



MEDFORD PLANNING

Date: October 13, 2020

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Building Department | <input checked="" type="checkbox"/> Avista Utilities | <input type="checkbox"/> Medford Irrigation District |
| <input checked="" type="checkbox"/> City Attorney – Katie Zerkel | <input checked="" type="checkbox"/> Charter Communications | <input checked="" type="checkbox"/> Medford School Dist. 549C |
| <input checked="" type="checkbox"/> Engineering- Jodi Cope | <input checked="" type="checkbox"/> Pacific Power & Light | <input checked="" type="checkbox"/> ODOT |
| <input checked="" type="checkbox"/> Engineering – Mike Casper | <input checked="" type="checkbox"/> Centurylink | <input type="checkbox"/> Phoenix School District 4 |
| <input checked="" type="checkbox"/> Engineering – Karl MacNair | <input checked="" type="checkbox"/> Rogue Disposal | <input checked="" type="checkbox"/> Rogue River Valley Irrigation |
| <input checked="" type="checkbox"/> Engineering – Jennifer Ingram | <input checked="" type="checkbox"/> Rogue Valley Transit District | <input checked="" type="checkbox"/> RVSS |
| <input checked="" type="checkbox"/> Fire Department | <input checked="" type="checkbox"/> US Post Office | <input checked="" type="checkbox"/> R.V. International Airport |
| <input checked="" type="checkbox"/> Parks & Recreation | <input checked="" type="checkbox"/> Federal Aviation Administration | <input type="checkbox"/> Talent Irrigation District |
| <input checked="" type="checkbox"/> Police Department | <input type="checkbox"/> Jackson Co. Admin. Officer | <input checked="" type="checkbox"/> OR Dept. of Aviation |
| <input checked="" type="checkbox"/> Water Commission | <input type="checkbox"/> Jackson Co. Health Department | <input checked="" type="checkbox"/> Central Point School Dist 6 |
| <input type="checkbox"/> City Manager | <input checked="" type="checkbox"/> Jackson Co. Planning | <input checked="" type="checkbox"/> City of Central Point |
| <input type="checkbox"/> Floodplain – Liz Conner | <input checked="" type="checkbox"/> Jackson Co. Roads | <input type="checkbox"/> |
| <input type="checkbox"/> Urban Renewal (MURA) | <input type="checkbox"/> Jackson Co. Surveyor | <input type="checkbox"/> |

File No. AC-20-270

Project Name: Bull Engineering Steel Building

Agent Contact:

Mike Bull
michaelbullpe@gmail.com

Consideration of plans for the construction of a 7,500 square foot pre-fabricated steel building. The development is proposed on a single parcel totaling 0.5 acres, and is located at 4888 Airway Drive within the I-L (Light Industrial) zoning district. The property also includes a Restricted Zoning (RZ) Administrative Mapping Category (371W06BB TL 402).

Planner:

Dustin Severs
dustin.severs@cityofmedford.org

Associated files: None

Attached are documents for your review. Please investigate and submit to the Planning Department, within ten (10) working days, a written report setting forth any necessary conditions as required of your department/agency for approval of the above project.

If your proposed conditions of approval include the dedication of land for public use or the provision of public improvements, please submit written findings with supporting data or information that justify the requirements. Specifically, the findings must show that there is an essential connection between your requirements and a legitimate government purpose, and that there is a rough proportionality between the burden of the requirement on the developer and the impacts of the proposed development on public facilities and services. All requirements may be strictly scrutinized by the courts and must have legitimate authority so that they will not result in a taking of private property.

If no comments are received within the 10-day review period, it will be assumed that there are no comments.

A Land Development Committee meeting is scheduled for Wednesday, October 28, 2020, at 9:30 a.m. via Zoom webinar.

Topic: Land Development Meeting

Link to join the webinar: <https://zoom.us/j/451911481>

Webinar ID: 451 911 481

Or iPhone one-tap:

US: +16699006833,,451911481# or +13462487799,, 451911481#

Or Telephone:

Dial (for higher quality dial a number based on your current location):

US: +1 669 900 6800 or +1 346 248 7799 or +1 929 205 6099 or +1 253 215 8782 or +1 301 715 8592

Or +1 312 626 6799

International numbers available: <http://zoom.us/u/aNbmsEjin>

Bull Engineering LLC

PO Box 1273 Eagle Point, OR 97524 | 503-708-3891 | michaelbullpe@gmail.com

9/8/20

City of Medford
411 W 8th Street
Medford, OR 97501
541-774-2380

**Re: 4880 Airway Drive SPAC -Type III
Applicant Questionnaire**

Section I – Narrative:

The owner and applicant are proposing a new 7,500 sf industrial building on this existing 0.5ac tax lot (tl402). This scale and aesthetics of this new development will be very similar to the existing facilities within the Airway Drive subdivision. This will include a paved parking area, fenced storage area behind the building, site and street frontage landscaping, and a pre-engineered / pre-fabricated steel building. The interior of the building will largely be warehouse work space. In the northwest corner there will be a lobby/customer entrance. Above this area and along the entire western end of the building there will be a 1,000sf mezzanine that will serve as an office area.

The site will be served by public water and sewer and will treat/detain the on-site stormwater prior to discharging it off-site via an existing storm pipe along the eastern edge of the property. Vehicular access will be onto Airway Drive via a new driveway approach and the proposed parking meets the current LDO standards. Pedestrian access will also be from the public sidewalk within the Airway Drive right-of-way via a new concrete walkway from the existing sidewalk to the front door of the new building.

Section II – Compatibility Criterion No 1 for commercial and industrial development

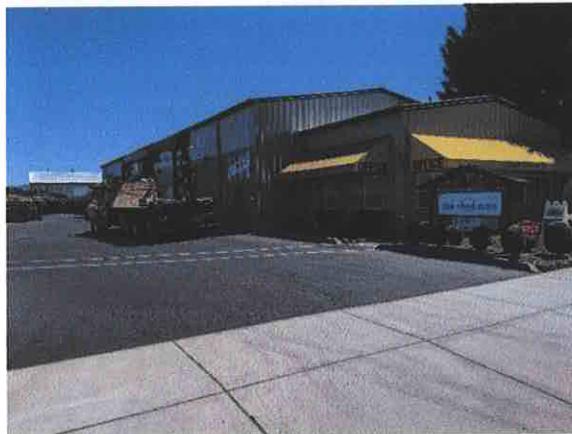
- A) List Existing uses and development adjacent to your project site. Along with this list, describe the architecture, age, and condition of the adjacent buildings.
 - a. *The property to the north is currently vacant, but is zoned light industrial (same as subject property). So, this proposal for development should be compatible with that future use.*



The property to the west is an existing light industrial facility in similar size (lot and building) and finish (pre-engineered metal building) as this proposed development. The 6,250sf building was built in 2008 and is in good condition.



The property to the south is an existing light industrial facility in similar size (lot and building) and finish (pre-engineered metal building) as this proposed development. The 5,000sf building was built in 2005 and is in good condition.



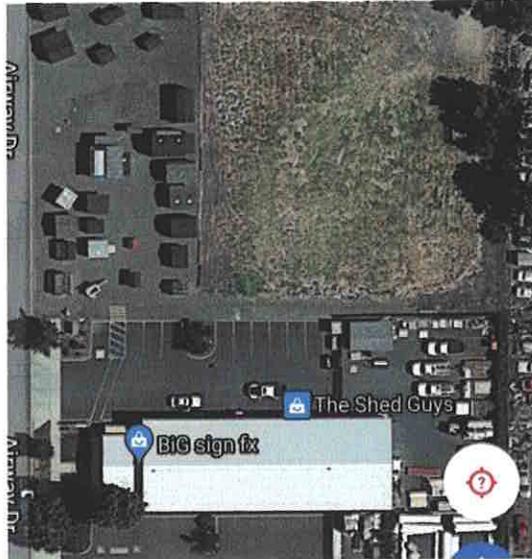
The property to the east is an existing light industrial facility on a larger 4.5ac lot. The existing building is 3,800sf and is in average condition considering its age. The overall site is largely underdeveloped.



