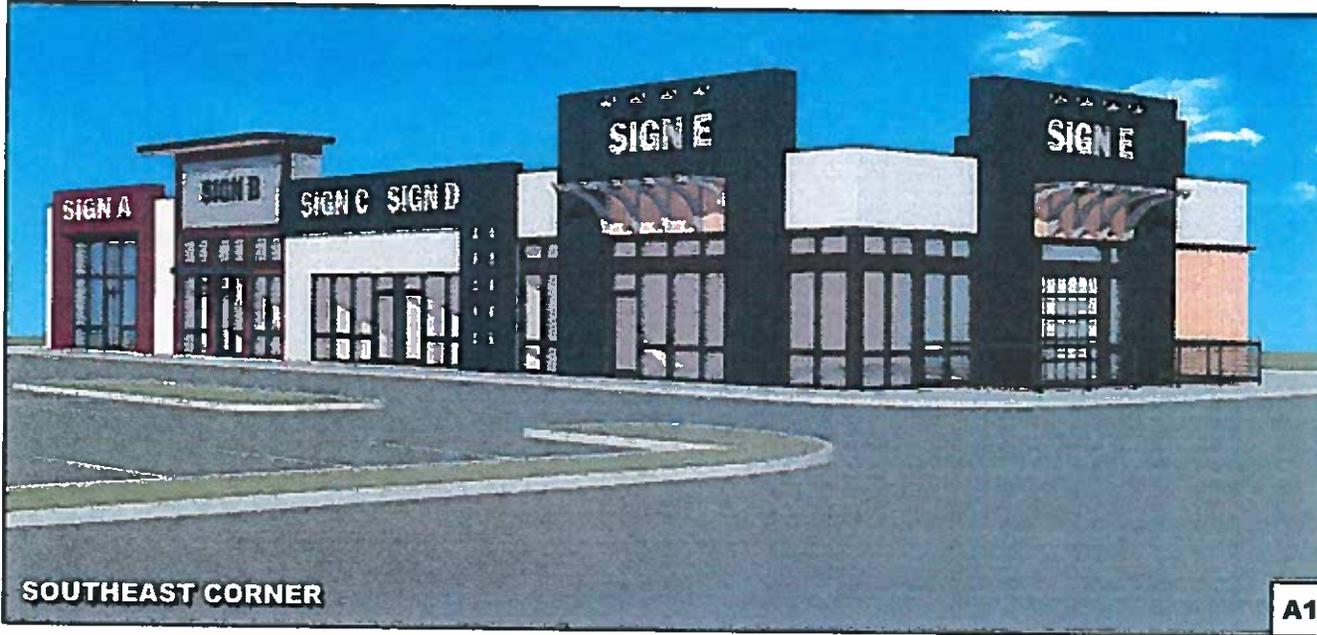
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THIS IS AN ARTIST'S RENDERING OF THE PROPOSED EXTERIOR ELEVATIONS AND THEREFORE SHOULD NOT BE RELIED UPON FOR ACCURATE COLOR REPRESENTATION OF THE FINISHES SHOWN. PLEASE REFER TO MATERIAL SAMPLES FOR ACTUAL COLOR AND FINISH SAMPLES. THIS DRAWING IS NOT TO SCALE. PLEASE REFER TO DIMENSIONAL INFORMATION FOR ACTUAL DIMENSIONS.



Old Country Store
 10.12.16
 1 of 2

R1.0



SOUTHEAST CORNER

A1



SOUTHWEST CORNER

A2

CITY OF MEDFORD
 EXHIBIT # H(3674)
 File # AC-16-138



THE CITY OF MEDFORD, OREGON, THE
 COUNTY OF DEWEESE, OREGON, THE
 COUNTY OF CLATSOP, OREGON, AND THE
 COUNTY OF WASHINGTON, OREGON, BY
 AND THROUGH THE CITY OF MEDFORD,
 OREGON, COUNTY OF DEWEESE, OREGON,
 COUNTY OF CLATSOP, OREGON, AND
 COUNTY OF WASHINGTON, OREGON, TO
 THE CITY OF MEDFORD, OREGON, THE
 COUNTY OF DEWEESE, OREGON, THE
 COUNTY OF CLATSOP, OREGON, AND
 THE COUNTY OF WASHINGTON, OREGON.

SOUTH SIDE CENTER - BUILDING A
 CARFIELD AT CENTER DRIVE
 MEDFORD

DATE	1/20/16
SCALE	AS SHOWN
SHEET	R-1.0

Applicants Questionnaire

Galpin Gang LLC
Phase I Development at Southside Center

Section I – Narrative

Southside Center is a Commercial and Retail Center located off of the South Medford Exit of I-5 at the intersection of Garfield and Center Drive. This application is for Phase One which consists of a Restaurant and two Multitenant Commercial Buildings with Drive Thru's, 1 Pylon Sign and associated parking, landscaping and site improvements. The Palette of Construction materials includes split face concrete block, stone and masonry veneer, plaster, powder coated structural metal detailing, fiber cement, and metal siding/roofing.

The Landscape is a low water usage design with a drip irrigation system. Very little turf grass is proposed.

Development of the project is planned to commence immediately upon approval of Building Permit(s).

Section II – Compatibility: Criterion No. 1

- A *List existing uses and development adjacent to your project site. Along with this list, describe the architecture (materials, colors etc.) age, and condition of adjacent buildings. (you may use photographs to supplement this information).*

The project is located on the old Nash homestead and is bounded on the east by Interstate 5 and Bear Creek, on the South by vacant land abutting 40 year old residences on Charlotte Anne Road, on the west by Center Drive and vacant land abutting decades old commercial development along Highway 99 South and on the North by the re-aligned Garfield Drive and 2-20 year old commercial development including hotels and other retail development. Nearby are major retailers and such as WalMart, Fred Meyer, Harbor Freight, Harry and David, and Office Max, Food Service businesses such as Panda Express, Starbucks, Subway, Togo's, McGraths, Carl's Junior and Shari's as well as many assorted commercial businesses like Rogue Federal Credit Union, US Cellular, Northwest Community Credit Union, The Point Restaurant and Bar and many others.

- B *Describe the building architecture and exterior treatments in your proposal, and how they fit with and complement adjacent buildings and development.*

We are proposing two buildings built with a material palette including split faced CMU block, Plaster, Cultured Stone Veneer, Metal Siding and structural steel detailing with a powder coat finish. Aluminum storefront glazing systems will be used throughout. Parapet style low slope roof construction is used to allow concealment of rooftop mounted equipment. Additionally, a third building which will house a Cracker Barrel Restaurant will be built of wood frame construction and finished with Fiber Cement

m

Board and Batt Siding, a parapet style low slope roof with metal roof and heavy corbelled wood column porch detailing.

- C *Describe the proposed architecture and exterior treatments that break up large facades and give relief to the building mass. The Site Plan and Architectural Commission Design Guidelines are a helpful reference, and can be found on the City's website, and in the Planning Department.*

Although these are not large buildings (all less than 10ksf), facades are broken up by the use of offsets and changes in plane. Finish materials with different textures and colors are used to accentuate changes in plane, create shadow lines and visual interest, especially where also appropriate for functional reasons such as defining entries, store limits and outdoor areas, and creating signage opportunities.

- D *Describe how the placement and orientation of the proposed building(s) relate(s) to the street facilities, and how this orientation promotes a more pedestrian-friendly site design.*

The project is located at the end of Center Drive, and is accessed by vehicles from the signalized intersection with Garfield. The buildings are arranged around and within landscaped vehicular parking fields. A pedestrian friendly site design is promoted by use of landscaping buffers, wide (8' minimum) sidewalks in front of the buildings, which allow plenty of space for circulation, window shopping, and outswinging storefront doors. A clearly denoted pedestrian walkway is denoted by material and/or grade changes from the parking field to each building. Parking lot lighting fixtures are located near the pedestrian walkway so as to provide higher lighting levels near pedestrian elements of the site.

- a. *If the site lies within 600-feet of an existing or planned transit stop, as designated by the Transportation System Plan (TSP), describe compliance with the standards of MLDC 10.808, New Commercial and Institutional Development.*

No existing or planned transit stops are located within 600 feet. However, clearly defined pedestrian access is provided from the sidewalks along Garfield and Center Drives into and throughout the site, including 30 bicycle parking spaces, more than 50% of which are covered.

- E *Describe the pedestrian facilities and amenities on your site (useable outdoor space, benches, etc), and how they will function for pedestrians.*

Onsite pedestrian amenities include concrete sidewalks, most of which are raised above the level of asphalt vehicular surfaces so as to minimize the use of curbcuts. Other pedestrian amenities include covered entry structures and concrete patios. Many of these features are partially or fully shaded either by landscaping, the building or by the canopy structures.

- F *Describe vehicle and pedestrian access to the site and how it relates internally on the site, and to adjacent sites.*

Vehicular access and egress to and from the site is provided via a driveway off the end of Center Drive. Offsite pedestrian access is provided from the sidewalk extended from the intersection of Garfield and Center Drive.

- G *Describe if and how the proposed plan is sensitive to retaining any existing trees or significant native vegetation on the site. Should existing trees be preserved, a Tree Protection Plan shall also be included in this application.*

The site has already been cleared. There are no existing trees or significant native vegetation on the site.

- H *Describe storm water detention facilities on the site (underground storage, surface pond, etc). If these facilities will be landscaped areas, describe how the proposed landscaping will be integrated with other landscaping on the site.*

Storm Water detention facilities will be constructed where indicated on the Civil Drawings. They are designed, sized and located to serve the current and anticipated future phases of development. It consists of an engineered and landscaped detention pond with outfall structure.

- I *Describe how your proposed landscaping design will enhance the building and other functions on the site.*

The landscape concept has been designed to be a low maintenance, low water use installation, harmonizing with nearby and adjacent development along Garfield and Center Drives and enhancing the appearance and functionality of the buildings by providing shade for pedestrians and some aspects of the buildings, and a complementary and colorful setting for the buildings. The landscaping is also designed to enhance onsite water absorption and protect from erosion, unsightly weeds and unwanted pedestrian access to the site and building, thereby improving building security.

- J *Describe how your exterior lighting illuminates the site, and explain how the design of fixtures does not diminish a view of the night sky, or produce glare on adjacent properties, consistent with the standards of MLDC 10.764.*

Exterior lighting is provided from pole mounted LED light fixtures. The light fixtures do not allow light to invade the night sky. We have also used these light fixtures at the Medford Airport. Product data sheets with fixture photometrics are included with this application.

- K *Describe any proposed signage, and how it will identify the location of the occupant and serve as an attractive complement to the site.*

Signage will be placed on each building to identify the particular tenant. Signage will be internally lit per City of Medford sign regulations and each tenants specific requirements. Building mounted signage is intended to complement and enhance signage included throughout the project, and to clearly identify the buildings to pedestrians and vehicles. A shopping center pylon sign 20' tall with less than 150 sf of total signage area is

proposed as shown on the site plan and included illustration. Signage will consist of internally illuminated panel signs as shown. Freeway signage is also proposed to be located within the freeway overlay zone as shown on the site plan. This sign will not exceed 50' in height or 250 sf in signage area. These signs will also be internally lit panel signs.

- L *Describe any proposed fencing, including its purpose, and how you have incorporated it as a functional, attractive component of your development. (MLDC 10.731-10.733)*

No fencing is proposed with this project. Garbage enclosures and patio walls are identified on the plans and elevations. Both will be made of colored CMU block and 'stone' veneer.

- M *Explain any potential noise generated by future occupants will be mitigated on the proposed site, consistent with the standards of MLDC 10.752-10.761.*

The buildings will function as commercial, restaurant and office buildings. We expect that there will be no noise generated by the use of these buildings that will require mitigation to comply with MLDC 10.752-10.761.

- N *Explain anything else about your project that adds to the compatibility of the project with adjacent development and uses.*

The buildings are designed to attract attention from the street while blending with other nearby buildings and landscape and providing clear signage opportunities for each tenant. The building at Pad B/C will be built at a future date and a separate SPAC application will be prepared to allow review and approval of architectural features and style.

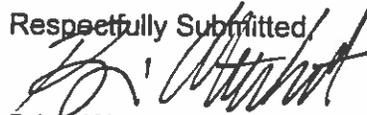
- O *List and explain any exceptions or modifications requested and provide reasons for such.*

We are not requesting any exceptions or modifications.

- P *Section 10.780©(2) – List any petition for relief of landscaping standards (i.e., request an increase in turf area at a facility for active recreation; eliminate requirement for root barriers when trees are planted in structural soils). Provide rationale for requested deviation from standard.*

We are not requesting any deviations.

Respectfully Submitted,



Brian Westerhout, AIA
Project Architect



Continuous Improvement Customer Service

CITY OF MEDFORD

Revised Date: 12/29/2016
File Numbers: AC-16-138
Reference: PA-16-013 and ZC-16-077

PUBLIC WORKS DEPARTMENT STAFF REPORT Southside Center Phase 1

Project: Consideration of Southside Center Phase 1, a proposed commercial and retail center consisting of a restaurant and two multi-tenant commercial buildings.

Location: Located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 3604 & 4708).

Applicant: Galpin Gang LLC., Applicant (Ron Grimes Architects, Agent). Dustin Severs, Planner.

NOTE: The items listed here shall be completed and accepted prior to the respective issuances of permits and certificates:

Prior to issue of the first building permit, the following items shall be completed and accepted:

- Submittal and approval of plans for site grading and drainage, and detention.
- Completion of all public improvements, if required. The applicant may provide security for 120% of the improvements prior to issuance of building permits. Construction plans for the improvements will need to be approved by the Public Works Engineering Division prior to acceptance of security.
- Items A – D, unless noted otherwise.

Prior to issue of Certificate-of-Occupancy for completed structures, the following items shall be completed and accepted:

- Paving of all on-site parking and vehicle maneuvering areas.
- Certification by the design engineer that the stormwater quality and detention system was constructed per the approved plan.
- Completion of all public improvements, if applicable.

A. STREETS

1. Dedications

Garfield Street is classified as a Major Arterial Street, in accordance with the Medford Land Development Code (MLDC) 10.428, and is under Oregon Department of Transportation (ODOT) jurisdiction. Garfield Street has been fully improved along the subject property's frontage, but the Applicant should consult with ODOT regarding any additional right-of-way dedication requirements.