- B) Describe the building architecture and exterior treatments in your proposal, and how they fit with and compliment adjacent buildings and developments.
- a. *The building will be just like those to the East, West, and South in that it will be a pre-engineered metal building with painted metal siding (vertical metal panels screwed into the internal structural members). The North, West, and East sides will have a cantilevered roof overhang to breakup the wall lines. There will be four roll up doors on the north side and two on the east side, which will act as a visual break along these walls. In the northwest corner there will be large windows into the office area and a visible customer entrance that will be noticeable from the parking lot and public right of way. All these features are similar in scale and type to those buildings already in place along Airway Dr. The exterior colors are Polar White (roof), Slate grey (walls), and Charcoal grey (trim), which match the adjacent buildings earth tones.*
- C) Describe the proposed architecture and exterior treatments that break up large facades and give relief to the building mass.
- a. *These features are limited due the industrial nature of this building type and zoning. However, the roof will cantilever over the exterior wall lines on the north, east, and west sides. There will be a total of six roll up doors (2- east and 4 north) that are 14' wide, which break up the metal siding. The northwest corner will also have large windows and a customer entrance that is unique to the rest of the building.*
- D) Describe how the placement and orientation of the proposed building relate to the street facilities, and how this orientation promotes a more pedestrian-friendly site design.
- a. *The building is orientated such that the office area and customer entrance are as close to the right of way as the front yard setback will allow. Pedestrians will be able to follow an ADA compliant route from the parking area or public sidewalk to enter the front door into the office/lobby. This placement also allows the fenced storage area to lie behind the building and out of direct line of sight from the street.*
 - b. *There are no transit stops (existing or proposed) within 600' of the project site.*
- E) Describe the pedestrian facilities and amenities on your site and how they will function for pedestrians.
- a. *There will be a portable gazebo placed outside of the building (not within any setbacks).*
- F) Describe vehicle and pedestrian access to the site and how it relates internally on the site and to adjacent sites.
- a. *Vehicles will enter the site from the west side (Airway Dr) via a 24' wide driveway. Passenger vehicles will be able to park along the north side of this drive aisle (abutting the northern boundary of the site). Delivery trucks and employees vehicles may access the storage area via a gated vehicle entrance to the east end of the development. If needed these vehicles can travel through this area and onto the paved parking area to the south (separate tax lot). This lot has the same owner). Pedestrian access to the site will be from a concrete walkway*

that connects to the public sidewalk on the west end and leads into the office/lobby on the east end.

- G) Describe if and how the proposed plan is sensitive to retaining any existing trees or significant native vegetation on the site.
- a. *The existing site has been continuously mowed and used for outdoor storage. There is no significant existing native vegetation. See aerial photo below:*



- H) Describe stormwater detention facilities on the site. If these facilities will be landscaped areas, describe how the proposed landscaping will be integrated with other landscaping on the site.
- a. *The stormwater detention facility is located along the eastern edge of the site (running from south to north property lines) and is approximately 15' wide. This is a vegetated facility per the landscape plan. This area is both visually and practically separated from the frontage landscaping. So, there is no intentional continuity between these spaces. With all landscaping areas will be irrigated to ensure they stay healthy through the dry summer/fall months. The landscaped area will be seeded with a specific riparian mix (specified to meet stormwater design standards). No other areas on site need to meet that standard, which is the justification behind the discontinuity.*
- I) Describe how your proposed landscaping design will enhance the building and other functions on the site.
- a. The site landscaping will soften the visual appearance and impression from the public right of way to both pedestrians and vehicles. Vehicles and pedestrians that enter the site will pass through landscaping on both sides of the entrance. These landscaping features will include trees, shrubs, and ground cover. These features will break up the proposed building lines and visually separate the roadway from the private site. Additional landscape information includes:
 - i. 74' of frontage landscaping
 - ii. Trees: required: 2.2 provided: 2
 - iii. Shubs: required: 9 provided: 13
 - iv. Buffer yard and parking area landscaping: NA
- J) Describe how your exterior lighting illuminates the site, and explain how the design of fixtures does not diminish a view of the night sky, or produce glare on adjacent properties, consistent with the standards in section 10.764.
- a. *The north, east, and west sides of the building will have downward facing exterior lighting controlled by a photovoltaic sensor. These three sides have roof overhangs so no light will be*

seen from above the site. Lighting will be directed downwards with appropriate shielding so that light pollution does not impact any residential properties (per 10.764), but does provide safety and visual awareness for customers and employees on this site.

K) Describe any proposed signage and how it will identify the location of the occupant and serve as an attractive complement to the site.

a. *A sign very similar to the one shown below will be located between the building and the public ROW. It will provide the business name and compliment the overall sign aesthetics.*



L) Explain any proposed fencing, including its purpose, and how you have included it as a functional, attractive component of your development (10.731-10.733)

a. *Fencing will consist of a 6' tall chain link fence with vision obscuring slats and barbwire placed above that (not to exceed 8' in height). No fencing is proposed within the front yard setback. The purpose of this fencing is to provide a safe and secure storage area behind the building. The vision slats will shelter the view from the street and parking area from the stored material.*

M) Explain how any potential noise generated by future occupants will be mitigated on the proposed site, consistent with the standards of Sections 10.752-10.761.

a. *The proposed business does not produce loud noises due to equipment or business practices. The few small power tools that are used are operated within the enclosed building to dampen and noise from adjacent properties.*

N) Explain anything else about your development that adds to the compatibility of the project with adjacent development and uses.

a. *This project is almost identical in scope, scale, and use as all of the other light industrial developments along Airway Dr. From the building type and size, to the landscaping, parking area, and storage behind the building, this proposal will fit seamlessly into this subdivision.*

O) List and explain any exceptions or modifications requested and provide reasons for such.

a. *None.*

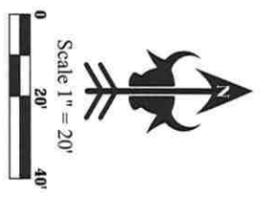
P) Section 10.780(c)(2) List any petition for relief of landscaping standards.

a. *None.*

Sincerely,

Michael Bull, PE

- LEGEND**
- PROPERTY LINE
 - ▨ PROPOSED HEAVY PAVEMENT
 - ▨ PROPOSED LIGHT PAVEMENT
 - ▨ PROPOSED BUILDING
 - ▨ PROPOSED LANDSCAPE
 - ▨ PROPOSED FENCE
 - ▨ PROPOSED WATER QUALITY BASIN
 - ▨ PROPOSED BASIN CONTROL OUTLET
 - ▨ EXISTING PAVEMENT
 - ▨ EXISTING DRIVEWAY
 - ▨ EXISTING FENCE
 - ⊗ EXISTING STREET TREE