Center Drive is classified as a Commercial street, in accordance with MLDC Section 10.429. **No other additional right-of-way will be required with this Development unless warranted by the Traffic Impact Analysis (TIA).**

Belknap Road is currently a local access only road but, if used for access in the future, it will be classified as a Commercial street, in accordance with MLDC Section 10.429. **No additional right-of-way is required for this phase of development.** If used for access in the future, the Developer shall dedicate sufficient width of land along the frontage of this development to comply with the half width of right-of-way for a Commercial street, which is 31.5-feet.

In accordance with MLDC 10.471, **the property owner shall dedicate a 10-foot wide public utility easement (PUE) adjacent to the right-of-way line along this Developments frontage to Center Drive.**

The right-of-way and easement dedications shall be submitted directly to the Engineering Division of the Public Works Department. The submittal shall include: the right-of-way and easement dedication, including an exhibit map; a copy of a current Lot Book Report, Preliminary Title Report, or Title Policy; a mathematical closure report (if applicable), and the Planning Department File Number; for review and City Engineer acceptance signature prior to recordation by the applicant. Releases of interest shall be obtained by holders of trust deeds or mortgages on the right-of-way and PUE area.

2. Public Improvements

a. Public Streets

Garfield Street is classified as a Major Arterial street, in accordance with MLDC 10.428, and is under ODOT jurisdiction. The Applicant shall consult with ODOT regarding any additional improvements that may be required.

Center Drive is currently improved in close conformance to Commercial street standards. **The Developer shall construct a 5-foot sidewalk with planter strip along the frontage of this development in accordance with MLDC 10.429.**

Belknap Road shall be built to Commercial street standards if used for access in the future, in accordance with MLDC 10.429. **No improvements are required along this frontage for this phase of development.**

b. Street Lights and Signing

The developer shall provide and install in compliance with Section 10.495 of the Medford Municipal Code (MMC). Based on the preliminary plan submitted, the following number of street lights and signage will be required:

Street Lighting – Developer Provided & Installed:

- A. 2 – Type R-150

Traffic Signs and Devices – City Installed, paid by the Developer:

- A. 1 – Base Mounted Cabinet (BMC)
 - a. NOTE – There is an existing lighting BMC on the SW corner of the intersection that they could use if they choose so.
- B. 1 – Street Name Sign
- C. 1 – No Outlet Sign

Numbers are subject to change if changes are made to the plans. All street lights shall be installed per City standards and be shown on the public improvement plans. Public Works will provide preliminary street light locations upon request. All street lights shall be operating and turned on at the time of the final “walk through” inspection by the Public Works Department.

The Developer shall pay for City installed signage required by the development. City installed signs include, but are not limited to, street name signs, stop signs, speed signs, school signs, dead end signs, and dead end barricades. Sign design and placement shall be per the Manual on Uniform Traffic Control Devices (MUTCD). All signs shall be shown on the public improvement plans and labeled as City installed.

The Developer shall be responsible for the preservation and re-installation of all signs removed during demolition and site preparation work. The Developer’s contractor shall coordinate with the City of Medford Public Works, Maintenance and Operations Division to remove any existing signs and place new signs provided by the Developer.

c. Pavement Moratoriums

There are no pavement cutting moratoriums currently in effect along this frontage.

The Developer shall be responsible for notifying by certified letter all utility companies, as well as all current property owners of parcels which are adjacent to any Public Street being constructed or paved as part of this project. The letter shall inform the utility companies and property owners of the City's street moratorium policy with respect to pavement cutting for future utility services. The utility companies and property owners shall be given the opportunity to install utility services within the right-of-way prior to paving and the subsequent moratorium. Notifications shall be mailed by the Developer at least 6 months before a street is resurfaced or rebuilt per MMC, Section 3.070. Copies of the certifications shall be submitted to the City Engineer with the submittal of the preliminary construction drawings.

d. Soils Report

The Developer's engineer shall obtain a soils report to determine if there is shrink-swell potential in the underlying soils in this development. If they are present, they shall be accounted for in the roadway and sidewalk design within this Development. The soils report shall be completed by a licensed Geotechnical Engineer in the state of Oregon.

e. Access to Public Street System

Driveway access and street circulation to and through the proposed development shall comply with MLDC 10.550 and 10.426.

Per MMC 10.426.2, the developer will need to include a pedestrian pathway, with a minimum 5' width, along at least one side of the private common access roadway shown on their site plan. A pedestrian pathway along both sides is preferred. This pedestrian pathway should provide a connection to the proposed public sidewalk along Center Drive and a future pedestrian pathway along the extension of the private roadway.

The site lies within the area covered by ODOT's South Medford Interchange Area Management Plan (IAMP). The applicant should review the access management strategy in the IAMP, which includes full access control along the Highland-Garfield Connector.

Cross access easements shall be granted for the benefit of adjacent parcels.

3. Transportation System

The Applicant shall submit and coordinate the following:

- The Applicant needs to address MMC 10.426 by providing a local circulation plan at least one (1) week prior to the hearing.
- The Applicant needs to submit a trip accounting to Public Works at least one (1) week prior to the hearing showing that the proposed development does not exceed the 367 PM peak hour trip cap established by the Public Works Staff Report ZC-16-077.
- The Applicant will need to coordinate with ODOT regarding signal modifications at the intersection of Garfield Street and Center Drive prior to opening and other improvements per ZC-16-077.

4. Section 10.668 Analysis

To support a condition of development that an applicant dedicate land for public use or provide a public improvement, the Medford Code requires a nexus and rough proportionality analysis which is essentially a codification of the constitutional provisions in Nollan and Dolan cases.

10.668 Limitation of Exactions

Notwithstanding any other provisions of this Chapter 10, an applicant for a development permit shall not be required, as a condition of granting the application, to dedicate land for public use or provide public improvements unless:

(1) the record shows that there is an essential nexus between the exaction and a legitimate government purpose and that there is a rough proportionality between the burden of the exaction on the developer and the burden of the development on public facilities and services so that the exaction will not result in a taking of private property for public use, or

(2) a mechanism exists and funds are available to fairly compensate the applicant for the excess burden of the exaction to the extent that it would be a taking.

1. Nexus to a legitimate government purpose

The purposes for these dedications and improvements are found throughout the Medford Code, the Medford Transportation System Plan, and the Statewide Planning Rule, and supported by sound public policy. Those purposes and policies include, but are not limited to: development of a balanced transportation system addressing all modes of travel, including motor vehicles, transit, bicycles, emergency services and pedestrians. Further, these rights-of-way are used to provide essential services such as sanitary sewer, domestic water and storm drains to serve the developed parcels. It can be found that the listed right-of-way dedications and improvements have a nexus to these purposes and policies.

2. Rough proportionality between the dedications and improvements, and the impacts of development.

No mathematical formula is required to support the rough proportionality analysis. Furthermore, benefits to the development resulting from the dedication and improvements when determining “rough proportionality” have been considered, including but not limited to: increased property values, intensification of use, as well as connections to municipal services and the transportation network.

As set forth below, the dedications and improvements recommended herein can be found to be roughly proportional to the impacts reasonably anticipated to be imposed by this development.

Center Drive:

The additional improvements on Center Drive will provide for a future planter strip and sidewalk. The 8-foot planter strip moves pedestrians a safe distance from the edge of the roadway on Belknap Road and Center Drive. Center Drive will also be the primary route for pedestrians traveling to and from this development.

Local street right-of-way dedication and construction requirements identified by the Public Works Department and required by the City are the minimum required to protect the public interest and are necessary for additional or densification of development in the City without detracting from the common good enjoyed by existing properties. Developments are required to provide all internal local streets and half-street improvements to abutting streets, including associated right-of-way dedications, to ensure that new development and density intensification provides the current level of urban services and adequate street circulation is maintained.

Dedication of the Public Utility Easements (PUE) will benefit development by providing public utility services, which are out of the roadway and more readily available to each lot or building

being served. The additional traffic of all modes of travel generated by this proposed development supports the dedication and improvements for all modes of travel and utilities. As indicated above, the area required to be dedicated for this development is necessary and roughly proportional to that required in similar developments to provide a transportation system that meets the needs for urban level services.

B. SANITARY SEWERS

This site lies within the Rogue Valley Sewer Service (RVSS) area. The Developer shall contact RVSS for conditions of connection to the sanitary sewer collection system.

C. STORM DRAINAGE

1. Drainage Plan

A comprehensive drainage plan showing the entire project site with sufficient spot elevations to determine direction of runoff to the proposed drainage system, and also showing elevations on the proposed drainage system, shall be submitted with the first building permit application for approval.

The Developer shall provide copies of either a Joint Use Maintenance Agreement or a private stormdrain easement for any stormwater draining onto or from adjacent private property.

All private storm drain lines shall be located outside of the public right-of-way and/or any public utility easements (PUE).

The Developer shall address all floodway, floodplain and riparian area issues with the proper Agencies and acquire all necessary permits for work within the floodway, floodplain or riparian areas. No fill shall be allowed within the floodplain without a Floodplain Development Permit from the Planning Department.

2. Grading

A comprehensive grading plan showing the relationship between adjacent property and the proposed development will be submitted with the improvement plans for approval. Grading on this development shall not block drainage from an adjacent property or concentrate drainage onto an adjacent property without an easement. The Developer shall be responsible that the final grading of the development shall be in compliance with the approved grading plan.

3. Detention and Water Quality

Stormwater quality and detention facilities shall be required in accordance with MLDC Section 10.481 and 10.729.

Each phase will be required to have its own stormwater detention and water quality treatment. If the Developer desires to do so, a Stormdrain Masterplan may be submitted in lieu of requiring each phase to have separate stormwater detention and water quality treatment. The Stormdrain Masterplan shall be submitted and reviewed with each phase's construction plans and shall be

constructed with any phase to be served by the facility.

4. Certification

Upon completion of the project, and prior to certificate of occupancy of the building, the Developer's design engineer shall certify that the construction of the stormwater quality and detention system was constructed per plan. Certification shall be in writing and submitted to the Engineering Division of Public Works. Reference Rogue Valley Stormwater Quality Design Manual, Appendix I, Technical Requirements.

5. Wetlands

The Developer shall contact the Division of State Lands for the approval or clearance of the subject property with regards to wetlands and/or waterways, if they are present on site.

6. Erosion Prevention and Sediment Control

All development that disturbs 5,000 square feet or greater shall require an Erosion Prevention and Sediment Control Plan. Developments that disturb one acre and greater shall require a 1200C permit from the Department of Environmental Quality (DEQ). Erosion Prevention and Sediment Control Plans shall be submitted to the Building Department with the project plans for development. All disturbed areas shall be covered with vegetation or properly stabilized prior to certificate of occupancy.

D. GENERAL CONDITIONS

1. Design Requirements and Construction Drawings

All public improvements shall be constructed in accordance with the "Engineering Design Standards for Public Improvements", adopted by the Medford City Council. Copies of this document are available in the Public Works Engineering office.

2. Construction Plans

Construction drawings for any public improvements for this project shall be prepared by a professional engineer currently licensed in the State of Oregon, and submitted to the Engineering Division of Medford Public Works Department for approval. Construction drawings for public improvements shall be submitted only for the improvements to be constructed with each phase. Approval shall be obtained prior to beginning construction. Only a complete set of construction drawings (3 copies) shall be accepted for review, including plans and profiles for all streets, minimum access drives, sanitary sewers, storm drains, and street lights as required by the governing commission's Final Order, together with all pertinent details and calculations. A checklist for public improvement plan submittal can be found on the City of Medford, Public Works web site (<http://www.ci.medford.or.us/Page.asp?NavID=3103>). The Developer shall pay a deposit for plan review and construction inspection prior to final plan approval. Public Works will keep track of all costs associated with the project and, upon our acceptance of the completed project, will reconcile the accounting and either reimburse the Developer any excess deposit or

bill the Developer for any additional amount not covered by the deposit. The Developer shall pay Public Works within 60 days of the billing date or will be automatically turned over for collections.

In order to properly maintain an updated infrastructure data base, the Surveyor of Record shall submit an as-built survey prior to the Final Inspection and, the Engineer of Record shall submit mylar "as-constructed" drawings to the Engineering Division within sixty (60) calendar days of the Final Inspection (walk through). Also, the engineer shall coordinate with the utility companies, and show all final utility locations on the "as built" drawings.

3. Phasing

The Preliminary Site Plan shows the development to occur in several phases. Any public improvements needed to serve a particular phase shall be improved at the time each corresponding phase is being developed. Public improvements not necessarily included within the boundaries of any given phase, but are needed to serve that phase shall be constructed at the same time. Construction drawings for public improvements shall be submitted only for the improvements to be constructed with each phase.

4. Construction and Inspection

The Developer or Developer's contractor shall obtain appropriate right-of-way permits from the Department of Public Works prior to commencing any work within the public right-of-way that is not included within the scope of work described within approved public improvement plans. Pre-qualification is required of all contractors prior to application for any permit to work in the public right-of-way.

Contractors proposing to do work on public streets, sewers, or storm drains shall 'prequalify' with the Engineering Division prior to starting work. Contractors shall work off a set of public improvement drawings that have been approved by the City of Medford Engineering Division. Any work within the County right-of-way shall require a separately issued permit from the County.

For City of Medford facilities, the Public Works Maintenance Division requires that public sanitary sewer and storm drain mains be inspected by video camera prior to acceptance of these systems by the City.

Where applicable, the developer shall bear all expenses resulting from the adjustment of manholes to finish grades as a result of changes in the finish street grade.

5. Site Improvements

All on-site parking and vehicle maneuvering areas related to this development shall be paved in accordance with MLDC, Section 10.746, prior to issuance of certificate of occupancy for any structures on the site. Curbs shall be constructed around the perimeter of all parking and maneuvering areas that are adjacent to landscaping or unpaved areas related to this site. Curbs may be deleted or curb cuts provided wherever pavement drains to a water quality facility.

6. System Development Charges (SDC)

Buildings in this development are subject to street, sanitary sewer treatment and stormdrain SDCs. All SDC fees shall be paid at the time individual building permits are issued.

Prepared by: Doug Burroughs

SUMMARY CONDITIONS OF APPROVAL

Southside Center

Phase 1

AC-16-138

A. Streets

1. Street Dedications to the Public:

- **Garfield Street** – Consult with ODOT.
- **Center Drive** – No additional right-of-way required.
- **Belknap Road** – No additional right-of-way required.
- Dedicate 10-foot Public Utility Easement (PUE) along Center Dr.