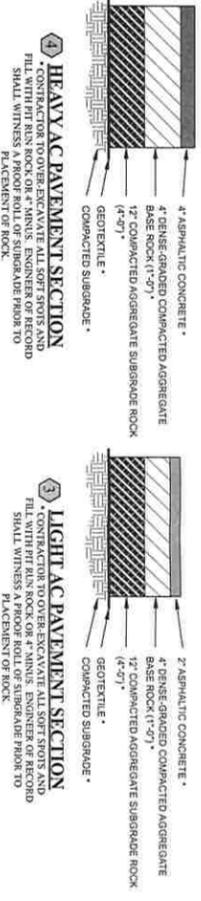
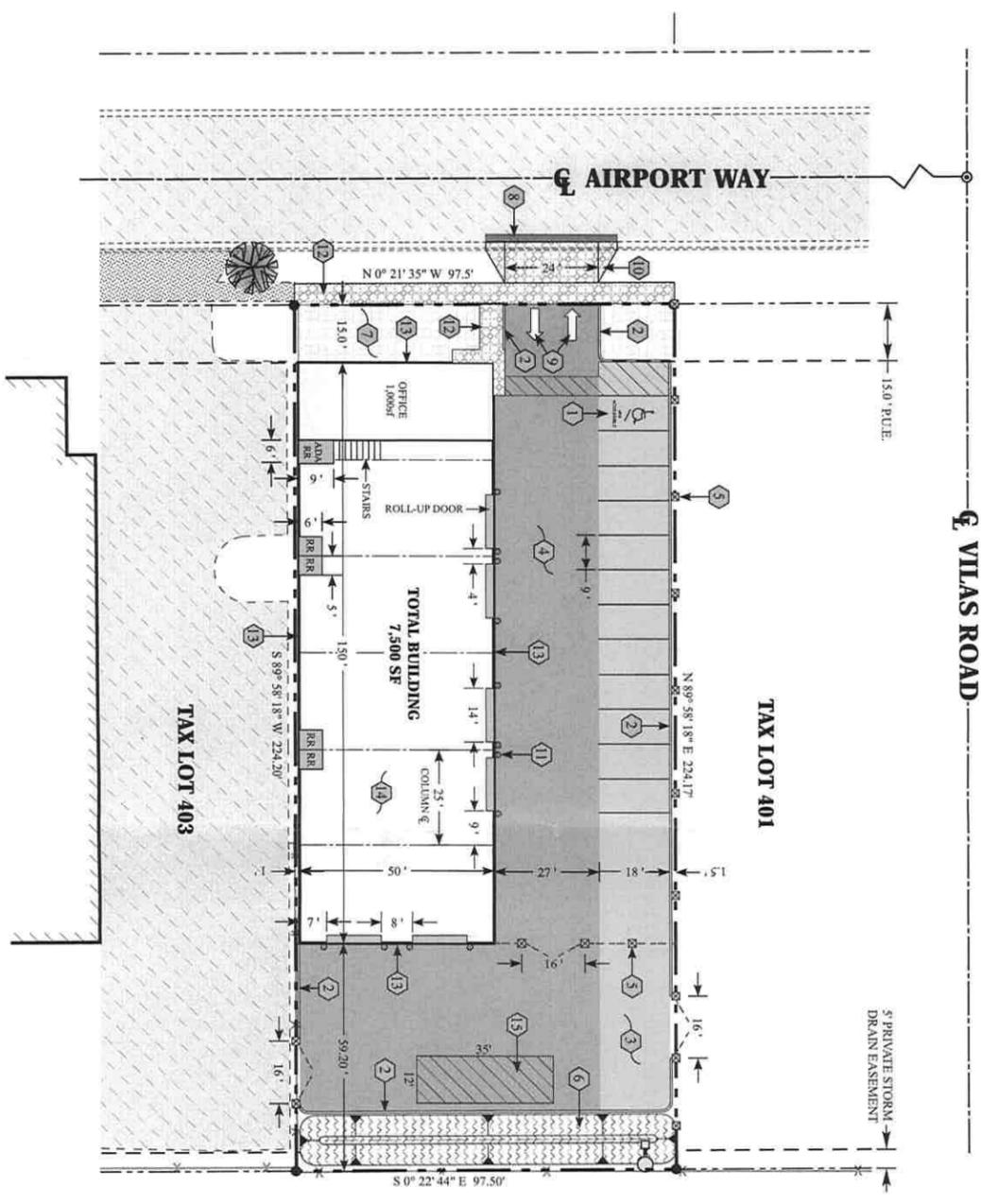


PROJECT INFORMATION

TOTAL SITE AREA: 0.502 AC (21,857 sq ft)
 ASPHALT PAVING: 0.258 AC (11,251 sq ft)
 BUILDING: 0.172 AC (7,500 sq ft)
 IMPERVIOUS AREA: 0.430 AC (18,751 sq ft) 85.88%
 PERVIOUS AREA: 0.071 AC (3,106 sq ft) 14.2%

PARKING DATA

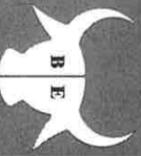
- 7,500 SF WAREHOUSE @ 0.2 STALL PER 1000 SF = 1.5 STALLS
- MOST NUMBER OF EMPLOYEES ON ONE SHIFT = 10
- REQUIRED PARKING = 11.5 STALLS
- TOTAL PROVIDED = 12 STALLS



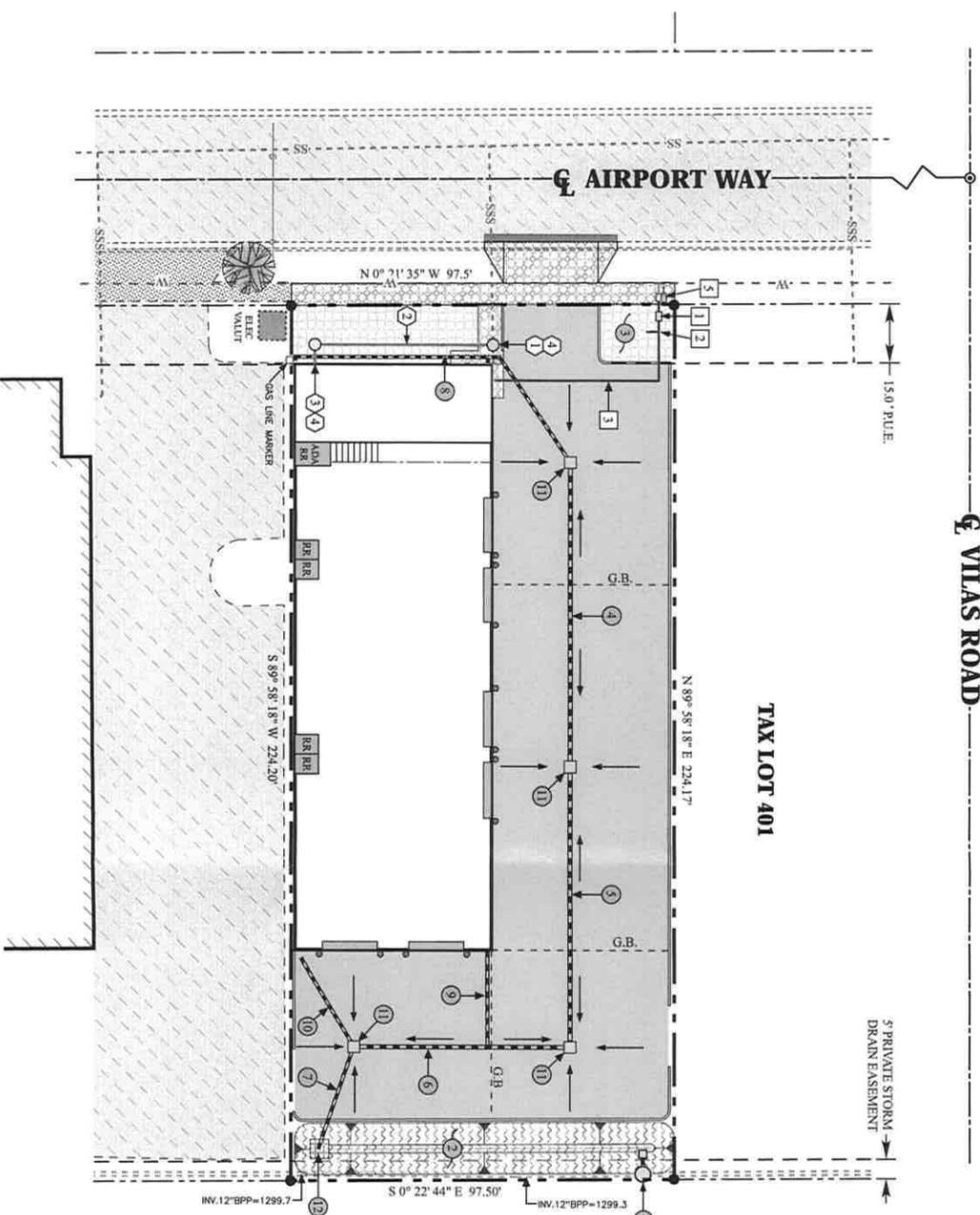
- CONSTRUCTION NOTES**
1. CONSTRUCT TYPICAL VAN ADA ACCESSIBLE PARKING STALL INCLUDING ADA APPROVED SYMBOL AND SIGN. SEE ADA ACCESSIBLE PARKING STALL DETAIL ON C21 SHEET. SEE ADA ACCESSIBLE SYMBOL AND SIGN DETAILS ON SHEET C2.1.
 2. CONSTRUCT VERTICAL CURB. SEE DETAIL ON SHEET C2.1.
 3. CONSTRUCT LIGHT AC PAVEMENT SECTION. SEE CROSS SECTION THIS PAGE. SEE GEOTECHNICAL REPORT PREPARED BY GALL GROUP FOR SPECIFICATIONS.
 4. CONSTRUCT HEAVY AC PAVEMENT SECTION. SEE CROSS SECTION THIS PAGE. SEE GEOTECHNICAL REPORT PREPARED BY GALL GROUP FOR SPECIFICATIONS.
 5. INSTALL CHAIN LINK FENCE W/ SCREENING SLATS, WITH 3 STRANDS BARB WIRE ON TOP. NOT TO EXCEED 8' TALL.
 6. PROPOSED STORMWATER MANAGEMENT BASIN. SEE GRADING AND UTILITY PLANS FOR CONSTRUCTION INFORMATION.
 7. SEE LANDSCAPE PLAN FOR DETAILS.
 8. SAWCUT EXISTING ASPHALTIC CONCRETE WHERE NEW ASPHALT TO ABUT. SAWCUT SHALL BE PLUMB AND STRAIGHT THE LENGTH OF THE CUT. HORIZONTAL DEVIATIONS AND BROKEN EDGES ARE TO BE AVOIDED. ALL JOINTS TO TACKED PRIOR TO PAVING AND SAND SEALED.
 9. CONSTRUCT LANE DELINEATION MARKERS.
 10. CONSTRUCT CONCRETE DRIVEWAY PER DETAIL AS SHOWN ON SHEET C2.1.
 11. CONSTRUCT BOLLARD ON EACH SIDE OF ROLL-UP DOOR PER DETAIL SHOWN NO SHEET C2.1.
 12. CONSTRUCT CONCRETE SIDEWALK PER DETAIL AS SHOWN ON C2.1.
 13. EXTERIOR LIGHTING TO BE INSTALLED ON ALL SIDES OF THE BUILDING DIRECTED DOWNWARDS AND CONTROLLED BY A PHOTO VOLTAGE EYE.
 14. MAXIMUM BUILDING HEIGHT: 25' ABOVE GROUND LEVEL.
 15. DESIGNATED LOADING AREA.