2. Improvements:

Public Streets

- **Garfield Street** – Consult with ODOT.
- **Center Drive** – Construct Sidewalk with planter strip.
- **Belknap Road** – No improvements required.

Lighting and Signing

- Developer supplies and installs all street lights at own expense.
- City installs traffic signs and devices at Developer's expense.

Access and Circulation

- Ensure access and circulation is in accordance with MLDC 10.550 and 10.426.
- Provide sidewalk connections.
- Provide cross-access easements.

Other

- Submit circulation plan and trip accounting.
- Provide pavement moratorium letters.
- Provide soils report.

B. Sanitary Sewer:

- The site is situated within the RVSS area.

C. Storm Drainage:

- Provide a comprehensive grading and drainage plan.
- Provide water quality and detention facilities, calculations and O&M Manual.
- Provide engineers certification of stormwater facility construction.
- Provide DSL signoff if wetlands are present.
- Provide copy of an approved Erosion Control Permit (1200C) from DEQ for this project.

The above summary is for convenience only and does not supersede or negate the full report in any way. If there is any discrepancy between the above list and the full report, the full report shall govern. Refer to the full report for details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection.



BOARD OF WATER COMMISSIONERS

Staff Memo

TO: Planning Department, City of Medford

FROM: Rodney Grehn P.E., Water Commission Staff Engineer

SUBJECT: AC-16-138

PARCEL ID: 371W32B TL 3604 & 4708

PROJECT: Consideration of Southside Center Phase 1, a proposed commercial and retail center consisting of a restaurant and two multi-tenant commercial buildings, located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 3604 & 4708); Galpin Gang LLC., Applicant (Ron Grimes Architects, Agent). Dustin Severs, Planner.

DATE: December 7, 2016

I have reviewed the above plan authorization application as requested. Conditions for approval and comments are as follows:

CONDITIONS

1. The water facility planning/design/construction process will be done in accordance with the Medford Water Commission (MWC) "Regulations Governing Water Service" and "Standards For Water Facilities/Fire Protection Systems/Backflow Prevention Devices."
2. All parcels/lots of proposed property divisions will be required to have metered water service prior to recordation of final map, unless otherwise arranged with MWC.
3. Installation of 12-inch water lines is required to serve the proposed development. Applicants' civil engineer shall coordinate with MWC Engineering staff for water facility layout.
4. Applicants' civil engineer shall coordinate with MWC Engineering staff for 24-inch welded steel water transmission line potential rerouting to reduce impact to proposed development.
5. Dedication of a 10 foot wide (minimum) access and maintenance easement to MWC over all water facilities located outside of public right-of-way is required. Easement shall be submitted to MWC for review and recordation prior to construction.
6. Installation of an Oregon Health Authority approved backflow device is required for all commercial, industrial, municipal, and multi-family developments. New backflow devices shall be tested by an Oregon certified backflow assembly tester. See MWC website for list of certified testers at the following web link <http://www.medfordwater.org/Page.asp?NavID=35>.
7. Applicants' civil engineer shall coordinate with Medford Fire Department for proposed fire hydrant locations.
8. If a well is located on this parcel it will be required to be abandoned per state regulations.

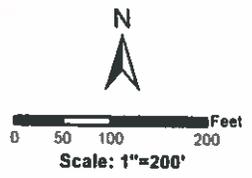
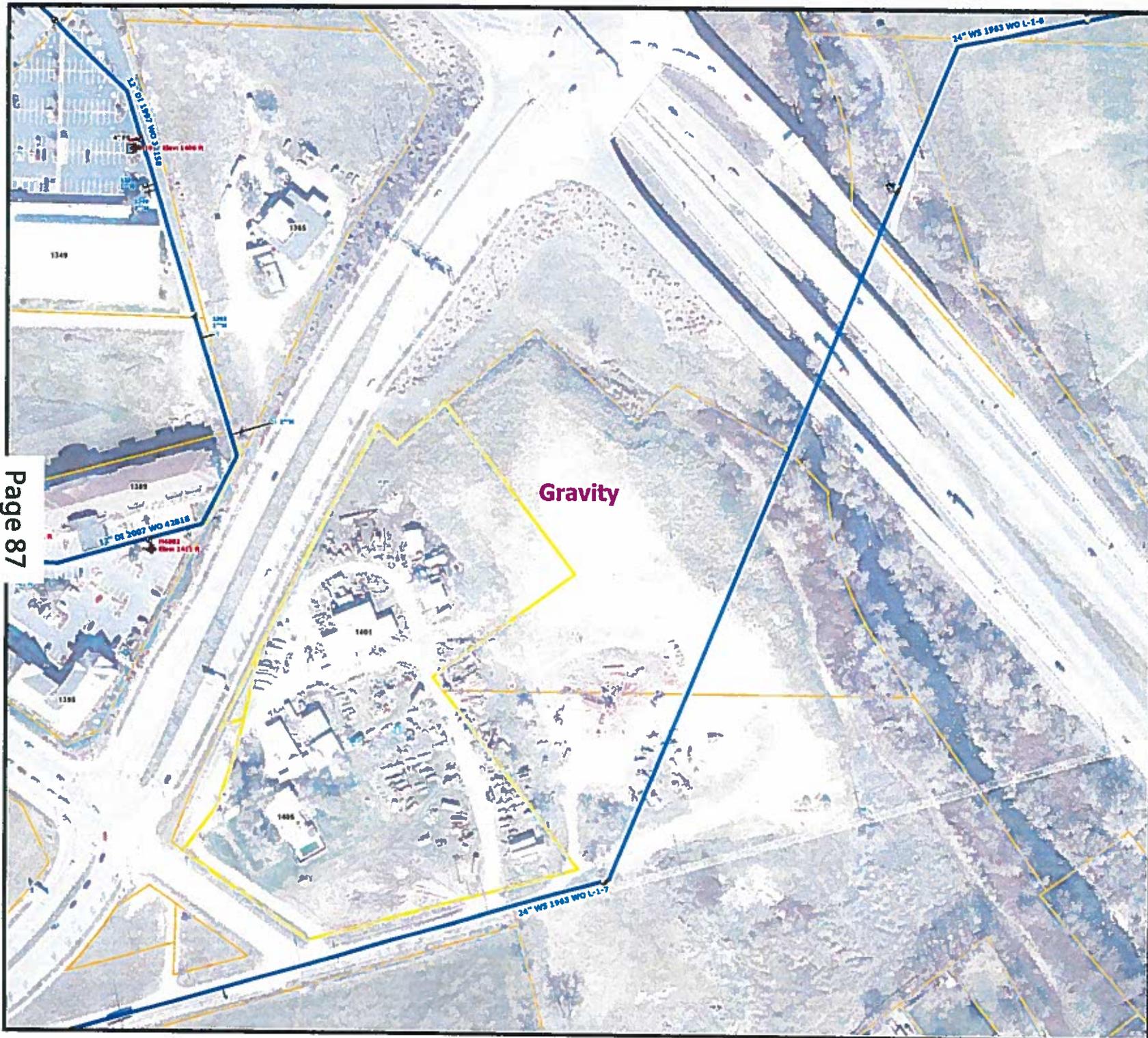
CITY OF MEDFORD
EXHIBIT # L
File # AC-16-138



BOARD OF WATER COMMISSIONERS
Staff Memo

COMMENTS

1. Off-site water line installation is not required.
2. On-site water facility construction is required. (See Condition 3 & 4 above)
3. MWC-metered water service does not exist to this property.
4. Access to MWC water lines is available. There is an existing 24-inch weld steel water transmission line that extends across a portion of these parcels.



**Water Facility Map
for
AC-16-138**

Legend

- Air Valve
- Sample Station
- Fire Service
- Hydrant
- Reducer
- Blow Off
- Plugs-Caps

Water Meters:

- Active Meter
- On Well
- Unknown
- Vacant

Water Valves:

- Butterfly Valve
- Gate Valve
- Tapping Valve

Water Mains:

- Active Main
- Abandoned Main
- Reservoir Drain Pipe
- Pressure Zone Line

Boundaries:

- Urban Growth Boundary
- City Limits
- Tax Lots

MWC Facilities:

- Control Station
- Pump Station
- Reservoir



This map is printed on a digital medium. It is not intended to be used as a legal document. It is not a substitute for a professional survey. It is not a substitute for a professional engineering drawing. It is not a substitute for a professional engineering drawing. It is not a substitute for a professional engineering drawing.



Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Dustin Severs

LD Meeting Date: 12/07/2016

From: Greg Kleinberg

Report Prepared: 12/06/2016

Applicant: Galpin Gang LLC., Applicant (Ron Grimes Architects, Agent

File #: AC - 16 - 138

Site Name/Description: of Southside Center Phase 1

Consideration of Southside Center Phase 1, a proposed commercial and retail center consisting of a restaurant and two multi-tenant commercial buildings, located at the intersection of Garfield Street and Center Drive in the Regional Commercial (C-R) zoning district (371W32B TL 3604 & 4708); Galpin Gang LLC., Applicant (Ron Grimes Architects, Agent). Dustin Severs, Planner.

DESCRIPTION OF CORRECTIONS	REFERENCE
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Requirement FIRE HYDRANTS	OFC	508.5
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Fire hydrants with reflectors will be required for this project.

Fire hydrant locations shall be as follows: Approved locations as submitted.

The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Plans and specifications for fire hydrant system shall be submitted to Medford Fire Department for review and approval prior to construction. Submittal shall include a copy of this review (OFC 501.3).

Requirement FD APPARATUS ACCESS ROAD DESIGN	OFC	503.2.1
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Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches. The required width of a fire apparatus access road shall not be obstructed in any manner, including parking of vehicles. Minimum required widths and clearances established under section 503.2.1, shall be maintained at all times. The fire apparatus access road shall be constructed as asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 60,000 pounds.

(See also OFC 503.4; D102.1)

The turning radius on fire department access roads shall meet Medford Fire Department requirements (OFC 503.2.4).

Requirement PRIVATE FIRE DEPARTMENT ACCESS PARKING RESTRICTION	OFC	503.4
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Parking in fire lanes and fire department turn-around areas shall be posted as prohibited.

Fire apparatus access roads 20-26' wide shall be posted on both sides as a fire lane. Fire apparatus access roads more than 26' to 32' wide shall be posted on one side as a fire lane (OFC D103.6.1).

Where parking is prohibited for fire department vehicle access purposes, NO PARKING-FIRE LANE signs shall be spaced at minimum 50' intervals along the fire lane (minimum 75' intervals in 1 & 2 family residential areas) and at

CITY OF MEDFORD
EXHIBIT # M
File # AC-16-138

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Medford Fire Department

200 S. Ivy Street, Room #180
Medford, OR 97501
Phone: 774-2300; Fax: 541-774-2514;
www.medfordfirerescue.org

LAND DEVELOPMENT REPORT - PLANNING

To: Dustin Severs

LD Meeting Date: 12/07/2016

From: Greg Kleinberg

Report Prepared: 12/06/2016

Applicant: Galpin Gang LLC., Applicant (Ron Grimes Architects, Agent

File #: AC - 16 - 138

Site Name/Description: of Southside Center Phase 1

fire department designated turn-around's. The signs shall have red letters on a white background stating "NO PARKING-FIRE LANE" (See handout).

For privately owned properties, posting/marketing of fire lanes may be accomplished by any of the following alternatives to the above requirement (consult with the Fire Department for the best option):

Alternative #1:

Curbs shall be painted red along the entire distance of the fire department access. Minimum 4" white letters stating "NO PARKING-FIRE LANE" shall be stenciled on the curb at 25-foot intervals.

Alternative #2:

Asphalt shall be striped yellow or red along the entire distance of the fire department access. The stripes shall be at least 6" wide, be a minimum 24" apart, be placed at a minimum 30-60 degree angle to the perimeter stripes, and run parallel to each other. Letters stating "NO PARKING-FIRE LANE" shall be stenciled on the asphalt at 25-foot intervals.

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths (20' wide) and clearances (13' 6" vertical) shall be maintained at all times (OFC 503.4; ORS 98.810-12).

This restriction shall be recorded on the property deed as a requirement for future construction.

A brochure is available on our website or you can pick up one at our headquarters.

Development shall comply with access and water supply requirements in accordance with the Fire Code in affect at the time of development submittal.

Fire apparatus access roads are required to be installed prior to the time of construction. The approved water supply for fire protection (hydrants) is required to be installed prior to construction when combustible material arrives at the site.

Specific fire protection systems may be required in accordance with the Oregon Fire Code.

This plan review shall not prevent the correction of errors or violations that are found to exist during construction. This plan review is based on the information provided only.

Design and installation shall meet the Oregon requirements of the IBC, IFC, IMC and NFPA standards.



ROGUE VALLEY SEWER SERVICES

Location: 138 West Vilas Road, Central Point, OR - Mailing Address: P.O. Box 3130, Central Point, OR 97502-0005
Tel. (541) 664-6300, Fax (541) 664-7171 www.RVSS.us

December 6, 2016

City of Medford Planning Department
200 S. Ivy Street
Medford, Oregon 97501

Re: AC-16-095, Galpin Gang (Map 371W32B, Tax Lot 3604 & 4708)
Ref: ZC-16-077, PA-16-013

ATTN: Dustin,

The subject property is within the Rogue Valley Sewer Services service area. Sewer service to the proposed development will require mainline extension into the property. There is a 21 inch sewer main along Garfield Street to the west and along Interstate 5 to the north.

Rogue Valley Sewer Services requests that approval of this application be subject to the following condition:

1. Sewer improvements shall be designed in accordance with RVSS standards and submitted for approval.
2. Easements must be provided per RVSS standards for public sewer facilities located on private property.
3. The applicant must provide RVSS with a plumbing fixture plan for determination of system development charges.
4. The applicant must pay sewer system development charges to Rogue Valley Sewer Service prior to issuance of a building permit.

Sincerely,

Nicholas R. Bakke

Nicholas R. Bakke, P.E.
District Engineer



Oregon

Kate Brown, Governor

Oregon Department of Transportation
Region 3, District 8
100 Antelope Road
White City, OR 97503
(541) 774-6316
FAX (541) 774-6397

August 29, 2016

DESMOND MCGEOUGH, PLANNER
CITY OF MEDFORD PLANNING DEPARTMENT
200 S. IVY, ROOM 240
MEDFORD, OR 97501

Re: South Side Center Zone Change (ZC-16-077)

Thank you for the opportunity to review the request for a change of zone from SFR-00 (Single Family Residential - one dwelling unit per existing lot) to C-R (Regional Commercial) on 6.56 acres generally located at the east corner of the intersection of Garfield Street and Center Drive. 37S-1W-32B, TLs 3604 and 3605.