GENERAL NOTES

1. THE ASPHALT CONCRETE MIX DESIGN SHALL BE SUBMITTED A MINIMUM OF SEVEN (7) DAYS PRIOR TO SCHEDULING THE PRE-MEETING MATERIALS AND WORKMANSHIP SHALL BE SPECIFIED IN SECTION 00745 OF THE ODOT STANDARD SPECIFICATION.
2. ALL CONCRETE SHALL BE 3000 PSI AT 28 DAYS UNLESS OTHERWISE SPECIFIED.
3. PLACEMENT OR STORAGE OF SPOILS FROM THE UTILITY LINE TRENCHES IS NOT PERMITTED ON HARD SURFACE STREETS WITHIN PUBLIC RIGHT-OF-WAY. SPOILS STORED IN OTHER RIGHT-OF-WAY AREAS SHALL BE COVERED TO PREVENT EROSION.
4. STOCKPILED MATERIALS OR EQUIPMENT SHALL NOT BE STORED OVERNIGHT WITHIN TEN (10) FEET OF AN ACTIVE LANE.
5. GRANULUM MATERIALS SHALL BE OBTAINED FROM A SOURCE APPROVED BY JACKSON COUNTY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF THE MATERIAL SOURCE PRIOR TO ANY GRANULUM MATERIAL PLACEMENT AND SHALL NOT CHANGE MATERIAL SOURCE WITHOUT PRIOR WRITTEN APPROVAL.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH JACKSON COUNTY ROADS 48 HOURS IN ADVANCE OF DRIVEWAY CONSTRUCTION.
7. ITEMS NOT SHOWN, BUT NECESSARY FOR SUCCESSFUL COMPLETION OF THIS PROJECT MAY BE REQUIRED BY JACKSON COUNTY ROADS.
8. THE CONTRACTOR SHALL NOT PERFORM WORK WITHOUT AGENCY INSPECTIONS WHERE INSPECTIONS ARE REQUIRED BY THE SPECIFICATIONS.
9. THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF THE CURRENT OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, AND THE CURRENT SUPPLEMENTAL STANDARD SPECIFICATIONS OF JACKSON COUNTY.
10. ALL ADA ACCESSIBLE FACILITIES SHALL BE INSTALLED PER THE CURRENT ADA REQUIREMENTS.
11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE ACCESSIBLE PATH OF THE TRAVEL COMPLIES WITH THE AMERICAN DISABILITIES ACT AND ALL LOCAL CODES.
12. OWNER TO OBTAIN A ROADWAY/APPROACH PAINT FROM JACKSON COUNTY ROADS PRIOR TO THE START OF WORK, AND FOLLOW CONDITIONS, DETAILS, AND REGULATIONS AS STIPULATED THEREIN.
13. PRIOR TO SCHEDULING THE PRE-CONSTRUCTION MEETING, THE OWNER WILL OBTAIN AN EROSION CONTROL PERMIT FROM DDAQ AND PROVIDED A COPY TO JACKSON COUNTY ROADS.
14. ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-01-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER AT (503) 232-1967 OR (800) 333-2344.
15. CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN AND/OR MAINTAIN EXISTING PUBLIC STREETS OF SOIL OR OTHER DEBRIS DEPOSITED BY CONSTRUCTION OPERATIONS AND REPAIR ALL STREETS DAMAGED BY THE CONSTRUCTION OPERATIONS IN A TIMELY MANNER TO AVOID INCONVENIENCES OR HAZARDS TO THE PUBLIC AS DIRECTED BY THE ENGINEER.
16. SATURDAY OR WEEKEND WORK SCHEDULES MUST BE APPROVED BY THE COUNTY ENGINEER. REQUESTS MUST BE RECEIVED BY NOON THE PRECEDING WEDNESDAY. PROCEEDING THE WORK, SO THAT JACKSON COUNTY STAFF CAN COORDINATE INSPECTIONS COVERAGE. THERE IS A TWO-HOUR MINIMUM CHARGE OR HOWEVER LONG THE INSPECTOR IS REQUIRED.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH VARIOUS UTILITY COMPANIES REGARDING INSTALLATION OR PROTECTION OF THEIR FACILITIES. A PRE-CONSTRUCTION MEETING WILL BE REQUIRED PRIOR TO THE START OF CONSTRUCTION.
18. REQUESTS FOR CHANGES TO THE PLANS MUST BE IN WRITING AND APPROVED BY THE CONSULTING ENGINEER AND THE AGENCY'S ENGINEER BEFORE CHANGES ARE IMPLEMENTED.
19. TRASH RECEPTACLE TO BE LOCATED WITHIN FENCED STORAGE YARD.

 SP	AIRWAY INDUSTRIAL - TAX LOT 402 4888 AIRWAY DR. CENTRAL POINT, OR 97502 Jackson County, Oregon	SITE PLAN	Bull Engineering
	Date: 08/21/2020	Scale: 1" = 20'	Design by: MB

- LEGEND**
- PROPERTY LINE
 - ▨ PROPOSED HEAVY PAVEMENT
 - ▨ PROPOSED LIGHT PAVEMENT
 - ▨ PROPOSED BUILDING
 - ▨ PROPOSED LANDSCAPE
 - ▨ PROPOSED WATER QUALITY BASIN
 - ▨ PROPOSED STORM DRAIN W/ CATCH BASIN
 - ▨ PROPOSED GRADE BREAK
 - PROPOSED SURFACE FLOW DIRECTION
 - ▨ EXISTING PAVEMENT
 - ▨ EXISTING DRIVEWAY
 - ▨ EXISTING FENCE
 - ▨ EXISTING STREET TREE



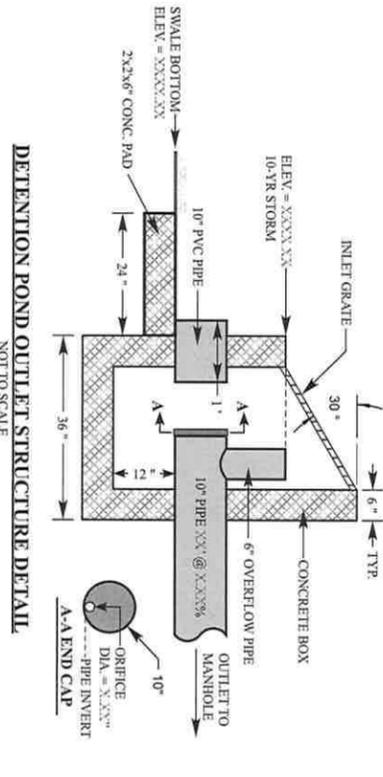
- STORM DRAIN CONSTRUCTION NOTES**
- 1 SEE OUTLET CONTROL STRUCTURE DETAIL ON THIS SHEET.
 - 2 SEE DETAIL SHEET CA.2 FOR STORM/WATER SWALE DETAILS AND NOTES.
 - 3 ANY WORK WITHIN THE PUE IS SUBJECT TO DAMAGE/REMOVAL BY UTILITIES.
 - 4 INSTALL 78 LF OF 8" PVC STORM PIPE @ X.XX%.
 - 5 INSTALL 72 LF OF 8" PVC STORM PIPE @ X.XX%.
 - 6 INSTALL 55 LF OF 8" PVC STORM PIPE @ X.XX%.
 - 7 INSTALL 28 LF OF 8" PVC STORM PIPE @ X.XX%.
 - 8 INSTALL 85 LF OF 6" PVC STORM PIPE @ X.XX% FOR ROOF DRAINS STUB @ BLDG. CORNERS.
 - 9 INSTALL 25 LF OF 6" PVC STORM PIPE @ X.XX% FOR ROOF DRAINS STUB @ BLDG. CORNERS.
 - 10 INSTALL 27 LF OF 6" PVC STORM PIPE @ X.XX% FOR ROOF DRAINS STUB @ BLDG. CORNERS.
 - 11 INSTALL STORM DRAIN/CDR304 CATCH BASIN PER DETAIL AS SHOWN ON SHEET CA.2.
 - 12 DISCHARGE STORM PIPE INTO MIN. 4" DIA. RIVER ROCK. ROCK ENERGY DISSIPATION PAD SHOULD BE 4' X 4' AND MIN. 6" THICK.

- SEWER CONSTRUCTION NOTES**
- 1 CONNECT TO 4" SANITARY SEWER PIPE STUB. CONTRACTOR SHALL PATCH EXISTING STUB 5 BUSINESS DAYS PRIOR TO COMMENCING WORK TO VERIFY ELEVATION, SIZE, AND LOCATION. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCIES EXIST.
 - 2 INSTALL 45 LF OF 4" SANITARY SEWER PIPE.
 - 3 INSTALL 5 LF OF 4" SANITARY SEWER PIPE STUB LATERAL 2' FROM FACE OF BUILDING.
 - 4 INSTALL SANITARY SEWER CLEANOUT, SEE DETAIL ON SHEET CA.1.
- *SEE MECHANICAL/PLUMBING PLANS FOR CONTINUATION THROUGH BUILDING I.E. @ BUILDING: XXXX MINIMUM SLOPE: 2%.

- WATER CONSTRUCTION NOTES**
- 1 INSTALL DOUBLE CHECK ASSEMBLY AND VALVE FOR THE DOMESTIC SERVICE PER MWC STANDARDS. SEE PLUMBING AND MECHANICAL PLANS.
 - 2 INSTALL 1.5" WATER SERVICE LINE WITH "T" FOR BUILDING CONNECTION AND LANDSCAPE USE AFTER CHECK VALVE ASSEMBLY.
 - 3 INSTALL 57 LF OF 1.5" DOMESTIC WATER LINE.
 - 4 STUB " DOMESTIC WATER LINE 1' FROM THE BUILDING SEE THE MECHANICAL/PLUMBING PLANS FOR CONTINUATION.
 - 5 ADJUST EXISTING WATER METERS TO SIDEWALK GRADE.

PACIFIC POWER & LIGHT CONSTRUCTION NOTE

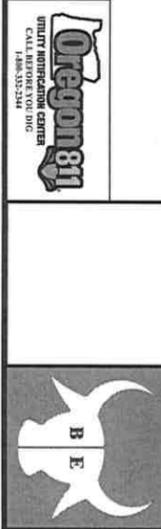
- WORK ORDER #: XXXX
- ◆ RUN XXX 4" CONDUITS FROM EXISTING VAULT ALONG THE SOUTHERN PROPERTY LINE TO THE SW CORNER OF THE BUILDING PER THE P&L ESR AGREEMENT.
 - ◆ CONTRACTOR SHALL ADHERE TO THE SPECIFICATIONS LISTED IN THE ESR.

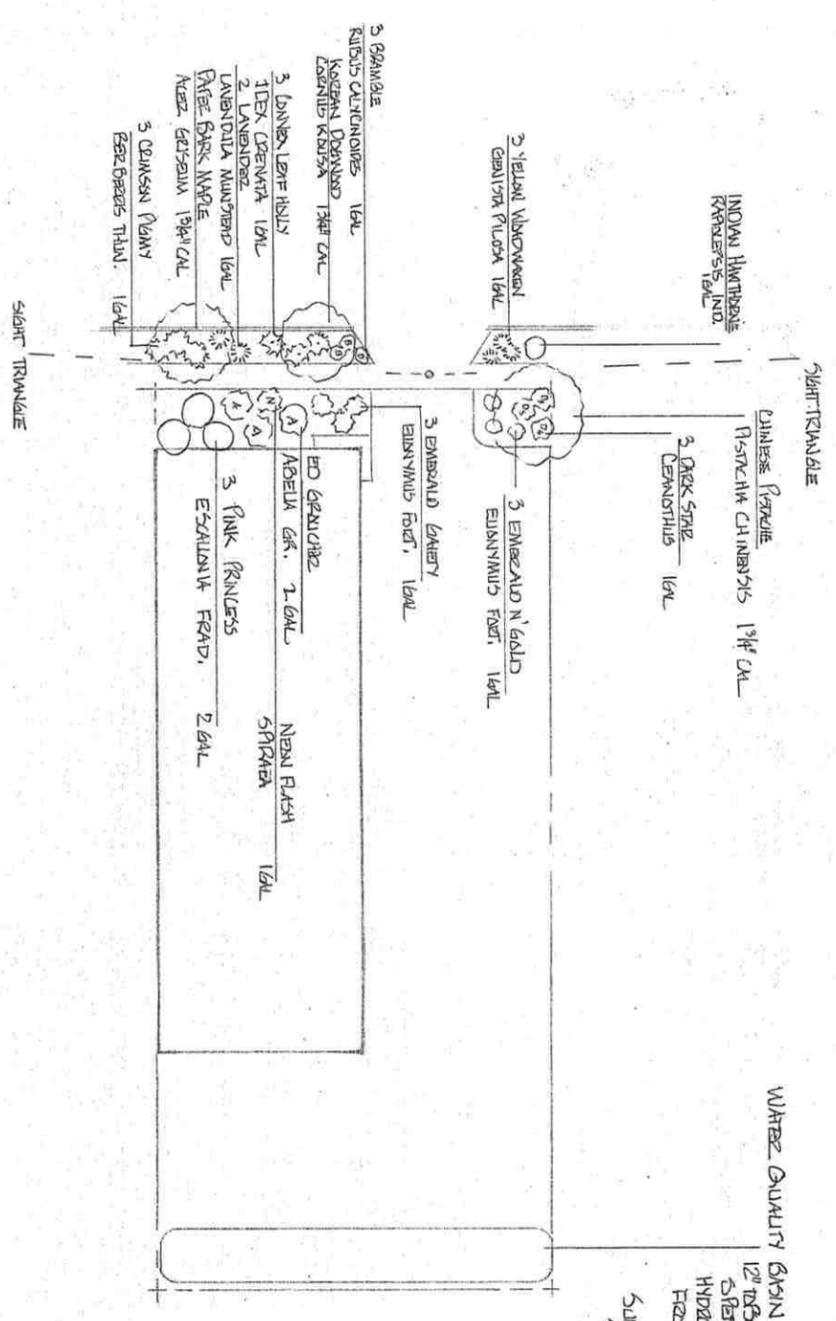


Bull Engineering
Design by: MB Drawn by: LLH

UTILITY PLAN
Date: 09/03/2020 Scale: 1" = 20'

AIRWAY INDUSTRIAL - TAX LOT 402
4888 AIRWAY DR.
CENTRAL POINT, OR 97502
Jackson County, Oregon





B-31-20220

L1 PLANTING PLAN

WATER QUALITY BASIN
 12" TOPSOIL FOR RYSS
 SIEVATIONS
 HYDROSEED WITH WHITE GRASS
 FROM SUNMARK SEEDS OR EDAWIL
 SUNMARK SEEDS INTERMOUNTAIN
 505 - 241 - 1333