- ODOT is requiring the applicant to construct the following mitigation measures per ODOT standards:
 1. Restriping modifications on the I-5 southbound off ramp to allow one lane to feed to the dual left turn lanes and one to feed the right turn lane (within 6 months of building occupancy).
 2. Extending the southbound left turn pocket on Garfield Street at Center Drive to support the left turn queue (by day of opening).
 3. Restriping the southbound movement on Garfield Street at OR 99 to include dual left turn lanes and two through lanes with a shared right turn movement. One of the two inbound lanes to the intersection will feed the dual left turns and one the two through lanes (within 6 months of building occupancy).
 4. Removing the concrete center median on Center Drive (west approach) and adding a second exclusive left turn lane (by day of opening). Additional improvements at this intersection include adding detection to the east approach of Center Drive to utilize the existing center turn lane and modifying signal phasing to remove split phasing for Center Drive east and west approaches (by day of opening).
- Please recommend the applicant contact Permit Specialist, Cathy Harshman at 541-774-6259 to apply for a valid ODOT Road Approach Permit.
- Please recommend the applicant contact Permit Specialist, Roger Allemand at 541-774-6360 to obtain any miscellaneous permits that may be needed for construction within the ODOT right of way.
- An ODOT Drainage Permit is required for connection to State Highway drainage facilities. The applicant must provide ODOT District 8 staff with a preliminary drainage plan showing impacts to the highway right-of-way. A drainage study prepared by an Oregon Registered Professional Engineer is required.

You may contact me at 541-957-3688 if you have any further questions or require additional information.

Thank you,

CITY OF MEDFORD

John McDonald

Senior Transportation Planner, Development Review

Cc: Ron Hughes, Michael Wang, Cathy Harshman, Jeremiah Griffin, Dan Dorrell, Roger Allemand

EXHIBIT 0

File # AC-16-138



MEMORANDUM

Subject South Side Center
File no. AC-16-138
To Dustin Severs, Planner II
From Carla Angeli Paladino, Planner IV, Floodplain Coordinator
Date December 20, 2016

SITE CHARACTERISTICS

- Regional Commercial (C-R) zoning district
- Bear Creek at Northeastern corner and farther east
- Base Flood Elevations established; Floodway established
- Northeast corner of property within 100 and 500 year floodplains
- Riparian corridor established along Bear Creek
- FIRM panel 41029C 1986F effective May 3, 2011
- Storm Drain facilities impacting Floodplain, Floodway, and Riparian Corridor

FLOODPLAIN PERMIT REQUIREMENTS

Project Proposal

Phase 1 of the Southside Center project includes the construction of three buildings, parking, landscaping, and utilities.

- Please include the riparian corridor on the submitted utility plans

Floodplain Regulations

The Medford Floodplain regulations are found in Sections 9.701-9.707 of the Municipal Code.

Encroachments are prohibited in the channel or floodway unless the provisions in 9.706(B) are met. Please demonstrate that the cumulative effect of the proposed development, when combined with all other existing and anticipated development will not increase the water-surface elevation of the base flood more than one foot at any

point within the community. If the proposed project increases the base flood elevation more than one foot than the applicant shall obtain a Conditional Letter of Map Revision (CLOMR) from FEMA before the project may be permitted.

A no-rise analysis and certification is required from a registered professional civil engineer for encroachments in the floodway.

Floodplain Permit

Submit a floodplain application and fee (\$150) along with submittal requirements identified in Section 9.705 (C).

Submit copies of all necessary permits from other governmental agencies from which approval is required prior to start of construction.

Expiration of Floodplain Permit

A floodplain Development Permit shall become invalid unless work is started within 180 days after its issuance. Extensions for periods of not more than 180 days each shall be requested in writing.

Dustin J. Severs

From: Jon M. Proud
Sent: Wednesday, December 14, 2016 1:59 PM
To: Dustin J. Severs
Subject: RE: potential illegally created lots

Dustin, tax lot 4802 is owned by Rogue Federal Credit union and is actually a remnant portion of lot 17 of S Gateway Subdivision, the major portion still being nw across Garfield, (tl 4800). Tax lot 4708 was a remnant part of tl 4702 that was foreclosed upon and sold for back taxes. ODOT left a bunch of remnant parcels when realigning for south Medford interchange that are of no use to the owner so they let them go for taxes. The question remains of what to do with the illegal parcels after their creation. Maybe the new planning director will have a solution.

Thanks, Jon

Jon Proud, L.S.
City Surveyor
200 S. Ivy Street
Medford, Or. 97501
jon.proud@ci.medford.or.us
p.541-774-2126
f.541-774-2552

From: Dustin J. Severs
Sent: Wednesday, December 14, 2016 12:08 PM
To: Jon M. Proud
Subject: potential illegally created lots

Jon,

I have this application coming before SPAC early next month (AC-16-138). I think perhaps the two little lots (4708 and 4802) were not created legally. Could you check on this for me when u get a chance?

Much appreciated,

Dustin Severs
Planner II
City of Medford - Planning Department
Lausmann Annex, 200 S. Ivy Street
Medford, OR 97501
(541) 774-2389

CITY OF MEDFORD
Case # AC-16-138

Dustin J. Severs

From: CAINES Jeff <Jeff.CAINES@aviation.state.or.us>
Sent: Friday, December 09, 2016 12:22 PM
To: Dustin J. Severs
Subject: AC-16-138 - ODA Comments

Dustin:

Thank you for allowing ODA to review the proposed Southside Center Phase 1 development. ODA has reviewed the proposal and have the following comments:

The site is approximately 4.3 miles south of Rough Valley Int'l airport. There is existing development located between the site and the airport in addition to a natural topographical feature (i.e., hill) between the site and the airport.

As a result, ODA finds that the proposed development will not be a hazard to air navigation and that no FAA form 7460-1 will be required.

Please feel free to contact me if you or the applicant have any questions.

Jeff

Jeff Caines, AICP
Oregon Department of Aviation
Aviation Planner / SCIP Coordinator
3040 25th St. SE | Salem, OR 97302
Office: [503.378.2529](tel:503.378.2529)
Cell / Text: [503.507.6965](tel:503.507.6965)
Email: Jeff.Caines@aviation.state.or.us

*****CONFIDENTIALITY NOTICE*****

This e-mail may contain information that is privileged, confidential, or otherwise exempt from disclosure under applicable law. If you are not the addressee or it appears from the context or otherwise that you have received this e-mail in error, please advise me immediately by reply e-mail, keep the contents confidential, and immediately delete the message and any attachments from your system.

CITY OF MEDFORD
EXHIBIT R
 AC-16-138

II. Storm Drainage Facilities

This site lies within the Bear Creek South Drainage Basin. The property may discharge to Bear Creek with the construction of new storm drainage facilities and by obtaining any applicable easements to cross adjacent tax lot(s). There is also an existing storm drainage system along Garfield Street which is under the jurisdiction of the Oregon Department of Transportation (ODOT). If the applicant wishes to connect to these facilities, they shall contact ODOT to determine feasibility and if any applicable permits or easements are required.

This site will be required to provide stormwater quality and detention at time of development in accordance with MLDC, Section 10.729 and/or 10.486.

III. Transportation System

The Public Works Department received a Traffic Impact Report from Southern Oregon Transportation Engineering LLC, dated June 20, 2016, titled "South Side Center SFR-00 to C-R Zone Change" for parcel 371W32B3604 and 3605 consisting of 6.57 acres. Public Works submitted comments and an addendum was received August 8th, 2016. The trip generation for the full potential zone change could not be supported by the transportation system without mitigation so a trip cap has been stipulated to 367 P.M. peak hour trips.

With the stipulated trip cap there is no significant impact to the transportation system since no higher order intersections are impacted by more than 25 P.M. peak hour trips.

Traffic Engineering recommends that the development be conditioned to provide a trip accounting for each phase of development to verify that the trip cap has not been exceeded. An additional traffic impact analysis will be required to remove the trip cap from the property.

At the time of future land division or development permit, Public Works may require additional right-of-way and public utility easement (PUE) dedications and will condition the developer to improve their street frontage to the City's current standards. Improvements shall include paving, drainage, and curb, gutter, street lighting, sidewalk, and planter strips.

Prepared by: Doug Burroughs
Revised by: Jodi K Cope

The above report is based on the information provided with the Zone Change Application submittal and is subject to change based on actual conditions, revised plans and documents or other conditions. A full report with additional details on each item as well as miscellaneous requirements for the project, including requirements for public improvement plans (Construction Plans), design requirements, phasing, draft and final plat processes, permits, system development charges, pavement moratoriums and construction inspection shall be provided with a Development Permit Application.

P:\Staff Reports\CP, DCA. & ZC\ZC only\2016\ZC-16-077 Garfield St (E corner of Interxn Center Dr)\ZC-16-077 Staff Report-DB_Revised.docx

Page 2

PUBLIC WORKS DEPARTMENT
ENGINEERING & DEVELOPMENT DIVISION

200 S IVY STREET
MEDFORD, OREGON 97501
www.ci.medford.or.us

TELEPHONE (541) 774-2100
FAX (541) 774-2552

5
2016

EXHIBIT 5
AC-16-138

SOUTHERN OREGON TRANSPORTATION ENGINEERING, LLC

319 Eastwood Drive - Medford, Or. 97504 – Cell Phone (541) 941-4148 – Email: Kwkp1@Q.com

December 28, 2016

Karl MacNair, Transportation Manager
City of Medford
Public Works/Engineering Division
200 South Ivy Street, Lausmann Annex
Medford, Oregon 97501

RE: South Side Center Trip Accounting

Dear Karl,

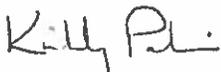
Southern Oregon Transportation Engineering, LLC performed a trip generation review for the first uses proposed at South Side Center, and then compared these generations to what was approved as a trip cap in the South Side Center traffic impact analysis. After an evaluation of trips, it is concluded that the proposed uses are within the trip cap allocation and can be approved. An explanation of these findings is provided below.

Findings:

The South Side Center Phase I development was estimated in a traffic impact analysis to generate 367 trips during the p.m. peak hour. This estimation of trips was based on a phase I site plan that showed approximately 24,713 square feet (SF) of buildings with uses such as banks, specialty retail, and fast-food with drive through lanes. Trip generations for the analysis were based on individual uses to provide a worst case scenario of trips for a trip cap, but the site is ultimately planned as a shopping center with a mix of commercial uses including retail, banks, offices, and eating facilities. The first buildings proposed for South Side Center include a 9,113 SF Cracker Barrel (Building E) and an 8,800 SF multi-tenant commercial building (Building A). The multi-tenant commercial building is planned to include Mod Pizza, Chipotle, and retail uses in the remaining portion. These two buildings are shown to generate 190 p.m. peak hour trips using a shopping center land use, which is higher than what the trips would have been had they been estimated based on a high turnover restaurant and specialty retail center, but as the shopping center develops the trips will even out. After the first two buildings are constructed, the estimated number of remaining trips within the trip cap for Phase I development are 177 p.m. peak hour trips (367 pm trips – 190 pm trips = 177 pm trips). Refer to the attachments for trip generation tables.

If you have any questions or concerns, please feel free to contact me via email or on my cell phone.

Sincerely,



Kimberly Parducci PE, PTOE
SOUTHERN OREGON TRANSPORTATION ENGINEERING, LLC



Cc: Client

Attachments: Trip Generation Tables

CITY OF MEDFORD
EXHIBIT # T
FILE # AC-16-138

SOUTH SIDE CENTER TRIP GENERATION TABLES

TABLE 1 - PROPOSED SOUTH SIDE CENTER PHASE 1 TRIP GENERATIONS

ITE Land Use	Description	Unit (SF)	PM Rate	Buildings						Total SF	Total PM Trips
				A	B	C	D	E	F		
932	High Turnover Sit Down Restaurant	1000	9.85						9,113	9,113	90
934	Fast Food with drive thru	1000	32.65			3,000	2,400	-		5,400	176
912	Drive-in Bank	1000	24.3		2,500					2,500	61
826	Specialty Retail Center	1000	5.19	7,700						7,700	40
									Subtotal	24,713	367

Note: PM rate for specialty retail center based on fitted curve equation.

TABLE 2 - ACTUAL SOUTH SIDE CENTER PHASE 1 TRIP GENERATIONS (as of 12/28/2016)

ITE Land Use	Description	Unit (SF)	PM Rate	Buildings						Total SF	Total PM Trips
				A	B	C	D	E	F		
820	Shopping Center	1000	Fitted	8,880					9,113	17,993	190

Note: PM rate for shopping center land use is based on the fitted curve equation.

$\ln(T) = 0.67 \ln(X) + 3.31$



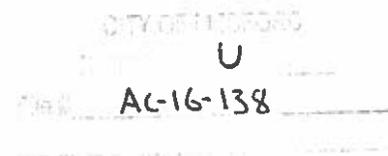
MEMORANDUM

Date 12/29/16
To Doug Burroughs, Development Services Manager
From Karl MacNair, Transportation Manager *KM*
Subject South Side Center Phase I – Trip Accounting (AC-16-138)

We have received a letter from Southern Oregon Transportation Engineering, LLC, dated December 28, 2016, entitled *South Side Center Trip Accounting*.

The letter is a trip generation review for the first uses proposed in Buildings A and E. ZC-16-077 established a trip cap on the site of 367 PM peak hour trips. The first buildings proposed for South Side Center are a 9,113 SF Cracker Barrel Restaurant (Building E) and an 8,800 SF multi-tenant building (Building A) to include Mod Pizza, Chipotle, and retail uses in the remaining portion. Trip generation for these buildings is calculated using the fitted curve equation provided in the ITE Trip Generation Manual for Shopping Center (ITE code 820).

Buildings A and E are shown to generate 190 PM peak hour trips, leaving 177 PM peak hour trips for the remainder of the South Side Center Phase 1 development. Public Works takes no exception to the findings presented in this letter.





City of Medford Planning Department

Vicinity
Map

File Number:
AC-16-138



Project Name:

Southside Center, Phase 1

Map/Taxlot:

371W32B TL 3604, 4708, 4802



12/14/2016

Legend

-  Subject Area
-  Medford Zoning
-  Tax Lots
-  Streets