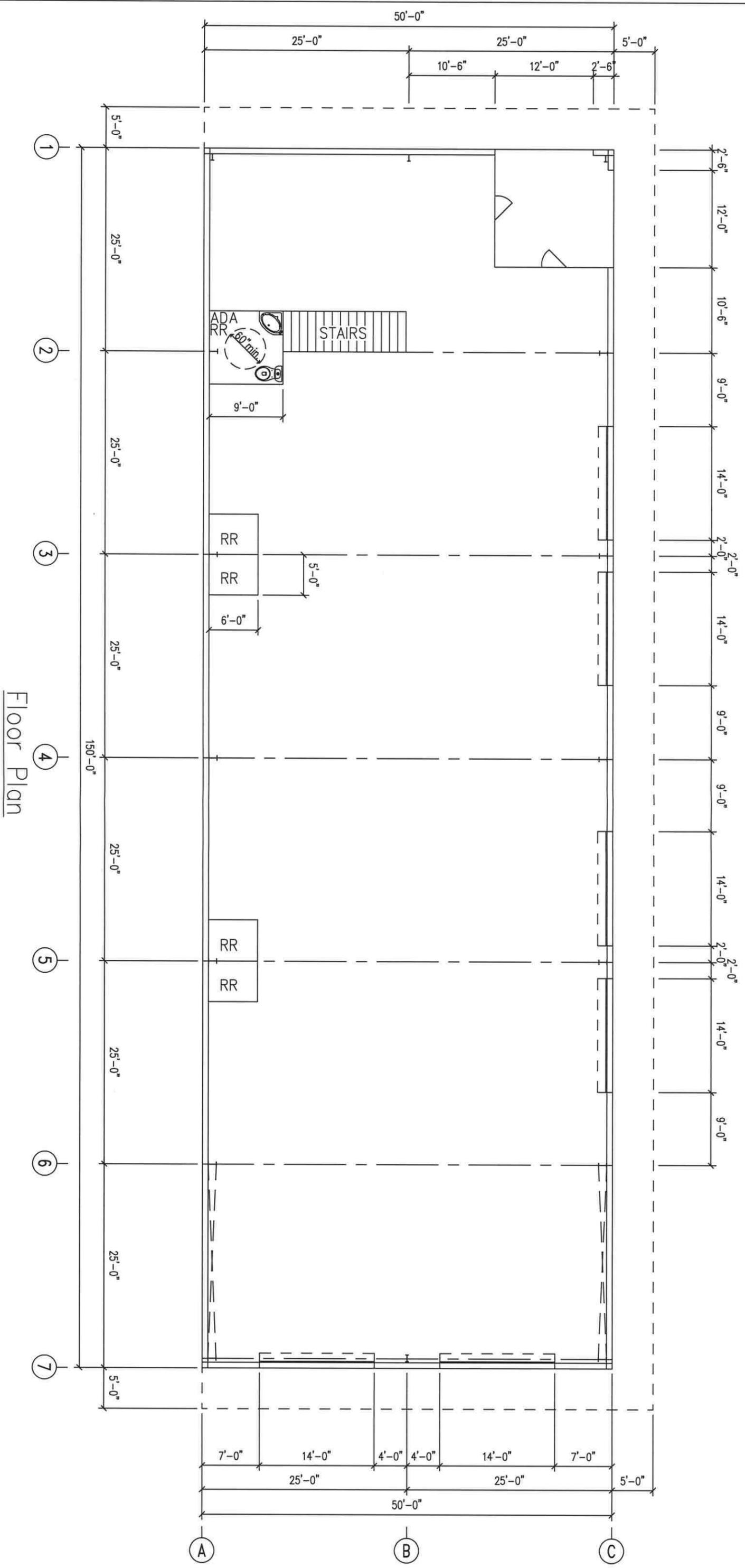
- NOTES
1. MIN. 6" TOPSOIL/COMPOST BLEND IN PLANTED AREAS.
 2. TOPSOIL/COMPOST BLEND SHALL MEET OR EXCEED SOIL PREPARATION PROCEDURES OUTLINED IN SECTION 10.780(6)(9)(b)
 3. 3" BARK MULCH IN SHRUB AREA
- WORK BY OTHERS
1. PROVIDE SUB GRADE TO ALLOW FOR SPECIFIED DEPTH OF TOPSOIL FREE OF BUILDING RUBBLE
 2. PROVIDE WATER SOURCE TO DOUBLE CHECK MIN. SUPPLY OF 15 GPM @ 60 PSI
 3. PROVIDE POWER TO CONTROLLER
 4. PROVIDE SLEEVES UNDER HARD SURFACES - SIZES NOTED ON PLAN
- CAP & EXPOSE ENDS FOR LANDSCAPE CONTRACTOR

SCALE
 1"=20'-0"

4888 AIRWAY DRIVE

NATURAL SYSTEMS
 779-2965





Floor Plan

DRAWING STATUS

FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONTROL PROPER INTERPRETATION OF THE PROJECT AND TO PREVENT CONSTRUCTION FROM BEING CONSIDERED AS COMPLETE.

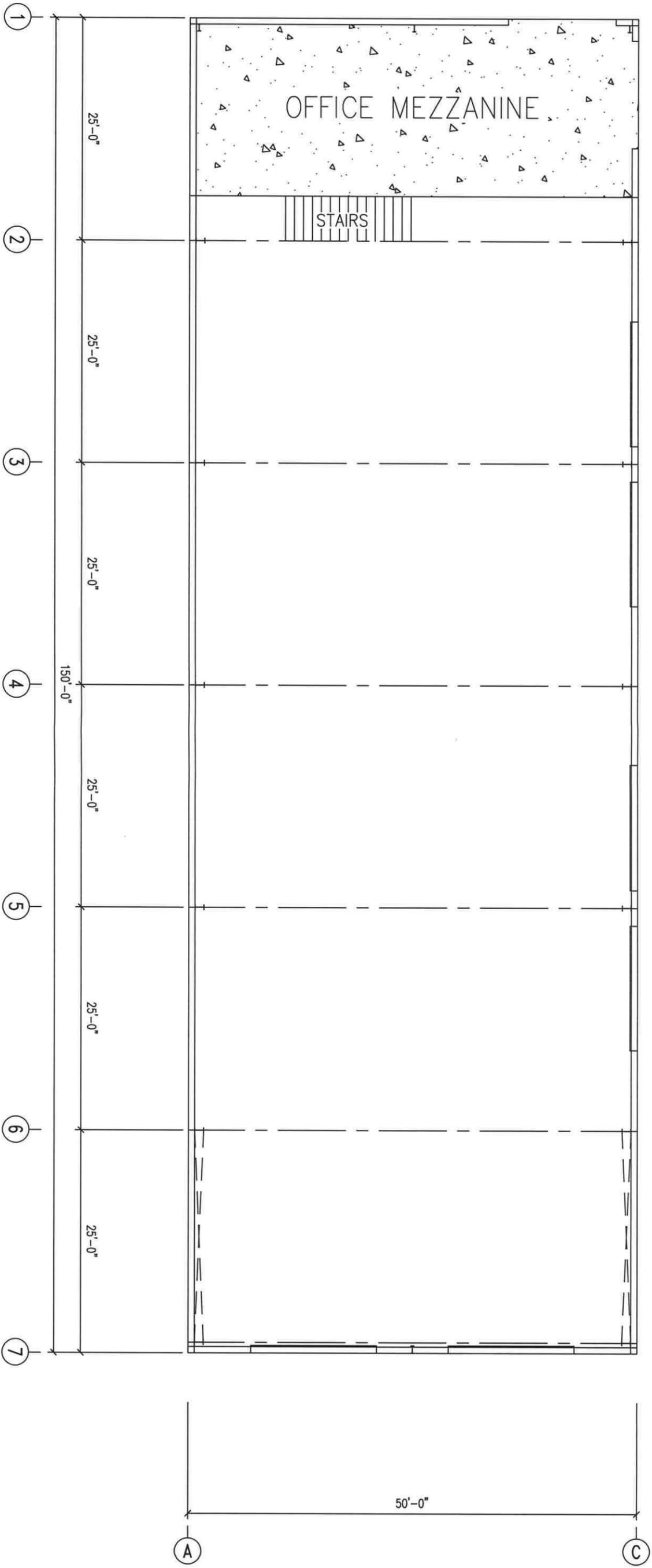
FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONTROL PROPER INTERPRETATION OF THE PROJECT AND TO PREVENT CONSTRUCTION FROM BEING CONSIDERED AS COMPLETE.

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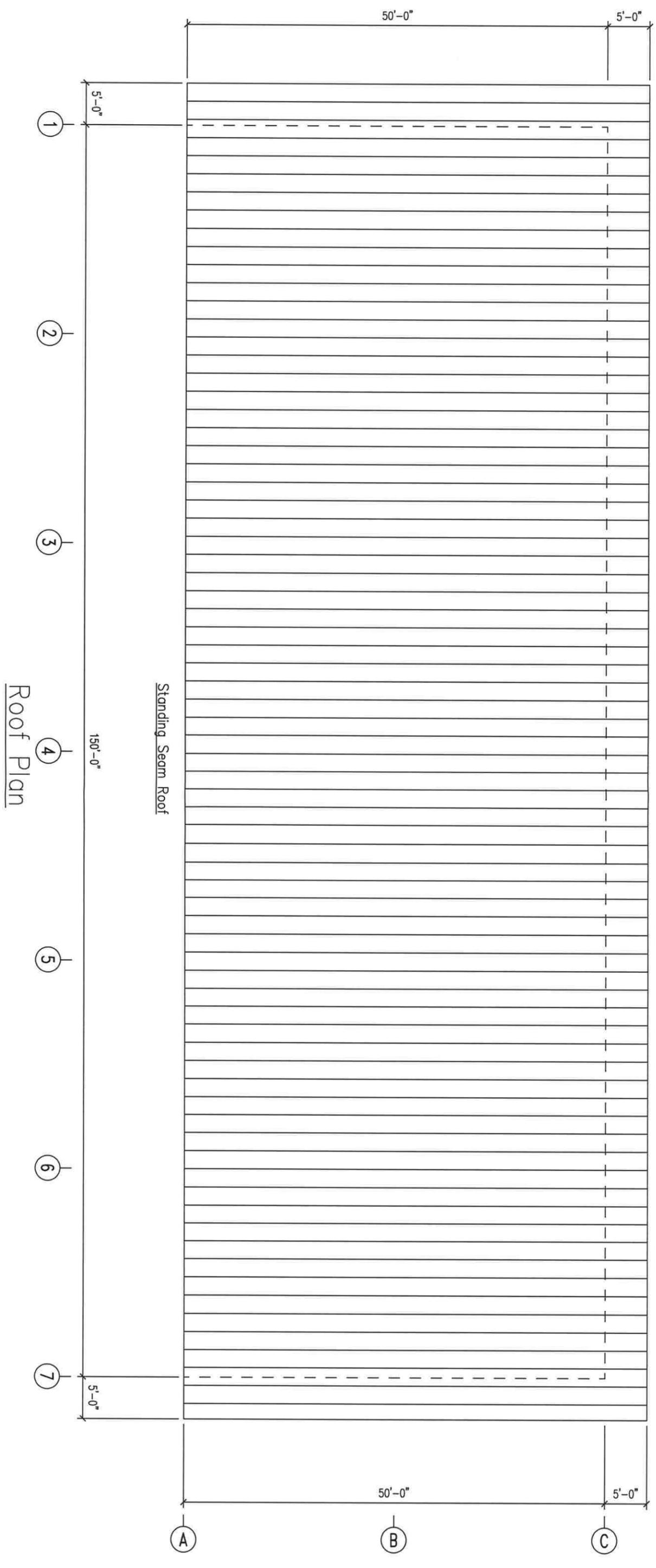
NO.	DATE	REVISIONS	DESCRIPTION	BY	CHK'D
A	8/24/20		FOR APPROVAL		

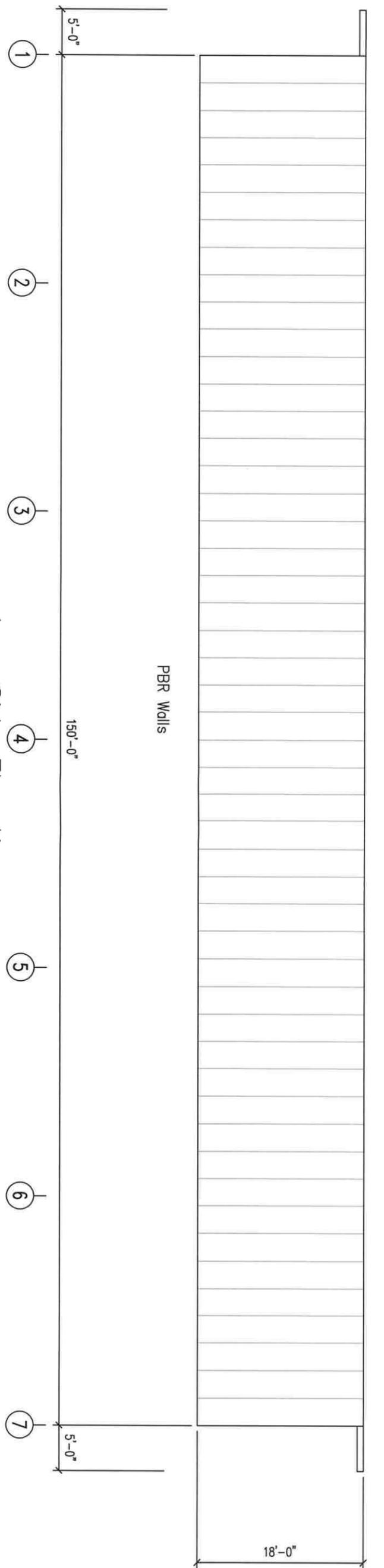
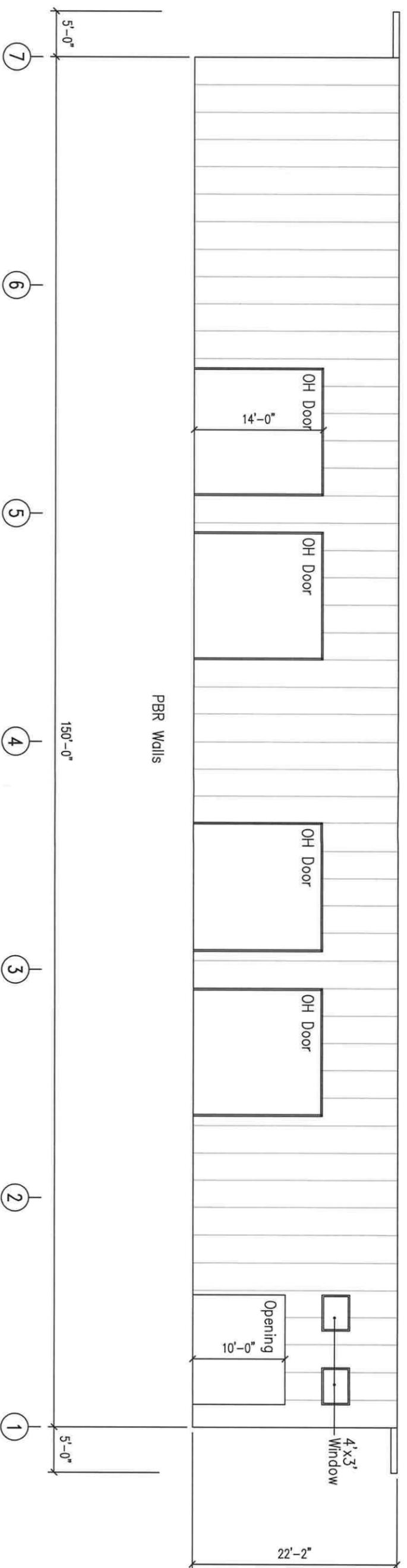
RK4 PROJECTS

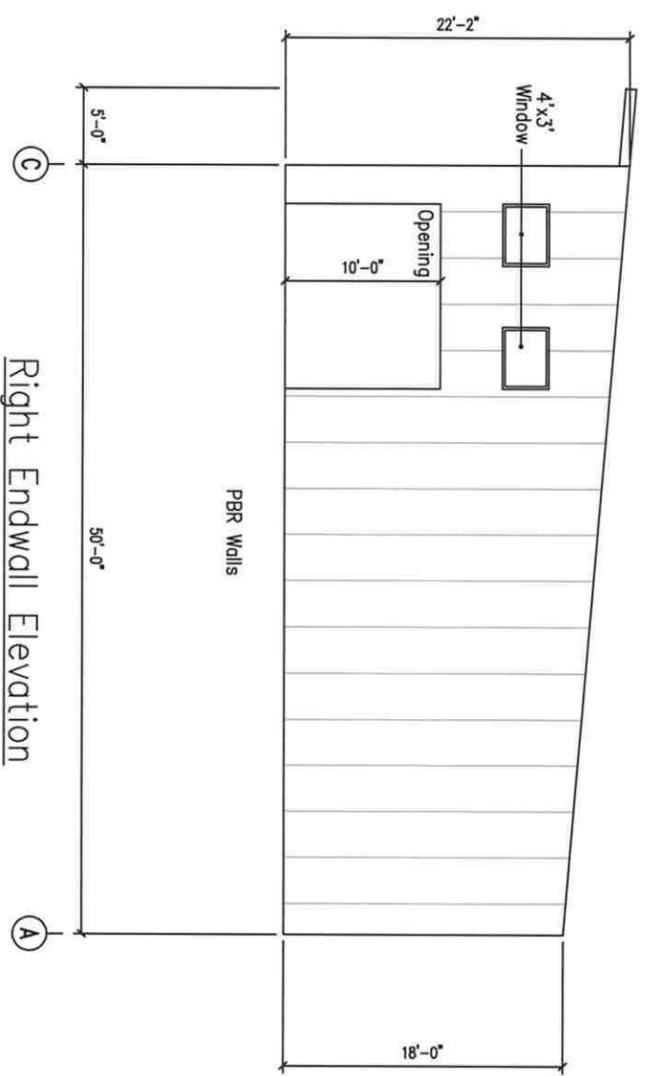
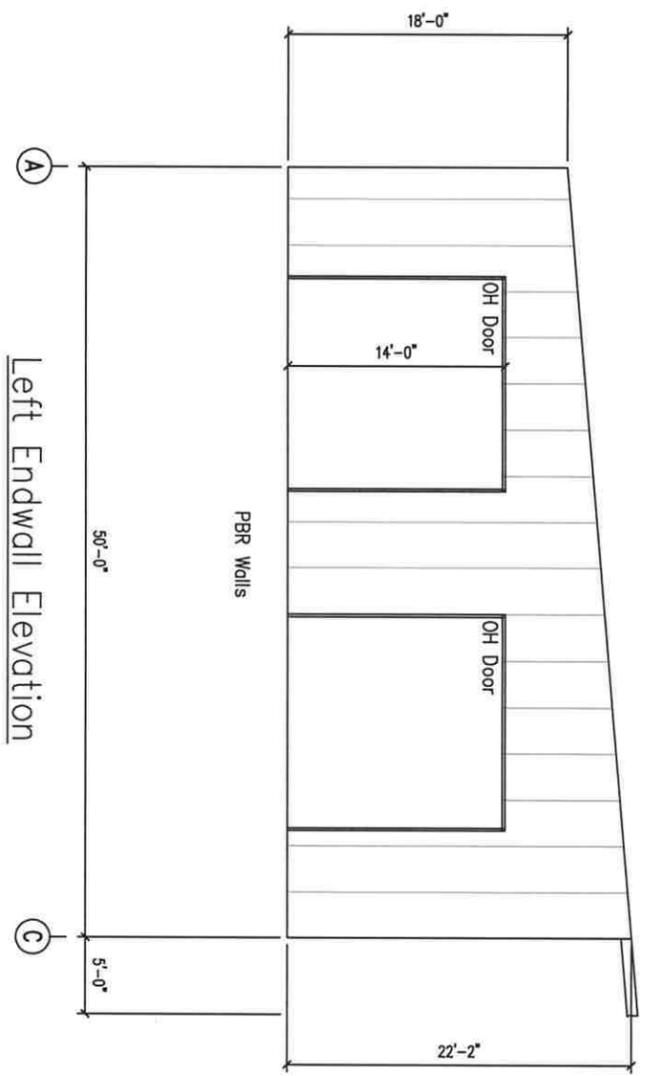
PROJECT: SHED GUNS
 ADDRESS: 4888 AIRWAY DR.
 LOCATION: CENTRAL POINT, OR 97502
 DRAWN BY: []
 DATE: []
 SCALE: N.T.S.
 SHEET NO.: []
 SHEET #.: A

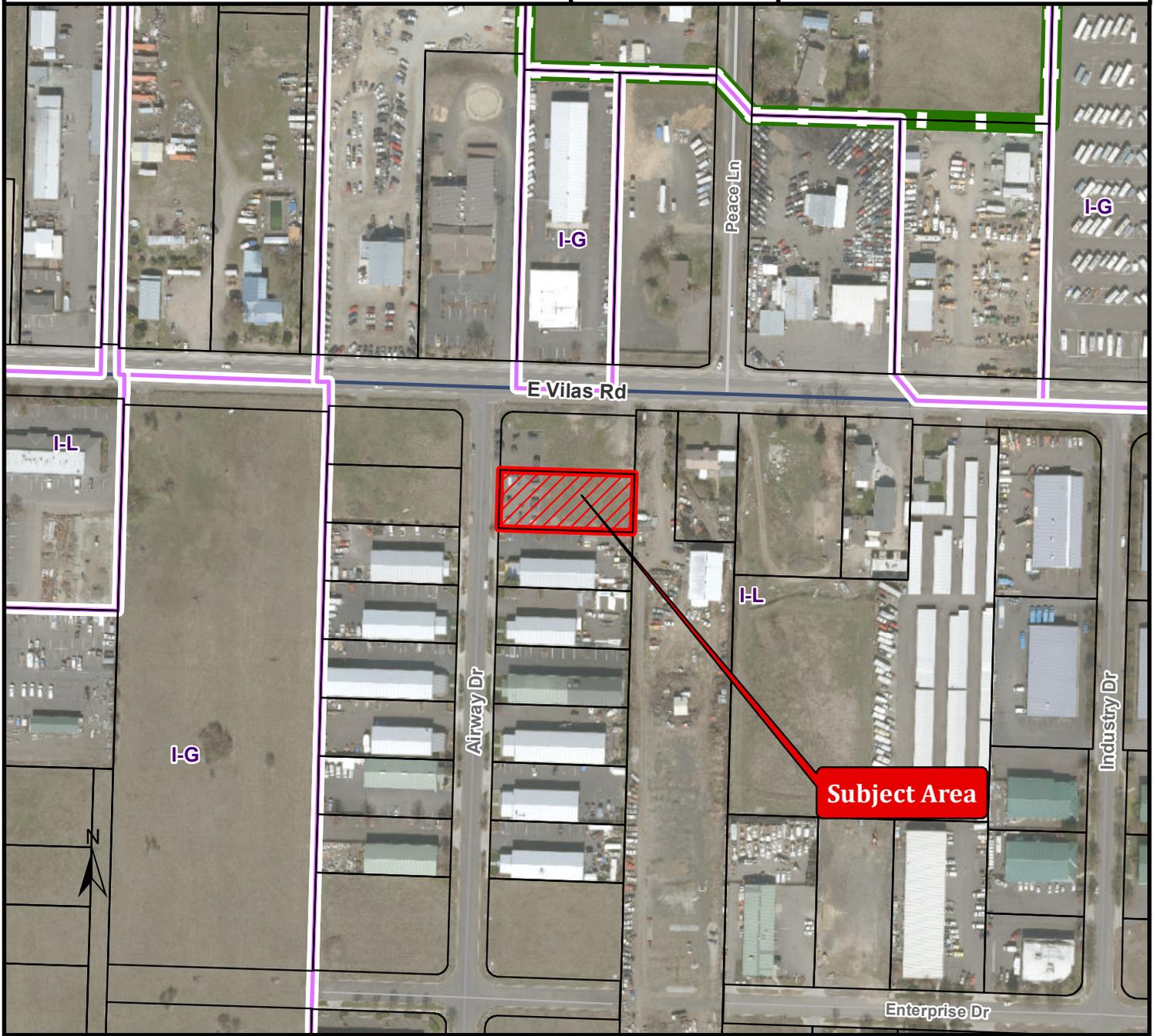


Mezzanine Plan









Project Name:

Bull Engineering Steel Building

Map/Taxlot:

371W06BB TL 402

Legend

-  Subject Area
-  Tax Lots
-  Zoning Districts



Date: 10/8/2020

